

For Office Use Only:

File Number	<u>ANPL2018030</u>	Application Fee	<u>\$1406</u>
Related File Number	<u> </u>	Conservation Authority Fee	<u> </u>
Pre-consultation Meeting	<u> </u>	OSSD Form Provided	<u>on file</u>
Application Submitted	<u>Feb 26/18</u>	Planner	<u>Steven</u>
Complete Application	<u>Feb 26/18</u>	Public Notice Sign	<u>✓</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 541 070 15 800

A. Applicant Information

Name of Owner KOWANETZ FARMS LTD.

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1521 2ND CONC. RD STR

Town and Postal Code DELHI, ONT. N4B 2W6

Phone Number 519 582 1719

Cell Number 519 983 8295

Email lak888@bell.net

Name of Applicant ANTHONY KOWANETZ

Address 1521 2ND CONC RD STR

Town and Postal Code DELHI ONT N4B 2W6

Phone Number 519 582 1719

Cell Number 519 983 8295

Email lak888@bell.net

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

FCC SIMCOE, ONT.

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

NORFOLK, 2ND CONC STR, LOT 37

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify: _____

3. Present use of the subject lands: _____

~~HOME~~ YARD AGRICULTURAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

HOME, 2 BARNS, 1 DRIVESHED, 12 KILNS, 1 GREENHOUSE
1 SMALL OUT BUILDING

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

POOL SHED - 1,137 SQ. FT. GROUND FLOOR AREA, 1,269 SQ. FT.
LOT COVERAGE, 1 STOREY,

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

UNKNOWN

9. Existing use of abutting properties:

AGRICULTURAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage

Lot depth

Lot width

Lot area

Lot coverage

Front yard

Rear yard

Left Interior side yard

Right Interior side yard

Exterior side yard (corner lot)

2. Please outline the relief requested (assistance is available):

TO ALLOW POOL HOUSE HEIGHT OF 7.25 m

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

POOL HOUSE ROOF TO MATCH HOUSE ROOF
HEIGHT. (7.25 m) PROPOSED HEIGHT
(6.00 m) BYLAW HEIGHT.

4. Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:



NORFOLK COUNTY
COMMUNITY
PLANNING
DEVELOPMENT AND CULTURAL SERVICES

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

OWNER KNOWLEDGE

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

Outside significant natural area

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 350 m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|--|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input checked="" type="checkbox"/> Other (describe below) |
| <u>SAND POINT.</u> | |

Sewage Treatment

- | | |
|--|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input checked="" type="checkbox"/> Septic tank and tile bed | <input type="checkbox"/> Other (describe below) |

Storm Drainage

- | | |
|--|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input checked="" type="checkbox"/> Other (describe below) | |
| <u>FARMLAND</u> | |

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

2ND CONC. STR

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

POOL HOUSE TO HAVE ROOF LINE SIMILAR TO
HOME THUS WE NEED THE HEIGHT VARIANCE.
THE NEAREST NEIGHBOUR IS 2,000 FT. AND THE PROPERTY
IS SET BACK 1/2 MILE FROM CONC. 2

Revised October 2017

Committee of Adjustment Development Application

Page 9 of 12

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Anthony Kowant
Owner/Applicant/Agent Signature

FEB. 26 / 2018
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Anthony Kowant am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Anthony Kowant
Owner

FEB. 26 / 2018
Date

Owner

Date

K. Declaration

I, ANTHONY KOWANETZ of NORFOLK COUNTY

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton, Norfolk County, ON

Anthony Kowanetz
Owner/Applicant/Agent Signature

In Ontario

This 26 day of February

A.D., 20 18

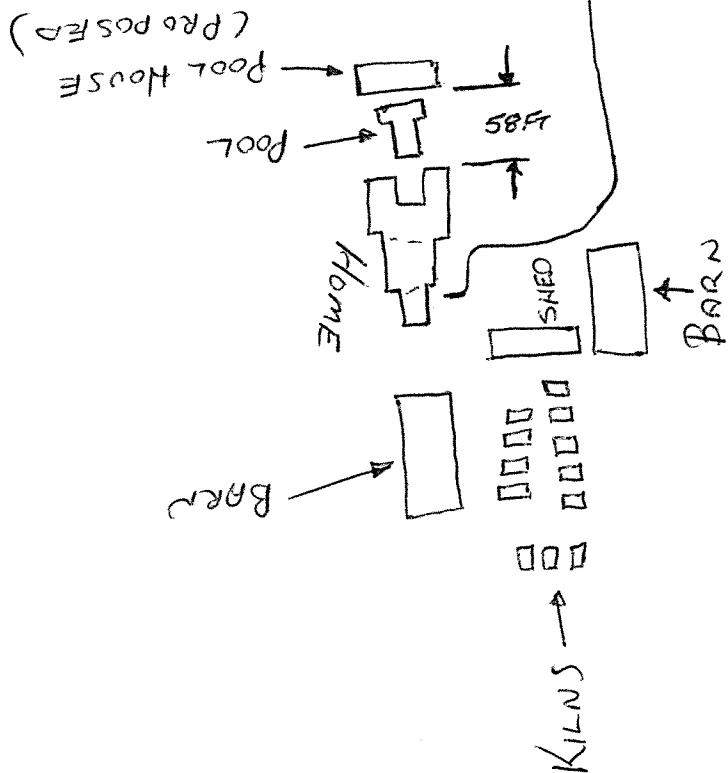
[Signature]
A Commissioner, etc.

