File Number Related File Number Pre-consultation Meeting Application Submitted Complete Application Public Notice Sign	ANPL2018206 SPPL2018172 Aug 16/18 Aug 30/18 Sep 4/18	SPRT Meeting Application Fee Conservation Authority Fee OSSD Form Provided Planner	1406 New System Proposed Steve
Check the type of plant	ning application(s) you are submitting.	
Official Plan Amer	ndment		
Zoning By-Law Ar	mendment		
Temporary Use B	y-law		
Draft Plan of Subo	division/Vacant Lan	d Condominium	
Condominium Exe	emption		
Site Plan Applicat	ion		
Consent/Severand	ce		
Minor Variance			
Easement/Right-o	f-Way		
	Extension of a Temporary Use By-law		
	Part Lot Control		
Cash-in-Lieu of Pa	•		
Renewable Energ	y Project or Radio	Communication Tower	
Property Assessment Roll Number: 331049101435000			
A. Applicant Information	on		
Name of Owner	Beselaere, Wayne Albert	•	
It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.			
Address	643 Windham Road 9		
Town and Postal Code La Salette, NOE 1H0			
Phone Number	519-582-2130		
Cell Number			
Email			



For Office Use Only:

Name of Applicant	Brad Beselae	ere Jo Han Geselvere	
ddress 1263 Windham Road 9		am Road 9	
Town and Postal Code	Windham Ce	Windham Centre, N0E 2A0	
Phone Number			
Cell Number	519-429-826	3	
Email	bradbeselaei	re@gmail.com	
Name of Agent	Girard Engin	eering	
Address	212 Main St.	W	
Town and Postal Code	Otterville, NO)J 1R0	
Phone Number	519-879-687	5	
Cell Number			
Email	info@girarde	engineering.ca	
• •		ons should be sent. Unless otherwise directed, ect of this application will be forwarded to the	
Owner	Agent	Applicant	
Names and addresses o encumbrances on the su	-	ny mortgagees, charges or other	
B. Location, Legal De	scription and P	Property Information	
 Legal Description (include Geographic Township, Concession Number, Lot Number Block Number and Urban Area or Hamlet): Part of Lot 9, Concession 8 as in NR559319, Norfolk County 		mlet):	
Municipal Civic Addre	_{ess:} 1263 Win	dham Road 9	
Present Official Plan		Agricultural Area	
Present Zening: CR	• ,	nercial	



3.	Present use of the subject lands:
	Automotive Service Shop
4.	Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application: Automotive Shop and Office to remain
5.	If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.
	Automotive shop
6.	Please describe all proposed buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application: Ex. shop/office - 321.82m2 Proposed shop - 557.42m2
7.	Are any existing buildings on the subject lands designated under the <i>Ontario</i> Heritage Act as being architecturally and/or historically significant? Yes No
	If yes, identify and provide details of the building:
8.	If known, the length of time the existing uses have continued on the subject lands:

2. Is there a special provision or site specific zone on the subject lands?



Agricutural
Are there any easements or restrictive covenants affecting the subject lands? Yes No If yes, describe the easement or restrictive covenant and its effect:
Purpose of Development Application
te: Please complete all that apply.
Please explain what you propose to do on the subject lands/premises which makes this development application necessary: Proposed 60'x100' automotive shop addition
Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:
existing building does not meet the required setbacks of a CR zone
Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? Yes No If yes, describe its effect:
Does the requested amendment remove the subject land from an area of employment? Yes No If yes, describe its effect:
Does the requested amendment alter, replace, or delete a policy of the Official Plan? Yes No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):



9. Existing use of abutting properties:

6.	Description of land Frontage:	d intended to be severed in metric units:	
	Depth:		
	Width:		
	Lot Area:		
	Present Use:		
	Proposed Use:		
	Proposed final lot size (if boundary adjustment):		
	the lands to which the parcel will be added:		

	Description of land Frontage:	d intended to be retained in metric units:	
	Depth:		
	Width:		
	Lot Area:		
	Present Use:		
	Proposed Use:		
7.	Description of property Frontage:	oosed right-of-way/easement:	
	Depth:		
	Width:		
	Area:		
	Proposed use:		
8.	Name of person(s leased or charged), if known, to whom lands or interest in lands to be transferred, (if known):	



9. Site Information	Existing	Proposed	
Please indicate unit of measurement, i.e. m, m ² or %, etc.			
Lot frontage	59.84m	59.84m	
Lot depth	69.01m	69.01m	
Lot width	59.84m	59.84m	
Lot area	4129.54m2	4129.54m2	
Lot coverage	7.79%	21.29%	
Front yard	38.56m	32.55m	
Rear yard	6.10m	6.10m	
Left Interior side yard	42.16m	23.86m	
Right Interior side yard	1.20m	1.20m	
Exterior side yard (corner lot)			
Landscaped open space	50.56%	18.32%	
Entrance access width	10.06m	10.06m	
Exit access width	17.06m	27.84m	
Size of fencing or screening	n/a	n/a	
Type of fencing	n/a	n/a	
10. Building Size			
Number of storeys	1	1	
Building height	4.27m	8.67m	
Total ground floor area	321.82m	879.24m	
Total gross floor area	321.82m	879.24m	
Total useable floor area	321.82m	879.24m	
11.Off Street Parking and Loading Facilities			
Number of off street parking spaces n/a 26			
Number of visitor parking spaces n/a (2)			
Number of accessible parking spaces n/a n/a n/a			
Number of off street loading facilities n/a n/a			
12.Multiple Family Residential (if applicable)			
Number of buildings existing:			



Number of buildings proposed:	
Is this a conversion or addition to an existing	building? OYes ONo
If yes, describe:	
Туре	
Number of Units	
Floor Area per Unit in m ²	
Bachelor	***************************************
One bedroom	
Two bedroom	
Three bedroom	
Townhouse	
Other facilities provided (e.g. play facilities, un swimming pool etc.):	nderground parking, games room,
13. Commercial/Industrial Uses (if applicate	ole)
Number of buildings existing: 1	
Number of buildings proposed: 1	
Is this a conversion or addition to an existing	building?
If yes, describe:	
Indicate the gross floor area by the type of us	e (e.g. office, retail, storage, etc.):
Seating Capacity (for assembly halls, etc.):	n/a
Total number of fixed seats:	0
Describe the type of business(es) proposed:	Automotive Shop



Total number of staff proposed initially:	4
Total number of staff proposed in five years:	6
Maximum number of staff on the largest shift:	6
ls open storage required: Yes No	
ls a residential use proposed as part of, or ac	cessory to commercial/industrial use?
Yes No If yes please describe:	
14.Institutional (if applicable)	,
Describe the type of use proposed:	
Seating capacity (if applicable):	
Number of beds (if applicable):	
Total number of staff proposed initially:	
Total number of staff proposed in five years:	
Maximum number of staff on the largest shift:	
Indicate the gross floor area by the type of us	e (e.g. office, retail, storage, etc.):

15. Describe Recreational or Other Use(s) (if applicable)



1.	Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown If yes, specify the uses (example: gas station, petroleum storage, etc.): Automotive Shop
2.	Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown
3.	Provide the information you used to determine the answers to the above questions: Previous agricultural land prior to automotive sop being constructed
4.	If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No
E.	Provincial Policy
1.	Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the <i>Planning Act, R.S.O. 1990, c. P. 13</i> ? Yes No
1.	
	under subsection 3(1) of the Planning Act, R.S.O. 1990, c. P. 13? Yes No



D. Previous Use of the Property

3.	Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No
	If no, please explain:
	Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.
4.	Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.
	Livestock facility or stockyard (submit MDS Calculation with application)
	On the subject lands orwithin 500 meters – distance
	Wooded area On the subject lands or ✓ within 500 meters – distance +/-260m
	Municipal Landfill On the subject lands or within 500 meters – distance
	Sewage treatment plant or waste stabilization plant On the subject lands or within 500 meters – distance
	Provincially significant wetland (class 1, 2 or 3) or other environmental feature On the subject lands or within 500 meters – distance
	Floodplain On the subject lands or within 500 meters – distance
	Rehabilitated mine site On the subject lands or within 500 meters – distance
	Non-operating mine site within one kilometre On the subject lands or within 500 meters – distance
	Active mine site within one kilometre On the subject lands or within 500 meters – distance
	Industrial or commercial use (specify the use(s)) On the subject lands or within 500 meters – distance



	Active railway line On the subject lands or within 500 meters – distance
	Seasonal wetness of lands On the subject lands or within 500 meters – distance
	Erosion On the subject lands or within 500 meters – distance
	Abandoned gas wells On the subject lands or within 500 meters – distance
F.	Servicing and Access
1.	Indicate what services are available or proposed:
	Water Supply
	Municipal piped water
	Communal wells
	• Individual wells
	Other (describe below)
	Sewage Treatment
	Municipal sewers
	Communal system
	Septic tank and tile bed
	Other (describe below)
	Storm Drainage
	O Storm sewers
	Open ditches
	Other (describe below)



۷.	Existing or proposed access to subject lands:		
	Municipal road	Provincial highway	
	Unopened road	Other (describe below)	
	Name of road/street:		
	Windham Road 9		
G.	Other Information		
1.	. Does the application involve a local business? OYes ONo		
	If yes, how many people are employed 5	I on the subject lands?	
2.	Is there any other information that you think may be useful in the review of		
	application? If so, explain below or attach on a separate page.		

