

**For Office Use Only:**

File Number	<u>ANPL2018109</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>—</u>
Pre-consultation Meeting	<u>March 27/18</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>May 18/18</u>	Planner	<u>Steve</u>
Complete Application	<u>May 25/18</u>	Public Notice Sign	<u>Yes</u>

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 545-010-14710-0000

**A. Applicant Information****Name of Owner**Joel @ Kelly Jennings

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address**686, Norfolk County Rd #45**Town and Postal Code**Langton ON NOE 1G0**Phone Number****Cell Number**519-933-2909**Email**Joel.Jennings@ca.crh.com**Name of Applicant**Same as Above**Address****Town and Postal Code****Phone Number****Cell Number****Email**

Name of Agent Same as above  
Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

No encumbrances on subject land

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 13, Concession 2, Geographic  
Township of Haysden

Municipal Civic Address: 686 Norfolk county Rd #45

Present Official Plan Designation(s): \_\_\_\_\_

Present Zoning: Residential Hamlet

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

156 square metre Residence, one storey

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

not an addition

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

186 square metre garage, one storey

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

\_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:

\_\_\_\_\_

9. Existing use of abutting properties:

West & South of property is Agricultural; East is Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_

### C. Purpose of Development Application

Note: Please complete all that apply.

#### 1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m<sup>2</sup> or %, etc.

Lot frontage

119.31 m

Lot depth

60.96 m

Lot width

7301 m<sup>3</sup>

Lot area

Lot coverage

Front yard

Rear yard

Left Interior side yard

Right Interior side yard

Exterior side yard (corner lot)

#### 2. Please outline the relief requested (assistance is available):

1.93 m for building height  
36 m<sup>2</sup> for usable floor area

#### 3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law

building garage for storage and parking  
vehicles may need larger area than approved  
for Hamlet

#### 4. Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

5. Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed use: \_\_\_\_\_

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

**Note:** If additional space is needed please attach a separate sheet.

#### D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

*This land was always a field before  
The residents was built on it*

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

### E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☒ On the subject lands or ☐ within 500 meters – distance 12.9

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☒ within 500 meters – distance 225 m Reid's Pre-cast

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_



## F. Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water       | <input type="checkbox"/> Communal wells         |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal sewers                    | <input type="checkbox"/> Communal system        |
| <input checked="" type="checkbox"/> Septic tank and tile bed | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |   |  |
|---|--|
| <input type="checkbox"/> Storm sewers           | <input checked="" type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |  |
- 

2. Existing or proposed access to subject lands:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road             | <input type="checkbox"/> Other (describe below) |

Name of road/street:

Norfolk County Road 45

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## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form *site plan required for this*
- ☒ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

May 25/18  
\_\_\_\_\_  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Joel Jennings am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_  
Owner

May 25/18  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

K. Declaration

I, Joel Jennings of Norfolk county

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

[Signature]  
Owner/Applicant/Agent Signature

In Norfolk County

This 25<sup>th</sup> day of May

A.D., 20 18

[Signature]  
A Commissioner, etc.

Steven James Collyer,  
a Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires April 3, 2021.



## Zoning Deficiency

Simcoe: 185 Robinson St.  
Simcoe, ON  
N3Y 5L6  
519-426-5870  
Langton: 22 Albert St.  
Langton, On.  
N0E 1G0  
519-875-4485

### PROPERTY INFORMATION

Address: 686 Norfolk County Road 45

Legal Description:

Roll Number: 331054501014710

Application #:

Information Origins: site plan and foundation plan handed in by owner

	Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1	a) <i>building height</i>	6.00	7.93	1.93	m
	b) <i>minimum front yard</i>	6.00		N/A	m
	c) <i>minimum exterior side yard</i>	6.00		N/A	m
	d) <i>minimum interior side yard</i>	1.20		N/A	m
	e) <i>minimum rear yard</i>	1.20		N/A	m
	f) <i>through lot distance to street line</i>	6.00		N/A	m
	g) <i>Lot coverage (Note: Proposed Area)</i>				m.sq
	i) <i>lot coverage</i>	10.00		N/A	%
	ii) <i>usable floor area</i>	100.00	186.00	86.00	m.sq

Comments

Complete drawings not provided at this time. Assume a one storey building. If a floor is proposed as a 2nd storey storage this needs to be counted in useable floor area.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Koot

I have read and understand the above.