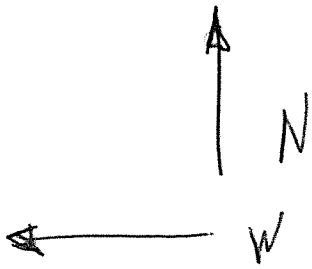
SHERRYANN MOTT, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2020.

RHINELAND RD.

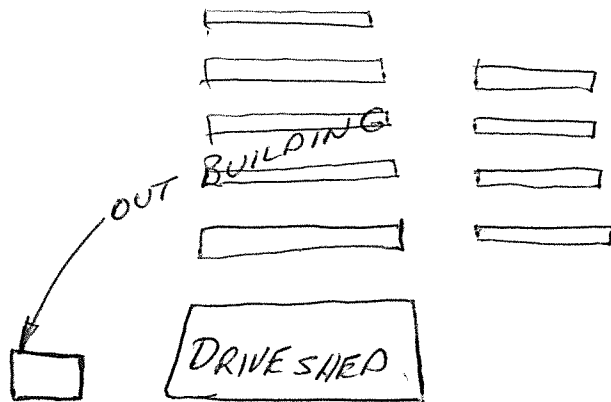
CONB: 2 STR

1500 FT. LANEWAY

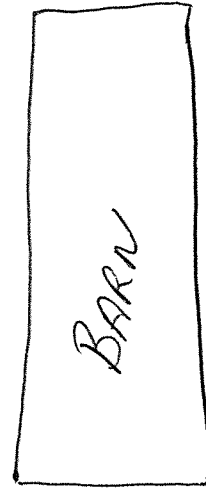




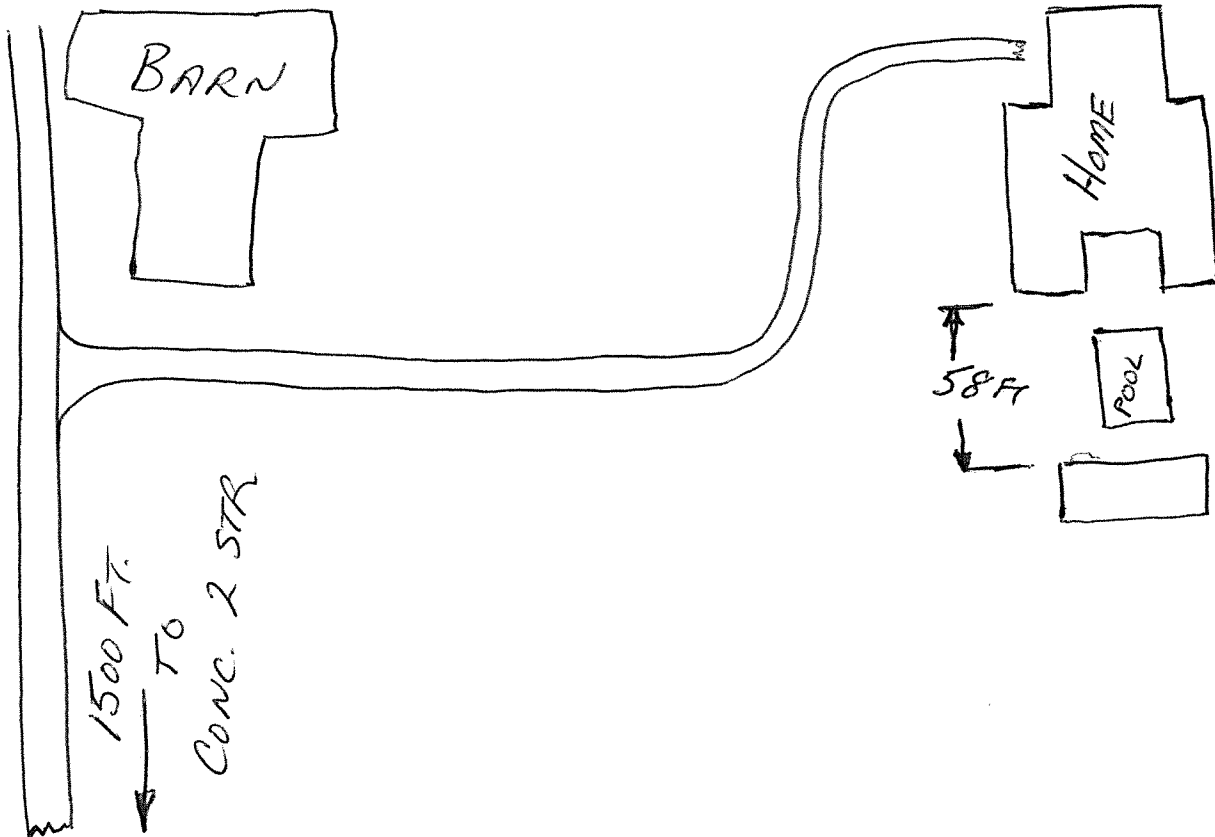
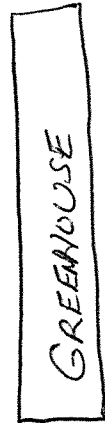
KILNS