H. Supporting Material to be submitted by Applicant

All digital files must be received in the following naming format:

Developmentname Planname Engineersplannumber yr.m.da [date received or stamped]

For example: DairyQueenPD Site 11979-1 17.12.21

Reports and studies can be renamed in the following format:

Developmentname Reportname Reportpreparer yr.m.da [date received or created]

For example: DairyQueenPD Traffic WSP 17.12.15

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- 1. Concept/Layout Plan
- 2. All measurements in metric
- Key map
- 4. Scale, legend and north arrow
- 5. Legal description and municipal address
- 6. Development name
- 7. Drawing title, number, original date and revision dates
- 8. Owner's name, address and telephone number



- 9. Engineer's name, address and telephone number
- 10. Professional engineer's stamp
- 11. Existing and proposed easements and right of ways
- 12. Zoning compliance table required versus proposed
- 13. Parking space totals required and proposed
- 14. All entrances to parking areas marked with directional arrows
- 15. Loading spaces, facilities and routes (for commercial developments)
- 16. All dimensions of the subject lands
- 17. Dimensions and setbacks of all buildings and structures
- 18. Gross, ground and useable floor area
- 19. Lot coverage
- 20. Floor area ratio
- 21. Building entrances, building type, height, grades and extent of overhangs
- 22. Names, dimensions and location of adjacent streets including daylighting triangles
- 23. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
- 24. All exterior stairways and ramps with dimensions and setbacks
- 25. Retaining walls including materials proposed
- 26. Fire access and routes
- 27. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
- 28. Location of mechanical room, and other building services (e.g. A/C, HRV)
- 29. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
- 30. Winter snow storage location
- 31. Landscape areas with dimensions
- 32. Natural features, watercourses and trees
- 33. Fire hydrants and utilities location
- 34. Fencing, screening and buffering size, type and location
- 35. All hard surface materials
- Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
- 37. Business signs (make sure they are not in sight lines)
- 38. Sidewalks and walkways with dimensions
- 39. Pedestrian access routes into site and around site
- 40. Bicycle parking
- 41. Architectural elevations of all building sides
- 42. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:



	Zoning Deficiency Form
	On-Site Sewage Disposal System Evaluation Form
	Architectural Plan
	Buildings Elevation Plan
	Cut and Fill Plan
	Erosion and Sediment Control Plan
□ pro	Grading and Drainage Control Plan (around perimeter and within site) (existing and posed)
	Landscape Plan
	Photometric (Lighting) Plan
	Plan and Profile Drawings
	Site Servicing Plan
	Storm water Management Plan
	Street Sign and Traffic Plan
	Street Tree Planting Plan
	Tree Preservation Plan
	Archaeological Assessment
	Environmental Impact Study
	Functional Servicing Report
	Geotechnical Study / Hydrogeological Review
	Minimum Distance Separation Schedule
	Noise or Vibration Study
	Record of Site Condition
	Storm water Management Report
	Traffic Impact Study – please contact the Planner to verify the scope required Site
Pla	an applications will require the following supporting materials:
	 Three (3) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format Letter requesting that the Holding be removed (if applicable)
	Lottor requesting that the relating so removed (ii applicasie)

3. A cost estimate prepared by the applicant's engineer

5. Proof that property taxes to be paid up to date

4. An estimate for Parkland dedication by a certified land appraiser



6. Proof of insurance:

- a. Commercial General Liability satisfactory to the County must include:
 - A limit of liability not less than two million dollars (\$2,000,000) per occurrence
 - ii. The Corporation of Norfolk County shall be named as an additional insurer
 - iii. The policy shall contain a provision for cross liability in respect of the name insurer
 - iv. Non-owned automobile coverage with a limit of at least two million dollars (\$2,000,000) including contractual non-owned coverage
 - v. Errors and omissions liability with a limit of at least two million dollars (\$2,000,000)
 - vi. Products and completed operations coverage
 - vii. Certificate of Insurance must be in the same name as that on the PIN and site plan agreement
 - b. Certificate of Insurance for Professional
 - c. Certificate of Insurance for Owner
- 7. Written Legal Description of the Property and the Property Identification Number (PIN)
- 8. Postponement (if there are mortgagees)
- 9. Transfers/easements or agreements related to the subject lands

☐ Plan of standard condominium (2 paper copies and 1 electronic copy)

Standard condominium exemptions will require the following supporting materials:

	()	1 77
	Draft condominium declaration	
V	ur davalanment approval might also be dependent on Ministry of E	n

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.



J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the Municipal Freedom of Information and Protection of Privacy Act, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the Planning Act, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

√ Owner/Applicant Signature	Date
M. Owner's Authorization	
If the applicant/agent is not the registered owner of application, the owner(s) must complete the authorized	
I/We (Name Beselver am/a lands that is the subject of this application for site pl	lan approval.
I/We authorize	al information necessary for the
authorization for so doing.	Aug 30 2018
Owner	Date
Jordan ideselant	Sept 4118



Owner

Date

N. Declaration	_			
1, Jo. Ann Beselvere of	NORFOLK COUNTY			
solemnly declare that:	1			
all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of <i>The Canada Evidence Act</i> .				
Declared before me at:				
Langton	Jo An Broilary			
¥	Owner/Applicant Signature			
In Norfolk County				
This 4th day of September				
A.D., 20_18	Steven Jernes Collyer, e Commissioner etc. President de la lace			
Ma W	a Commissioner, etc., Province of Ontario, for the Corporation of Norfolk County. Expires April 3, 2021.			
A Commissioner, etc.				
Sam year				

State 1 James Colone # Contribution for the Contribution of Contribution the Controvation of the fall Contribu-Supples April 2, 2021,



Zoning Deficiency

185 Robinson St. Simcoe, ON N3Y 5L6 519-426-5870 22 Albert St. Langton, On. NOE 1G0 519-875-4485

Langton:

PROPERTY INFORMATION

Address: 1263 windham Rd 9

Legal Decription:

Roll Number: 49101435000

Application #: Information Origins:site plan provided by Girard Engineering

information Origins. Site plan provided by Girard Enginee	ring				
Rural Commercial Zone (CR)					
6.1.2 Main Building	REQUIRED	PROPOSED	DEFICIENCY	UNITS	
a) minimum lot area	1860			m. sq	
b) minimum lot frontage	30.00			m	
c) mimimum front yard	13.00		13.00	m	
d) minimum exterior side yard	13.00		13:00-	m	
e) minimum interior side yard	3.00	1.20	1.80	m	
f) minimum rear yard	9.00	6.10	2.90	m	
g) minimum usable floor area: for a single	92.00			m.sq	
detached dwelling					
h) minimum usable floor area: for a	40.00		N/A	m.sq	
dwelling unit in a non-residental building					
i) maximum building height	11.00		N/A	m	
j) maximum usable floor area of a fruit and	300.00		N/A	m.sq	
vegetable outlet					
k) maximum useable floor area of a	280.00		280.00-	m.sq	
convenience store or a county store					

Comments

accessory storage building being converted to mechanical office shop. Change of use required at the time of building permit application.

