

For Office Use Only:

File Number	<u>ANPL2018132</u>	Application Fee	<u>Fee waived by Pam</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>—</u>
Pre-consultation Meeting	<u>—</u>	OSSD Form Provided	<u>—</u>
Application Submitted	<u>June 12/18</u>	Planner	<u>Steve</u>
Complete Application	<u>June 12/18</u>	Public Notice Sign	<u>Yes</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 543-050-35300-0000**A. Applicant Information****Name of Owner** Kevin and Elizabeth Bain

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 25 Hastings Drive**Town and Postal Code** Port Rowan NOE 1M0**Phone Number** _____**Cell Number** 226-931-1276**Email** kevinbain54@gmail.com**Name of Applicant** Kevin and Elizabeth Bain**Address** 25 Hastings Drive**Town and Postal Code** Port Rowan NOE 1M0**Phone Number** _____**Cell Number** 226-932-1276**Email** kevinbain54@gmail.com

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.



Owner



Agent



Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lots 55 and 56, Plan 206

Municipal Civic Address: 25 Hastings Drive

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential (RR) with Special Provision 14.2

2. Is there a special provision or site specific zone on the subject lands?



Yes



No

If yes, please specify:

Section 14.2 (c) of the Zoning By-law permits one accessory garage

3. Present use of the subject lands:

Cottage

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Cottage and Storage Shed as shown on attached plan and will be retained

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Detached Garage 6.096 m (20 ft) x 6.096m (20 ft) as shown on the attached plan

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
80 years

9. Existing use of abutting properties:
cottages

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	30.48 metres	30.48 metres
Lot depth	30.48 metres	30.48 metres
Lot width	30.48 metres	30.48 metres
Lot area	929.03 sq. metres	929.03 sq. metres
Lot coverage	12.71%	16.71%
Front yard		0 m - from garage
Rear yard		24.3m-from garage
Left Interior side yard		22.8m-from garage
Right Interior side yard		1.52m-from garage
Exterior side yard (corner lot)		

RB
(proposed garage @ 4% lot coverage)

Layout Plan and Survey Attached

2. Please outline the relief requested (assistance is available):

Permission to construct a detached garage 6.096m (20) ft X 6.096m (20 ft) in the Front yard with a setback of 0 metres from the front lot line rather than the required 6 metres.

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

A garage can not be constructed in the rear yard due to location of the lake and the proposed garage location is in accordance with the approved permit from the Long Point Region Conservation Authority.

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____
Depth: _____
Width: _____
Area: _____
Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (i.e., corn, orchard etc) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Property has be used as a cottage since 1938

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No



E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

Permit No. LPRCA-311/17 has been issued by the LPRCA For the proposed garage (Permit Attached)

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance ~30m

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☐ Individual wells sand point ☒ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☒ Other (describe below)
Natural drainage on sandy soil

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Hastings Drive

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

1. Approval received From LPRCA
2. Letters of support From abutting property owners (Attached)
3. Committee of Adjustment approval in 1989 for a 6ft setback for a cottage (Approval Attached)
4. Proposed Garage would be setback 22.25m From paved portion of Hastings Dr

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Kevin Bain Egypta Bain June 12, 2018
Owner/Applicant/Agent Signature Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Kevin Bain and Elizabeth Bain am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Kevin Bain June 12, 2018
Owner Date
Egypta Bain June 12, 2018
Owner Date

K. Declaration

We, Kevin Bain and Elizabeth Bain of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

Kevin Bain Elizabeth Bain

Owner/Applicant/Agent Signature

In Norfolk County

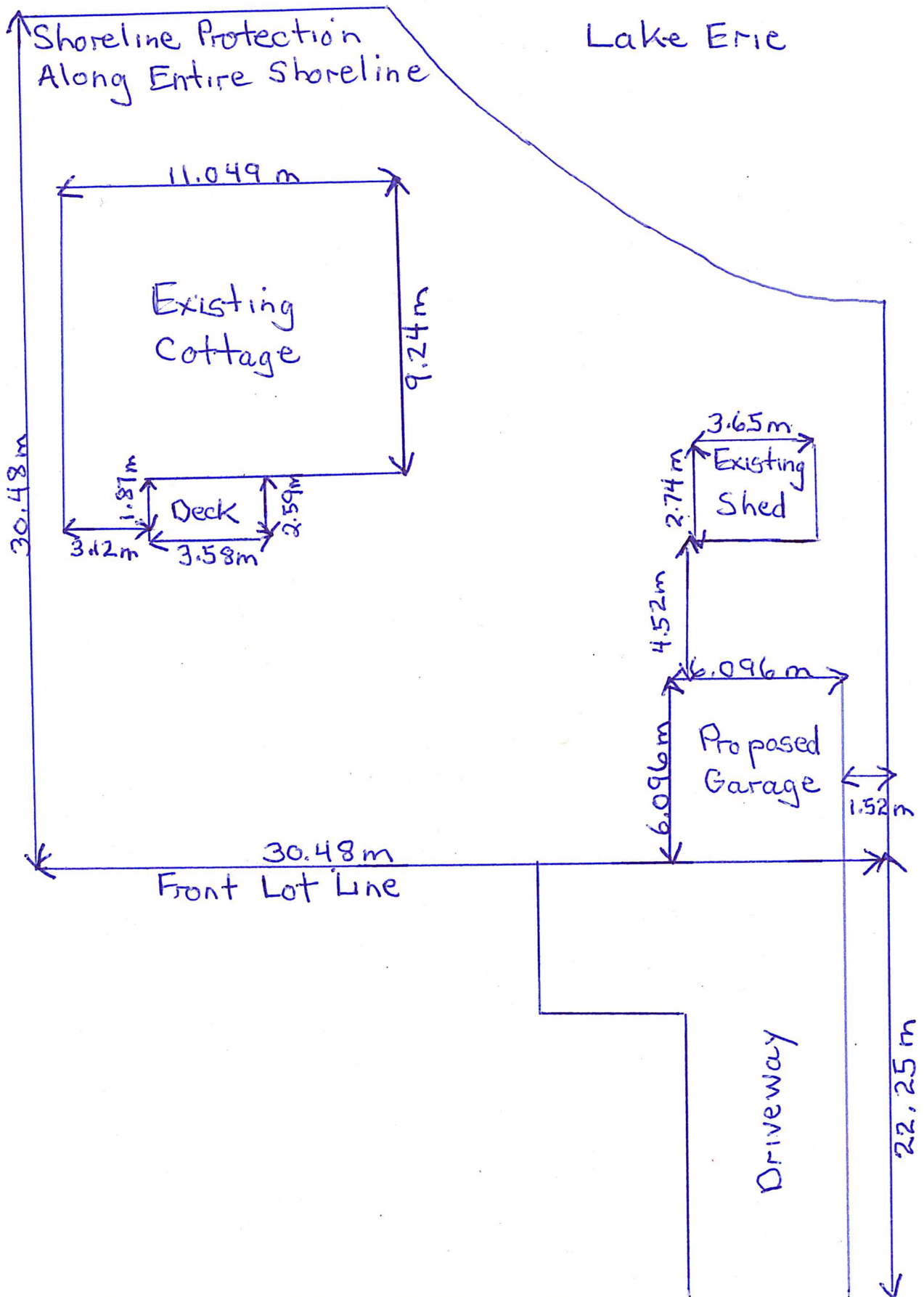
This 12th day of June

A.D., 20 18

[Signature]

A Commissioner, etc.

Steven James Collyer,
a Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires April 3, 2021.



