

MINOR VARIANCE

Alisha

File Number ANPL2017048  
 Related File Number \_\_\_\_\_  
 Pre-consultation Meeting On FEB 13/17  
 Application Submitted On FEB 13/17  
 Complete Application On MAY 8/17

Application Fee \$172  
 Conservation Authority Fee \_\_\_\_\_  
 OSSD Form Provided YES  
 Sign Issued \_\_\_\_\_

This development application must be typed or printed in ink and completed in full. An incomplete or improperly prepared application may not be accepted and could result in processing delays.

Property assessment roll number: 3310- 337-040-3800

The undersigned hereby applies to the Committee of Adjustment under Section 45 of the Planning Act, R.S.O. 1990, c. P. 13, for relief as described in this application from by-law no. 1-2-2014

A. APPLICANT INFORMATION

Name of Applicant <sup>1</sup> LINDA VANDERHEYDEN Phone # 519.632.7137 (H)  
 Address 1703 WRIGLEY RD Fax # 519.741-0964  
 Town / Postal Code AYR ON N0B1E0 E-mail linda@goligerstravel.com

<sup>1</sup> If the applicant is a numbered company provide the name of a principal of the company.

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_  
 Address \_\_\_\_\_ Fax # \_\_\_\_\_  
 Town / Postal Code \_\_\_\_\_ E-mail \_\_\_\_\_  
 Name of Owner <sup>2</sup> \_\_\_\_\_ Phone # \_\_\_\_\_  
 Address \_\_\_\_\_ Fax # \_\_\_\_\_  
 Town / Postal Code \_\_\_\_\_ E-mail \_\_\_\_\_

<sup>2</sup> It is the responsibility of the owner or applicant to notify the Planner of any changes in ownership within 30 days of such a change.

Please specify to whom all communications should be sent <sup>3</sup>: ☒ Applicant ☐ Agent ☐ Owner

<sup>3</sup> Unless otherwise directed, all correspondence, notices, etc., in respect of this development application will be forwarded to the Applicant noted above, except where an Agent is employed, then such will be forwarded to the Applicant and Agent.

Names and addresses of any holders of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
 \_\_\_\_\_

**B. LOCATION/LEGAL DESCRIPTION OF SUBJECT LANDS**

Geographic Township	<u>Woodhouse</u>	Urban Area or Hamlet	_____
Concession Number	_____	Lot Number(s)	_____
Registered Plan Number	<u>461</u>	Lot(s) or Block Number(s)	<u>13</u>
Reference Plan Number	_____	Part Number(s)	_____
Frontage (metres/feet)	<u>22.85m</u>	Depth (metres/feet)	<u>117m</u>
Width (metres/feet)	<u>22.85m</u>	Lot area (m <sup>2</sup> / ft <sup>2</sup> or hectares/acres)	<u>0.65 ac.</u>
Municipal Civic Address	<u>292 NEW LAKESHORE RD, PORT DOVER</u>		

Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes      ☐ No

If yes, describe the easement or covenant and its effect:

HYDRO EASEMENT - CARPORT DOES NOT EFFECT THIS

**C. PURPOSE OF DEVELOPMENT APPLICATION**

Please explain what you propose to do on the subject lands/premises which makes this development application necessary (if additional space is required, please attach a separate sheet):

CARPORT 57.97m<sup>2</sup>

Please explain the nature and extent of the amendment requested (assistance is available):

section 3.2(b) - no accessory building permitted in front yard

Please explain why it is not possible to comply with the provision of the zoning by-law:

front yard functions as rear yard, hill in rear yard

**D. PROPERTY INFORMATION**

Present official plan designation(s):

Agricultural + Herdland Lands

Present zoning:

RR + HL

Is there a site specific zone on the subject lands?

NO

Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

EXISTING COTTAGE - STAYING

If known, the date existing buildings or structures were constructed on the subject lands:

If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

CARPORT

Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

CARPORT - see attached drawings

**MINOR VARIANCE**

If known, the date the proposed buildings or structures will be constructed on the subject lands:

SPRING 2017

Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant?

☐ Yes

☒ No

If yes, identify and provide details of the building:

The date the subject lands was acquired by the current owner:

NOV 2014

Present use of the subject lands:

COTTAGE

If known, the length of time the existing uses have continued on the subject lands:

Existing use of abutting properties:

COTTAGES

**E. PREVIOUS USE OF THE PROPERTY**

Has there been an industrial or commercial use on the subject lands or adjacent lands?

☐ Yes

☒ No

☐ Unknown

If yes, specify the uses:

Has the grading of the subject lands been changed through excavation or the addition of earth or other material?

☐ Yes

☒ No

☐ Unknown

Has a gas station been located on the subject lands or adjacent lands at any time?

☐ Yes

☒ No

☐ Unknown

Has there been petroleum or other fuel stored on the subject lands or adjacent lands at any time?

☐ Yes

☒ No

☐ Unknown

Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

☐ Yes

☒ No

☐ Unknown

**MINOR VARIANCE**

Provide the information you used to determine the answers to the above questions:

personal knowledge

If you answered yes to any of the above questions, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed.

Is the previous use inventory attached?

☐ Yes ☐ No

**F. STATUS OF OTHER PLANNING DEVELOPMENT APPLICATIONS**

Has the subject land or land within 120 metres of it been or is now the subject of an application under the *Planning Act, R.S.O. 1990, c. P. 13* for:

1. a minor variance or a consent;
2. an amendment to an official plan, a zoning by-law or a Minister's zoning order; or
3. approval of a plan of subdivision or a site plan?

☐ Yes ☒ No ☐ Unknown

If yes, indicate the following information about **each application**:

File number:

Land it affects:

Purpose:

Status/decision:

Effect on the requested amendment:

If additional space is required, please attach a separate sheet.

Is the above information for other planning developments applications attached?

☐ Yes ☐ No

**G. PROVINCIAL POLICY**

Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

☒ Yes ☐ No

## MINOR VARIANCE

If no, please explain:

---

Are the subject lands within an area of land designated under any provincial plan or plans?

☐ Yes ☒ No

If yes, does the requested amendment conform to or does not conflict with the provincial plan or plans:

---

Are any of the following uses or features on the subject lands or within 500 metres (1,640 feet) of the subject lands, unless otherwise specified? Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Lands	Within 500 Metres (1,640 feet) of Subject Lands (Indicate Distance)
Livestock facility or stockyard (if yes, complete Form 3 – available upon request)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Wooded area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Municipal landfill	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Sewage treatment plant or waste stabilization plant	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Provincially significant wetland (class 1, 2 or 3) or other environmental feature	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Floodplain	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Rehabilitated mine site	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Non-operating mine site within one kilometre	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Active mine site within one kilometre	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Industrial or commercial use (specify the use(s))	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Active railway line	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Seasonal wetness of lands	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Erosion	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance
Abandoned gas wells	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ distance

## H. SERVICING AND ACCESS

Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water  
☐ Communal wells  
☐ Individual wells  
☒ Other (describe below)

### Sewage Treatment

- ☐ Municipal sewers  
☐ Communal system  
☒ Septic tank and tile bed  
☐ Other (describe below)

### Storm Drainage

- ☐ Storm sewers  
☒ Open ditches  
☐ Other (describe below)

If other, describe:

CISTERN

Have you consulted with Public Works & Environmental Services concerning stormwater management?