BARN



GREENHOUSE



58 FT

PROPOSED
POOL HOUSE



Zoning Deficiency

Simcoe: St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: t St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 1521 2nd Concession Road STR

Legal Description:

Roll Number: 54107015800

Application #:

Information Origins: drawings supplied from DJ Design

Agricultural Zone (A)

	Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1	a) building height	6.00	7.25	1.25	m
	b) minimum front yard	13.00		N/A	m
	c) minimum exterior side yard	6.00		N/A	m
	d) minimum interior side yard	1.20		N/A	m
	e) minimum rear yard	1.20		N/A	m
	f) through lot distance to street line	6.00		N/A	m
	g) Lot coverage (Note: Proposed Area)				
	i) lot coverage	10.00		N/A	%
	ii) usable floor area	100.00	96.00	N/A	m.sq
3.36	Surplus Farm Dwelling Severance				
		200.00		N/A	m.sq
	b) existing accessory buildings/structures				

Comments

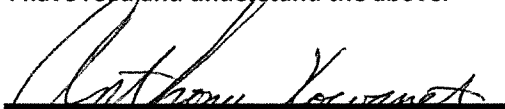
pool house to be treated as an accessory to the residence. Height is over the allowable 6m for an accessory structure


The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:


Roxanne Koot


I have read and understand the above.