				The state of the s
4.0 Parking	REQUIRED	PROPOSED	DEFICIENCY	UNITS
4.9 number of parking spaces	26	26.00	N/A	
4.3.3 number of accessible parking spaces				
i) Type A	1	1.00	N/A	
ii) Type B	1	1.00	N/A	
4.1.5 Minimum Driveway Width				
a) one-way traffic	6.00		N/A	m
b) two-way traffic	7.30	7.30	N/A	m
4.2 e) interior lot line abutting a residental	4.50		N/A	m
Zone				

Comments

two wheelchair accessible spot must be provided within the 26 spots required. Ensure a driveway width of 7.3m, and parking space dimensions of 3.0m x 5.8m are shown on final plans

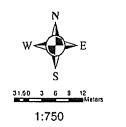
The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

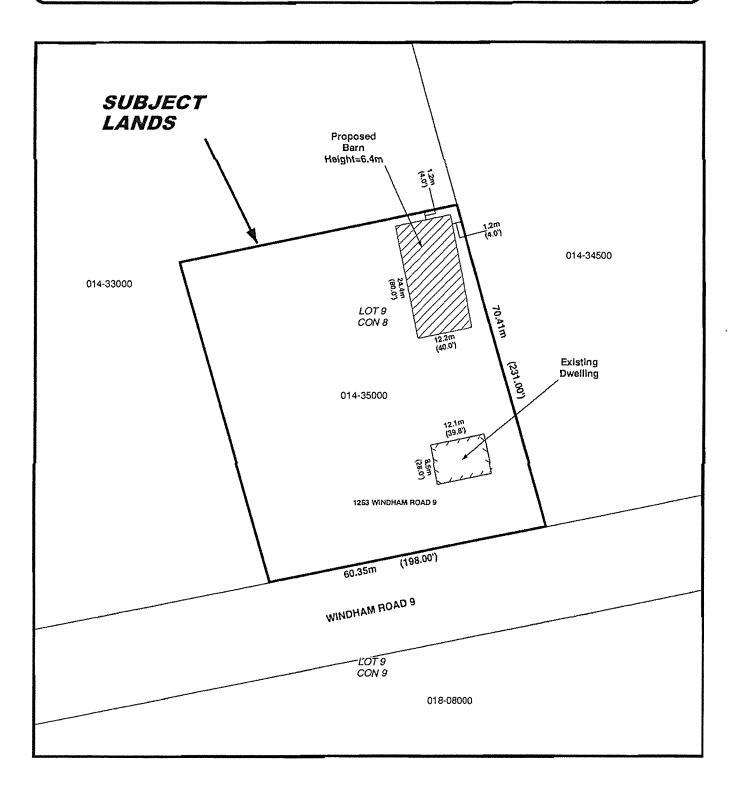
Prepared By: Roxanne Koot

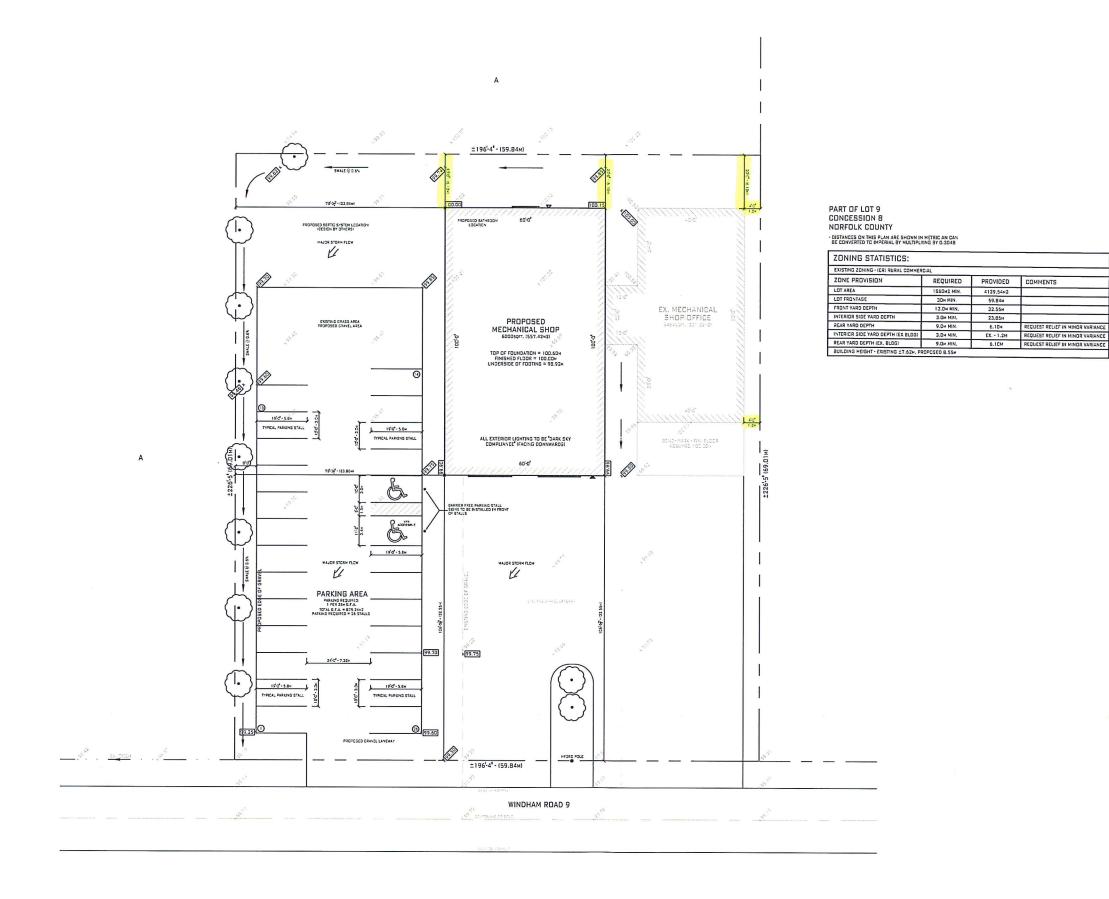
I have read and understand the above.

AS PER: Fritz R. Enzlin. CBCO, CRBO -Chief Building Official Manager, Building & Bylaw Division, Norfolk

MAP 3
File Number: ANPL2011065
Geographic Township of WINDHAM









BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRACES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS, IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO:	REVISION:	Br:	DATE:
1	ISSUED FOR PRELIMINARY REVIEWS	TS	JULY 24, 2018
2	ISSUED FOR PERMIT & CONSTRUCTION	TS	JULY 25, 2018
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\perp			
-		_	
+			
_		_	
_		_	
-		_	

4129.54M2

VANHEUGTEN CONTRACTORS

288 SCHAFER SIDE ROAD
288 SCHAFER SIDE ROAD
DELHI, ONTARIO, N48 2W6
TEL: (519) 420-9986
FAX: (519) 582-4452
EMAIL: VHCONTRACTORS@HOTMAIL.COM

girard 2478153 ONTARIO INC. 212 MAIN STREET WEST P.O. BOX 98 OTTERVILLE, ONTARIO NOJ 1RO

NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED IN RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

BESELAERE AUTO, TRUCK & DIESEL INC. BRAD BESELAERE

1263 WINDHAM ROAD 9 WINDHAM CENTER, ONTARIO

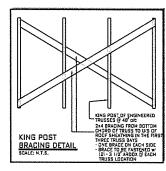
60'-0"x100'-0" COMMERCIAL BUILDING

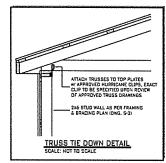
SITE PLAN

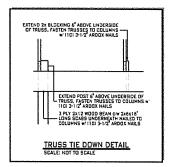
SCALE:	1/16" = 1'-0"	
DATE:	MAY 11, 2018	
DRAWING BY:	T. SFRAGUE	
DESIGNED BY:	M .VASANTHA	
CHECKED BY:	M. VASANTHA	