PAVED PORTION OF HASTINGS DRIVE

Owner

W. Blacklock
Owner and Executor for the
estate of C.A. Blacklock

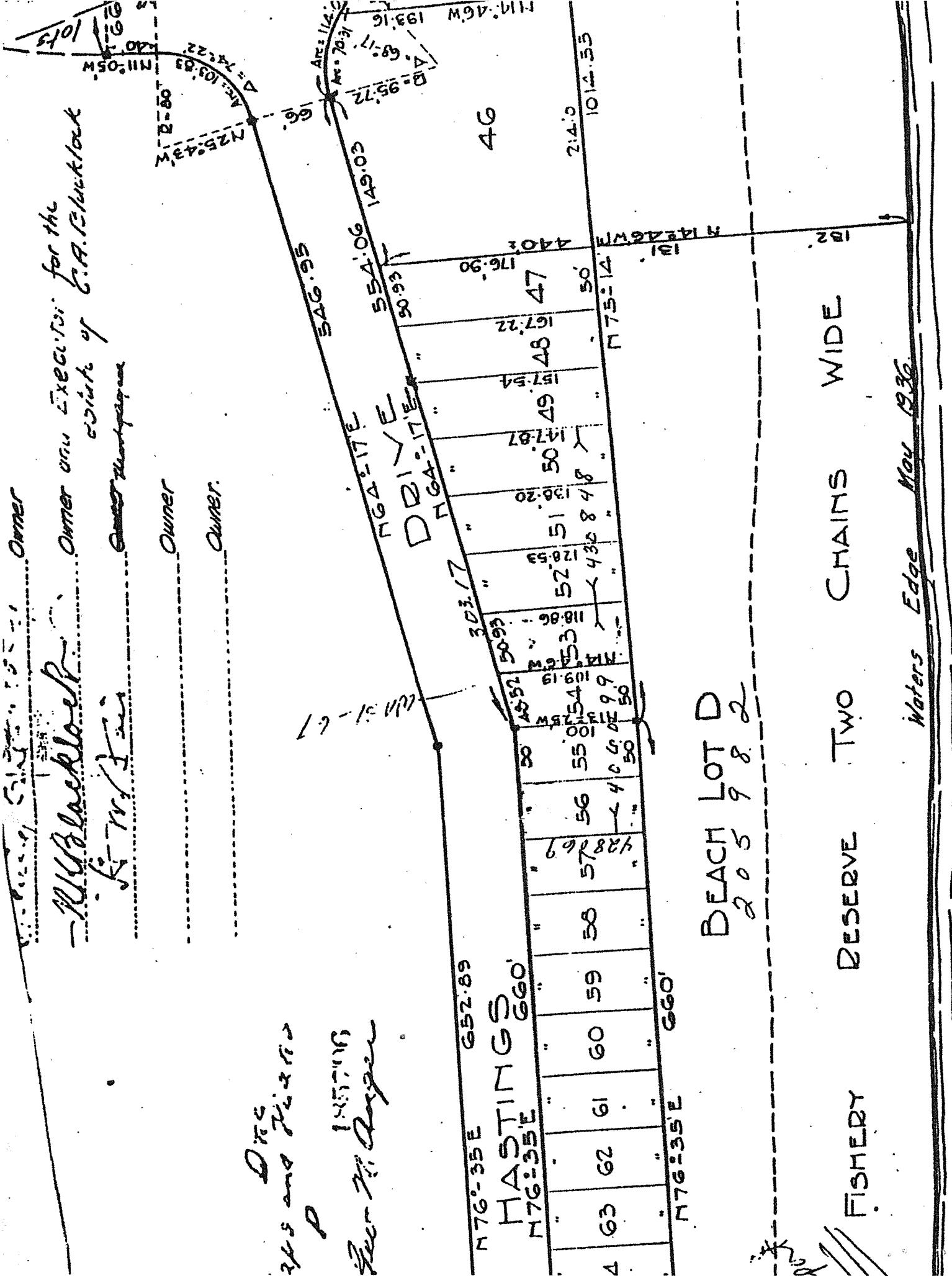
K. W. Fair

Owner

Owner

Dr. C.
H. and H. H. H.

1875-1876
Gen. H. Rogers



HASTINGS
660'

BEACH LOT D
205 982

FISHERY

RESERVE

TWO

CHAINS

WIDE

Waters Edge Nov 1936

Note:



Long Point Region Conservation Authority

PERMIT No. LPRCA-311/17

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street

Tillsonburg, ON

N4G 0C4

Phone (519) 842-4242

Fax (519) 842-7123

www.lprca.on.ca

Permission has been granted to:

Owner:	Kevin & Elizabeth Bain	Telephone:	226-931-1276
Address:	25 Hastings Drive	Postal Code:	N0E 1M0
	Port Rowan, ON		
Agent :	same as above	Telephone:	
Address:		Postal Code:	
Location/Address of works:	25 Hastings Drive; 33.10.543.050.35300		
Lot: 55 & 56	Plan: 206	Municipality: Norfolk	Watershed: Lake Erie
Description of Works:	Construct a 37m ² single-storey detached garage.		
Type of fill:	n/a		

This permit is valid on the above location only for the period of:

DATE: November 15, 2017 to November 15, 2019

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS :

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated November 13, 2017 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

NOV 13 2017

ACTION

FILE

PAID

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA - 311/17

Office Use Only

Applicant/

Owner's Name:

Kevin and Elizabeth Bain

Mailing Address:

25 Hastings Drive

Street Address

P.O. Box

Apartment/Unit #

Port Rowan

Ontario

NOE 1M0

City/Town

Province

Postal Code

Primary Phone:

226-931-1276

Alternate Phone:

226-931-6488

Email:

kevinbain54@gmail.com

Agent's Name:

☐

Check if same as above

Mailing Address:

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone:

Alternate Phone:

Email:

Location of Proposed Work

Lot: 55 and 56

Concession/Plan:

206

Municipality:

Norfolk County

Municipal Address:

25 Hastings Drive

Street Address

Tax Assessment Roll Number:

543-050-35300-0000

Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☒ Site grading
- ☒ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe)

Quantity of fill:

Proposed square footage:

400 sq. Ft.

Existing square footage:

1,163 sq. Ft. (cottage)
108 sq. Ft. (shed)
80 sq. Ft. (shed)

Description of Proposed Works:

Construction of an one storey detached garage
including the necessary grading for this project

PROPOSED START DATE: June 1, 2018

PROPOSED COMPLETION DATE: September 1, 2018

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Kevin Bain Elizabeth Bain
Applicant Signature

November 13, 2017
Date

Agent Signature

Date

**Development, Interference with Wetlands and Alterations to Shorelines and Watercourses
Ontario Regulation 178/06**

PROPERTY OWNER AUTHORIZATION

Subject Property _____

Property Location _____

Municipal Address or Lot and Concession or Lot and Plan

Municipality _____

Community _____

I/We _____

Hereby authorize _____

To provide as my agent any required authorizations or consents, to submit the enclosed application to the Long Point Region Conservation Authority, and to appear on my behalf at any hearing(s) of the application and to provide any information or material required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulation 176/06 as amended.

Signature of Owner: _____

Date: _____

APPLICATION FORM INSTRUCTIONS

- | | |
|-------------------------|--|
| Owner | The legal owner(s) of the property where the proposed development or alteration will be carried out. |
| Applicant | If the applicant is not the same as the property owner, written authorization is required from all property owners on whose property the proposed work will be carried out. The authorization(s) must be submitted with the application. |
| Agent | If the applicant has assigned another party as an agent to act on the applicant's behalf for the project, written authorization from the applicant is required so stating. |
| Quantity of Fill | Approximate quantity expressed in cubic metres, cubic yards, truck loads (12 yards) or tandem truck loads (18 yards) |
| Floor area | For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks or porches. |

APPLICATION CHECKLIST

Office Use Only
Application # <u>LPRCA-311/17</u>
List Issued: _____

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, or by fax, email or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

Applicable	Submitted	
------------	-----------	--

- | | | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | A completed, signed and dated application form; |
| <input type="checkbox"/> | <input type="checkbox"/> | Written authorization (if the applicant is not the owner of the property where the work is being done) |
| <input type="checkbox"/> | <input type="checkbox"/> | Written authorization (if the property owner is assigning another party as an agent for the project); |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Application fee (see fee schedule, fees subject to change without notice); |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | A scaled and detailed site plan; |
| <input type="checkbox"/> | <input type="checkbox"/> | A scaled cross-sectional drawing and floor plans; |

Drawings: One copy of all project drawings, reports, unless otherwise requested. Hardcopy drawings must be provided and readable on sheets no larger than 11" x 17". Electronic submission of drawings and reports is preferred. The drawings should include (either as part of the illustration or as notes).

- | | | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Legal description of the property (e.g. roll number, lot, concession, municipality); |
| <input type="checkbox"/> | <input type="checkbox"/> | Scale, date, and directional arrow; |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Dimensions of the property (a copy of a legal survey may be required); |
| <input type="checkbox"/> | <input type="checkbox"/> | Location, dimensions and geodetic elevations of all existing and proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes on or adjacent to the property; |
| <input type="checkbox"/> | <input type="checkbox"/> | Location and type of sediment and erosion control measures (e.g. silt fence) and soil stabilization measures (e.g. seeding, sodding, planting) |

Technical reports: One or more of the following technical reports may be required (as advised by LPRCA staff).

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations). |
| <input type="checkbox"/> | <input type="checkbox"/> | Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands). |
| <input type="checkbox"/> | <input type="checkbox"/> | Hydraulic analysis by a qualified professional engineer addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations). |
| <input type="checkbox"/> | <input type="checkbox"/> | Complex and large-scale proposals may require additional technical studies and plans. |