Signature of owner or authorized agent

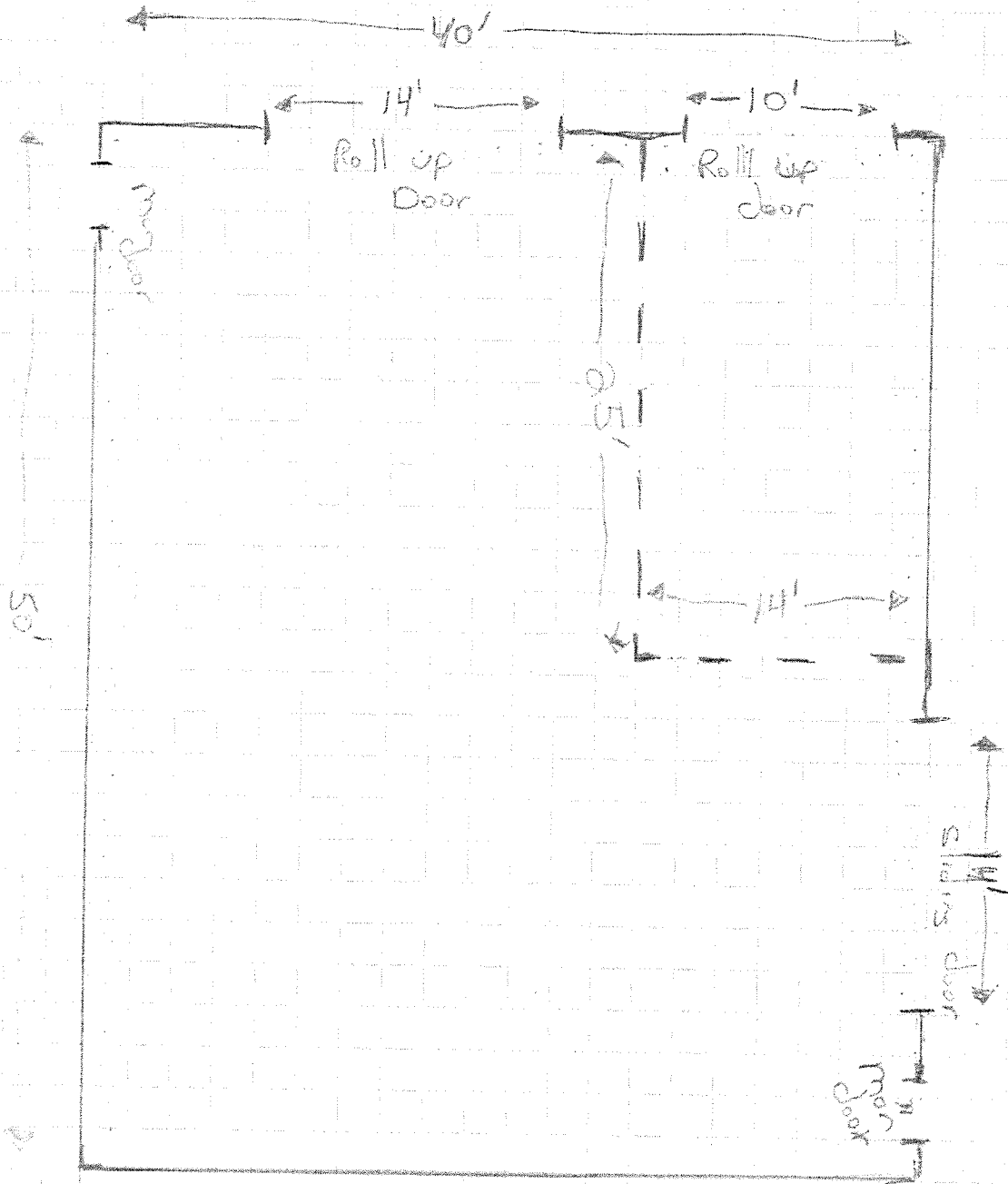
date

AS PER: Fritz R. Enzlin. CBCO,  
CRBO - Chief Building Official  
Manager, Building & Bylaw  
Division, Norfolk County





↑  
N



26' High



Working together with our community  
to provide quality services.

