

For Office Use Only:

File Number	<u>ANPL2018287</u>	Application Fee	<u>waived by Pam</u>
Related File Number	<u>ANPL201855</u>	Conservation Authority Fee	<u>—</u>
Pre-consultation Meeting	<u>Nov 13/18</u>	OSSD Form Provided	<u>on-file</u>
Application Submitted	<u>Nov 19/18</u>	Planner	<u>Steve</u>
Complete Application	<u>Nov 19/18</u>	Public Notice Sign	<u>yes</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 543-070-37700-0000**A. Applicant Information****Name of Owner**Wayne & Dianne Woloschuk

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address24 Vineden Dr**Town and Postal Code**St. Thomas N5P 2M6**Phone Number**519-633-1831**Cell Number**519-860-2036**Email**wwoloschuk@gmail.com**Name of Applicant**same as above.**Address****Town and Postal Code****Phone Number****Cell Number****Email**

NORFOLK COUNTY
COMMUNITY
PLANNING
DEVELOPMENT APPLICATION

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

100 Old Cut Blvd SWAL PLAN 436 LOT 619

Municipal Civic Address: 100 OLD CUT BLVD

Present Official Plan Designation(s): Resort Residential.

Present Zoning: Resort Residential.

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

Vacation Home.



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COMMUNITY
PLANNING
2020-2021-2022-2023-2024

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Vacation Home

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Boat house with storage above.
* Sketch enclosed

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50+ years.

9. Existing use of abutting properties:

Vacation Home, Boat House, Boat Wells

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:



C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

See sketches
attached

2. Please outline the relief requested (assistance is available):

Need relief of ~~104.04~~ 160.04 sq.m. from the maximum
56 sq.m. usable floor space (Boat House)
To allow a total of 160.04 sq.m.
2m from max 5m to allow 7m height.
0.87% from max lot coverage of 10% to allow 10.87%

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Boat well is taking up our existing usable floor space (from building recently removed) - no permits.
We request an upper storage space to be comparable in storage space & to accommodate the boat arch - storage space proposed above to maintain ~10% lot coverage.

4. Description of land intended to be severed in metric units:

Frontage:	_____
Depth:	_____
Width:	_____
Lot Area:	_____
Present Use:	_____
Proposed Use:	_____



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PLANNING
DEVELOPMENT & PLANNING

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Personal knowledge.



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance adjacent

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____



F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |

Sewage Treatment

- | | |
|--|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input checked="" type="checkbox"/> Septic tank and tile bed | <input type="checkbox"/> Other (describe below) |

Storm Drainage

- | | |
|---|--|
| <input type="checkbox"/> Storm sewers | <input checked="" type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

Old Cut Blvd.

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Similar structure previously approved by minor variance ANPL201865.
Only change is addition of internal doors b/w boatwell & storage
areas and that changes how space is counted in the Norfolk County
Zoning By-Law. LPRCA has approved permits.



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The door is a safety
to access boat area.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form *on-file*
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



I. Transfers, Easements and Postponement of Interest

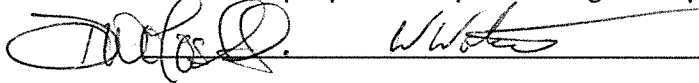
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

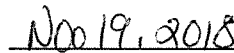
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date



K. Declaration

I, Wayne & Dianne Woloschuk of St. Thomas, ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

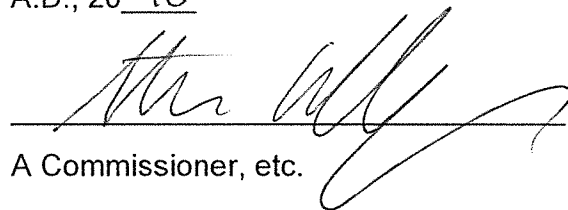


Owner/Applicant/Agent Signature

In Norfolk County

This 19th day of November

A.D., 20 18


A Commissioner, etc.