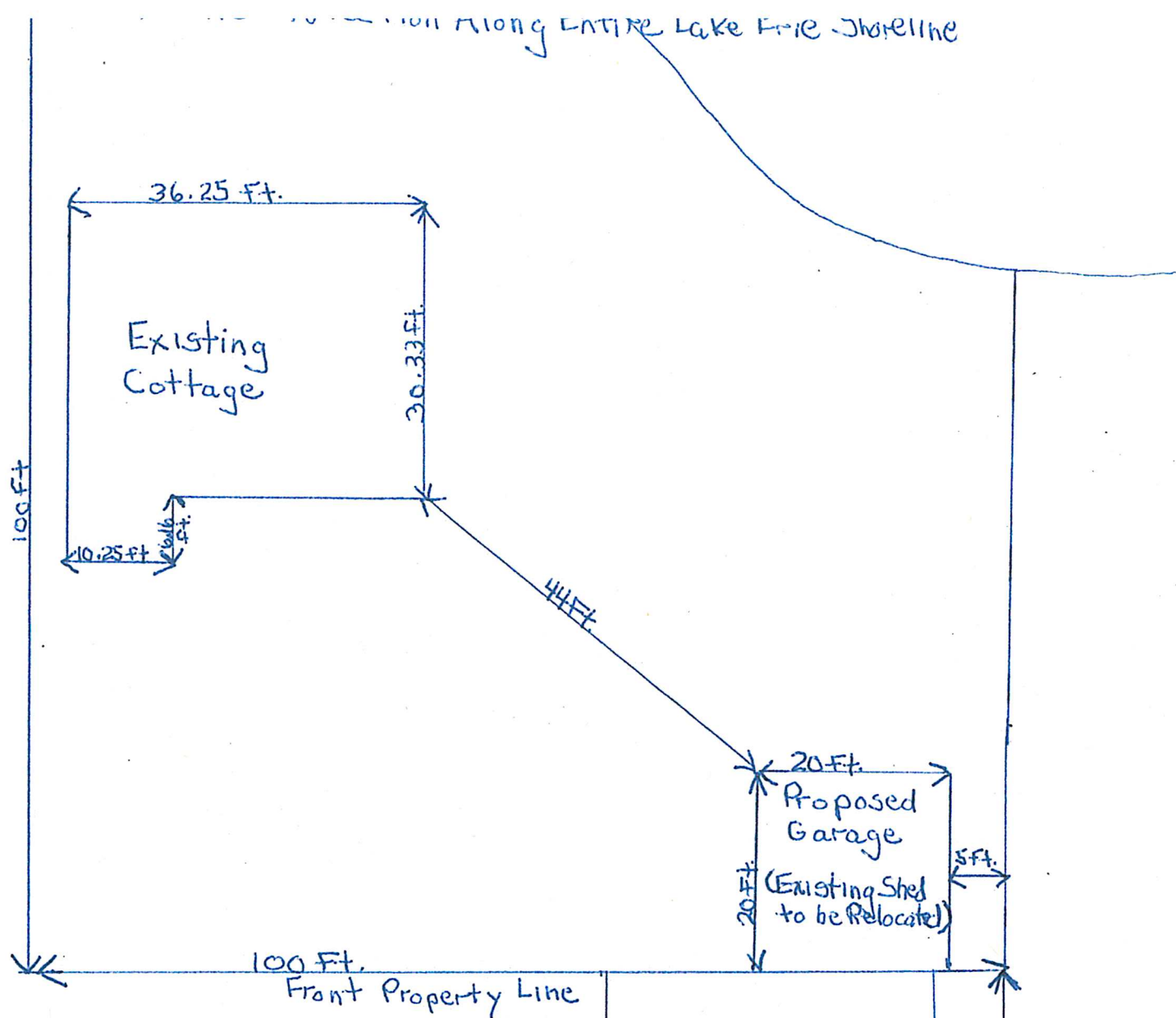
For Office Use Only	
Application Submitted: <u>November 13, 2017</u>	
Complete Application: <u>November 15, 2017</u>	
Application Fee: <u>360.00</u>	Paid: <u>360.00</u>
Board Approval Required Date of Board Meeting: _____	

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
 - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - a) the works are not in conformance with the intent of the permission granted;
 - b) the information presented to obtain a permit is false;
 - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.



- Notes:
- (1) Section 14.2(c) of the Norfolk Zoning By-law permits one accessory garage (Attached)
 - (2) Dimensions of Property - 100 Ft x 100 Ft. (Survey Attached)
 - (3) Front Yard setback for garage will be 0 Ft. as permitted by approved minor variance (Attached)
 - (4) Garage including Foundation will be constructed in accordance with attached requirements of the Norfolk Building Department (Plan of Garage style also attached)
 - (5) Existing 12 Ft. x 9 Ft. storage shed situated in the location of the proposed garage will be relocated in accordance with the zoning bylaw provisions.
 - (6) Orange stakes have been placed in the ground to indicate the four corners of the proposed garage.



Standard Garage - 20 X 20



yard Projects are only available at:



PLEASE NOTE: PROPOSED GARAGE
WILL BE OF THIS STYLE AND WILL
BE CONSTRUCTED IN ACCORDANCE
WITH REQUIREMENTS RECEIVED
FROM THE NORFOLK COUNTY
BUILDING DEPARTMENT

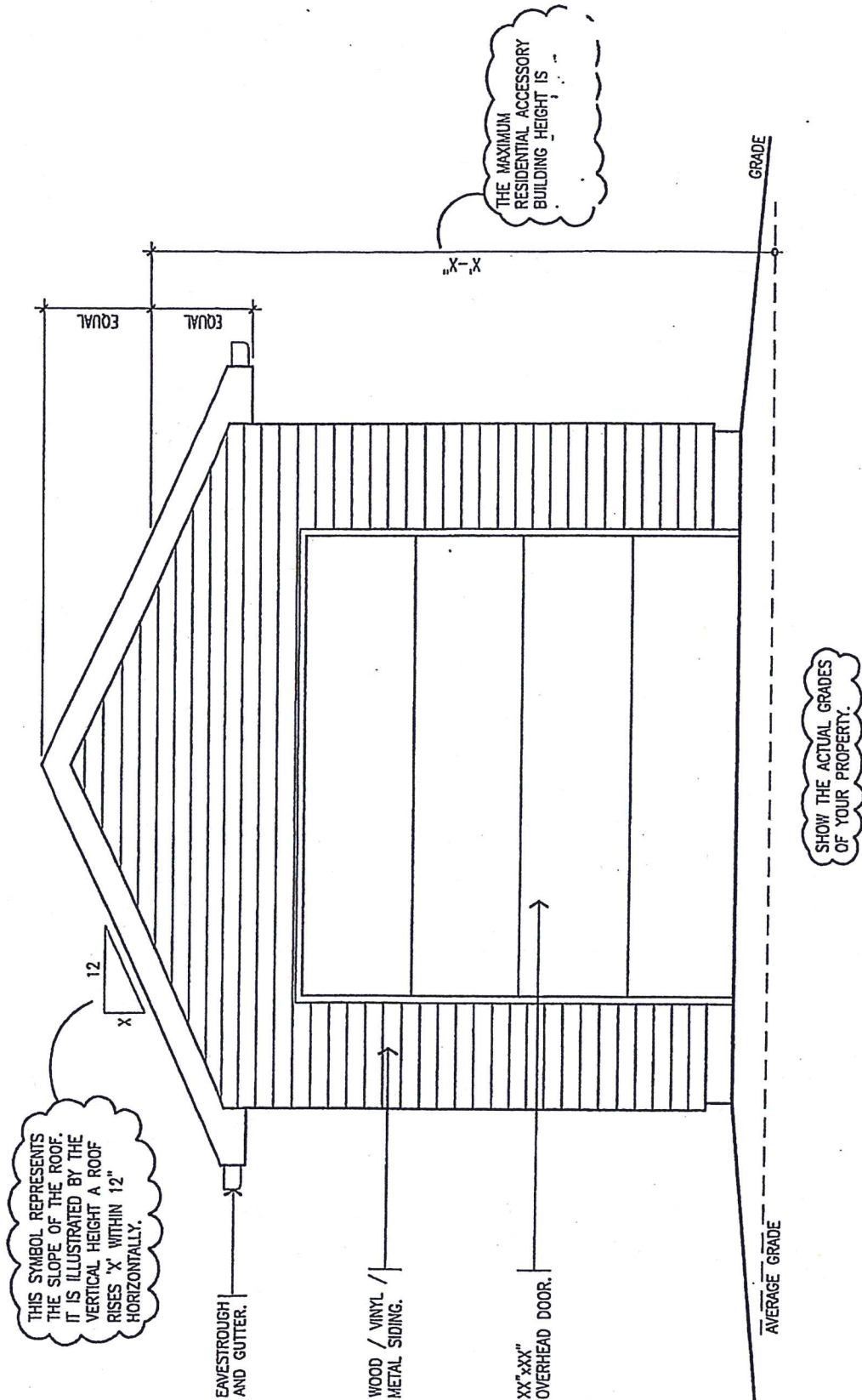
Project Options

Please bring the item numbers for all the options you want to your local building centre location.

Item #	Option
2851243	GARAGE, BASIC GBL 20X20
2850537	SIDING, VNL OPT GAR D5 20X20
2850139	SOFFIT/FACIA, AL OPT GAR 20X20
2850337	SIDING, VNL OPT GAR D4 20X20
2849637	DRYWALL, OPT GAR 20X20
2849837	INSULATION, OPT GAR 20X20
2850908	GARAGE 20X20 GBL CMPLT W/EXT.OPTS