## Evaluation Form for Existing On-Site Sewage Systems

<b>OFFICE USE ONLY</b>		<b>FILE NO.:</b>		<b>DATE RECEIVED:</b>	
<b>PROPERTY INFORMATION</b>		Municipal Address: #686 County Road 45			
Owner: Joel Jennings		Lot: Pt. 13		Concession: 2 ENR	
Lot Area: 1.76 acres		Lot Frontage: 392 feet		Assessment Roll No. 545 010 14710 0000	
<b>PURPOSE OF EVALUATION</b>		<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____			
<b>BUILDING INFORMATION</b>		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural			
Building Area: 2000 ft <sup>2</sup>		No. of Bedrooms: Detached Garage		No. of Fixture Units: N/A	
<b>EVALUATOR'S INFORMATION</b>		Evaluator's Name: Barney Shepherd		Company Name: George Burnett Ltd	
Address: 303 Main St. of Cowland		Postal Code: N0J 1E0		Phone: 519-888-2133	
Email: burnettsltd@amtelcom.net		BCIN # 13456 / #17315			
<b>SITE EVALUATION</b>		Ground Cover (trees, bushes, grass, impermeable surface): Grass		Soil Type: Sandy Loam Greater	
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry		Depth of Water Table: than 5 ft.	
Surface Discharge Observed: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Odour Detected: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Current Weather (at time of evaluation): Sunny	
<b>SYSTEM EVALUATION</b>		Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)			
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____		Size: 800 Gal.		Pump: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Distribution System: <input checked="" type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		No. of Tile Runs: 6 runs		Total Length of Tile: 300 Feet	
Distance Between Tile Runs: 6 Feet					
Tile Material: <input checked="" type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other _____		Ends: <input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined		Cover: <input type="checkbox"/> Filter Cloth <input checked="" type="checkbox"/> Sand <input type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded	
<b>Setbacks:</b>		<b>Tank</b>		<b>Distribution Pipe</b>	
Distance to Buildings & Structures (ft)		7 Feet		17 Feet	
Distance to Bodies of Water (ft)		NA		NA	
Distance to Nearest Well (ft)		103 Feet		112 Feet	
Distance to Property Lines		Front 133' Rear 59' Side 170' Side 223'		Front 150' Rear 13' Side 136' Side 207'	



Working together with our community  
to provide quality services.

## Instructions for completing the Evaluation Form for Existing On-Site Sewage Systems

### General Information Applicable to Sewage Evaluations:

1. Please complete the following form by checking appropriate lines and filling out blanks.
2. This Evaluation Form must be completed by a "Qualified" person engaged in the business of constructing on site, installing, repairing, servicing, cleaning or emptying sewage systems.
3. If sewage system malfunctions are found during an evaluation (surfacing or discharge of improperly treated sewage effluent) which indicate a possible health hazard or nuisance, orders may be issued for correction.
4. Evaluations should be scheduled accordingly so as not to delay the application process.
5. Completed Forms MUST be submitted **no later than 30 days** prior to the scheduled public meeting. Failure to meet this date may cause the application to be deferred.
6. Completed Forms must be returned to:

### Building Division

Simcoe Office  
8 Schellburg Ave.  
Simcoe, ON N3Y 2J4  
Fax: (519) 426-1186

Langton Office  
22 Albert St.  
Langton, ON N3Y 2J4  
Fax: (519) 875-4789

7. Evaluation Forms will become part of the property records of Norfolk County Building Division.
8. No On-Site Sewage System Evaluation will be conducted where:
  - snow depth exceeds two (2) inches
  - where grass and brush exceeds twelve (12) inches, or
  - where a building served by the existing system has not been occupied for ninety (90) days.
9. The comments that are given as a result of this evaluation are rendered without complete knowledge or observation of some of the individual components of the sewage system and applies only to the date and time the evaluation is conducted.

**OVERALL SYSTEM RATING**

System has been maintained properly since original installation, system in good condition

☒ System Working Properly / No Work Required☐ System Functioning / Maintenance Required☐ System Not Functioning / Minor Repair Required☐ System Failure/Major Repair / Replacement Required**Note:**

Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-4377 for more information.

**Additional Comments:**

Recommended to owner that new risers of existing tank to ground level be installed, this is not a requirement just good practice.

**VERIFICATION****OWNER:**

The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.

I, Joel Dennis (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.

Owner Signature

Date

April 23/18**EVALUATOR:**

1. I, Barney Shephard declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system.

Evaluator Signature

Date

April 23, 2018**BUILDING DIVISION COMMENTS**

Comments: \_\_\_\_\_

I, \_\_\_\_\_ have reviewed the information contained in this form as submitted.