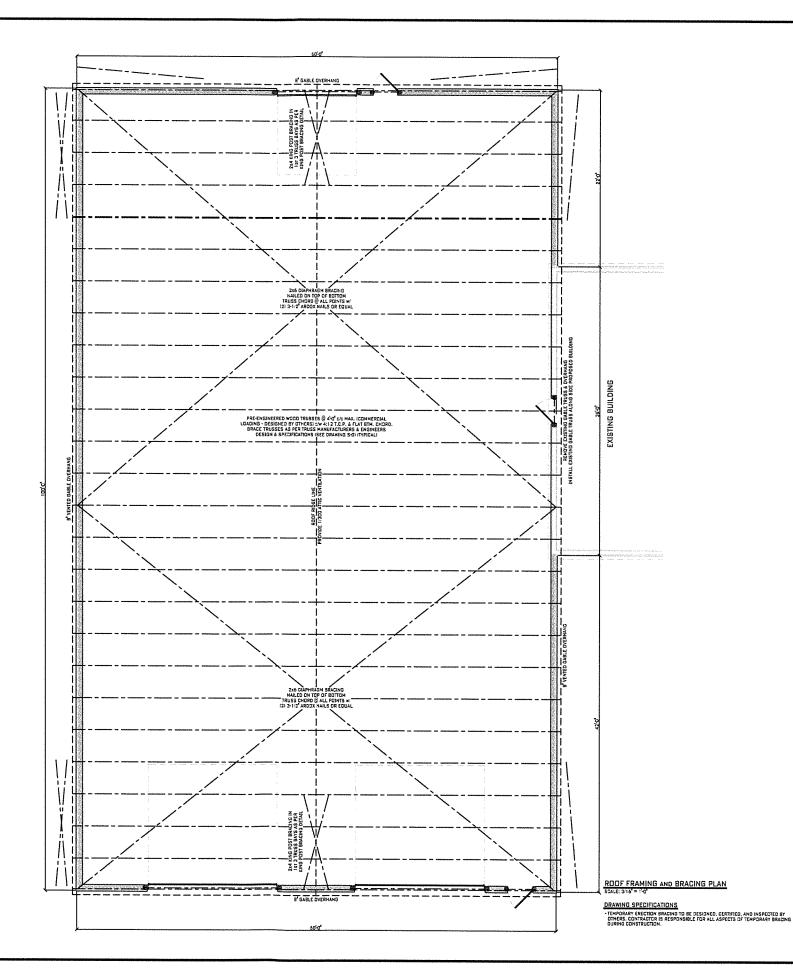
PROJECT NO: 18-145

5-5











CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHAL, PEYIEW ALL DRAWINGS AND VERBY ALL DIMENSIONS. IT IS THE EXPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO RECORD ANY DISCREPANCIES TO THE ENGINEER SPECRE PROCEEDING WITH CONSTRUCTION.

NG:	REVISION:	81:	DATES
1	ISSUED FOR PRELIMINARY REVIEWS	75	MAY 11, 201
2	ISSUED FOR PERMIT & CONSTRUCTION	18	HAY 14, 201

VANHEUGTEN CONTRACTORS
288 SCHAFER SIDE ROAD
DELHI, ONTARIO, N48 2W6 Tel: (519) 420-9986 Fax: (519) 582-4452 Email: VHCONTRACTORS@HOTMAIL.COM

GENGINEERING

2478153 ONTARIO INC. 212 MAIN STREET WEST P.O. BOX 98 OTTERVILLE, ONTARIO NOJ 1 RO TEL: 1-519-879-6875 FAX: 1-519-879-6536 EMAIL: INFO@GIRARDENGINEERING.CA



NOTE: THESE CRAVINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED IN AED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

BESELAERE AUTO, TRUCK & DIESEL INC. BRAD BESELAERE

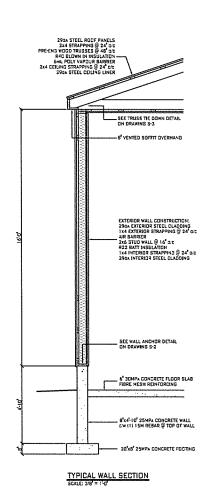
1263 WINDHAM ROAD 9 WINDHAM CENTER, ONTARIO

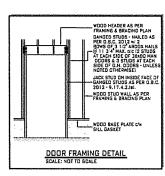
60'-0"x100'-0" COMMERCIAL BUILDING

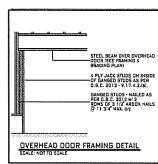
ROOF FRAMING AND BRACING PLAN & GENERAL DETAILS

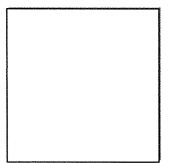
SCALE:	3/16" = 1'0"	
DATE:	HAY 15, 2018	
DRAWING SY:	T. SPRAGUÉ	
DESIGNED BY:	H ,VASANTHA	
CHECKED BY:	M. YASANTHA	
PROJECT NO:	18-145	

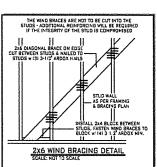
5-4

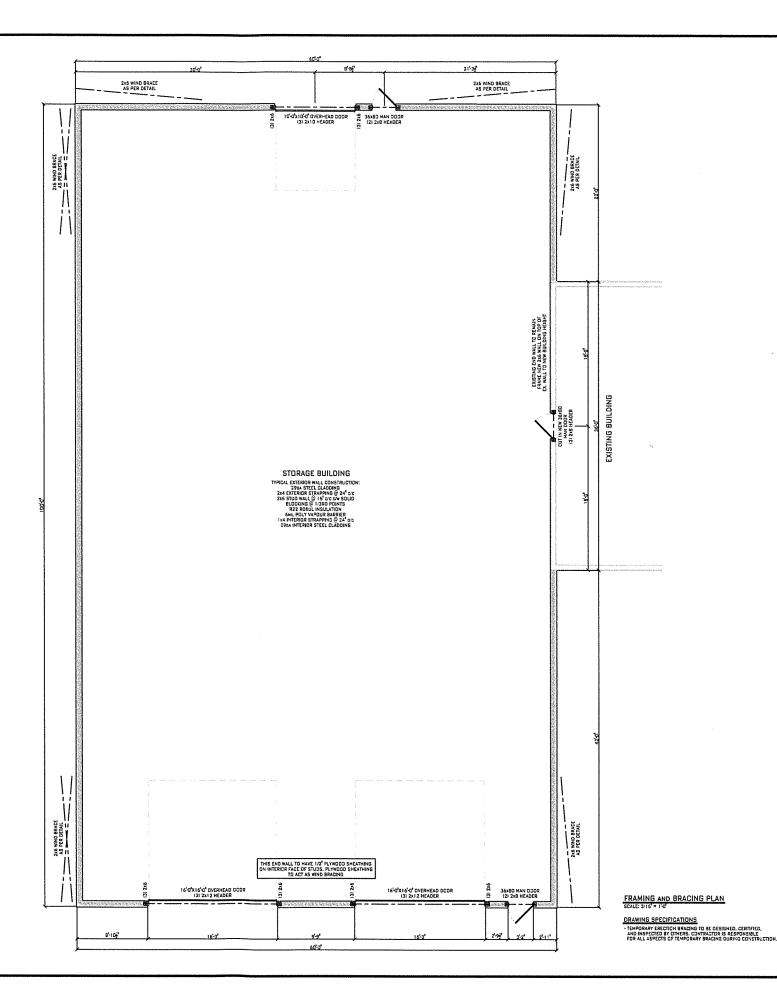














CONSTRUCTION NORTH

SOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADE SHALL REVIEW ALL DRAWNIGS AND VERIEY ALL DIMENSIONS. IT IS TO RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT A DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

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3	ISSUED FOR PERMIT & CONSTRUCTION	73	MAY 14, 201

CONSTRU

VANHEUGTEN CONTRACTORS

288 Schafer Side Road Delhi, Ontario, N48 2W6 Tel: (519) 420-9986 Fax: (519) 522-452 Email: Vacontractors@hotmail.com

DESIGNED BY:



2478153 ONTARIO INC.
212 Main Street West P.O. 80x 98
OTTERVILLE, INTARIO NOJ 1 RO
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAL: NOPO@BIRARDENSINEERING.DA