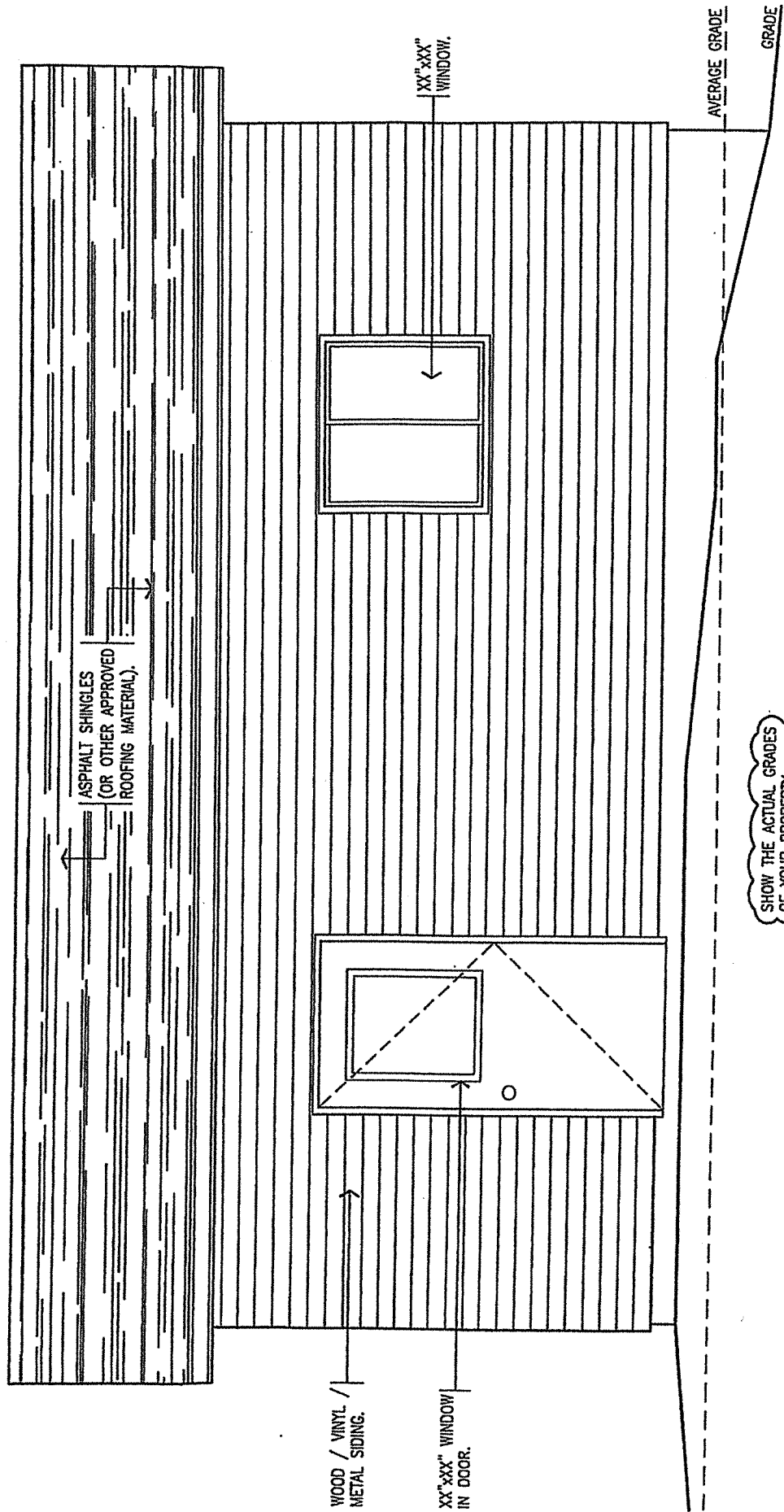
Detailed plans and assembly instructions included with material package. Cutting and assembly

CONSTRUCTION REQUIREMENTS FOR DETACHED GARAGE RECEIVED FROM NORFOLK COUNTY BUILDING DEPARTMENT



GARAGE / SHED - FRONT ELEVATION

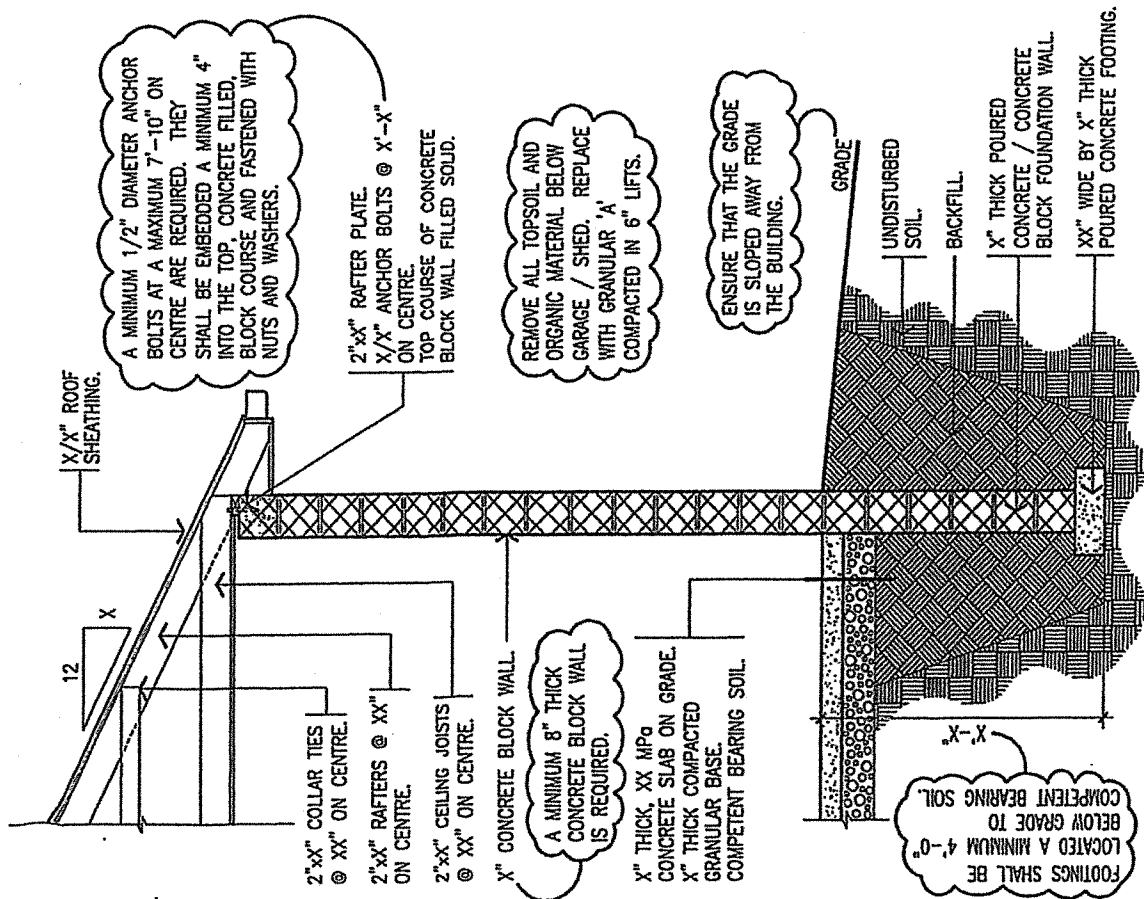
SCALE: 3/8"=1'-0"
DATE: AUGUST, 2007



SHOW THE ACTUAL GRADES
OF YOUR PROPERTY.

GARAGE / SHED - RIGHT ELEVATION

SCALE: 3/8"=1'-0"
DATE: AUGUST, 2007



C CONCRETE BLOCK WALL AND FOUNDATION WITH CONCRETE FOOTING

FLOOR JOIST SPRUCE-PINE-FIR #1 & #2	2"x6"		2"x8"		2"x10"	
	SPACING - ON CENTRE	2x6"	SPACING - ON CENTRE	2x8"	SPACING - ON CENTRE	2x10"
STRAPPING	9'-7"	16"	11'-0"	16"	12'-0"	16"
BRIDGING	10'-4"	8'-2"	11'-0"	10'-8"	12'-0"	12'-5"
BRIDGING & STRAPPING	10'-4"	8'-2"	11'-0"	10'-8"	12'-0"	12'-11"

ROOF FRAMING SPRUCE-PINE-FIR #1 & #2	CEILING JOISTS		ROOF JOISTS		ROOF RAFTERS	
	SPACING - ON CENTRE	2x6"	SPACING - ON CENTRE	2x8"	SPACING - ON CENTRE	2x10"
NOMINAL JOIST SIZE	12"	16"	12"	16"	12"	16"
2"x4"	10'-2"	9'-4"	7'-1"	6'-5"	8'-11"	8'-1"
2"x6"	13'-5"	11'-7"	9'-1"	8'-4"	11'-6"	7'-1"
2"x8"	16'-1"	14'-7"	11'-2"	10'-1"	14'-0"	9'-1"
2"x10"	21'-2"	18'-2"	14'-8"	13'-4"	18'-5"	11'-2"
2"x12"	27'-0"	24'-6"	18'-8"	17'-0"	23'-7"	14'-6"

RIDGE BEAM SPRUCE-PINE-FIR #1 & #2	2"x6"		2"x10"		2"x12"	
	NUMBER OF MEMBERS	2x6"	NUMBER OF MEMBERS	2x10"	NUMBER OF MEMBERS	2x12"
SUPPORTED JOIST LENGTH	3-PLY	10'-1"	4-PLY	11'-1"	5-PLY	12'-0"
8'-0"	10'-1"	11'-1"	12'-10"	14'-2"	15'-3"	16'-4"
10'-0"	9'-4"	10'-4"	11'-6"	13'-3"	14'-2"	15'-3"
12'-0"	8'-7"	9'-8"	10'-5"	12'-2"	13'-5"	14'-2"
14'-0"	8'-0"	9'-7"	9'-11"	11'-3"	12'-7"	13'-1"
16'-0"	7'-6"	8'-7"	9'-6"	10'-6"	11'-10"	12'-3"
18'-0"	7'-1"	8'-2"	9'-1"	10'-1"	10'-7"	11'-6"
20'-0"	6'-8"	7'-9"	8'-8"	9'-5"	10'-6"	11'-0"

BRICK ANGLE ANGLE SIZE FOR 4" BRICK	MAXIMUM SPAN FOR EXTERIOR WALL	BRICK ANGLE ANGLE SIZE FOR 4" BRICK	MAXIMUM SPAN FOR EXTERIOR WALL
L-3 1/2 X 3 1/2 X 1 1/4"	4'-0"	L-5 X 3 1/2 X 3/8"	11'-5"
L-3 1/2 X 3 1/2 X 1 3/8"	5'-0"	L-6 X 4 X 7/16"	13'-5"
L-4 X 3 1/2 X 1 1/2"	7'-0"	L-7 X 4 X 7/16"	14'-0"
L-5 X 3 1/2 X 1 1/2"	8'-0"	L-8 X 4 X 7/16"	16'-0"
L-5 X 3 1/2 X 2 3/8"	9'-0"		

IF THE GARAGE / SHED COMPONENTS EXCEED THE LIMITS IN THE SPAN TABLES ABOVE AN ORIGINAL ONTARIO STRUCTURAL ENGINEERS STAMP AND SIGNATURE ARE REQUIRED ON THE DRAWINGS AT TIME OF PERMIT APPLICATION.