Chief Building Official or designate

Date



# On Site Sewage Disposal System Location Plan

DATE: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

OWNER Joel Jennings

EVALUATOR Barney Shepherd

PROPERTY ADDRESS #686 Norfolk County Rd 45

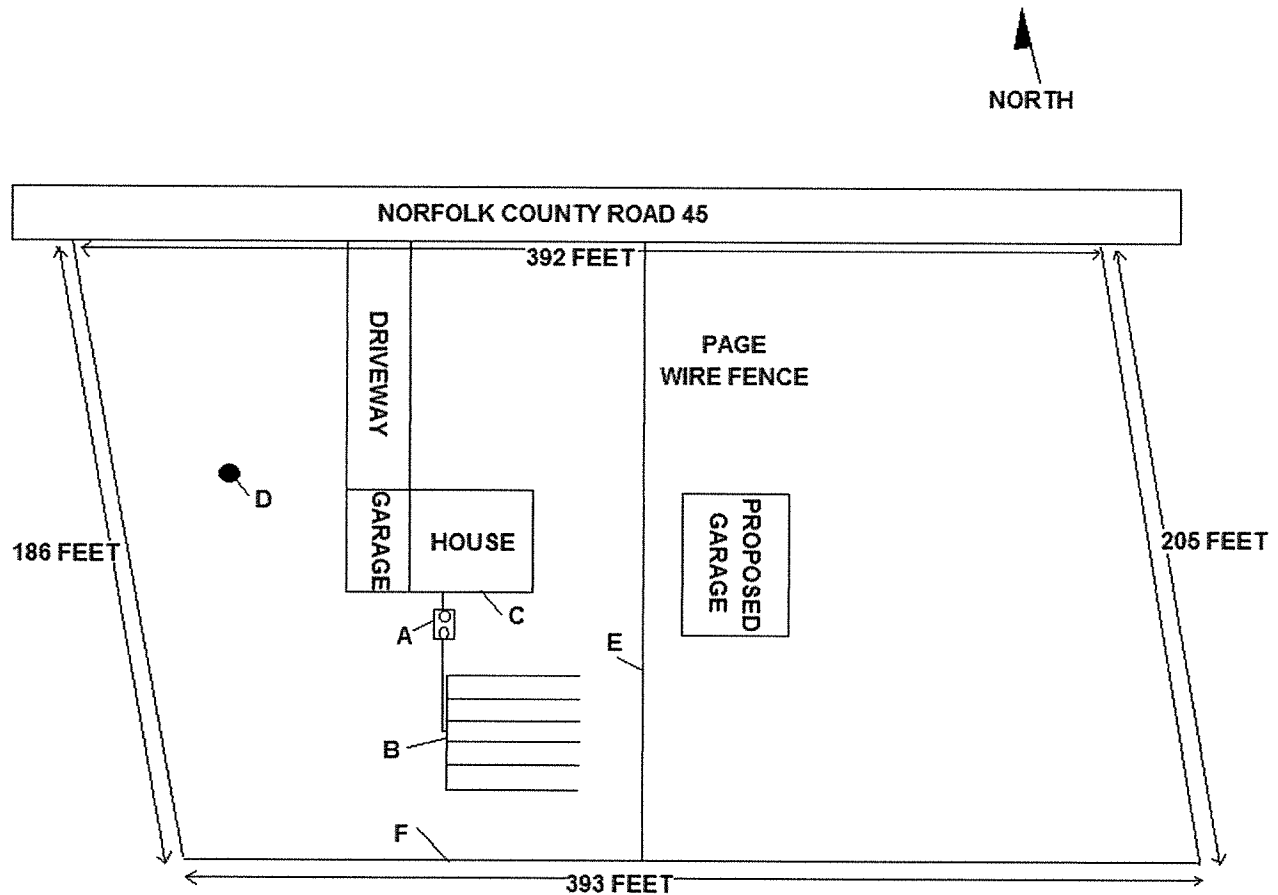
Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.

See  
Attached  
Diagram

PREPARED BY: B. S. M.

NOTE: The above sketch is not to exact scale.

**SEWAGE SYSTEM EVALUATION DIAGRAM**  
**LOCATION : #686 NORFOLK COUNTY ROAD 45**  
**OWNER : JOEL JENNINGS**  
**EVALUATOR : BARNEY SHEPHERD**  
**COMPANY : GEORGE BURNETT LTD.**  
**DATED : APRIL 23, 2018**



A : EXISTING 3600 LITER SEPTIC TANK  
 B : EXISTING TILE BED - 6 RUNS OF 50 FEET ON 6 FOOT CENTERS  
 C : BACK OF HOUSE  
 D : OPEN / DUG WELL  
 E : PAGE WIRE FENCE  
 F : SOUTH PROPERTY LINE

A TO C = 7 FEET  
 B TO C = 17 FEET  
 A TO D = 103 FEET  
 B TO E = 14 FEET  
 B TO F = 13 FEET

PROPOSED GARAGE TO PAGE WIRE FENCE = 10 FEET  
 PROPOSED GARAGE TO SOUTH PROPERTY LINE = 40 FEET  
 PROPOSED GARAGE TO NORTH PROPERTY LINE = 95 FEET