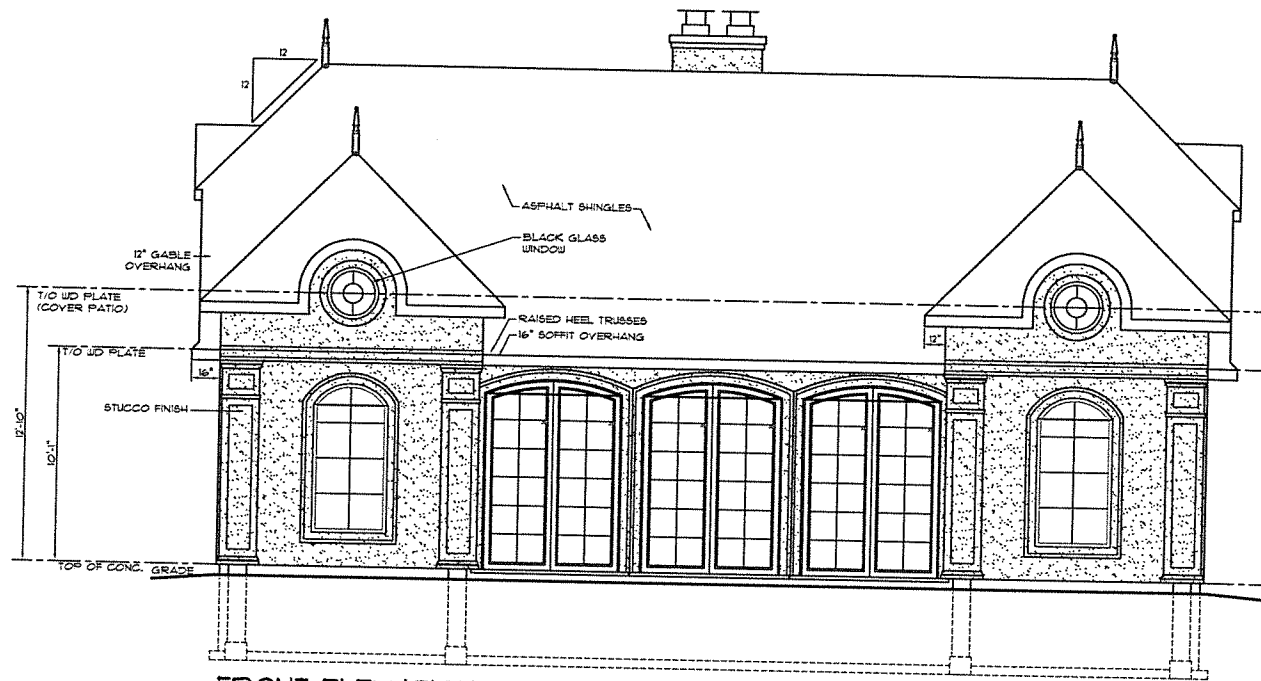

Signature of owner or authorized agent


date

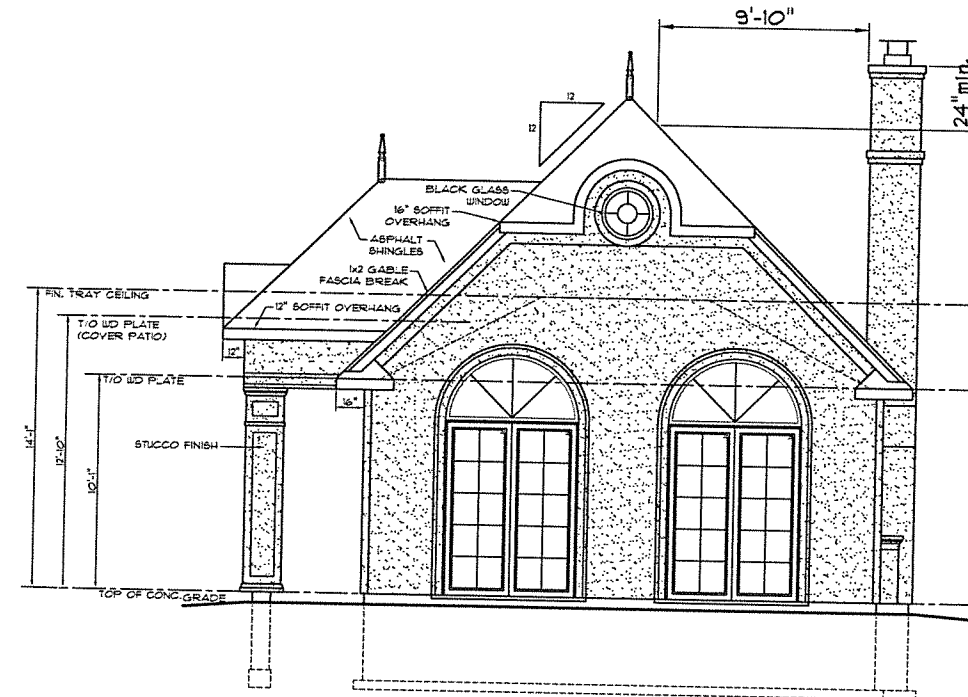
AS PER: Fritz R. Enzlin, CBCO,
CRBO - Chief Building Official
Manager, Building & Bylaw
Division, Norfolk County


Signature of Zoning Administrator

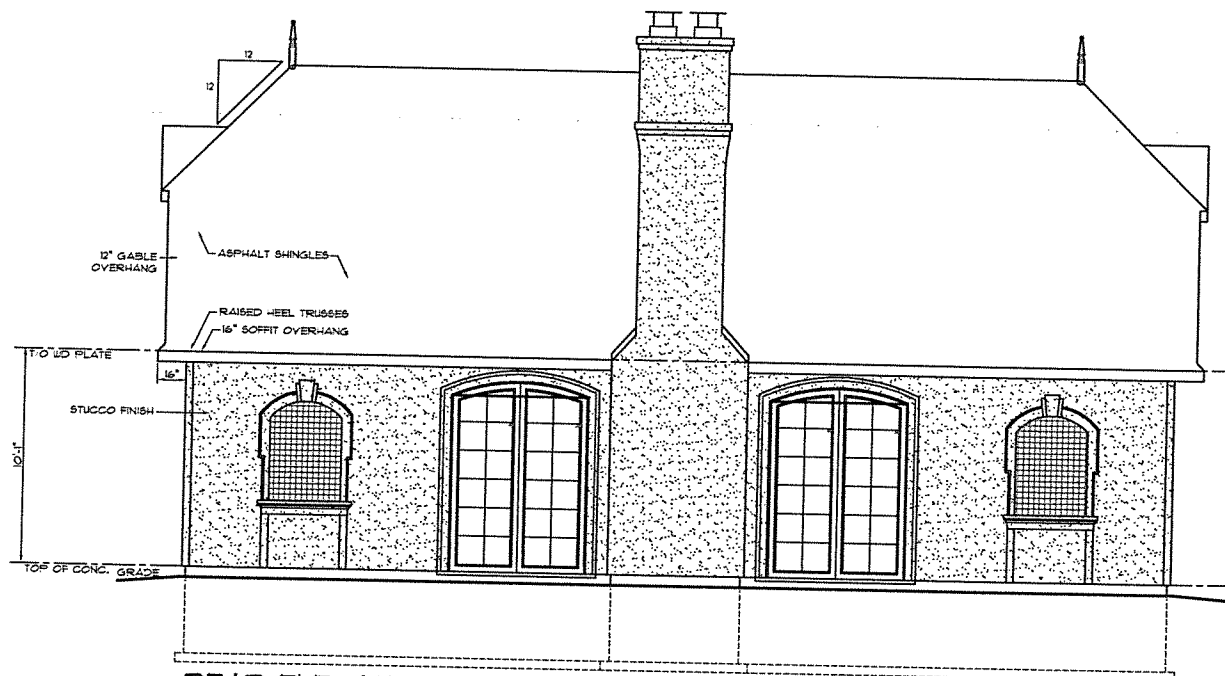

date



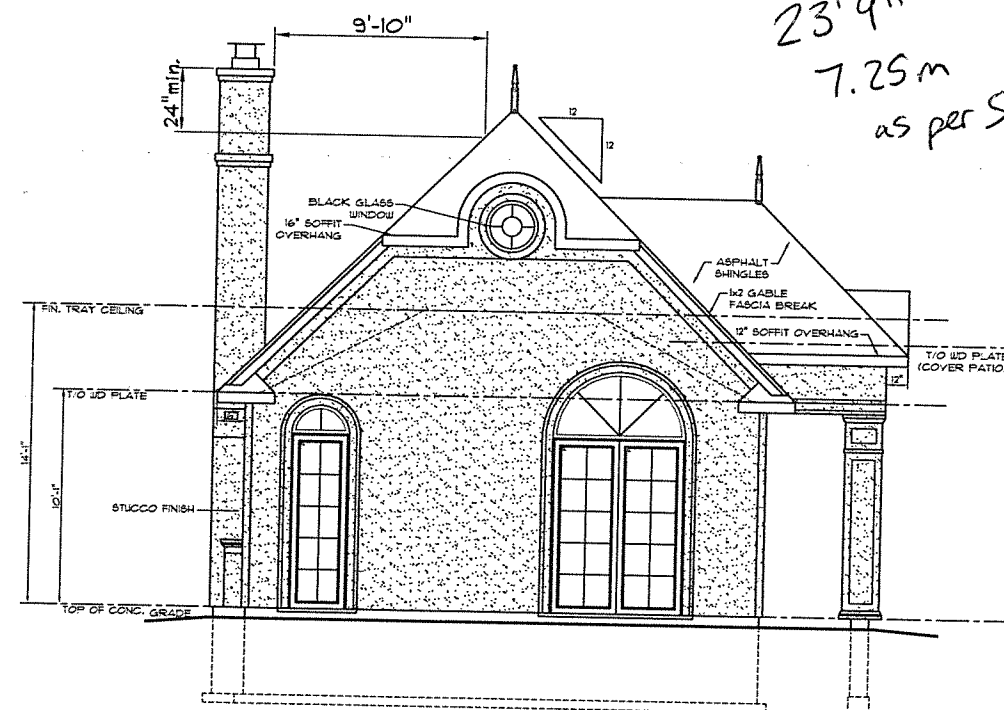
FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