☐ Yes ☒ No

**MINOR VARIANCE**

Has the existing drainage on the subject lands been altered?

☐ Yes ☒ No

Does a legal and adequate outlet for storm drainage exist?

☐ Yes ☐ No ☒ Unknown

Existing or proposed access to subject lands:

☐ Unopened road ☐ Provincial highway  
☒ Municipal road ☐ Other (describe below)  
If other, describe:

Name of road/street:

NEW LAKESHORE ROAD

**I. OTHER INFORMATION**

Is there a time limit that affects the processing of this development application?

☐ Yes ☒ No

If yes, describe:

Is there any other information that you think may be useful in the review of this development application? If so, explain below or attach on a separate page.

## J. SUPPORTING MATERIAL TO BE SUBMITTED BY APPLICANT

In order for your development application to be considered complete, a **sketch**, in metric units, drawn to scale, must be included as part of the development application, which shows:

1. The boundaries and dimensions of the subject lands
2. The topographical features
3. The approximate location of all natural and artificial features including but not limited to, buildings, railways, roads, watercourses, municipal drains, drainage ditches, banks of rivers or streams, pipelines, gas wells, wetlands, wooded areas that are located on the subject land and on land that is adjacent to it and may affect the application
4. The location of any existing and proposed wells, septic systems and tile beds that is located on the subject land and on land that is adjacent to it and may affect the application
5. The location, name, status and width of any road, lanes, highways, railways, driveways or encroachments, both existing and proposed, within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way
6. The location and nature of any restrictive covenant or easements affecting the subject land
7. The location, size and type of all **existing** and **proposed** buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot lines, also including building dimensions, height and groupings for each building on the site
8. Location and dimensions of off-street parking, parking structures and aisles, the number of parking spaces to be provided and location of accesses
9. Any proposed subdivision of the subject lands
10. Current uses of land that is adjacent to the subject land
11. The legal description of the subject lands in question (lot, concession, registered plan no., geographic township)

The Committee of Adjustment may require that an Ontario land surveyor sign the plan.

A **Zoning Deficiency Form** completed by the Building Inspector must accompany this application. A Zoning Deficiency Form can be obtained from Norfolk County Building Inspector at 22 Albert Street, Langton, ON or 8 Schellburg Avenue, Simcoe.

**Five (5) copies of any applicable information/reports** indicated in the development application form.

If other documentation/supporting material become necessary, you will be contacted. This information must be submitted prior to your development application proceeding.



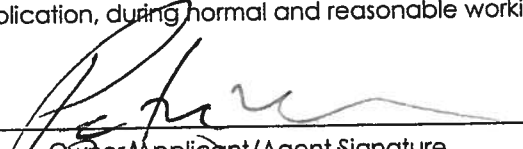
## K. NOTIFICATION SIGN REQUIREMENTS

For the purpose of public notification and in order for staff to locate your lands, you will be given a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level
3. Notify the Planner when the sign is in place in order to avoid processing delays
4. Maintain the sign until the development application is finalized and thereafter removed

## L. PERMISSION TO ENTER SUBJECT LANDS

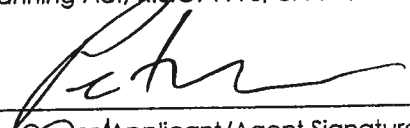
Permission is hereby granted to Norfolk County staff and to members of the Committee of Adjustment to enter the premises subject to this development application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

FEB 13/17  
Date

## M. FREEDOM OF INFORMATION

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this development application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

FEB 13/17  
Date

MINOR VARIANCE

N. DECLARATION

I, LINDA VANDERHEYDEN AYR, ON solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe, ON

In Norfolk County

This 13<sup>th</sup> day of February

A.D., 2017

[Signature]

A Commissioner, etc.

[Signature]  
Owner/Applicant/Agent Signature

ALISHA KATHLEEN CULL, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County  
Expires April 28, 2019

O. OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this development application, the owner must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this development application for a minor variance.

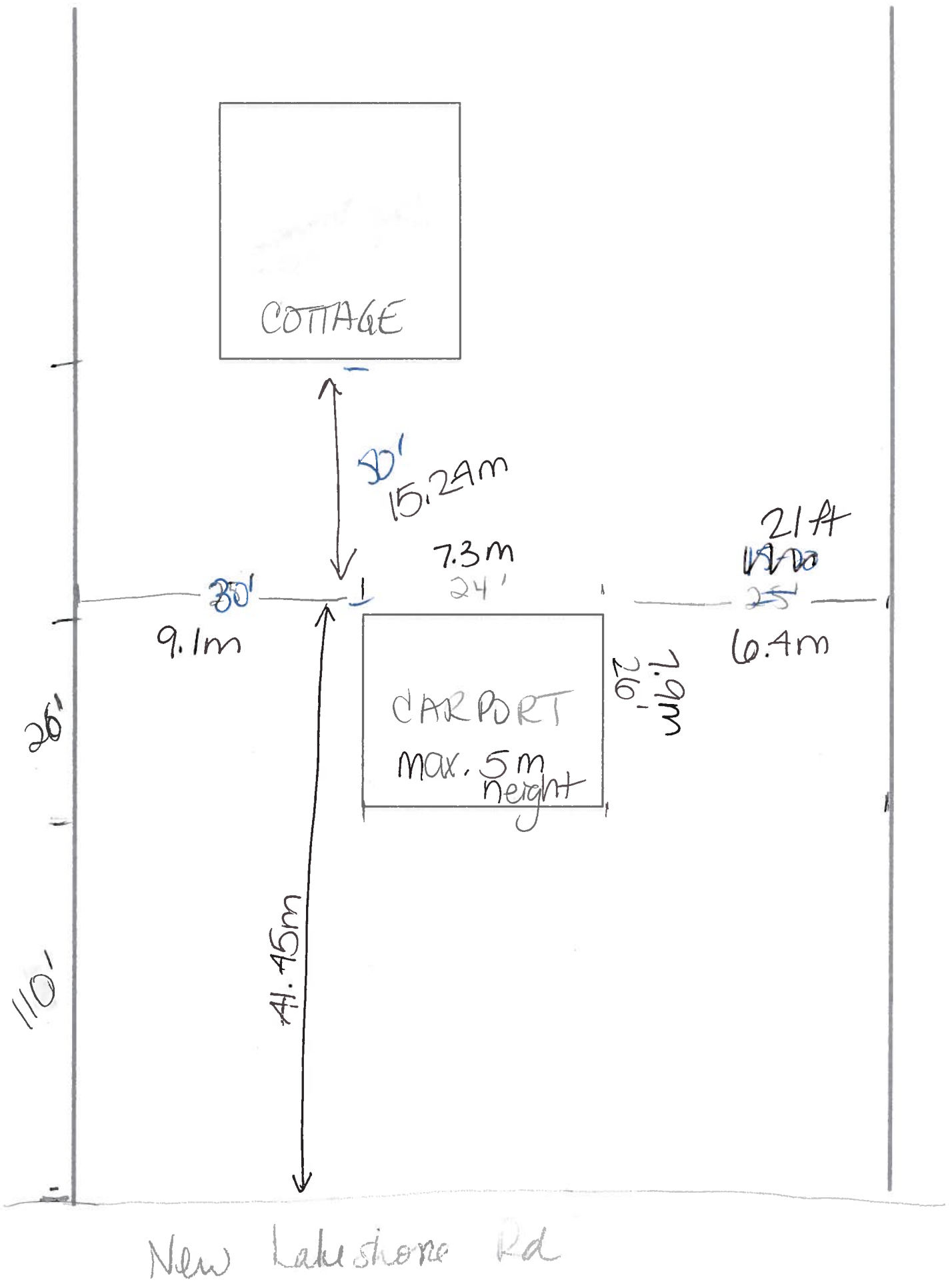
I/We authorize \_\_\_\_\_ to make this development application on my/our behalf and to provide any of my/our personal information necessary for the processing of this development application. Moreover, this shall be your good and sufficient authorization for so doing.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