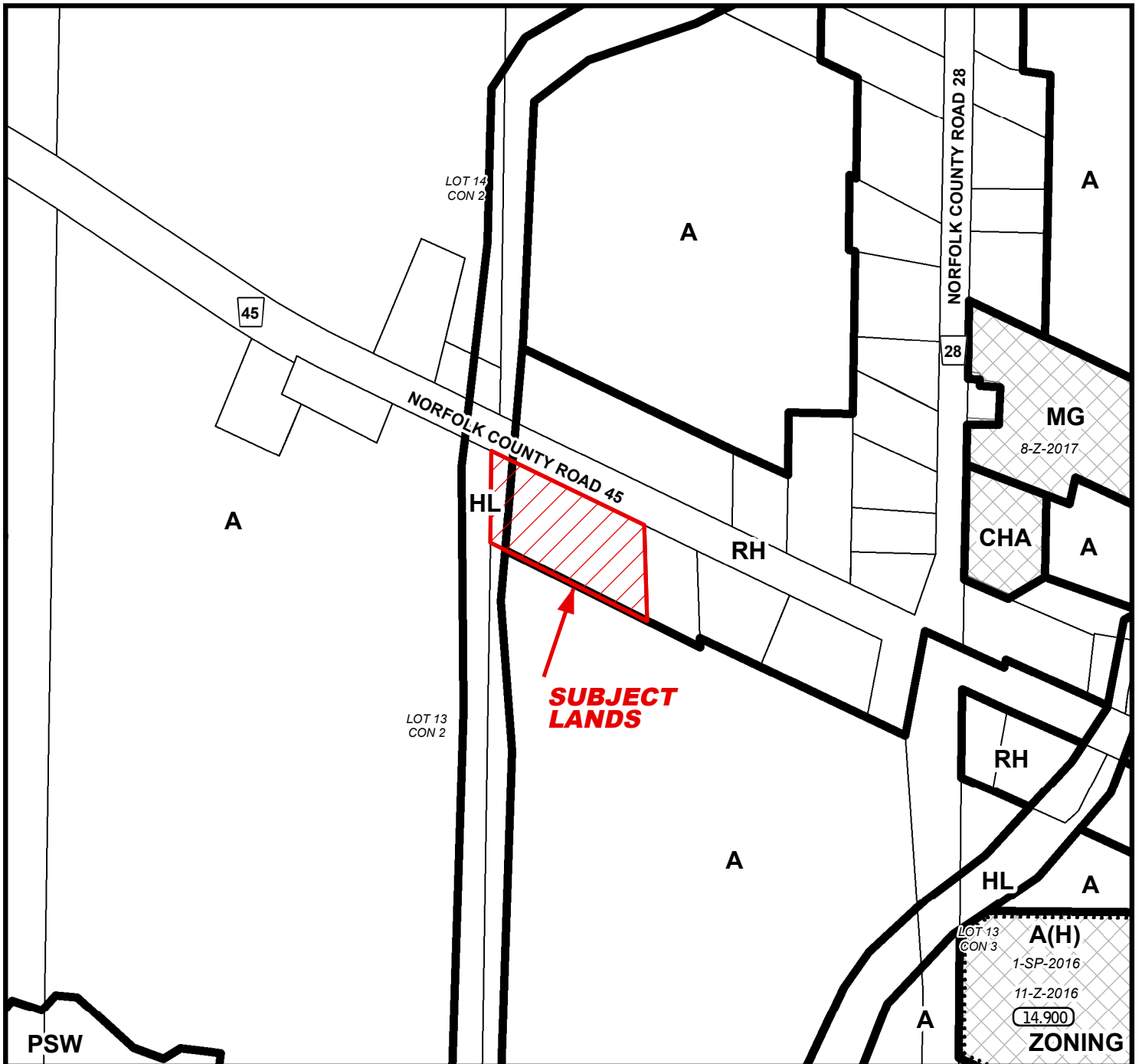
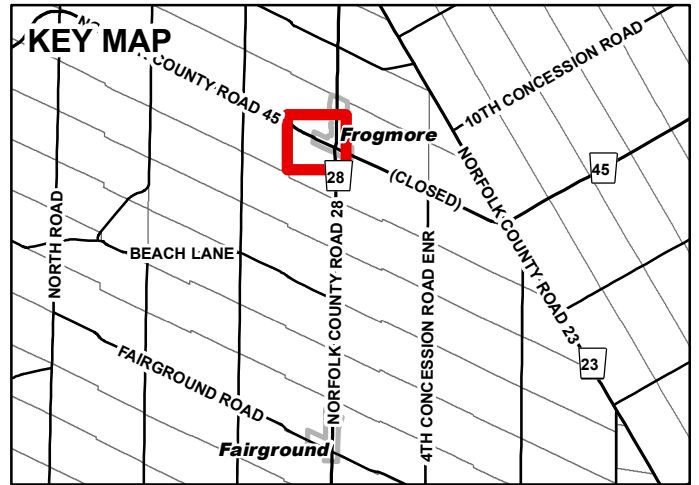
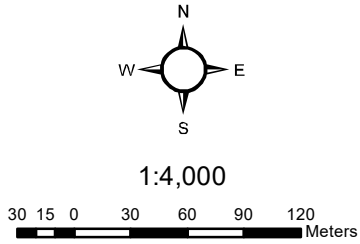