NORFOLK COUNTY
COMMUNITY
PLANNING



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 100 Old Cut Blvd Long Point

Legal Description:

Roll Number: 331054307037700

Application #:

Information Origins: drawings supplied by Girard Engineering **NOTE: lands at back of property owned by MNR. Owner must supply proof of purchase or permission from MNR to construct on this portion of property**

3.2.2 Boathouse	REQUIRED	PROPOSED	DEFICIENCY	UNITS
a) minimum exterior side yard	6.00		N/A	m
b) minimum interior side yard				m
i) typical lot	1.20	1.26	N/A	m
ii) erected on a common lot line	0.00		N/A	m
c) maximum building height	5.00	7.00	2.00	m
(Note: Proposed Area)				m.sq
d) maximum total usable floor area	56.00	160.04	104.04	m.sq
e) maximum lot coverage - shall not occupy more than 10 percent of the lot area, for ALL accessory buildings	10.00	10.87	0.87	%
Comments				

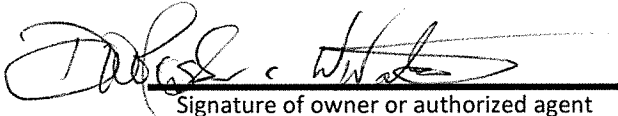
includes boathouse and all accessory buildings, as boathouse contains access to all accessory buildings (revision to original zoning Deficiency form dated July 9, 2018)

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

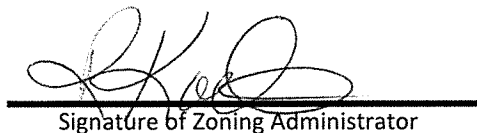
Roxanne Koot

I have read and understand the above.