FLOOR JOIST SPRUCE-PINE-FIR #1 & #2	2"x6"			2"x8"			2"x10"		
	SPACING - ON CENTRE			SPACING - ON CENTRE			SPACING - ON CENTRE		
	12"	16"	24"	12"	16"	24"	12"	16"	24"
STRAPPING	9'-7"	8'-11"	8'-2"	11'-7"	11'-0"	10'-6"	13'-8"	13'-0"	12'-5"
BRIDGING	10'-4"	9'-5"	8'-2"	12'-6"	11'-9"	10'-9"	14'-7"	13'-8"	12'-11"
BRIDGING & STRAPPING	10'-4"	9'-5"	8'-2"	13'-2"	12'-3"	10'-9"	15'-2"	14'-2"	13'-2"

ROOF FRAMING SPRUCE-PINE-FIR #1 & #2 NOMINAL JOIST SIZE	CEILING JOISTS			ROOF JOISTS			ROOF RAFTERS		
	SPACING - ON CENTRE			SPACING - ON CENTRE			SPACING - ON CENTRE		
	12"	16"	24"	12"	16"	24"	12"	16"	24"
2"x4"	10'-2"	9'-4"	8'-1"	7'-1"	6'-5"	5'-7"	8'-11"	8'-1"	7'-1"
2"x5"	13'-5"	11'-7"	10'-6"	9'-1"	8'-4"	7'-2"	11'-6"	10'-5"	9'-1"
2"x6"	16'-1"	14'-7"	12'-9"	11'-2"	10'-1"	8'-10"	14'-0"	12'-9"	11'-2"
2"x8"	21'-2"	19'-2"	16'-9"	14'-8"	13'-4"	11'-7"	18'-5"	16'-9"	14'-8"
2"x10"	27'-0"	24'-6"	21'-5"	18'-8"	17'-0"	14'-10"	23'-7"	21'-5"	17'-8"
2"x12"	32'-10"	29'-10"	26'-0"	22'-9"	20'-8"	18'-0"	28'-8"	26'-2"	20'-6"

RIDGE BEAM SPRUCE-PINE-FIR #1 & #2 SUPPORTED JOIST LENGTH	2"x8"			2"x10"			2"x12"		
	NUMBER OF MEMBERS			NUMBER OF MEMBERS			NUMBER OF MEMBERS		
	3-PLY	4-PLY	5-PLY	3-PLY	4-PLY	5-PLY	3-PLY	4-PLY	5-PLY
8'-0"	10'-1"	11'-1"	11'-11"	12'-10"	14'-2"	15'-3"	15'-0"	17'-3"	18'-4"
10'-0"	9'-4"	10'-4"	11'-1"	11'-6"	13'-2"	14'-2"	13'-5"	15'-6"	17'-3"
12'-0"	8'-7"	9'-8"	10'-5"	10'-6"	12'-2"	13'-4"	12'-3"	14'-2"	15'-10"
14'-0"	8'-0"	9'-2"	9'-11"	9'-9"	11'-3"	12'-7"	11'-4"	13'-1"	14'-8"
16'-0"	7'-6"	8'-7"	9'-6"	9'-2"	10'-6"	11'-10"	10'-7"	12'-3"	13'-8"
18'-0"	7'-1"	8'-2"	9'-1"	8'-7"	9'-11"	11'-2"	10'-0"	11'-6"	12'-11"
20'-0"	6'-8"	7'-9"	8'-8"	8'-2"	9'-5"	10'-6"	9'-6"	11'-0"	12'-3"

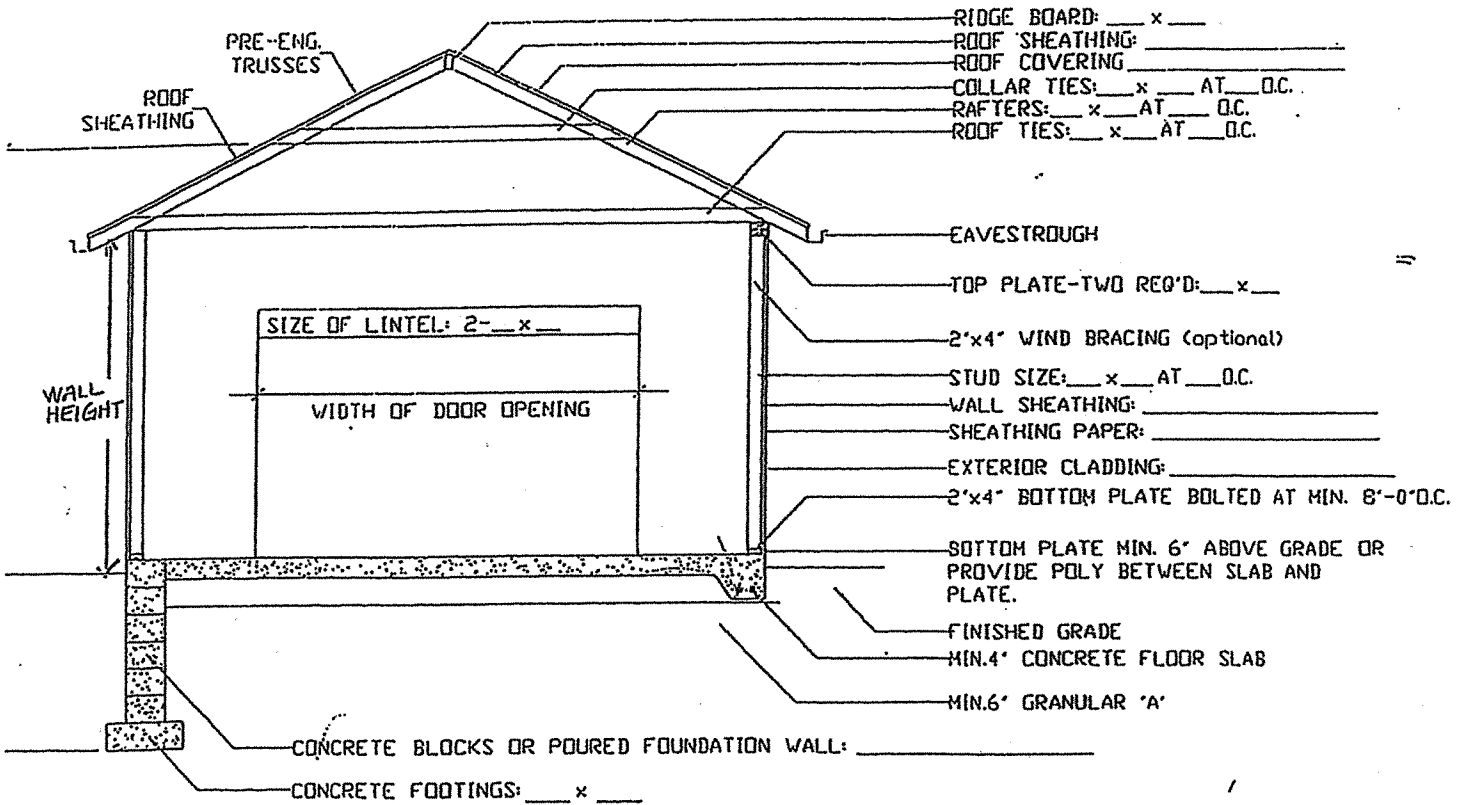
LINTEL - SPRUCE-PINE-FIR #1 & #2		LINTEL - SPRUCE-PINE-FIR #1 & #2	
ROOF & CEILING LOAD ONLY	MAXIMUM SPAN FOR EXTERIOR WALL	ROOF & CEILING LOAD ONLY	MAXIMUM SPAN FOR EXTERIOR WALL
2-2"x4"	3'-8"	3-2"x10"	9'-11"
2-2"x6"	5'-5"	4-2"x10"	11'-6"
2-2"x8"	6'-8"	5-2"x10"	12'-10"
3-2"x8"	8'-2"	2-2"x12"	9'-5"
4-2"x8"	9'-5"	3-2"x12"	11'-7"
5-2"x8"	10'-2"	4-2"x12"	13'-4"
2-2"x10"	8'-1"	5-2"x12"	14'-10"

BRICK ANGLE		BRICK ANGLE	
ANGLE SIZE FOR 4" BRICK	MAXIMUM SPAN FOR EXTERIOR WALL	ANGLE SIZE FOR 4" BRICK	MAXIMUM SPAN FOR EXTERIOR WALL
L-3 1/2"x3 1/2"x1/4"	4'-0"	L-6"x3 1/2"x3/8"	11'-6"
L-3 1/2"x3 1/2"x5/16"	5'-0"	L-6"x4"x7/16"	13'-6"
L-4"x3 1/2"x1/3"	7'-0"	L-7"x4"x7/16"	14'-0"
L-5"x3 1/2"x1/3"	8'-0"	L-8"x4"x7/16"	16'-0"
L-5"x3 1/2"x3/8"	9'-0"		

DETACHED GARAGE OR STORAGE SHED

SIZE OF ACCESSORY BUILDING: _____ x _____

NOTE: BUILDINGS LARGER THAN 50 SQUARE METRES (538 sq.ft.) IN AREA MUST BE SUPPORTED ON FOOTINGS AND FOUNDATION WALLS.