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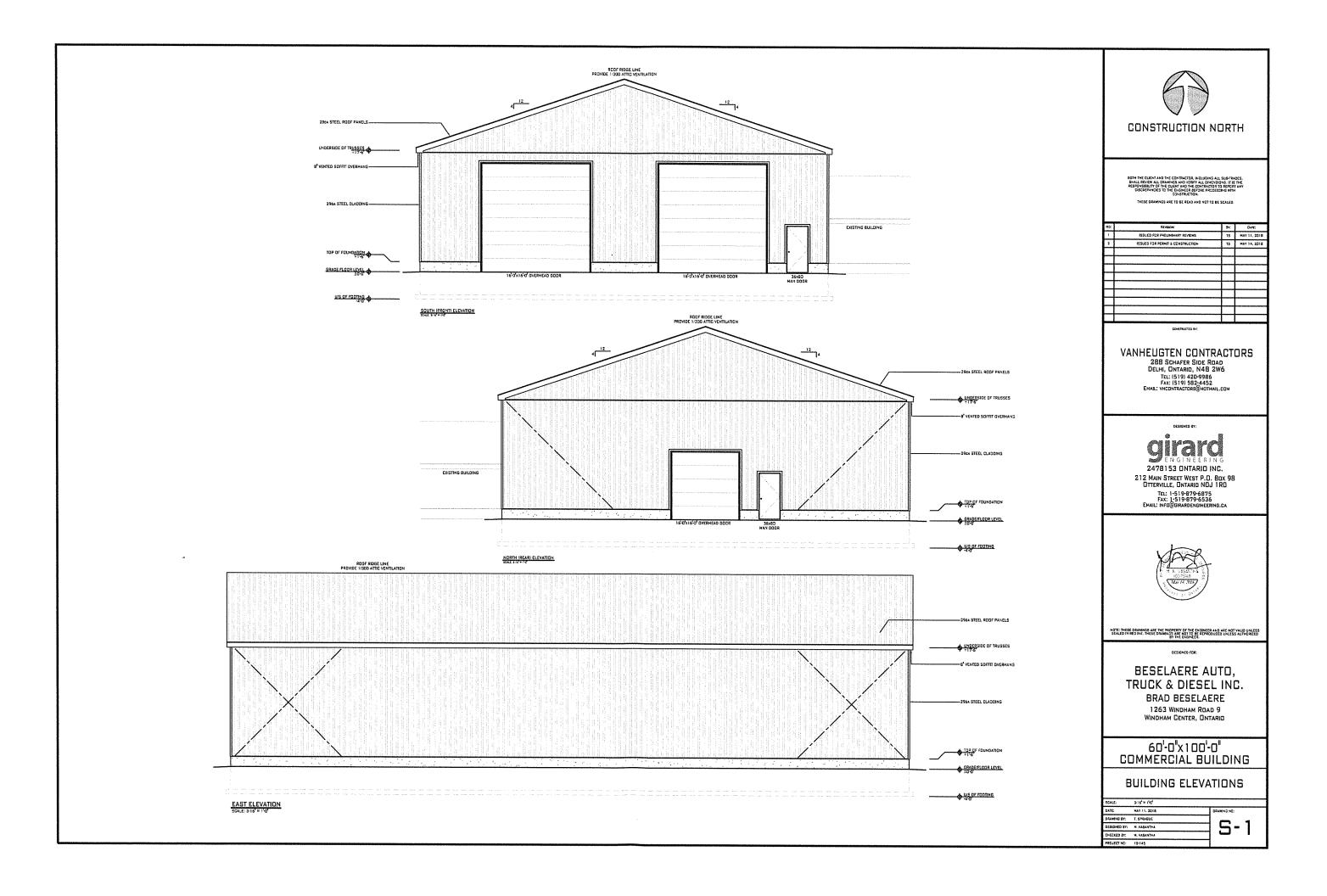
BESELAERE AUTO, TRUCK & DIESEL INC. BRAD BESELAERE

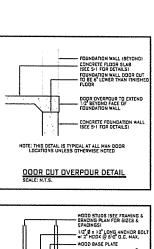
1263 WINDHAM ROAD 9 WINDHAM CENTER, ONTARIO

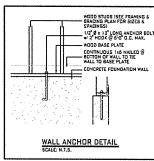
60'-0"x100'-0" COMMERCIAL BUILDING

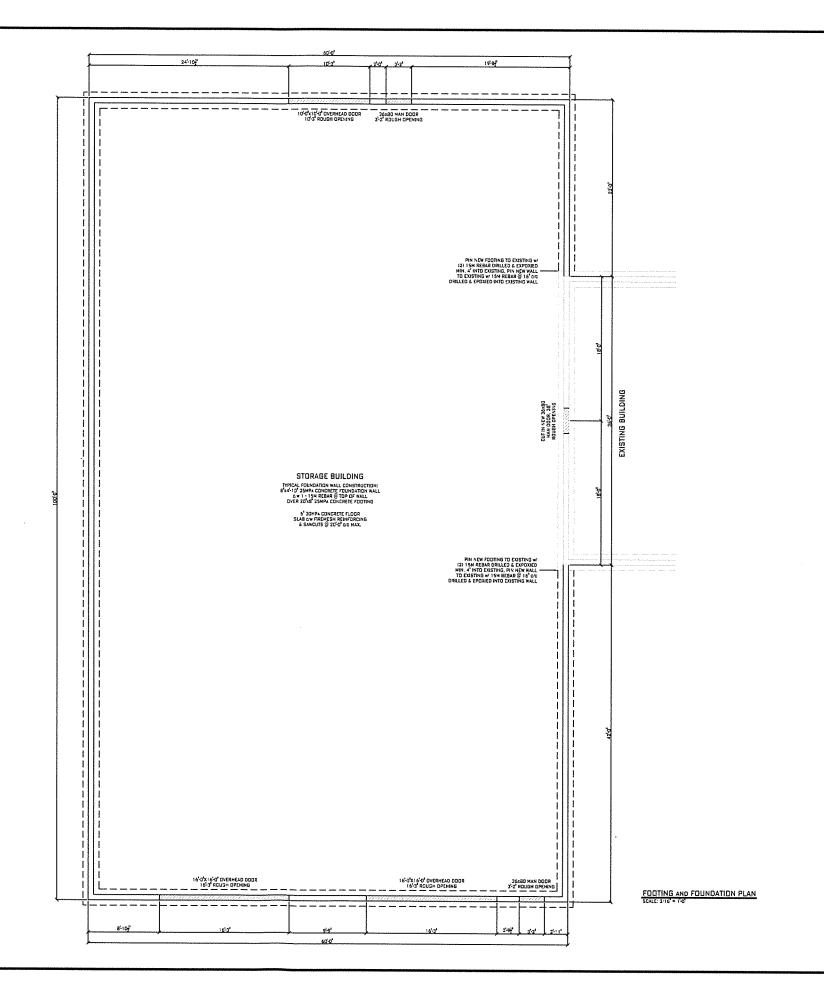
FRAMING AND BRACING PLAN & GENERAL DETAILS

SCALE:	3/16° = 1'0°	
DATE:	MAY 11, 23!8	DRAWING NO:
DRAWING BY:	T. SPRAGUE	
DESIGNED BY:	M .VASANTHA	
CHECKED BY:	M, VASANTHA	–
PROJECT NO:	18-145	











Na:	RE4SION:	BY:	DATE:
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2	ISSUED FOR PERMIT & CONSTRUCTION	TS	MAY 14, 201
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VANHEUGTEN CONTRACTORS
288 SCHAFER SIDE ROAD
DELHI, ONTARIO, N48 2W6
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EMAIL: VHCONTRACTORS@HOTHAIL.CON



2478153 ONTARIO INC. 212 MAIN STREET WEST P.O. BOX 98
DTERVILLE, ONTARIO NOJ 1RO

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1263 WINDHAM ROAD 9 WINDHAM CENTER, ONTARIO

60'-0"x 1 00'-0" COMMERCIAL BUILDING

FOOTING AND FOUNDATION PLAN & GENERAL DETAILS

5-2

SCALE: 216" = 1"C" DATE: MAY : 1, 2018 DRAWING BY: 1. SPRAGUE DESIGNED BY: M.VASANTHA

DESIGN LOADS: - WINDHAM CENTER, ONTARIO

GROUND SNOW LOAD 59 1.30kPa (27.1526F), SS (0.8) 1.04kPa (21.7296F), SR 0.40kPa (8.3596F) 0.53kPa († 1.079sf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING + MECHANICAL/ELECTRICAL ALLOWANCE

1/50 - 0.44kPa (9.19psr), 1/10 FOR DEFLECTION - 0.34cPa (7.10psr)

GENERAL NOTES:

- 1. THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE LATEST REVISION OF DESIGN ORAWINGS AND SPECIFICATIONS PREPARED BY ALL ENGINEERING AND ARCHITECTURAL DISCIPLINES.
 2. ALL WORK INCLUDING DESIGNS PETALINE, SHOP DAMINGS, CONTROLTION, AND SHORING SHALL CONFORM TO THE LATEST EDITIONS OF THE OWNARIO SOULDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
- OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.

 3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES ON THESE DRAWINGS TO THE ENGINEER ANO/OR ARCHITECT PRICING TO CONSTRUCTION.