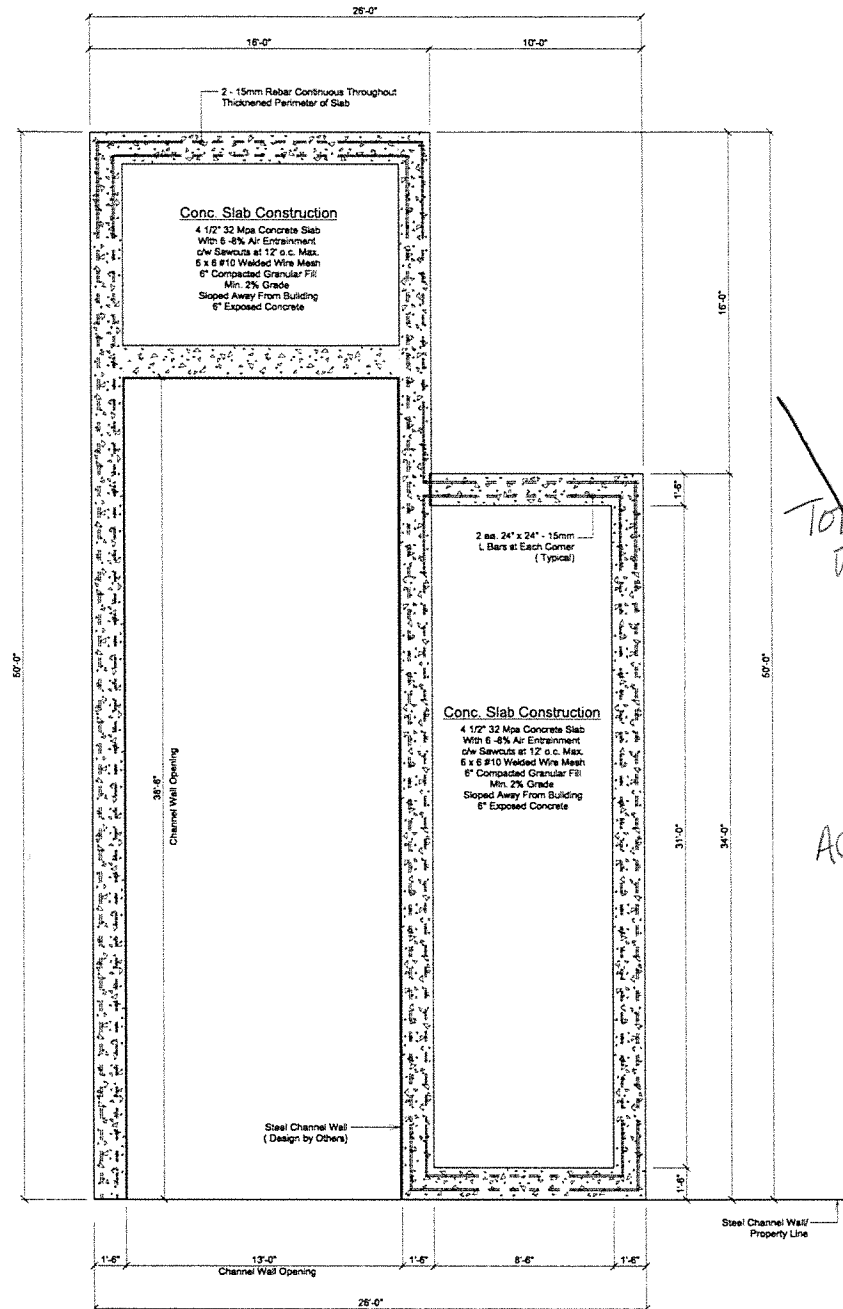

Signature of owner or authorized agent

Nov. 16, 2018
date

AS PER: Fritz R. Enzlin. CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County