ROOF CONSTRUCTION TYPE

Please check appropriate box

Gable	Cottage	Flat	Slanted	Mansard
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

MAXIMUM HEIGHT: _____

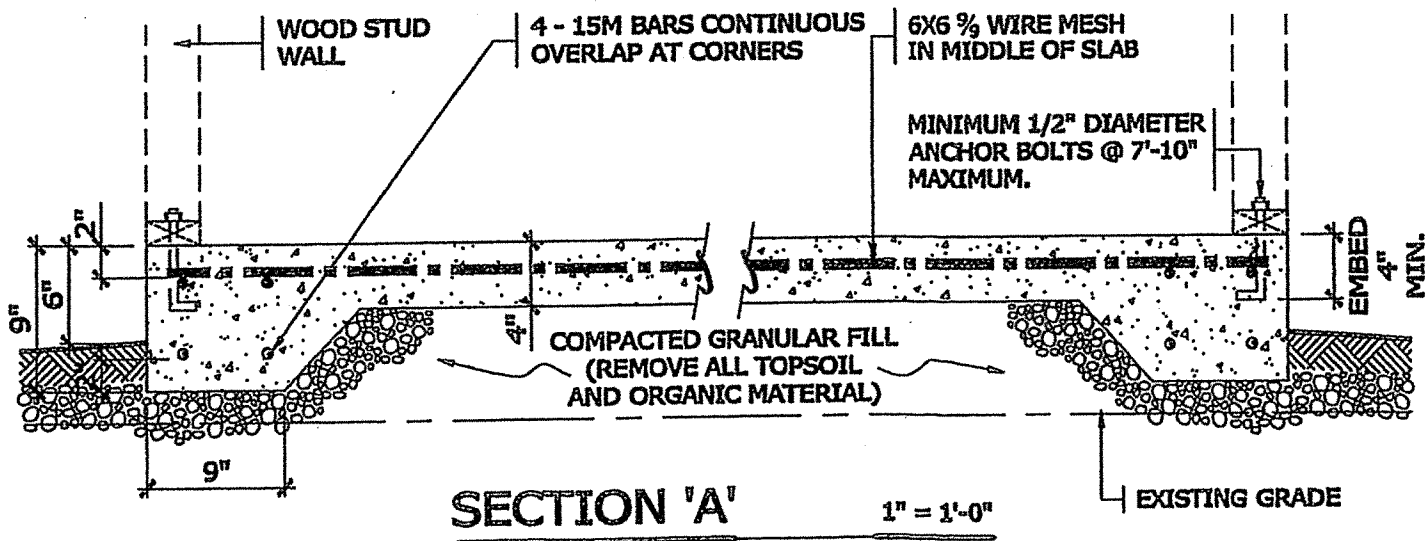
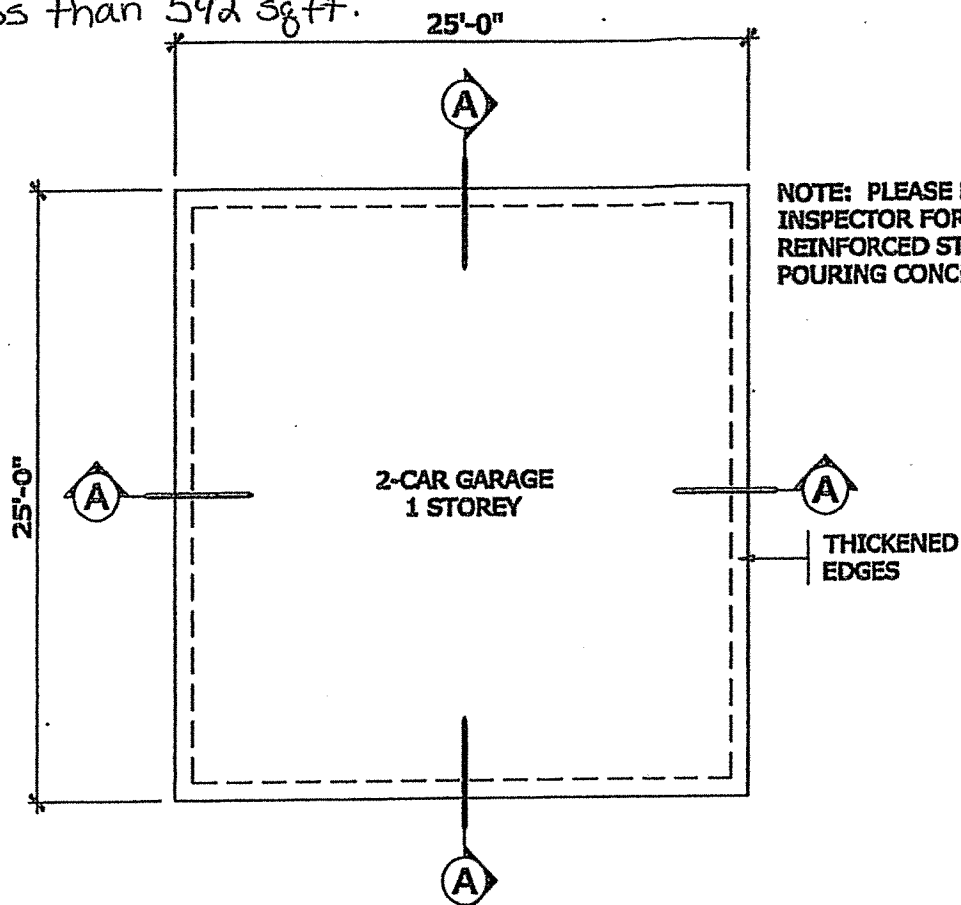
APPLICANT'S SIGNATURE: _____

ADDRESS: _____

REINFORCED CONCRETE FLOOR SLAB

FOR DETACHED GARAGE /

Less than 592 sq ft.



June 8, 2018

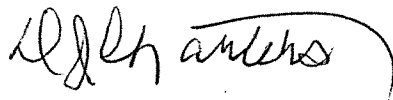
Norfolk County Committee of Adjustment
50 Colborne St. South
Simcoe, ON N3Y 4H3

Dear Sirs:

Re: Letter of Support for Committee of Adjustment Application by Kevin and Elizabeth Bain, 25 Hastings Drive

This is to express my support for the Committee of Adjustment application by Kevin and Elizabeth Bain who are requesting permission to construct a detached garage of 20 ft x 20 ft in the front yard of their property with a setback of 0 metres from the front lot line rather than the required 6 metres. I am the Bain's next door neighbour at 29 Hastings Drive. As the owner of the property that is closest to the proposed garage, I wish to indicate that I fully support the approval of the Bain's Committee of Adjustment application.

Yours very truly

A handwritten signature in black ink, appearing to read "Donna Charters", with a large, sweeping flourish extending from the end of the signature.

Donna Charters
29 Hastings Drive

June 8, 2018

Norfolk County Committee of Adjustment
50 Colborne St. South
Simcoe, ON N3Y 4H3

Dear Sirs:

Re: Letter of Support for Committee of Adjustment Application by Kevin and Elizabeth Bain, 25 Hastings Drive

This is to express our support for the Committee of Adjustment application by Kevin and Elizabeth Bain who are requesting permission to construct a detached garage of 20 ft x 20 ft in the front yard of their property with a setback of 0 metres from the front lot line rather than the required 6 metres. We are the owners of 23 Hastings Drive and we fully support the approval of the Bain's Committee of Adjustment application.

Yours very truly


Ron Fitzhenry


Nancy Fitzhenry
23 Hastings Drive

DECISION OF COMMITTEE

DATE OF MEETING: October 11, 1989

FILE NO.: A-19/89-N

APPLICANT: Osborn Cox,
882 Colborne Street East,
Brantford, Ontario.
N3S 3T1.

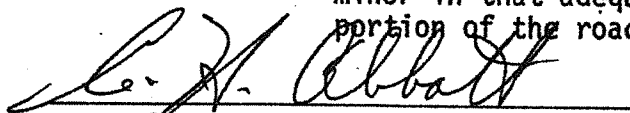
PROPERTY: Lot 56, Registered Plan 206, on the south side of
Hastings Drive in the resort area of Long Point.

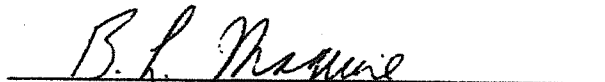
DECISION: APPROVES

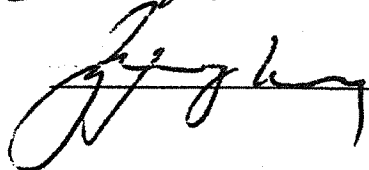
RELIEF OF: The applicant is requesting permission to
construct a cottage with a setback of 0 ft. from
the front lot line rather than the front yard
setback requirements as laid out in the Zoning By-
Law.