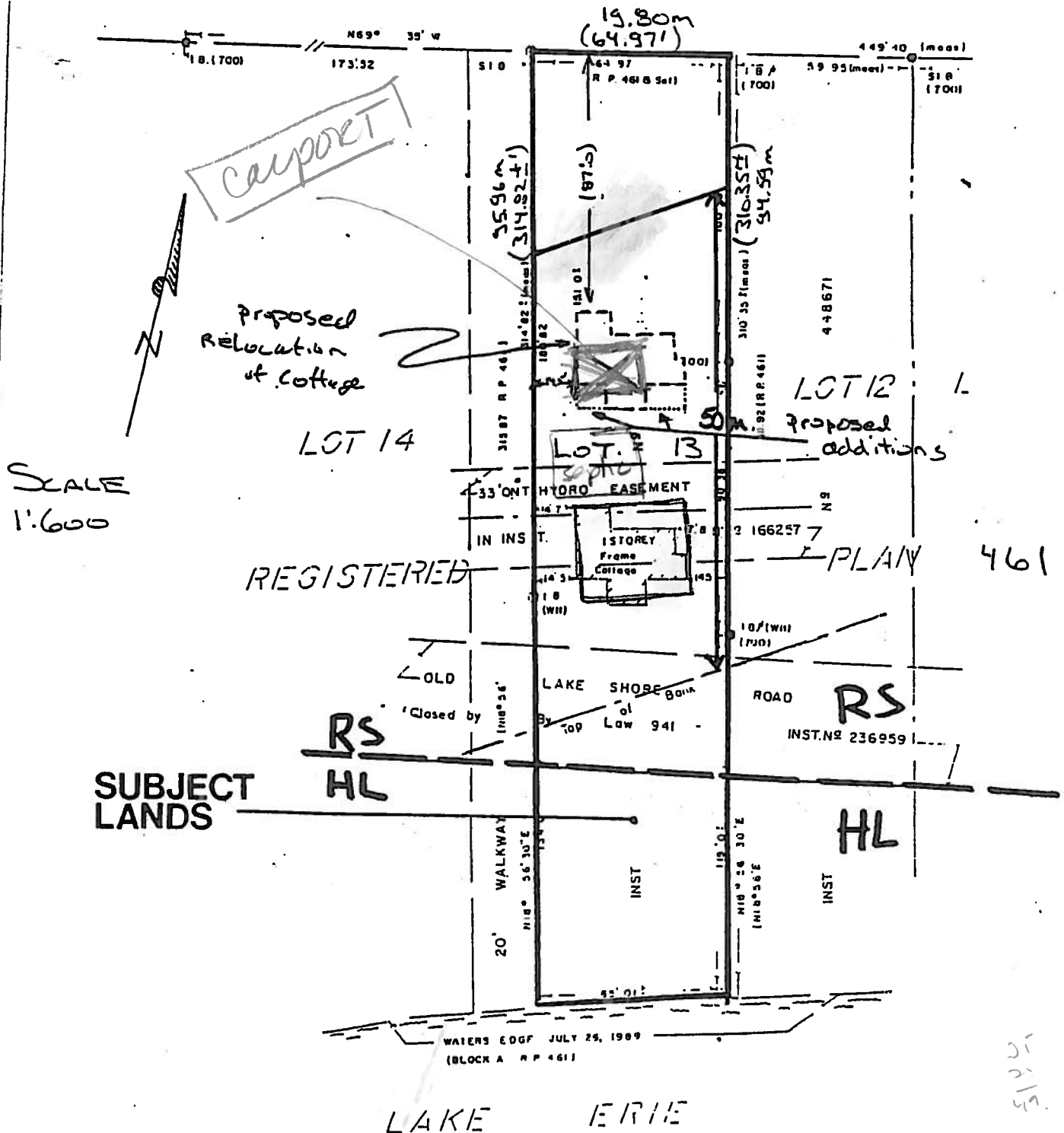
\_\_\_\_\_  
Owner

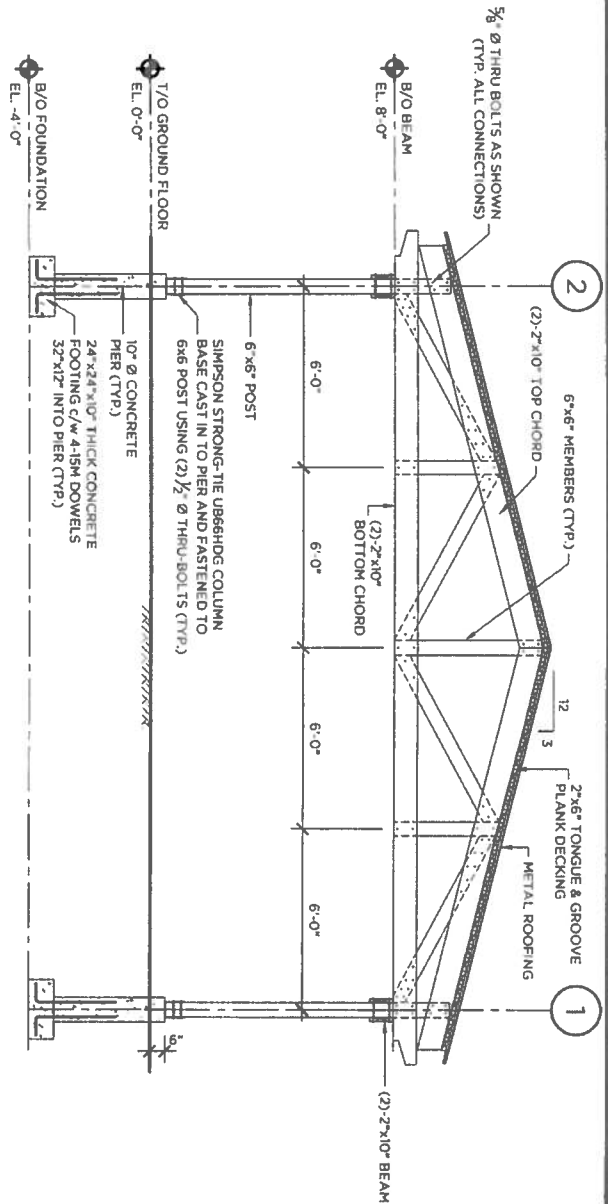
\_\_\_\_\_  
Date



$\overline{A\bar{X}}$ 

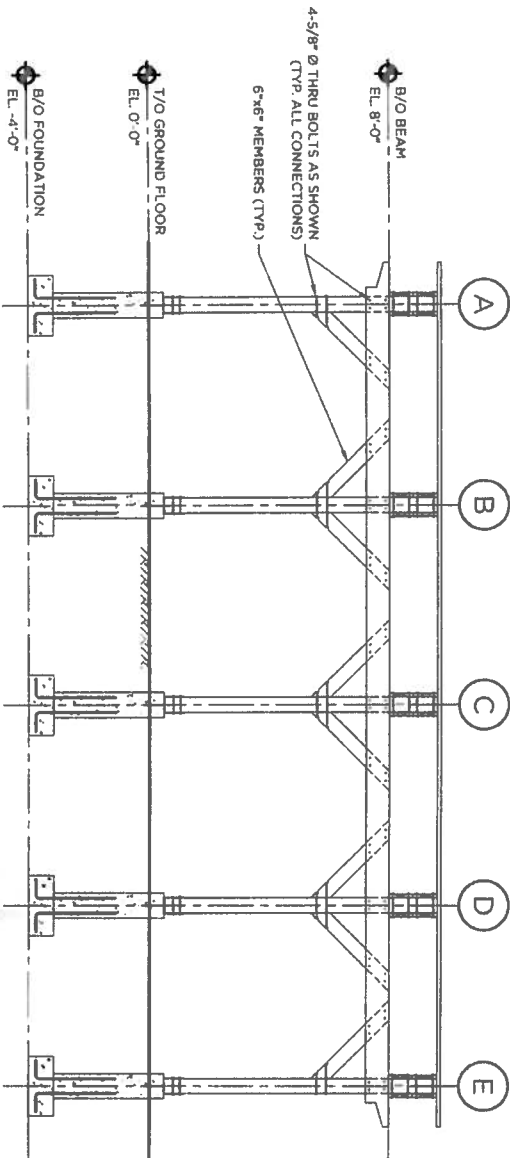
STEVENS ROAD 165' WIDE





**SECTION 1**  
TYPICAL FRAME  
SK2.2

1/4"=1'-0"



**SECTION 2**  
TYPICAL FRAME  
SK2.2

1/4"=1'-0"



DO NOT SCALE THIS DOCUMENT. MEASUREMENTS MUST BE OBTAINED FROM STATED DIMENSIONS. ALL DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE COMMENCEMENT OF WORK.  
DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.

NO.	DATE	DESCRIPTION
1	FEBRUARY 2, 2017	ISSUED TO CLIENT