 4. ALL STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, HECHANICAL, AND ELECTRICAL
- 4. ALL STRUCTURAL DRAWINDS STALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.

 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.

 6. OPERATIONS OF THE EXISTING FACILITY ARE NOT TO BE INTURRUPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR LOSS CAUSED BY CONSTRUCTION OPERATIONS.

 7. ALL SHOP DRAWINGS SHALL BY STAMPED BY A LICENSED PROFESSIONAL EMISLERE REPONSIBLE OF ONTARIO).

 8. THE CONTRACTOR SHALL VERIFY DIVENSIONS OF EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.

ENGINEERS GENERAL NOTES:

MINIMUM STEEL STRENGTH - 400 HPA (60 KSI)

MINIMUM SOIL BEARING CAPACITY REQUIRED - 2500ppr

- 1. CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS 2. DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
- 3. ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT TO ADHERE TO LATEST EDITION OF D.B.C. & LOCAL BY-LAWS.
- D.B.C. & LOCAL BY-LAWS,
 4. ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH D.B.G. CHARTS TO BE ENGINEERED APPROVED ISTRUCTURAL ENGINEER TO REVIEW, CALCULATE LOADS AND SIZES. STAMP, AND APPROVE).
- 5. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL, ALL EXTERIOR FOUNDATION WALL FOOTINGS TO EXTEND DOWN BELOW LOCAL FROST LEVELS (48" MINIMUM BELOW FINISHED GRADE).
- 6. REFER TO PLANS, CROSS SECTIONS, AND DETAILS FOR ALL TYPICAL CONSTRUCTION
- 7. 1 1/2 MINIMUM REBAR COVERAGE.

ENGINEERING NOTES:

- 1. NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING

- INSECTIONS:
 A. EXCANATION PRIOR TO POURING FOOTINGS
 B. FLOOR OURING POUR TO VERIFY CONCRETE & THICKNESS
 C. ALL COMPACTE POURS IN WHICH REINTOKINGS STEEL IS SPECIFIED.
 D. ROUGH TRAWING PRIOR TO CLOSE(M).
 E. TRUSS TRAWING PRIOR TO CLOSE(M).
 F. TRECTION OF STRUCTURAL STEEL & WELDING PRIOR TO CLOSE(M).
 F. TRECTION OF STRUCTURAL STEEL & WELDING PRIOR TO CLOSE(M).
 F. FRAIL INSERTEDING FOR CERTIFICATION TO BE COMPLETED WITH BOTH DWINER & CONTRACTOR PRESENT.
- E. FINAL INSPECTION FOR CERTIFICATION TO SE CONNECTED WITH BOTH DWEER & CONT 2. CONTRACTOR DO DWENT TO COMPLECT AND SUBMIT COPIES OF ALL CONCRET TESTS AS PER C.S. A. A23.1 ONE TEST REQUIRED PER 100M INITIALISM. 2. CONTRACTOR OR OWNER TO SUBMIT SHOP DAWNINGS FOR EXPLOY. 4. CONTRACTOR OR OWNER TO SUBMIT SHOP DAWNINGS OF ALL PRECAST AND (OR 5. CONTRACTOR OR OWNER TO SUBMIT SHOP DOWNERS OF ALL PRECAST AND (OR 5. CONTRACTOR OR OWNER TO SUBMIT SHOP DAWNINGS OF ALL PRECAST AND (OR 5. CONTRACTOR OR OWNER TO SUBMIT SHOP DAWNINGS OF ALL PRECAST AND (OR 6. CONTRACTOR OR OWNER TO AUDIT OF ANY CONTRACTS OR DISCREPANCES. 6. THE DESIGN ON THESE DAWNINGS IS THE PROPERTY OF THE ENGINEER AND IS NOT TO 8. CHANGES OR SUBSTITUTIONS ARE NOT TO BE MADE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

INSTALL LATERAL TRUSS REACTIVE AS DER TRUSS DOL

INSTALL LATERAL TRUSS BRACING AS PER TRUSS DR CROSS BRACE WE LATERAL BRACING AS FOLLOWS: SINGLE BRACE - EVERY 50' TRIPLE BRACE - EVERY 50' TRIPLE BRACE - EVERY 20'

TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED. AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.

SOIL & FOUNDATION NOTES:

- 1. ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT HAS BEEN ASSUMED AT 2500 PMF (120 xPat.
- THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT. 3. THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
- 3. INCLURECTION D. THE SOLIC CONSULTANT SHALL BE STRICKLY TOLLOWED.
 4. ALL EXTERIOR FOOTHINGS SHALL BE POUNED ON UNDESTREED NATURE SOIL IDR APPROVED ENGINEERED FILLI AT A MINIMUM DEPTH OF "4" IT JOW BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
 5. EXCAVATIONS SHALL CONFORM TO THE LATEST EDTIONS OF THE DECUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REDULATIONS FOR CONSTRUCTION PROJECTS.
- IMPORTED TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY UNLESS SHORED ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER, PIT WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER, BACKFILL SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER, BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED.
- DISCARRIER MUTCH.

 INSTALLATION OFFILES FOR WATERSTOPS AT WALLFOOTING INTERFACE AND IN VERTICAL JOINTS SHALL BE PROVIDED BY THE CONTRACTION AND APPROVED BY THE EMBINEER PRICE TO INSTALLATION.

 SWALLS AND PRESS SHALL BE ENTRIED OF FOURTHS WHIGH THE MODIC THIRD OF THE FOOTING.

CONCRETE AND REINFORCED CONCRETE NOTES:

- ALL CONCRETE SHALL CONFORM TO CANICSAA23.1. "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" WITH A MAXIMUM AGGREGATE SIZE OF 24" (19MM), TYPE 10 NORMAL PORTLAND CEMENT HUNLESS OTHERMISE NOTED, AND A COMPRESSIVE STRUCTURE AT 28 DAYS.

- OTHERMSE NOTED, AND A CHAMPESSIVE STRENGTH 24 CT 19 MIN, TYPE 10 NORMAL PORTLAND GEMENT IUNLESS OTHERMSE NOTED, AND A CHAMPESSIVE STRENGTH AT 28 DAYS.

 2. SUPPLY AND PLACE CONCRETE AS FOLLOWS:
 FOUNDATION WALLS 25 MPA, NAX. WE PATIO OF 0.50, AIR CONTENT 6 S. 1 S.
 FOUNDATION WALLS 25 MPA, NAX. WE PATIO OF 0.50, AIR CONTENT 6 S. 1 S.
 SLABS ON GRADE 25 MPA, NAX. WE RATIO OF 0.50, NO AIR CONTENT 65 C. 1 S.
 SLABS ON GRADE 25 MPA, NAX. WE RATIO OF 0.50, NO AIR CONTENT REQUIRED
 PIT WALLS & FLOORS ISSUESTED TO AGIO ATACO. 22 MPA TYPE SO CHEM'TI GIR EQUINALENT).

 SIDEWALKS, EXPOSED CURES, AND OTHER CONCRETE 32 MPA, NAX. WE RATIO OF 0.45, AIR CONTENT 5% C. 1 S.

 JALK REINFORCEMENT SHALL CONFORN TO CSA 30.3, G.00.5 & G.00.1 B LATEST COTIONN WITH A YIELD STRENGTH OF 400 MPA FOR FORDEROMS SHALL BE 24 SLA* (SOOM-SCOOM) SLABS.

 MINIMUM CORNER REINFORCING SHALL BE 24 SLA* (SOOM-SCOOM) SLABS.

 SIMPLIAN COVER ON REINFORCING SHALL BE 24 SLA* (SOOM-SCOOM) SLABS.

 SIMPLIAN COVER ON REINFORCING SHALL BE 24 SLA* (SOOM-SCOOM) SLABS.

 SIMPLIAN COVER ON REINFORCING TOR FORMED CONCRETE EXPOSED TO E EARTH OR WEATHER SHALL BE 2* 150M-MO FOR COVER OF THE STRENGTH OF THE SHALL BE 2* 150M-MO FOR CONCRETE ADAPTED AT SHALL BE ASSOCIATED. TO SHARL SHALL BE ASSOCIATED AND SHALL BE THE SHALL BE ASSOCIATED. TO SHALL SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED AND SHALL BE ASSOCIATED. AND SHALL BE ASSOCIATED.