23' 9"
7.25 m
as per Scott N

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE).
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 3000 psf
- CONSTRUCTION REQUIREMENTS: BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (305mm) LIFTS EVENLY AROUND STRUCTURE. COMPACT BACKFILL TO 95% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: TILLSONBURG

GROUND SNOW LOAD:	1.3 KPa (27.2 PSF)
SPECIFIED SNOW LOAD:	1.1 KPa (23.3 PSF)
DEAD LOAD:	0.48 KPa (10 PSF)
WIND LOAD (11/50):	0.44 KPa (9.2 PSF)

1" PER-FEET EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 10' o.c. ELL. IN POURED CONC. SLABS
ALL WOOD NO. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

PROPOSED POOL SHED FOR VANLAGEN HOMES
1571 CONCESSION RD #2 R/R#3

djDESIGN
Architectural • HVAC

Phone: (519) 539-9981 318 Hunter Street
Fax: (519) 539-1501 Woodstock, ON N4S 4G2
Email: plan@djdesign.ca www.djdesign.ca

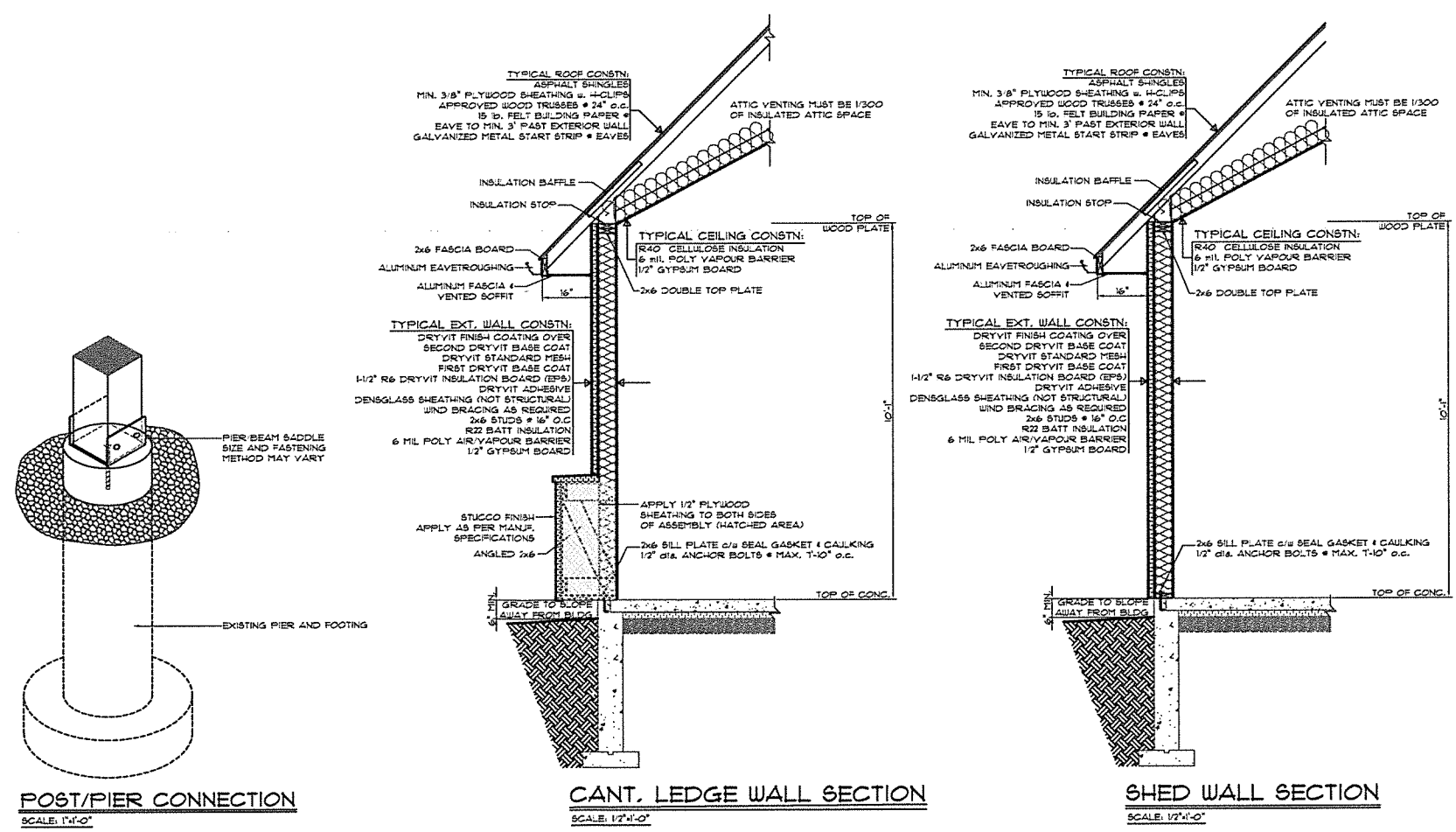
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C 3.2.5.1 OF THE BUILDING CODE