**DYET DESIGNS**

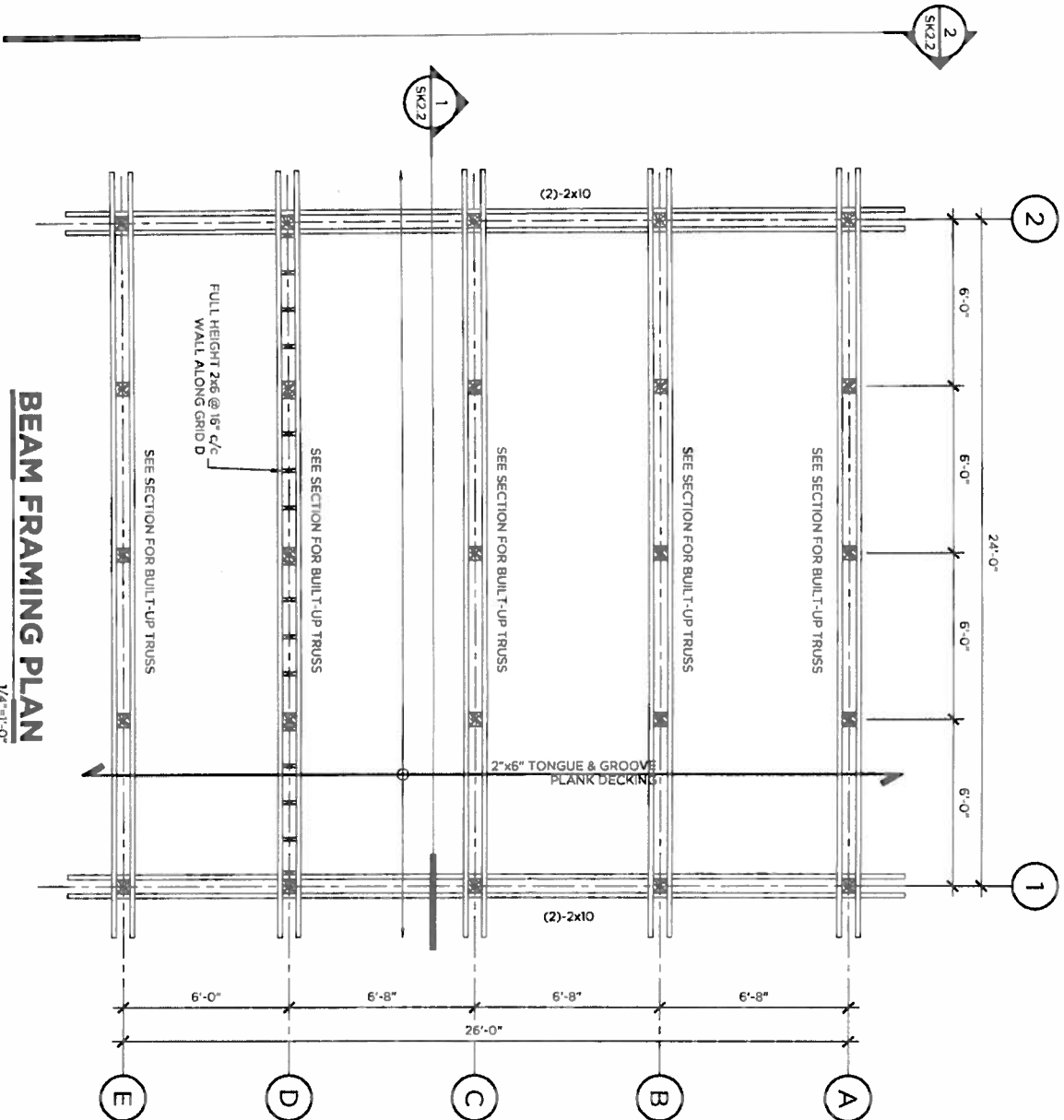
CLIENT  
1130 SHEFFIELD RD. RR#1  
CAMBRIDGE, ON

**PORT DOVER  
CARPORT DESIGN**

PROJECT  
292 NEW LAKE SHORE ROAD  
PORT DOVER, ON

**SECTION**

DESIGNED BY RES	DRAWN BY FD	DRAWING NO. <b>SK2.2</b>
SCALE AS SHOWN	PROJECT NO. S17004	

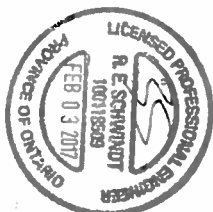


P 519 340-0192 10-564 Weber St. N.  
E info@rizzengineering.com Waterloo ON Canada  
rizzengineering.com

DO NOT SCALE THIS DOCUMENT. MEASUREMENTS MUST BE OBTAINED FROM STATED DIMENSIONS. ALL DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE COMMENCEMENT OF WORK.

DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.

NO.	DATE	DESCRIPTION
1	FEBRUARY 2, 2017	ISSUED TO CLIENT



**DYET DESIGNS**

PROJECT 1130 SHEFFIELD RD. RR#1 CAMBRIDGE, ON

**PORT DOVER  
CARPORT DESIGN**

292 NEW LAKE SHORE ROAD PORT DOVER, ON

**FRAMING PLAN**

DESIGNED BY RES	DRAWN BY FD	CHECKED BY SK2.1
SCALE AS SHOWN	PROJECT NO. S17004	

# GENERAL NOTES

1. THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.
2. UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED, INCLUDING FOR PREPARATION OF SHOP DRAWINGS, CONSTRUCTION LAYOUT, OR BIDDING PURPOSES. ERRORS MADE BY PERSONS SCALING THESE DRAWINGS SHALL NOT BE THE RESPONSIBILITY OF RIZZ ENGINEERING INC.
3. SUBSTITUTIONS FROM SPECIFIED PRODUCTS AND MATERIALS MUST BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO ORDERING OF MATERIALS. THE CONTRACTOR SHALL REIMBURSE ALL CONSULTANTS FOR ADDITIONAL COSTS INCURRED AS A RESULT OF REVIEWING ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
4. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O-REG. 213/91.

# FOUNDATIONS

1. NO SOIL INVESTIGATION WAS UNDERTAKEN FOR THIS SITE. THE ALLOWABLE SOIL BEARING CAPACITY HAS BEEN ASSUMED. ALL COLUMN AND WALL FOOTINGS SHALL BEAR DIRECTLY ON NATURALLY CONSOLIDATED, UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 150 kPa (3,000 psf) AT THE DEPTHS INDICATED ON THE DRAWINGS.
2. FOUND ALL FOOTINGS BELOW THE LEVEL AT WHICH POTENTIAL DAMAGE RESULTING FROM FROST ACTION CAN OCCUR FOR THE FINISHED STRUCTURE, BUT A MINIMUM 1200 mm (4 FT) BELOW FINISHED EXTERIOR GRADE, UNLESS NOTED OTHERWISE. UNDER NO CIRCUMSTANCES SHOULD DEPTH BE LESS THAN LOCAL FROST PENETRATION REQUIREMENTS.
3. PROTECT ALL SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOUNDATIONS DURING CONSTRUCTION.

# CONCRETE AND REINFORCING

1. ALL CONCRETE WORK TO CONFORM TO THE LATEST REQUIREMENTS OF CSA STANDARDS A23.1, A23.2 & A23.3.
2. CONFORM TO THE CONCRETE COVER REQUIREMENTS OF CSA A23.1 AND THE FOLLOWING, UNLESS NOTED OTHERWISE:
  - A. CONCRETE CAST AGAINST EARTH: 75 mm (3")
  - B. PIERS AND WALL: 40 mm (1.5")
  - C. EXPOSED TO DE-ICING CHEMICALS: 60 mm (2.5")
  - D. INTERIOR SLABS AND BEAMS: 40 mm (1.5")
3. CONCRETE PROPERTIES:
  - A. ALL CONCRETE PIERS SHALL BE CSA CLASS F-2 AND HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 20 MPa. W/C RATIO OF 0.55 AND 4-7% AIR CONTENT.
  4. HOT AND COLD WEATHER CONCRETING SHALL COMPLY WITH ALL REQUIREMENTS OF CSA STANDARD A23.1. CALCIUM CHLORIDE ADDITIVES WILL NOT BE PERMITTED.
  5. ALL CONCRETE EXCEPT SLABS ON GRADE 150mm (6") THICK OR LESS SHALL BE MECHANICALLY VIBRATED SO AS TO COMPLETELY FILL THE FORM WITHOUT CAUSING UNDUE SEGREGATION. ANY DEFECTS IN THE HARDENED CONCRETE SHALL BE SATISFACTORILY REPAIRED OR SHALL BE REPLACED.

# LUMBER

1. SAWN LUMBER PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD O141. ALL SAWN LUMBER IS TO BE SPF GRADE NO. 2 OR BETTER, UNLESS NOTED OTHERWISE.
2. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS TO BE PRESSURE TREATED TO CONFORM TO THE REQUIREMENTS OF CSA O80.
3. NAILS AND SPIKES SHALL CONFORM TO THE CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES".
4. ALL BOLTS AND THREADED ROD CONNECTING WOOD MEMBERS SHALL CONFORM TO ASTM A307.

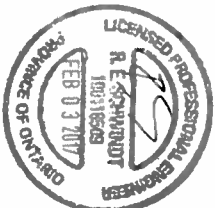


P 519 340-0192 10-564 Weber St. N.  
E info@rizzeng.com Waterloo ON Canada  
rizzengengineering.com

DO NOT SCALE THIS DOCUMENT. MEASUREMENTS MUST BE OBTAINED FROM STATED DIMENSIONS. ALL DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE COMMENCEMENT OF WORK.

DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.

NO.	DATE	DESCRIPTION	SCALE
1	FEBRUARY 2, 2017	ISSUED TO CLIENT	



## DYET DESIGNS

CLIENT PROJECT 1130 SHEFFIELD RD. RR#1 CAMBRIDGE, ON

## PORT DOVER CARPORT DESIGN

292 NEW LAKE SHORE ROAD PORT DOVER, ON

## GENERAL NOTES

DESIGNED BY: RES	DRAWN BY: F.D.	CHECKED BY: SK1.0
SCALE: AS SHOWN	PROJECT NO: S17004	

"RECEIVED"

FEB 27 2017

NORFOLK COUNTY - Bldg./Bylaw



Working together with our community to provide quality services.

# Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

<b>OFFICE USE ONLY</b>		<b>FILE NO.:</b>		<b>DATE RECEIVED:</b>	
<b>PROPERTY INFORMATION</b>		Municipal Address: 292 NEW LAKESHORE ROAD - Port Dover			
Owner: PETER + LINDA VANDERHEYDEN		Lot: 13		Concession:	
Lot Area: 1.65 acres		Lot Frontage: 80 FT		Assessment Roll No. 337-040-38800-0000	
<b>PURPOSE OF EVALUATION</b>		<input type="checkbox"/> Consent <input type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____			
<b>BUILDING INFORMATION</b>		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural			
Building Area: 1300 ft <sup>2</sup>		No. of Bedrooms: 3		No. of Fixture Units: 14	
<b>EVALUATOR'S INFORMATION</b>		Evaluator's Name: ED DOVE		Company Name: Bill's Septic Ltd.	
Address: 24 WERRET AVE SIMCOE		Postal Code: N3Y 5N5		Phone: 519-426-7108	
Email: billsseptic@sympatico.ca		BCIN # 38413 / 38259			
<b>SITE EVALUATION</b>		Ground Cover (trees, bushes, grass, impermeable surface): GRASS		Soil Type: CLAY LOAM	
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry		Depth of Water Table: ~150 ft.	
Surface Discharge Observed: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Odour Detected: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Current Weather (at time of evaluation): SUNNY / DRY	
<b>SYSTEM EVALUATION</b>		Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)			
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____		Size: 800 Gal.		Pump: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Distribution System: <input checked="" type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		No. of Tile Runs: 6		Total Length of Tile: 300 FT	
Tile Material: <input type="checkbox"/> PVC <input checked="" type="checkbox"/> Clay <input type="checkbox"/> Other _____		Ends: <input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined		Cover: <input type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input checked="" type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded	
<b>Setbacks:</b>		<b>Tank</b>		<b>Distribution Pipe</b>	
Distance to Buildings & Structures (ft)		7 FT		20 FT	
Distance to Bodies of Water (ft)		> 100 FT		> 100 FT	
Distance to Nearest Well (ft)		N/A - CISTERN		N/A - CISTERN	
Distance to Proposed Property Lines		Front > 100 ft Rear > 100 ft Side 30 ft Side 50 ft		Front 80 ft Rear > 100 ft Side 15 ft Side 30 ft	



**OVERALL SYSTEM RATING**

OK

- ☒ System Working Properly / No Work Required
- ☐ System Functioning / Maintenance Required
- ☐ System Not Functioning / Minor Repair Required
- ☐ System Failure/Major Repair / Replacement Required

**Note:**

Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-4377 for more information.

Additional Comments: SYSTEM IS FUNCTIONING PROPERLY AND IS IN A GOOD STATE OF REPAIR AT THE TIME OF EVALUATION

**VERIFICATION****OWNER:**

The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.

I, Linda Vanderhagen (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.



Owner Signature

2/26/17.

Date

**EVALUATOR:**

1. I, Ed Dore - Bill's Septic declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.



Evaluator Signature

FEBRUARY 23/2017

Date

**BUILDING DIVISION COMMENTS**

Comments: \_\_\_\_\_

\_\_\_\_\_

I, \_\_\_\_\_ have reviewed the information contained in this form as submitted.

\_\_\_\_\_  
Chief Building Official or designate\_\_\_\_\_  
Date



## On Site Sewage Disposal System Location Plan

DATE: FEBRUARY 24/2017

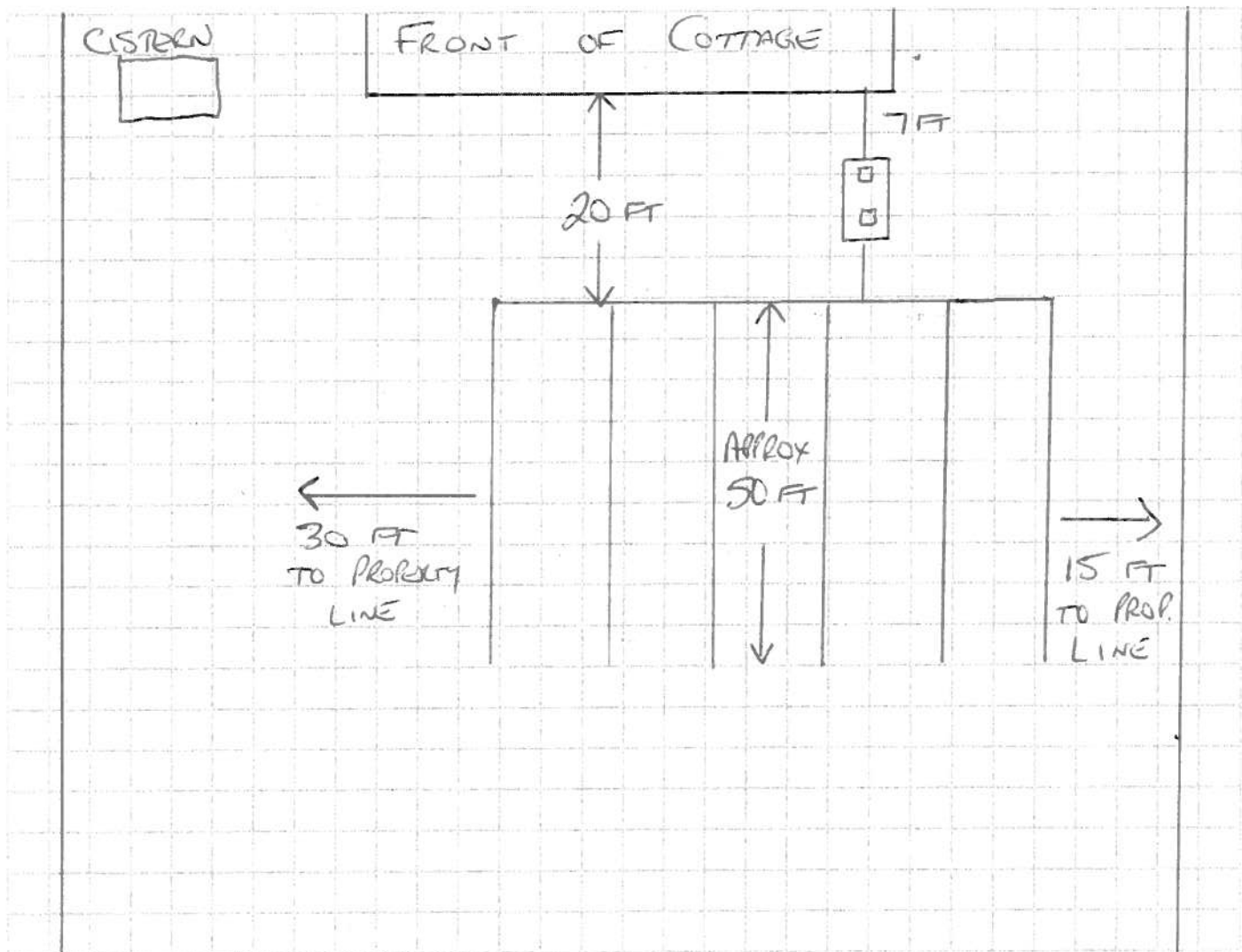
APPLICATION NUMBER: \_\_\_\_\_

OWNER PETER + LINDA VANSEHEYDEN

EVALUATOR ED DOVE

PROPERTY ADDRESS 292 NEW LAKESHORE ROAD

Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.