- MINIMUM COVER OF 1'125464.

 **COMPROLOMINS SHALL BE INSTALLED AS SHOWN OR AS NOTED ON DRAWINGS WITH A MAXIMUM SPACING OF 30°C 19.0004 IN MALLS. MAXIMUM SLAB POUR LENSTH OF 100°C 103.0004, ALL SAW CUTS SHALL BE A MINIMUM OF 100 OF THE SUBLY.

WOOD NOTES:

- 1. Structural wood elements shall be fabricated and erected in accordance with can/csa ob6-01 "Engineering design in wood" and the wood design manual icahadhan wood council latest edition
- ENGINEERING DESIGN IN WOOD AND THE WOOD DESIGN MANUAL (CANADIAN WOOD COUNCIL LATEST EDITIONS.
 2. WOOD TRUSES SHALL BE CESSIENDE AND STANFOR OF A LICENSED PROTESSIONAL ENGINEER PROFUNCE OF OTATARIO.
 THE CONTRACTOR SHALL SUBNIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIGHT TO CONSTRUCTION.
 JACOD STUDS, OLISTS, NALLERS, BELCEONG, BILL'ITUP REAMS, AND COLUMNS SHALL BE S, P. N. D. 2 ICONSTRUCTION
 GRADED OR SETTER CONFORMING TO CANCES-D41-91 "SOFT WOOD LUMBER," GRADING SHALL CONFORM TO THE
 NATIONAL LUMBER GRADES AUTHORITY "STANDARD GRADING BULLES TO CANADIAN LUMBER," WOOD FRAME
 CONSTRUCTION SHALL CONFORM TO THE OWTARID BUILDING CODE 2005 SECTION 9.23.
 4. PLYWOOD SHATHING SHALL CONFORM TO SEA STANDARD 0121-M1978 "DOUGLAS TRE PLYWOOD" AND DIST-M1978

 CANADIAN SOFT WOOD PLYWOOD.

- CANADAM SOFT WOOD PLYWOOD.

 S. WATERGOAD AND IS. B. SHALL COMPORM TO CSA STANDARO CAND-0437. I-MBS "WAFERBOARD AND STRANDBOARD.

 F. FASTINING DOWCES INALIS ISHALL COMPORM TO CSA STANDARO BIT I-1974 "MIRE NAILS. SPIKES, AND STAPLES".

 7. TRUES TRE DOWNS, JOIST HANGERS, ETC, SHALL CONFORM TO "ACCEPTANCE CRITERIA FOR JOIST HANGERS AND SINILAR DEVICES" (THE INTERNATIONAL CONFERENCE OF BUILDING DIFICIALSI AND SHALL BE A MINIMUM OF 20 GUAGE GALVANICES STEEL.

STRUCTURAL STEEL NOTES:

- . STRUCTURAL STEEL SHALL CONFORM TO CAN CSA-S16-01 'LIMIT STATES DESIGN OF STEEL STRUCTURES' AND SUPPLEMENT S1651-05.
- STEEL BEAMS AND COLUMNS SHALL CONFORM TO CANCSA-640.21-04 QUALITY STRUCTURAL STEEL WITH A YIELD STRENGTH OF 267 MPA (40000 PSI) FOR BEAMS AND WIDE FLANGE COLUMNS, AND 333 MPA ISCOOC PSI) FOR M.S.S. SECTIONS

- SECTIONS.

 SOLTS FOR STURCTURAL STEEL COUNCTIONS SMALL CONFIDM TO ASTH A325. BOLTS AND THREADED RID FOR WIDD CONNECTIONS SMALL CONFIDM TO ASTH A327.

 WIDDO CONNECTIONS SMALL CONFIDM TO ASTM A337.

 WILDING SMALL BE PERFORMED BY PRESENDE EXTRIPIO BY THE COMMOIAN WELDING BUREAU IN CONFIDMANCE WITH THE LATEST CSA STANDARD FOR WELDING CLAUSE 24.3 OF \$16-01.

 SHOPD DAMMINSS FOR ALL FRABILIZED STEEL MEMBERS SMALL BE STAMPED BY A LICCHSED PROFESSIONAL ENGINEER PROPROMISED FOR MINIOR TO CONSTRUCTION.

TRUSS DESIGN LOADS

- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DINTARIO BUILDING CODE AND CERTIFIED BY A PROTESSIONAL ENGINEER. VINBALANCE LIADO CONDINOS SHALL BE RICLUDED IN THE TRUSS DESIGN, USE C = 1.0 (NON-MINOSMET) UNLESS OTHERWISE NOTED. TRUSS DESIGNED TO ACCOUNT FOR INCREASED SHOW LOADS DUE TO ROOF TRUSS DESIGNED TO ACCOUNT FOR INCREASED SHOW LOADS DUE TO ROOF

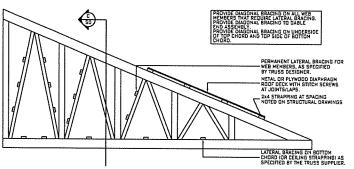
- -TRUSS DESIGNED TO ACCOUNT FOR INCREASED SHOW LOADS DUE TO ROOF VALLEYS AND SHOW SHADOW SHADO

- PERMANENT LATERAL BRACING TO BE INSTALLED ON WEB MEMBERS AS INDICATED BY TRUSS DESIGNER. SIZE AND LOCATION OF LATERAL BRACES, AND CONNECTIONS TO WEB MEMBERS BY TRUSS DESIGNER.
- 2. CONTRACTOR TO PROVIDE ALL REQUIRED TEMPORARY BRACING OF TRUSSES INDICATED BY AND TRUSS MEMBERS DURING CONSTRUCTION.

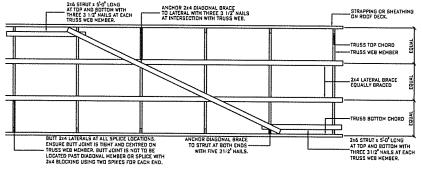
 C. CONTRACTOR TO NOTIFY FORMER AND TRUSS SUPPLIES OF ANY TRUSS DEFICIENCES SUPPLIES OF ANY TRUSS DEFICIENCES SUPPLIES OF ANY TRUSS DEFICIENCES SUPPLIES OF ANY TRUSS PROVIDED THIS OF A DAMAGED OR BRACKEN TRUSSES, WARPING OF TRUSS THE ANY TRUSS PLATES.
- 4. DIABONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING, DIAGONAL BRACING SHALL BE LIDATED AT EACH END OF THE TRUDES ASSEMBLY AND SAPECO AS NOTEO ON THE ATTACHOO DRAWINGS, AND X-BRACING SHALL BE PROVIDED AT 100°C INTERVALS UNLESS NOTED OTHERWISE.
- 5. PROVIDE DIAGONAL BRACING AT ALL DISCONTINUITIES IN LATERAL BRACING SUCH AS WHERE TRUSS TYPES CHANGE.
- 6. THE TRUSS MANUFACTURER SHALL DESIGN THE TRUSSES FOR THE BRACING NOTED. NO ADDITIONAL BRACING WILL BE INSTALLED UNLESS WRITTEN NOTICE IS PROVIDED TO THE ENGINEER BY THE TRUSS MANUFACTURER.
- TRUSS MANUFACTURER.
 7. THE CONTRACTOR AND THE TRUSS SUPPLIER SHALL ENSURE TRUSS
 SHOP ORAWINGS ARE SUBMITTED TO THE ENGINEER FOR REVIEW
 PRIOR TO PARRICADION. THE CONTRACTOR SHALL REVIEW THE TRUSS
 SHOP DRAWINGS PRIOR TO SUBMITHING THEM TO THE CRIMERER.