DEREK JUKEMA 21759
NAME SIGNATURE

ELEVATIONS

client no./drawing no. 1515-01-0304	scale: AS SHOWN
date: JANUARY 15, 2019	A-1
drawn by: T.A.	
designed by: T.A.	
checked by: ATU	



GENERAL NOTES

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- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) = 30 MPa (3000 psi)
- STEEL STRENGTH = 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY = 3000 psf
- CONSTRUCTION SEQUENCING:
BACKFILL INTERIOR OF BUILDING w/ COMPACTED SAND BACKFILL TO BE PLACED IN 1/3 (200) LFTS
EVENLY AROUND STRUCTURE
COMPACT BACKFILL TO 95% STANDARD PROCTOR
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1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' o.c. E.W. IN POURED CONC. SLABS
ALL WOOD NO. 3 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

PROPOSED POOL SHED FOR VANLAGEN HOMES

1521 CONCESSION RD. #2 RR#3

djDESIGN
Architectural • HVAC

Phone: (519) 539-9887
Fax: (519) 539-5001
E-mail: plans@djdesign.ca

378 Hunter Street
Woodstock, ON, N4S 4G3
www.djdesign.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C 3.1.3.1 OF THE BUILDING CODE

DEREK JUKEMA	21759
NAME	BCIN
SIGNATURE	

SECTIONS/DETAILS

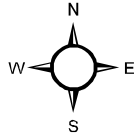
Client no./drawing no.	Scale:
15/5-02-0304	AS SHOWN
Date:	
JANUARY 18, 2018	
Drawn by:	
TA	
Designed by:	
TA	
Checked by:	
ATW	

A-3

MAP 1

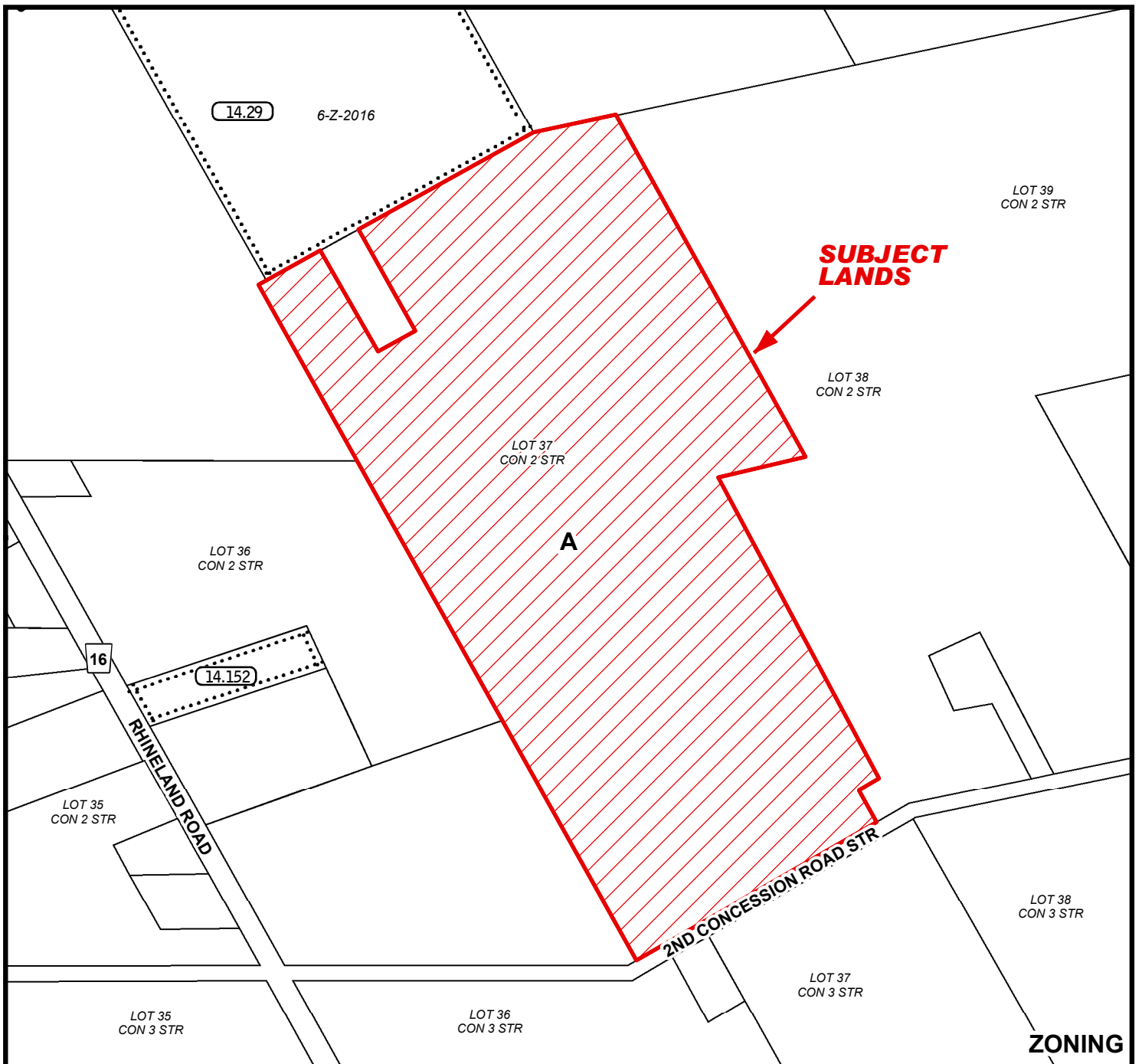
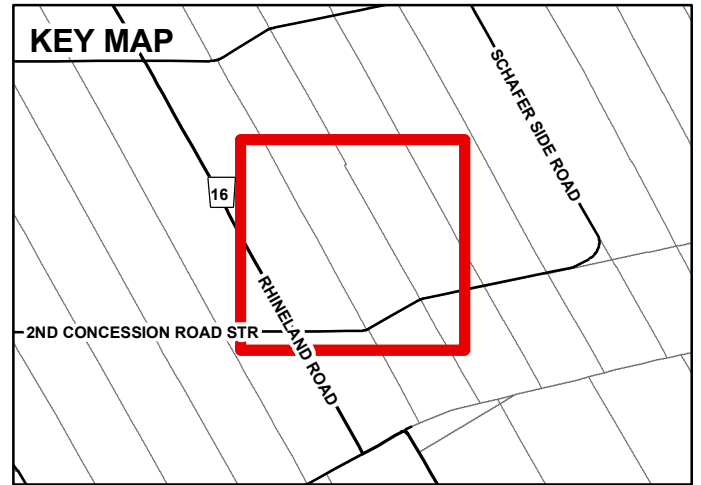
File Number: ANPL2018030