Signature of Zoning Administrator

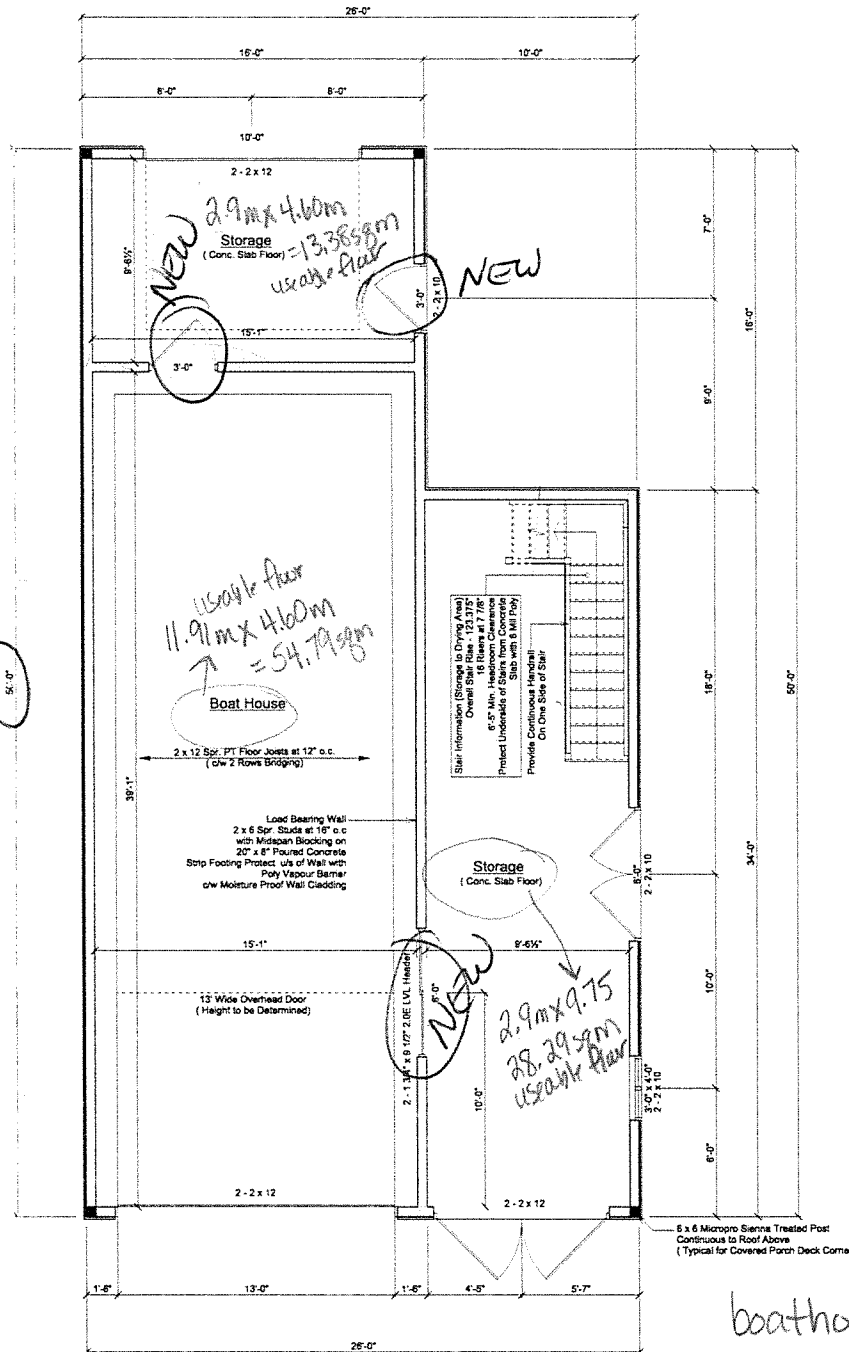
Nov. 16, 2018
date



~~TOTAL USEABLE FLOOR AREA
to no entrance to storage
building
54.79sqm + 63.58sqm
= 118.37sqm~~

~~ACCESSORY STRUCTURES
operate
13.38sqm + 28.29sqm
= 41.67sqm~~

NEW



boathouse to outbuilding
usable floor area.
96.46^(1st)sqm + 63.58^(2nd)
= 160.04sqm
lot coverage = 105.91sqm
= 10.87%

lot size = 914.71sqm

GENERAL NOTES:

- Min. Concrete Strength (28 day) - 25 Mpa (3600 psi)
- Steel Strength - 400Mpa (60 Ksi)
- Assumed Soil Bearing Capacity (2500 psi)
- Contractor to Check and Verify any Discrepancies Prior to Construction
- Drawings are to be Read and NOT to be Scaled
- All Construction, Materials and Equipment to Adhere to the Latest Edition of the OBC & Local By-Laws
- All Structural Elements not Obtainable Through OBC Charts to be Engineer Approved (Structural Engineer to Review, Calculate Loads/Size Stamp and Approve)
- All Footings to Bear on Undisturbed Soil
- All Exterior Foundation Walls to Extend Down Below Local Frost Levels (4 Min. cover)
- Refer to Plans, Cross Sections and Details for All Typical Construction Details and Notes
- 1 1/2" Min. Concrete Rebar Coverage
- Location of All Services to be Verified by Owner/ Contractor

Roof Truss and Girder Design by Truss Manufacturer Provide Temporary Bracing for Columns and Walls until Final Bracing is Complete

Smoke Detectors / Alarms to Have Minimum 7 Day Battery Back up if Hard Wired

All Window and Door Openings in Exterior / Interior Load Bearing Walls c/w 1 ea. Jack Stud and 1 ea. King Stud at Either End of Header Unless Noted Otherwise

Provide Continuous Bearing to Foundation Wall / Footings Through Floor System as per Manufacturer's Specifications

DESIGN NOTES:

Ground Snow Load - 1.40Kpa (29.3 psf)
Dead Load - 0.72Kpa (15 psf)
Basic Roof Snow Load Factor (Cb) - 0.8
Wind load (1/50) - 0.43 Kpa (8.9 psf)

All Construction to Conform to OBC 2012 Part 9 Contractor to Refer to Applicable Codes Listed for Minimum Construction Requirements, Project Site Conditions and Applicable Project Design

DATE	REVISION	DRAWN	CHECK

CLIENT AND CONTRACTOR SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS OR CHANGES BEFORE CONSTRUCTION TO THE COVERED SERVICE. DISCREPANCIES ARE TO BE RAISED AND NOT WAIVED.