GENERAL TRUSS BRACING NOTES: PROVIDE DIAGONAL BRACING ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. PROVIDE DIAGONAL BRACING TO GABLE END ASSEMBLY PROVIDE DIAGONAL BRACING ON UNDERSIDE OF TOP CHORD AND TOP SIDE OF BOTTOM METAL OR PLYWOOD DIAPHRASM ROOF DECK WITH STITCH SCREWS AT JOINTS/LAPS. 2x4 STRAPPING AT SPACING NOTED ON STRUCTURAL DRAWINGS LATERAL BRACING ON BOTTOM CHORD FOR CEILING STRAPPIN SPECIFIED BY THE TRUSS SUP

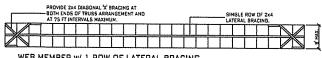
(A) TYPICAL TRUSS



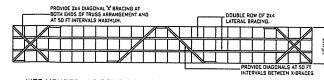
TYPICAL MOND TRUSS



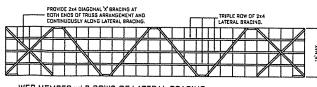
TYPICAL CONNECTION DETAIL



WEB MEMBER W/ 1 ROW OF LATERAL BRACING



WEB MEMBER W/ 2 ROWS OF LATERAL BRACING



WEB MEMBER w/ 3 ROWS OF LATERAL BRACING

SHEET IS RECOMMENDED AS A GUIDELINE ONLY AND ARE NOT INTENDED TO REPLACE PROPERLY DETAILED TRUSS SHOP DRAWINGS

TRUSS BRACING AS DETAILED ON THIS



CONSTRUCTION NORTH

edit the client and the contractor, including all sub-trades. Shall review all dramings and verify all dimensions. It is the responsibility of the client and the contractor to rederit and discrepancies to the engineer report proceeding with

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

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2	ISSUED FOR PERHIT & CONSTRUCTION	15	MAY 14, 2018
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VANHEUGTEN CONTRACTORS

288 SCHAFER SIDE ROAD DELHI TINTAPIN NAR 2W6 TEL: (519) 420-9986 FAX: (519) 582-4452

DESIGNED BY:



OTTERVILLE, ONTARIO NOJ 1RO



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BESELAERE AUTO. TRUCK & DIESEL INC. BRAD BESELAERE

1263 WINDHAM ROAD 9 WINDHAM CENTER, ONTARIO

60'-0"x100'-0" COMMERCIAL BUILDING

> **GENERAL NOTES &** SPECIFICATIONS

3/16" = 1'-0" MAY 11, 2018 ANNG BY: T. SPRAGUE EIGNED BY: W.VASANT

ECKED BY: M, VASANTH

5-0

MAP 1 File Number: ANPL2018206

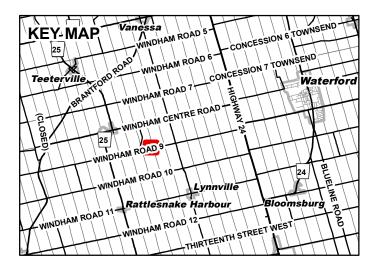
Geographic Township of

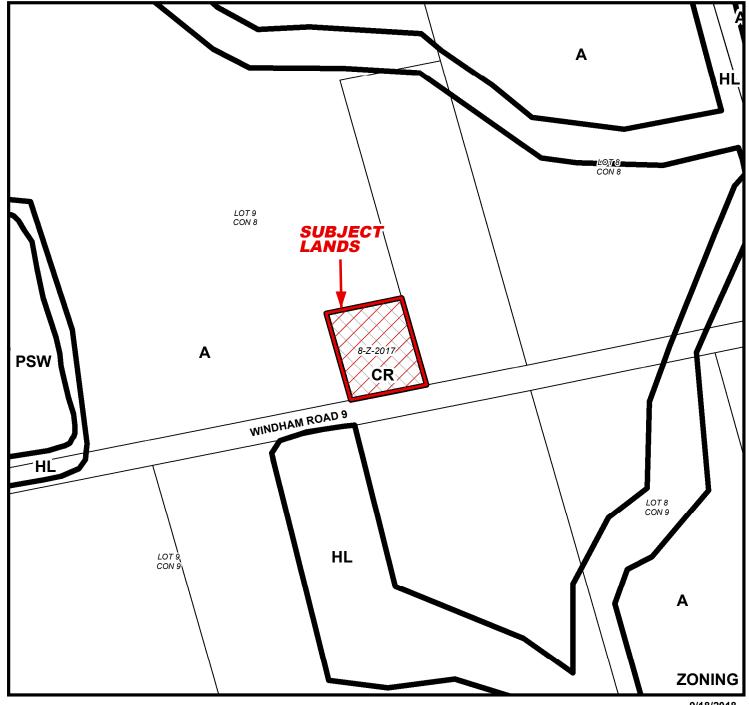
WINDHAM



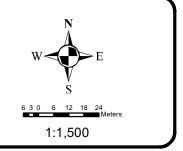
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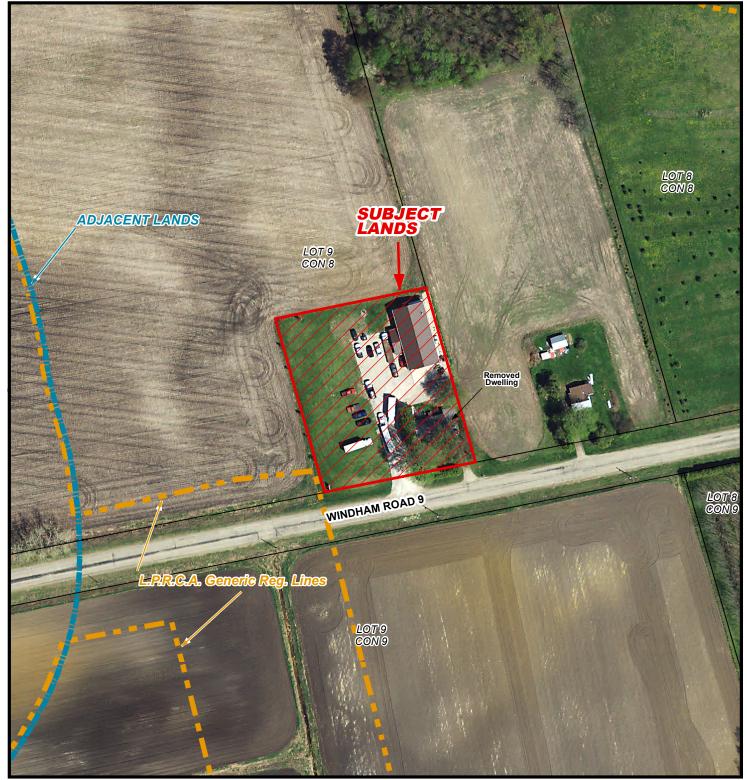






MAP 2 File Number: ANPL2018206 Geographic Township of WINDHAM

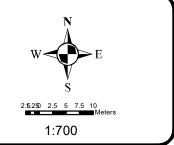


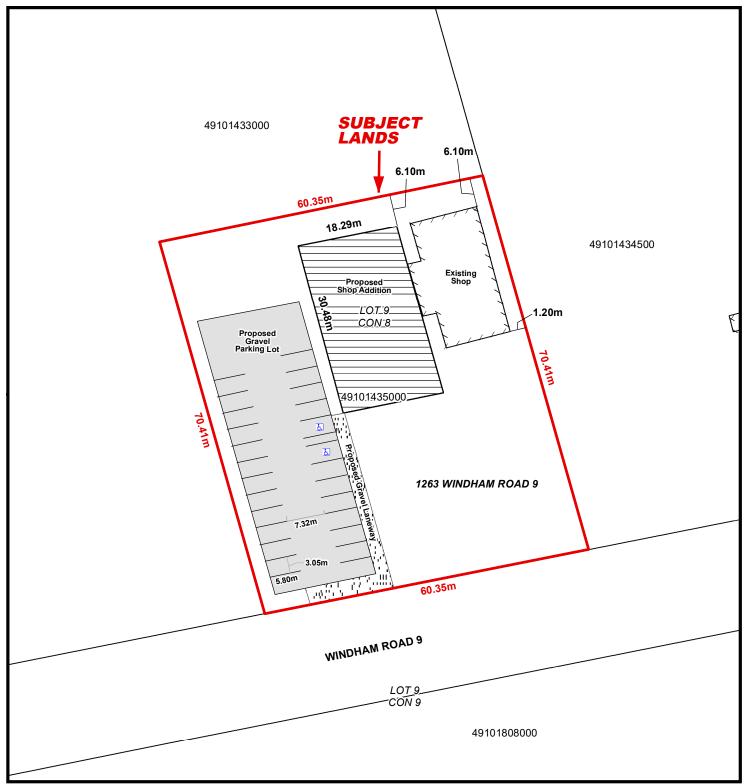


MAP 3

File Number: ANPL2018206

Geographic Township of WINDHAM





LOCATION OF LANDS AFFECTED

File Number: ANPL2018206

Geographic Township of WINDHAM