Geographic Township of
MIDDLETON



1:7,600

60 30 0 60 120 180 240 Meters



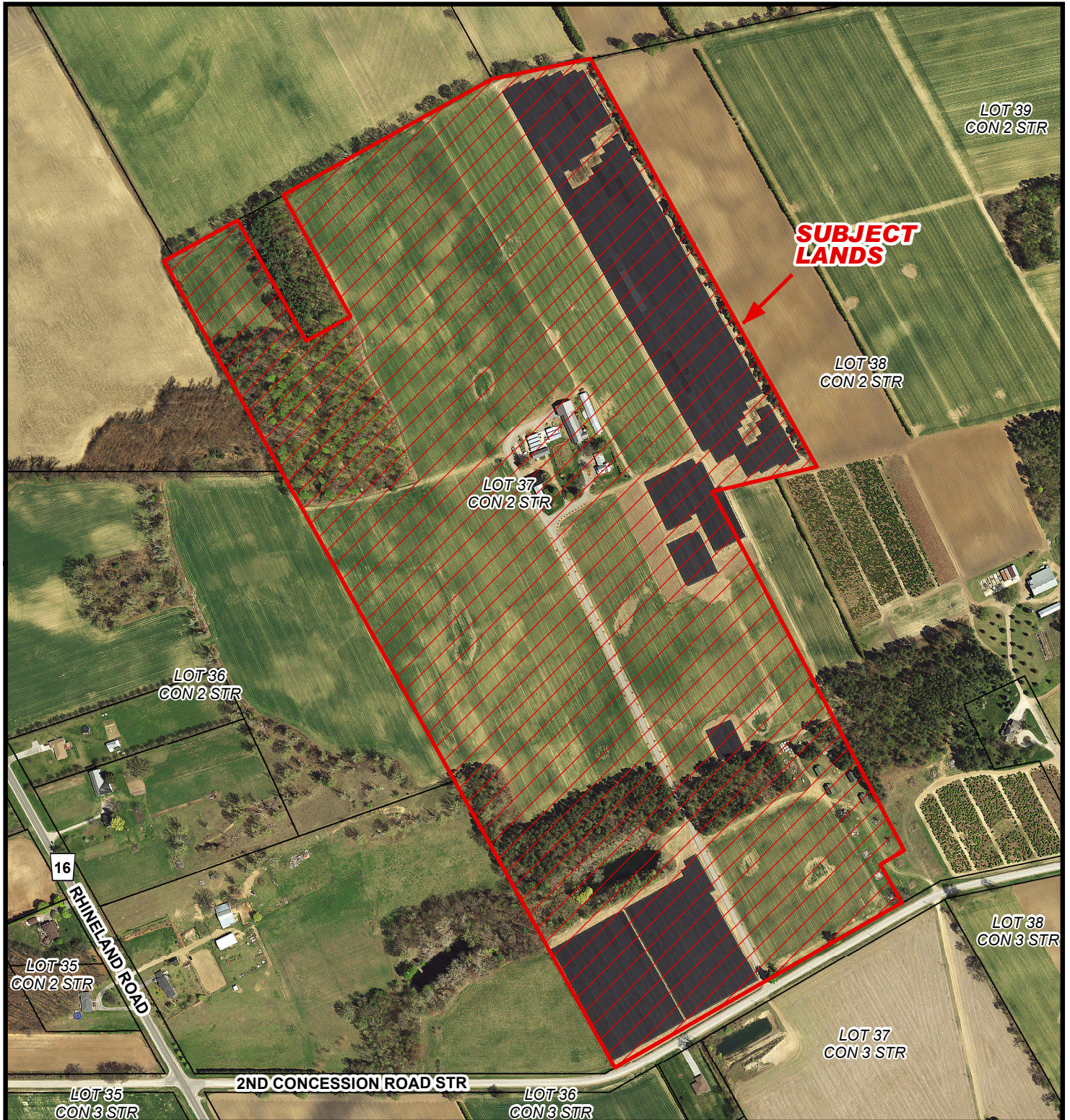
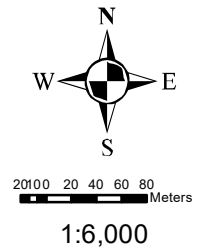
ZONING