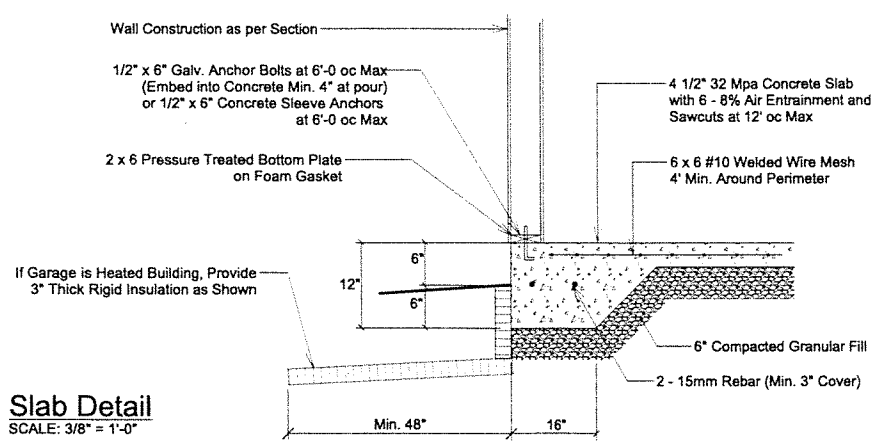
SPRINGFIELD TIMBER MART
51276 Ron McNeil Line
Springfield, Ontario
NOL 2/0
519-765-4321 ph
519-765-4717 fax

BCIN / SCHEDULE 1 REVIEW BY:

girard ENGINEERING
2478153 Ontario Inc. o/e Girard Engineering
212 Main Street West, P.O. Box 98
Ottawa, ON N0J 1P0
519-879-6875 ph
519-879-6536 fx
Email: info@girardengineering.ca

Proposed New Boat House:
Wayne & Dianne Woloschuk
100 Oak Crt Blvd.
Port Rowan, On

Foundation / Main Floor Plan	
DRAWN: J. Carrol	SCALE: 1/4" = 1'-0"
DESIGNED BY: DFMV	DRAWING No.
CHECKED BY: DFMV	A1
DATE: July 30 2018	
JOB No.: 00-000	