CONDITION: Subject to Health Department approval.

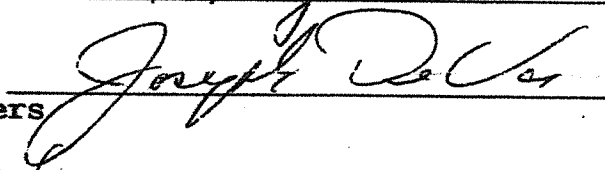
REASON: The proposed variance to the front yard setback is considered
minor in that adequate separation will exist from the travelled
portion of the road.







Members




Chairman

CERTIFICATION

I hereby certify this to be a true copy of the Committee of
Adjustment and this decision was concurred in by a majority of
the members who heard the application at a meeting duly held on
October 11, 1989.


Secretary-Treasurer

NOTICE OF LAST DAY FOR APPEAL TO THE MUNICIPAL BOARD
The Planning Act, Section 44(12) - The applicant, the Minister or
any other person who has an interest in the matter may within the
thirty days of the decision date, appeal to the Ontario Municipal
Board, against the decision of the Committee by filing with the
Secretary-Treasurer, notice of Appeal with reasons, accompanied
by appeal fee (\$125.00) payable to the Treasurer of Ontario on or
before the following date:

November 10, 1989



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 25 Hastings Drive

Legal Description: SWAL PLAN 206 LOT 55 & 56

Roll Number: 543-050-35300

Application #:

Information Origins: site plan provided by owner.

Resort Residential Zone (RR)

	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) building height	5.00	4.25	N/A	m
b) minimum front yard	6.00	0.00	6.00	m
c) minimum exterior side yard	6.00	n/a	N/A	m
d) minimum interior side yard	1.20	1.50	N/A	m
e) minimum rear yard	1.20	9.00	N/A	m
f) through lot distance to street line	6.00		N/A	m
g) Lot coverage (Note:Proposed Area)				m.sq
i) lot coverage	10.00	4.00	N/A	%
ii) usable floor area	100.00	37.00	N/A	m.sq

Comments


Accessory Building occupying front yard (3.2.1(b)) need additional relief to allow building in front yard.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:


Roxanne Koot

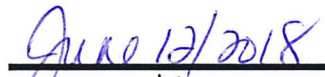
I have read and understand the above.


Signature of owner or authorized agent


date

AS PER: Fritz R. Enzlin, CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County


Signature of Zoning Administrator


date

Roxanne Koot

From: Kevin Bain <kevinbain54@gmail.com>
Sent: Thursday, June 7, 2018 3:23 PM
To: Roxanne Koot
Cc: jwiebe.royalview
Subject: Minor Variance Required for Proposed Garage at 25 Hastings Drive

Roxanne, I will be proceeding with a Committee of Adjustment application and I would kindly request written confirmation of the approval I require to meet all requirements of the Building Department. I left a telephone message on your phone this morning but I thought it might be easier to connect via email. I understand from my conversation with Mary Elder this morning that I need to obtain minor variance approval for construction of a garage in the front yard on my property and with a front yard setback of 0m. Question 2 of the Committee of Adjustment application asks for the relief being requested and I would ask that you confirm whether the following would meet the requirements of the Building Department:

"requesting permission to construct a detached garage of 20' x 20' in the front yard of the subject property with a setback of 0 m from the front lot line rather than the required 6 m".

I will be pleased to make any necessary revisions to the proposed wording if it does not meet your requirements. I wish to submit my application as soon as possible and therefore your earliest possible response would be greatly appreciated.

Thanks in advance for your assistance.

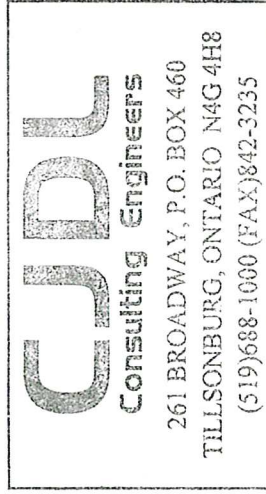
Kevin Bain

↑
LAKÉ ERÉ.

or to 2 max.
of 100 gm useable flavan.

proposed 37.2 sym ✓

nt Property Line



MAY 13 2019

SITE PLAN GRADING FOR
PROPOSED GARAGE
25 HASTINGS DRIVE
LONG POINT.

SCALE 1:100

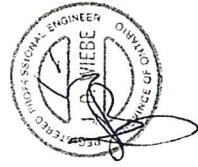
LEHEND.

9.7 Existing EUEV 17 May 2018

96 ----- EXISTING CONTROLS.

10.4 Proposed Vol.

→ Proposed/Existing Surface Flow.

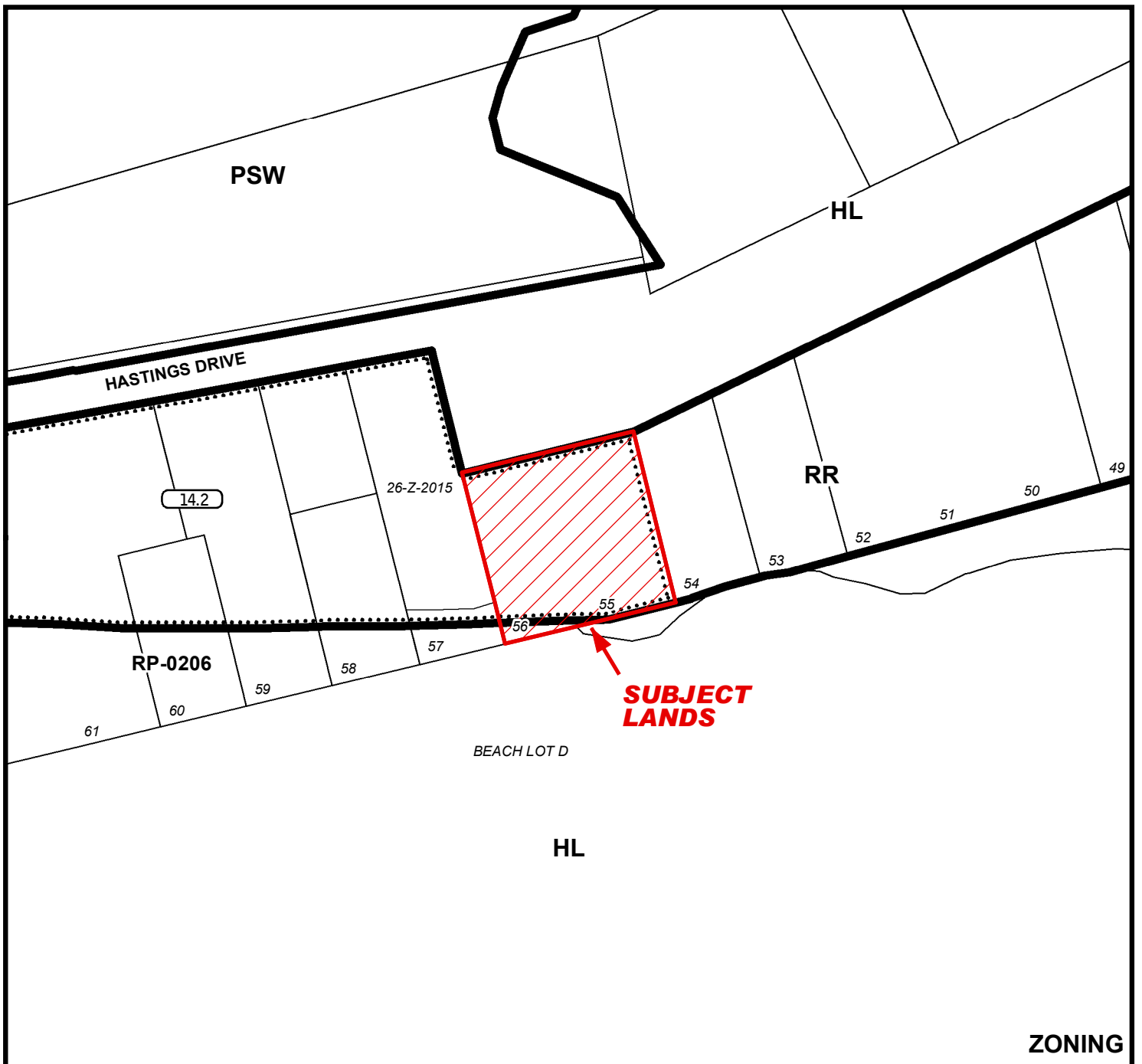
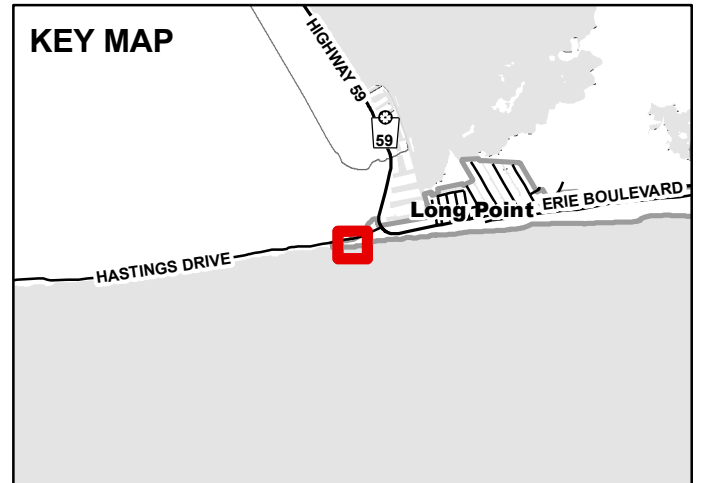
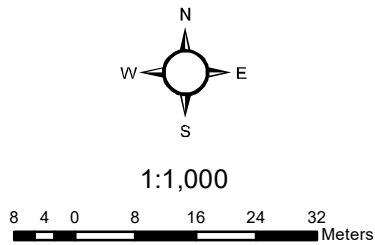