2018-03-01

MAP 2

File Number: ANPL2018030

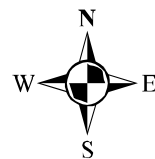
Geographic Township of MIDDLETON



MAP 3

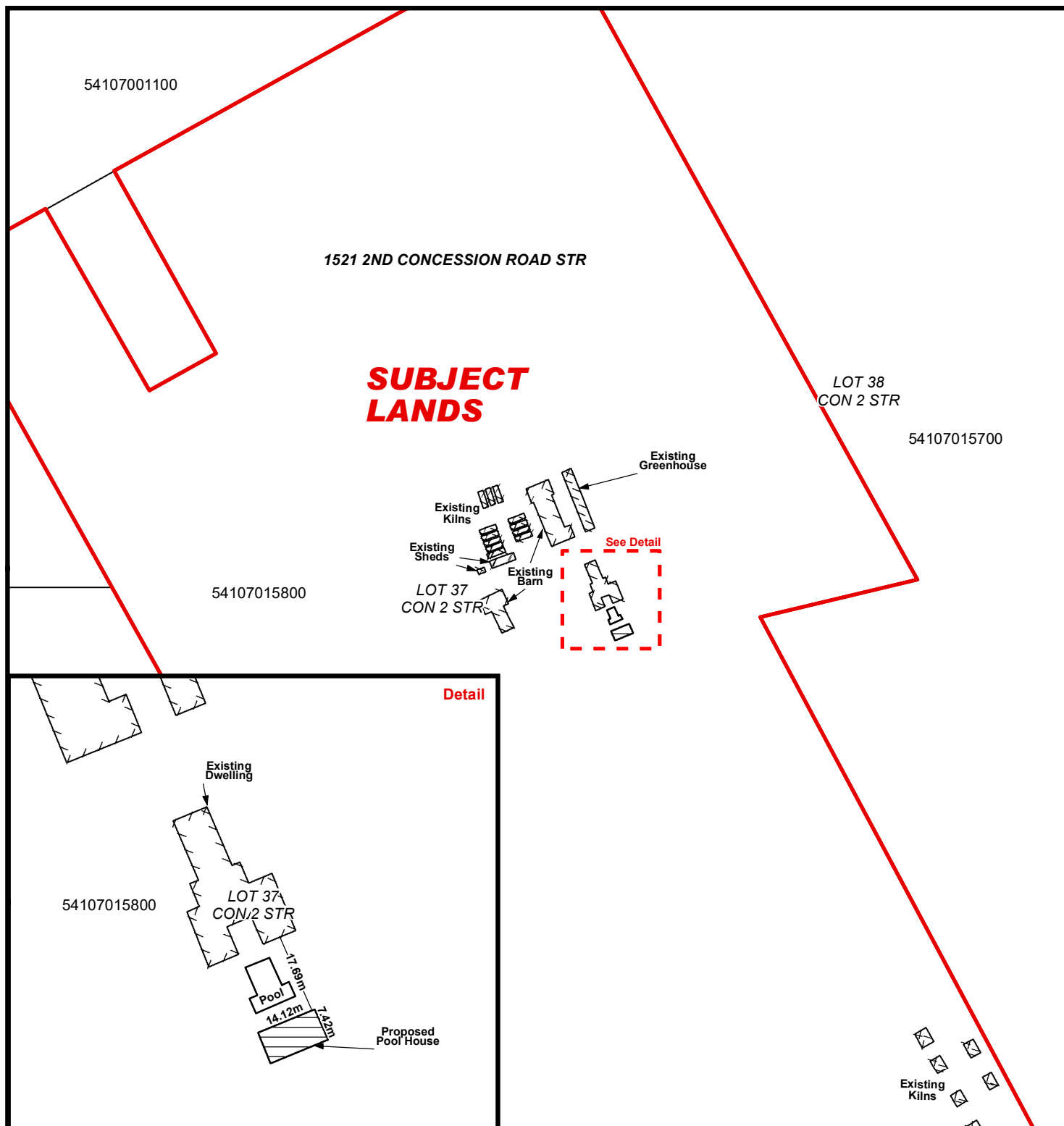
File Number: ANPL2018030

Geographic Township of MIDDLETON



10 20 30 40
Meters

1:4,000



LOCATION OF LANDS AFFECTED

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