**NORFOLK COUNTY
RECEIVED**

OCT 04 2018

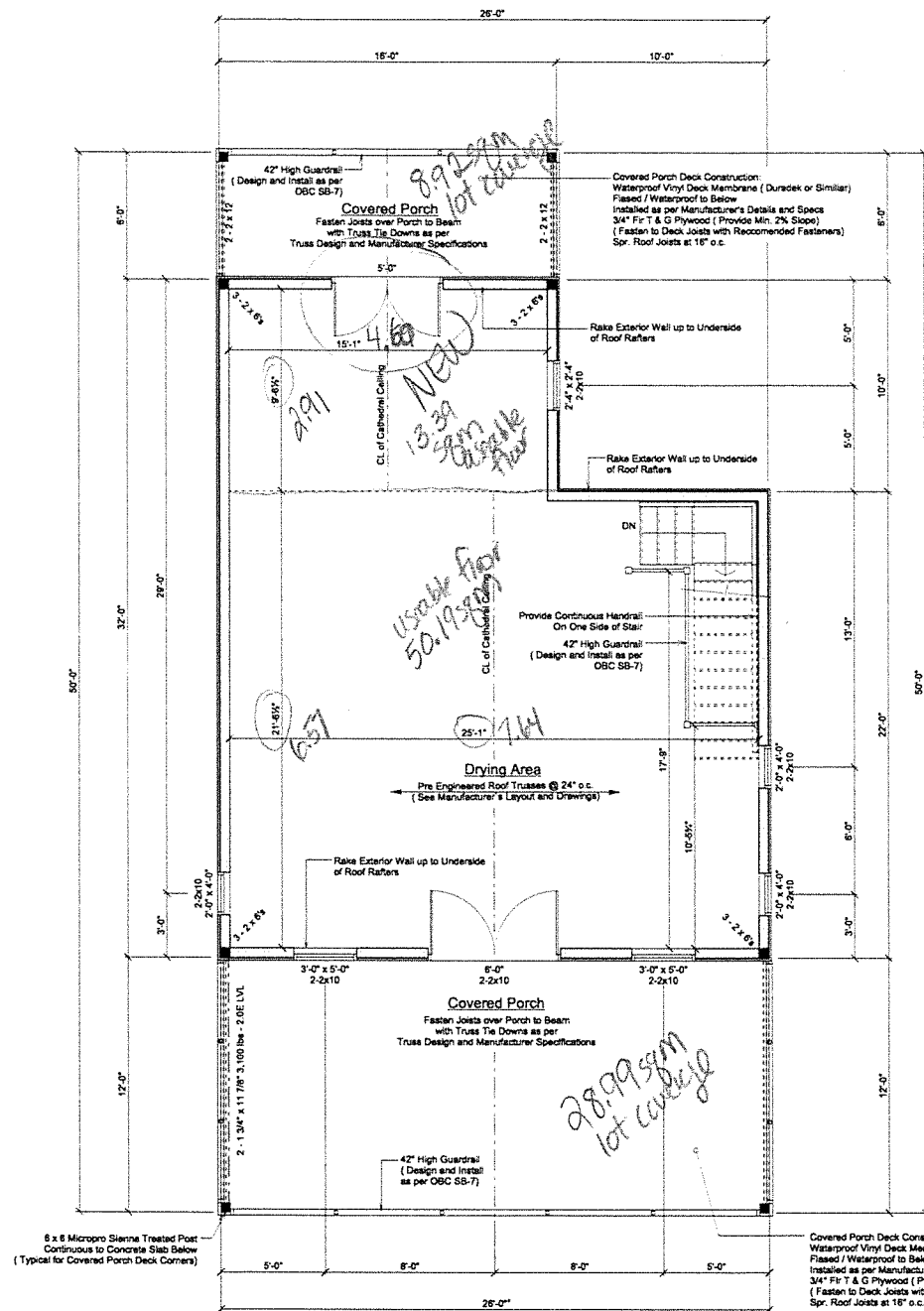
**DEVELOPMENT AND
CULTURAL SERVICES**



RECEIVED
NORFOLK COUNTY

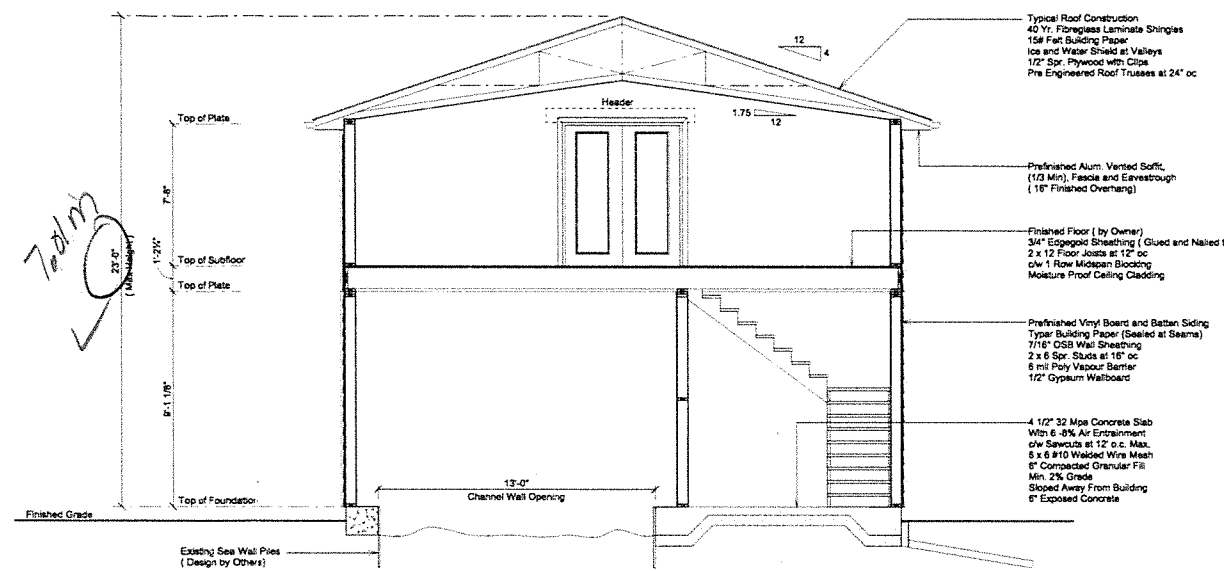
OCT 6 4 2004

CULTURAL SERVICES
DEVELOPMENT AND

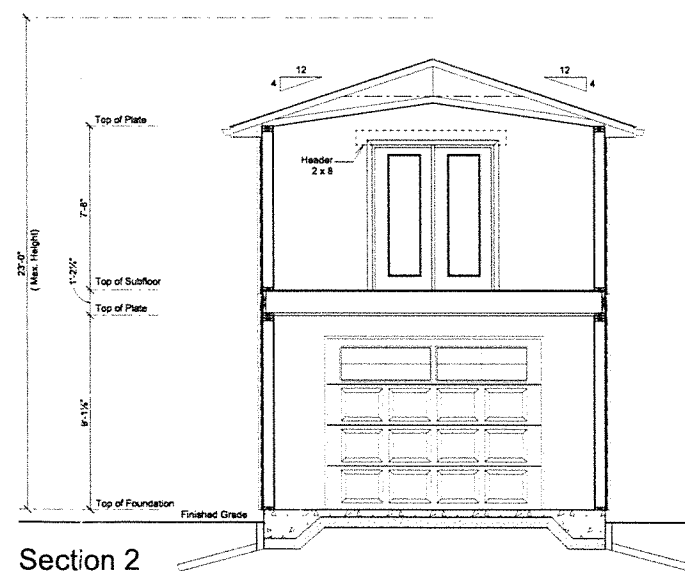


Second Floor Plan
SCALE: 1/4" = 1'-0"

and storey usable floor area 63.58sqm



Section 1
SCALE: 1/4" = 1'-0"



Section 2
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- Min. Concrete Strength (28 day) - 25 Mpa (3000 psi)
- Steel Strength - 400Mpa (60 Ksi)
- Assumed Soil Bearing Capacity (2500 psi)
- Contractor to Check and Verify any Discrepancies Prior to Construction
- Drawings are to be Read and NOT to be Scaled
- All Construction, Materials and Equipment to Adhere to the Latest Edition of the OBC & Local By-Laws
- All Structural Elements not Obtainable Through OBC Charts to be Engineer Approved (Structural Engineer to Review, Calculate Loads/Size Stamp and Approve)
- All Footings to Bear on Undisturbed Soil
- All Exterior Foundation Walls to Extend Down Below Local Frost Levels (4' Min. cover)
- Refer to Plans, Cross Sections and Details for All Typical Construction Details and Notes
- 1 1/2" Min. Concrete Rebar Coverage