# MAP 1

## File Number: ANPL2018109

Geographic Township of

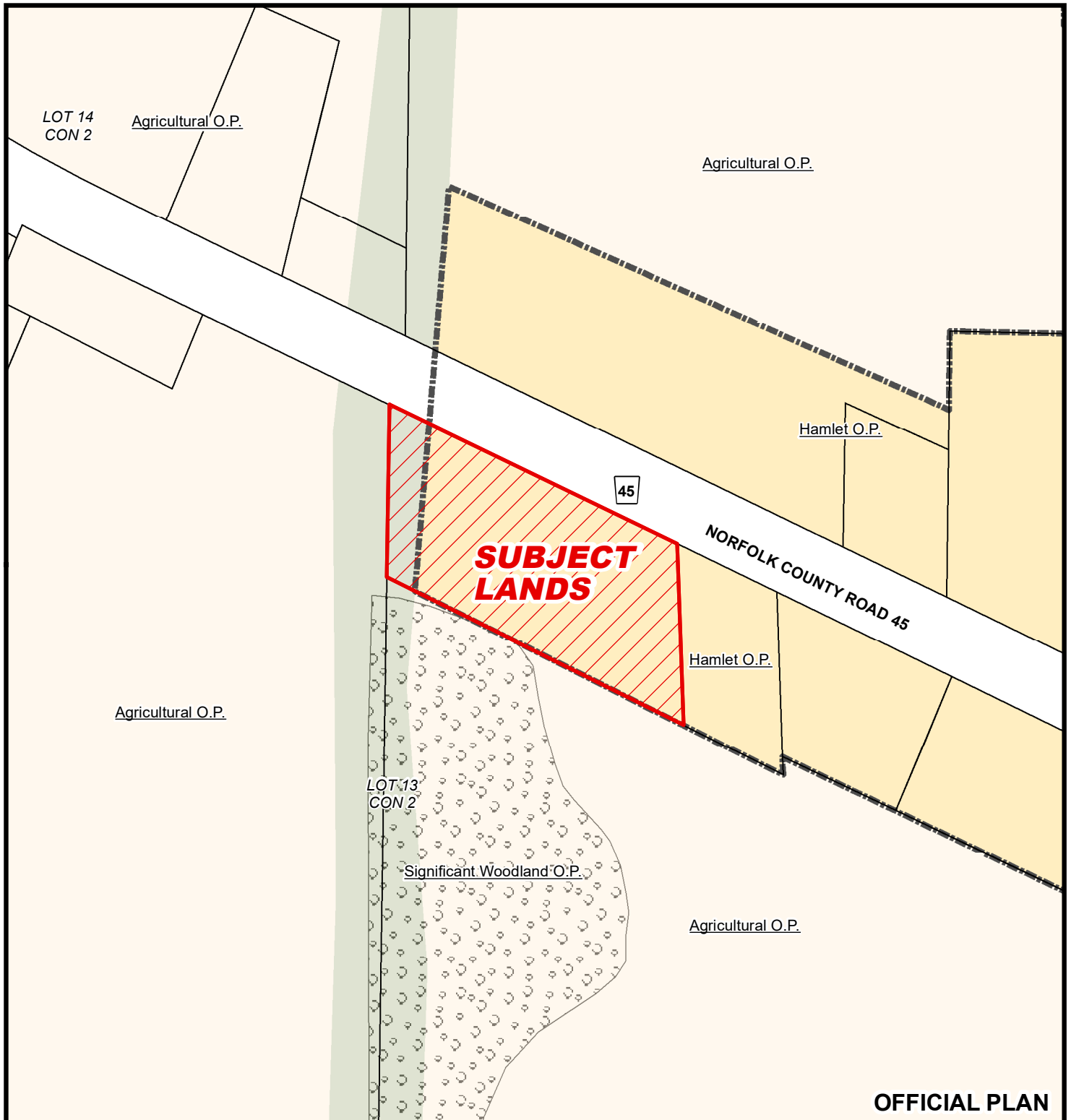
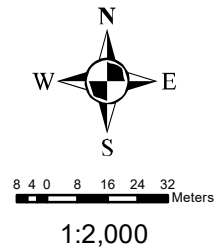
### HOUGHTON