D E M I S T R Y

MAY 22 2018

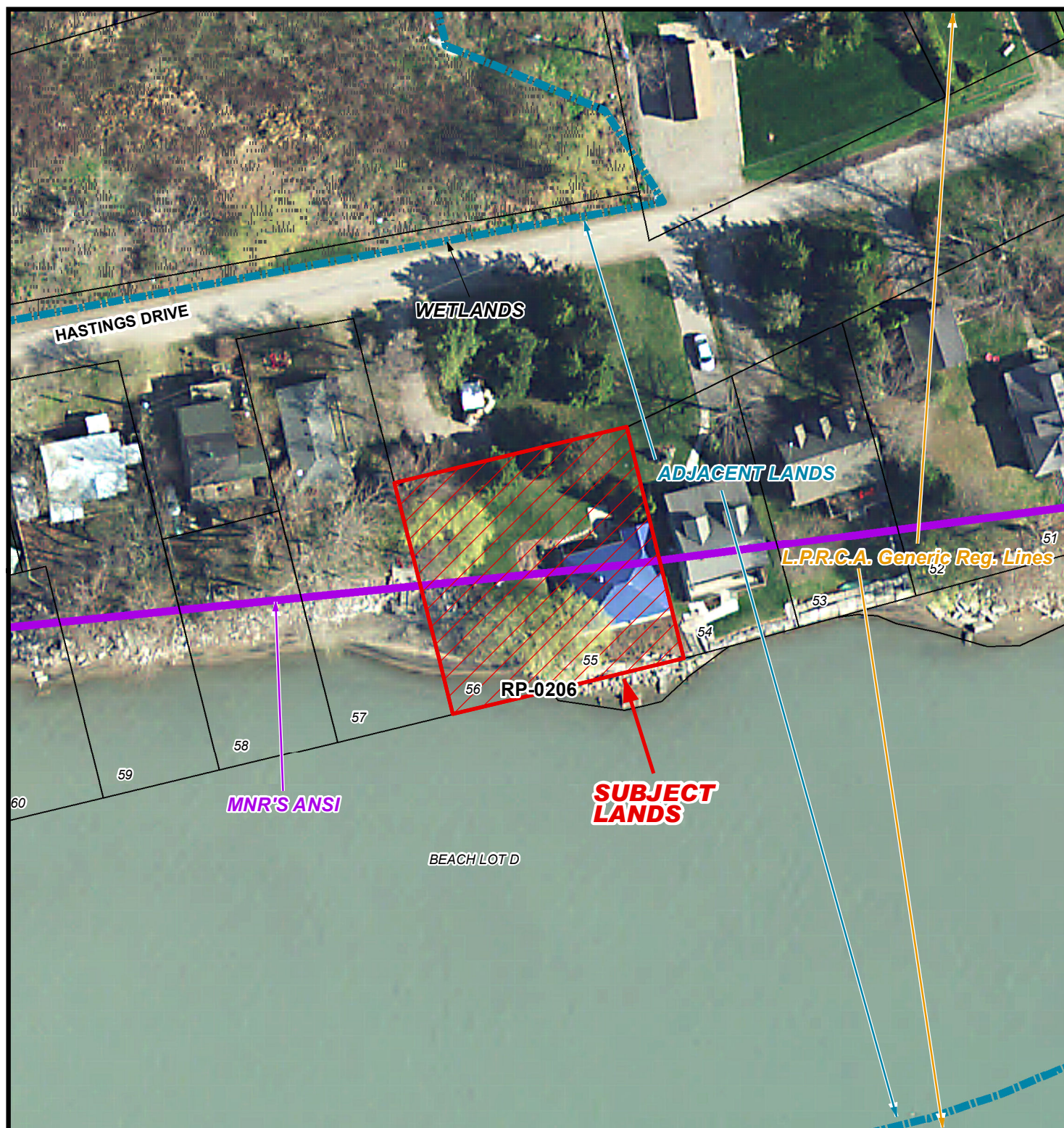
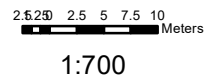
NORFOLK COUNTY - Bldg./B/Law

MAP 1
File Number: ANPL2018132
Geographic Township of
SOUTH WALSINGHAM



ZONING

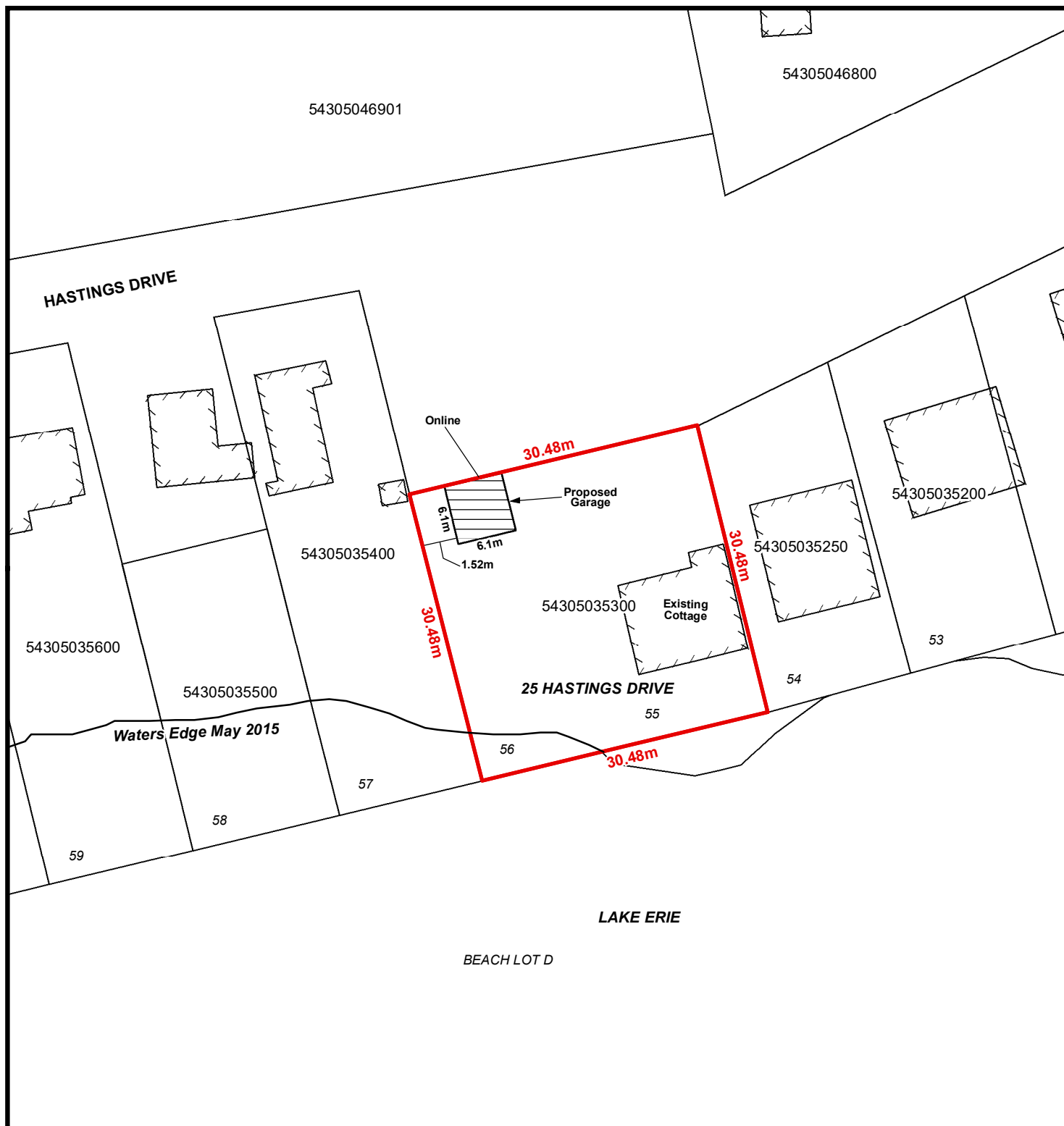
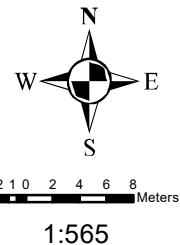
Geographic Township of SOUTH WALSINGHAM



MAP 3

File Number: ANPL2018132

Geographic Township of SOUTH WALSHINGHAM



LOCATION OF LANDS AFFECTED

File Number: ANPL2018132

Geographic Township of SOUTH WALSHINGHAM



2 1 0 2 4 6 8 Meters

1:565