- Location of All Services to be Verified by Owner/ Contractor
- Roof Truss and Girder Design by Truss Manufacturer Provide Temporary Bracing for Columns and Walls until Final Bracing is Complete
- Smoke Detectors / Alarms to Have Minimum 7 Day Battery Back up if Hard Wired
- All Window and Door Openings in Exterior / Interior Load Bearing Walls c/w 1 ea. Jack Stud and 1 ea. King Stud at Either End of Header Unless Noted Otherwise
- Provide Continuous Bearing to Foundation Wall / Footings Through Floor System as per Manufacturer's Specifications

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- Dead Load - 0.72Kpa (15 psf)
- Basic Roof Snow Load Factor (Cb) - 0.8
- Wind load (1/50) - 0.43 Kpa (8.9 psf)
- All Construction to Conform to OBC 2012
- Part 9 Contractor to Refer to Applicable Codes Listed for Minimum Construction Requirements, Project Site Conditions and Applicable Project Design

DATE	REVISION	DRAWN	CHECK

SPRINGFIELD
TIMBER MART
51276 Ron McNeil Line
Springfield, Ontario
N0J 2J0
519-765-4321 ph
519-765-4717 fax

BCIN / SCHEDULE 1 REVIEW BY:

girard
ENGINEERING
2478153 Ontario Inc. o/a Girard Engineering
212 Main Street West, P.O. Box 98
Ottawa, ON N0J 1P0
519-879-6875 ph
519-879-6536 fx
Email: info@girardengineering.ca