# MAP 2

File Number: ANPL2018109

Geographic Township of HOUGHTON

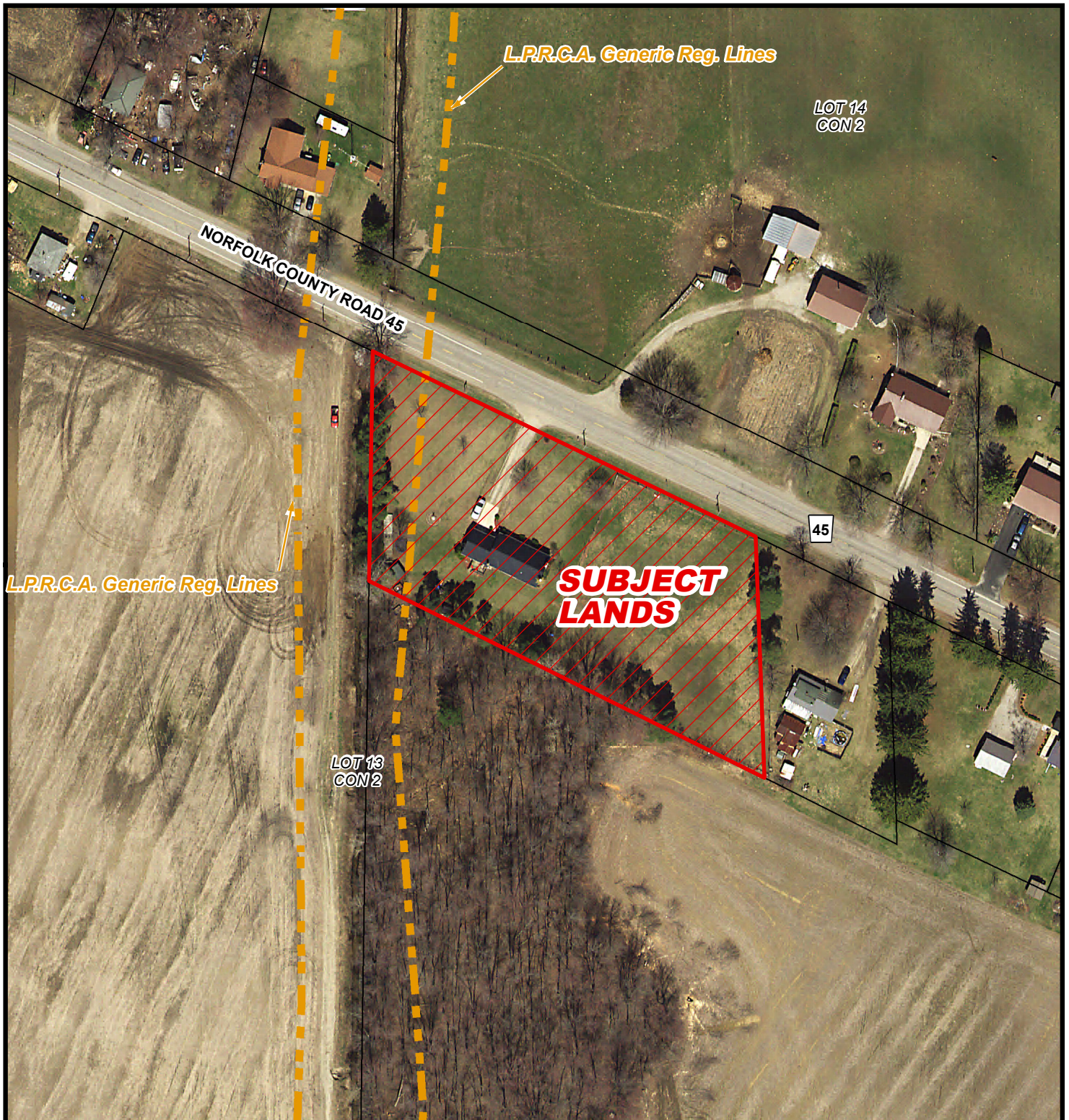
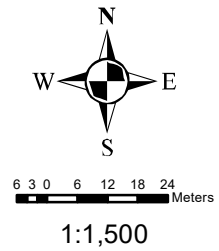