PREPARED BY: ED DOVE - BILL'S SEPTIC LTD

NOTE: The above sketch is not to exact scale.



## Zoning Deficiency

Simcoe: 185 Robinson St.  
Simcoe, ON  
N3Y 5L6  
519-426-5870  
Langton: 22 Albert St.  
Langton, On.  
N0E 1G0  
519-875-4485

### PROPERTY INFORMATION

Address : 292 New Lakeshore Road

Legal Description: WDH PLAN 461 PT LOT 13 CLSD

Roll Number: 331033704038800

Application #:

Information Origins: Owner submitted sketch

### Urban Residential Type 1 Zone (R1)

		Zoning	R1-A		
Main Building		REQUIRED	PROPOSED	DEFICIENCY	UNITS
5.1.2	a) minimum lot area				
	i) interior lot	450.00		N/A	m.sq
	ii) corner lot	560.00		N/A	m.sq
	iii) lot of record - interior lot	405.00		N/A	m.sq
	iv) lot of record - corner lot	450.00		N/A	m.sq
	b) minimum lot frontage				
	i) interior lot	15.00		N/A	m
	ii) corner lot	18.00		N/A	m
	iii) lot of record - interior lot	13.50		N/A	m
	iv) lot of record - corner lot	15.00		N/A	m
	c) minimum front yard	6.00		N/A	m
	i) detached garage with rear lane	3.00		N/A	m
	d) minimum exterior side yard	6.00		N/A	m
	e) minimum interior side yard				
	i) detached garage (3.0m)	3.00		N/A	m
	detached garage (1.2m)	1.20		N/A	m
	ii) detached garage with a rear lane ;	1.20		N/A	m
	attached garage	1.20		N/A	m
	f) minimum rear yard	7.50		N/A	m
	g) maximum building height	9.20		N/A	m

Comments

### Accessory Structure

3.2.1	a) building height	5.00	5	N/A	m
	b) minimum front yard	6.00	2630	N/A	m
	c) minimum exterior side yard	6.00		N/A	m
	d) minimum interior side yard	1.20	9.1	N/A	m
	e) minimum rear yard	0.00		N/A	m
	f) through lot distance to street line	6.00		6.00	m
	g) Lot coverage				
	i) lot coverage	10.00	2	N/A	%
	ii) usable floor area	55.00	54.75	N/A	m.sq

Comments

3.2.1 b) may not occupy a front yard.



## Zoning Deficiency

Simcoe: 185 Robinson St.  
Simcoe, ON  
N3Y 5L6  
519-426-5870  
Langton: 22 Albert St.  
Langton, On.  
N0E 1G0  
519-875-4485

### PROPERTY INFORMATION

Address : 292 New Lakeshore Road

Legal Description: WDH PLAN 461 PT LOT 13 CLSD

Roll Number: 331033704038800

Application #:

Information Origins: Owner submitted sketch

### Urban Residential Type 1 Zone (R1)

Zoning

R1-A

#### Decks and Porches

3.6 a) interior side lot line	1.20	N/A	m
b) have a floor higher than the height, above finished grade, of the floor of the first storey of the main building on the lot.		N/A	m
c) project more than 3 m into a required rear yard but in no circumstance be closer than 3m from the rear lot line.	3.00	N/A	m
d) project more than 1.5m into the required front yard or required exterior side yard.	1.50	N/A	m
e) sloping rear yard.			
i) interior lot line	3.00	N/A	m
ii) rear lot line	6.00	N/A	m

Comments

#### Parking

4.1 number of parking spaces N/A

Comments

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

I have read and understand the above.

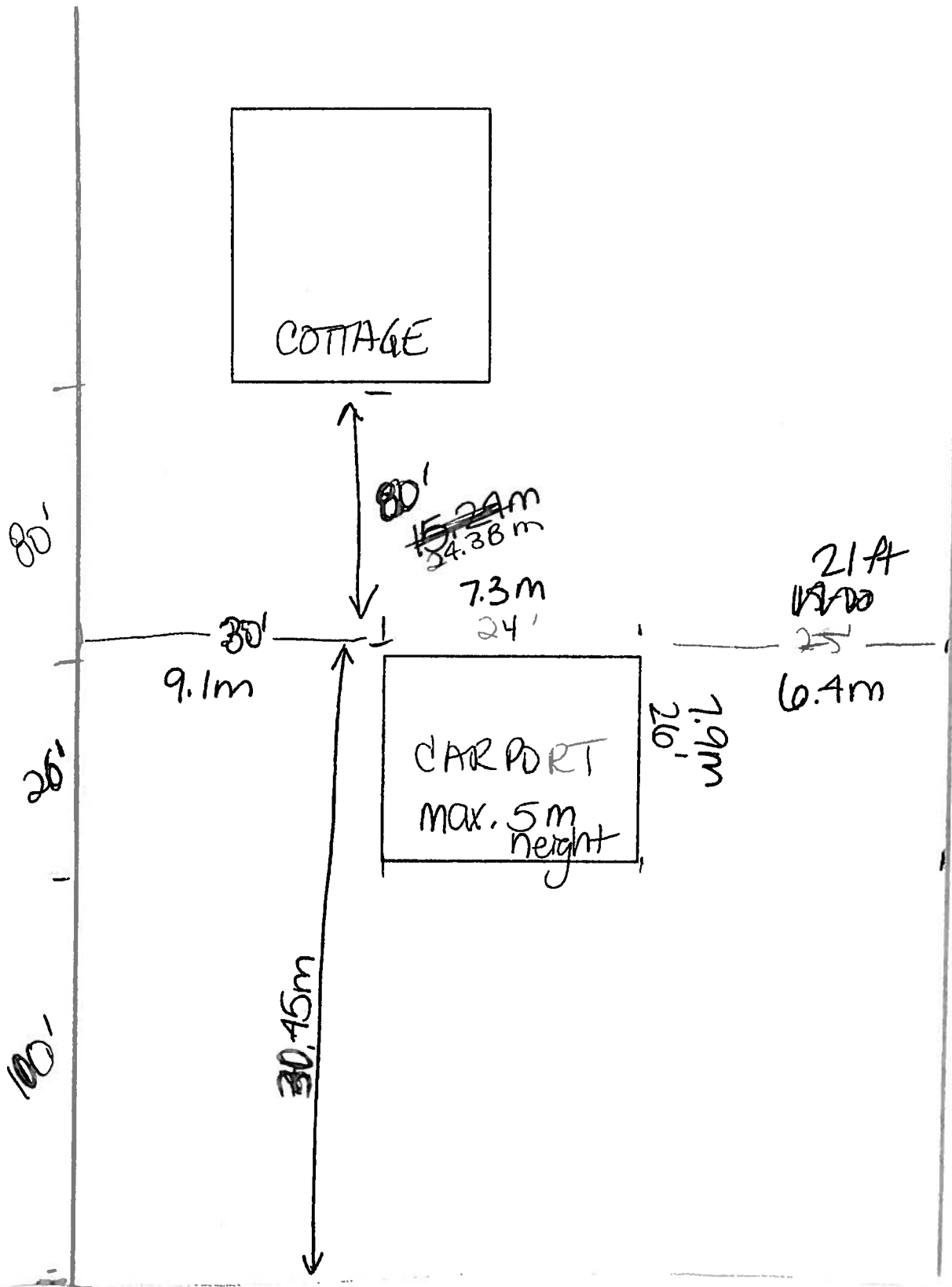
  
Signature of owner or authorized agent  
Prepared By:

  
date

  
Signature of Building Inspector

February 15, 2017  
date

AS PER:  
Fritz R. Enzlin, CBCO, CRBO  
Chief Building Official  
Manager, Building & Bylaw Division  
Norfolk County

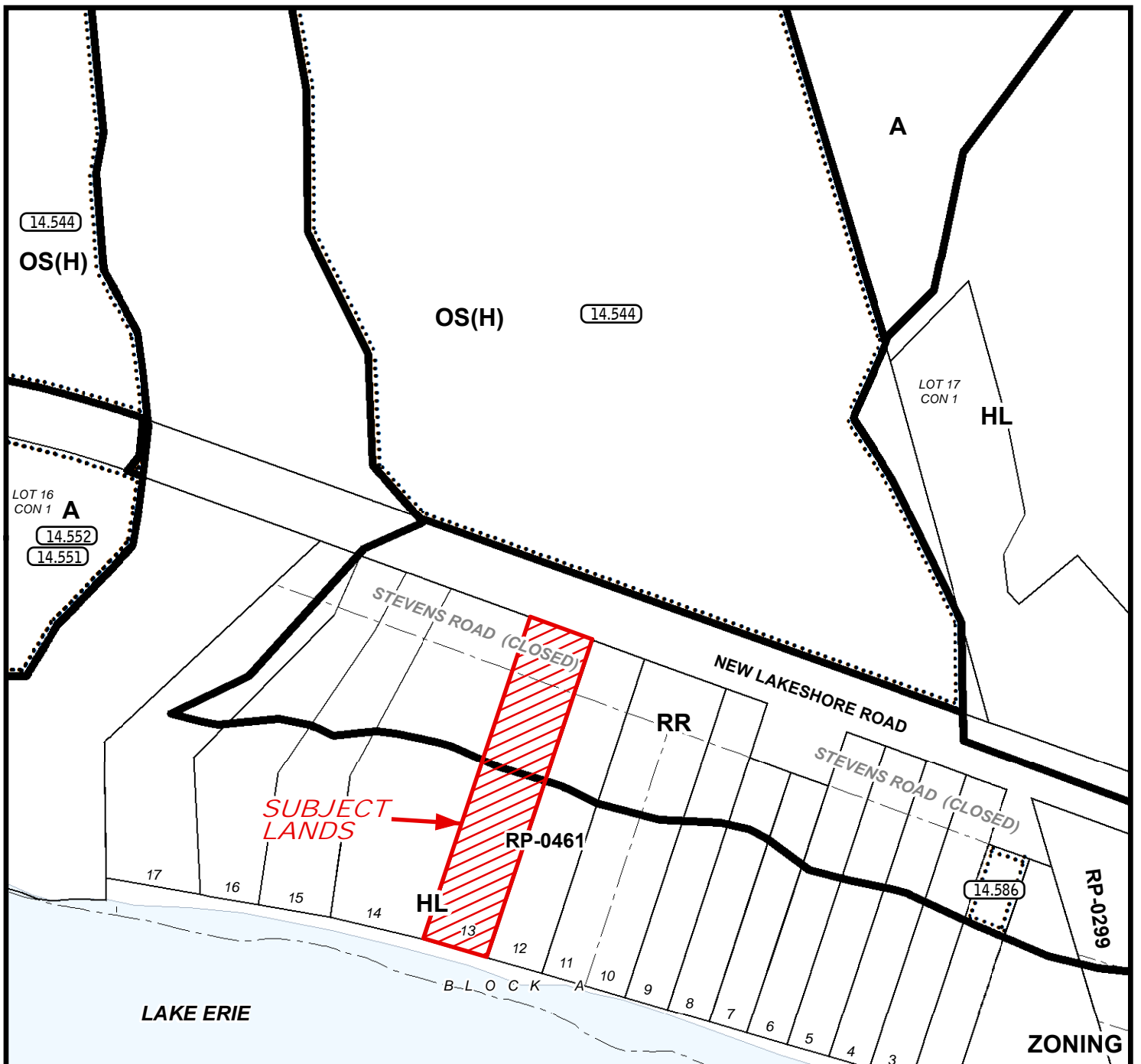
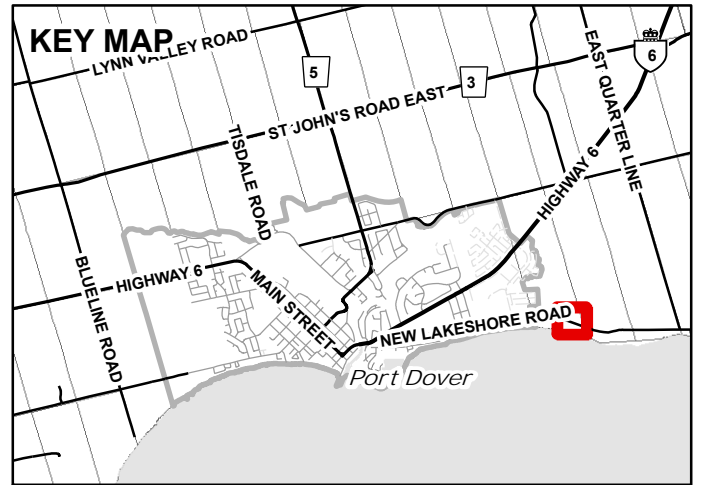
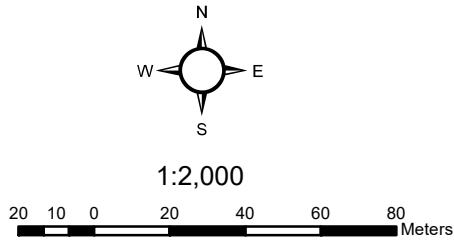


New Lakeshore Rd

# MAP 1

## File Number: ANPL2017048

Geographic Township of  
**WOODHOUSE**

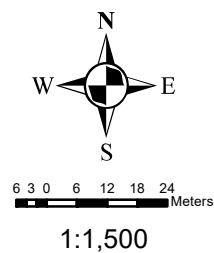




## MAP 2

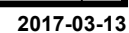
File Number: ANPL2017048

Geographic Township of WOODHOUSE





# Geographic Township of WOODHOUSE

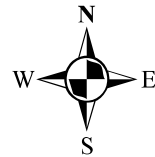




# LOCATION OF LANDS AFFECTED

File Number: ANPL2017048

Geographic Township of WOODHOUSE



31.50 3 6 9 12 Meters

1:750