# MAP 3

File Number: ANPL2018109

Geographic Township of HOUGHTON

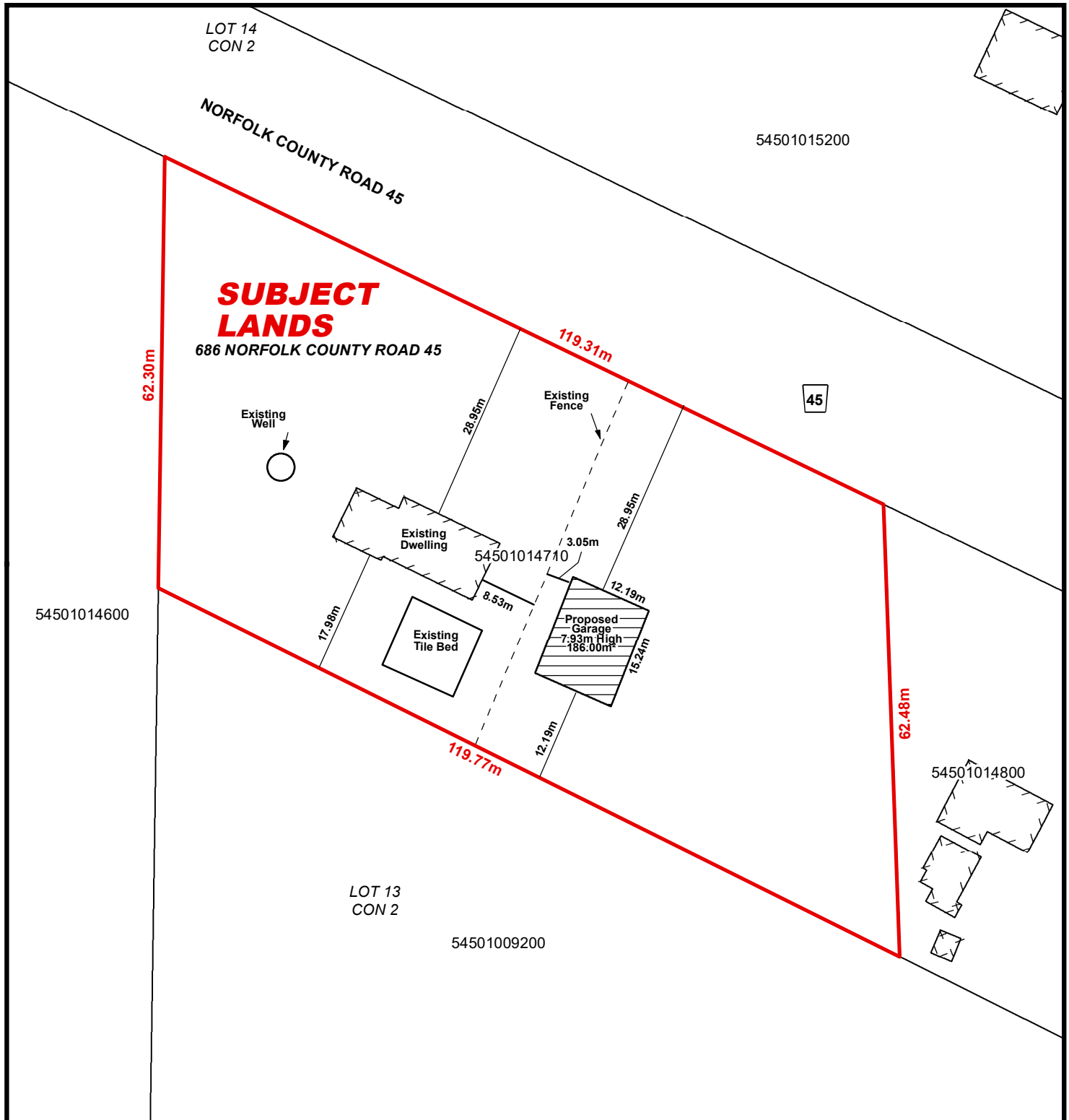
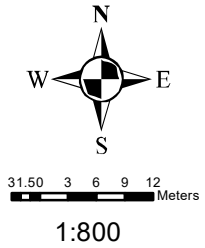




# MAP 4

File Number: ANPL2018109

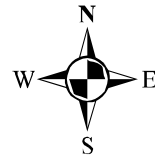
Geographic Township of HOUGHTON



# LOCATION OF LANDS AFFECTED

File Number: ANPL2018109

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31.50 3 6 9 12 Meters

1:800