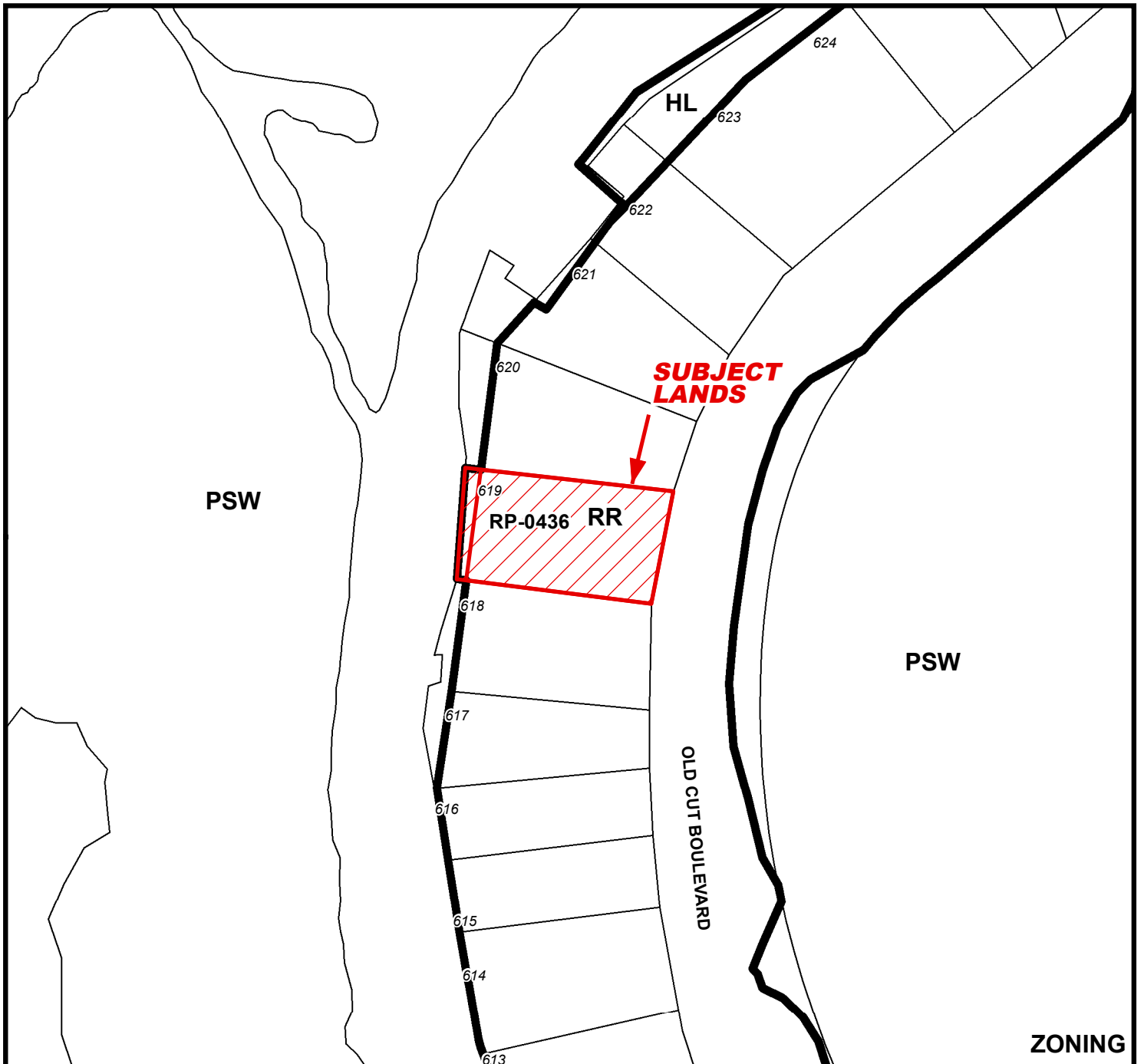
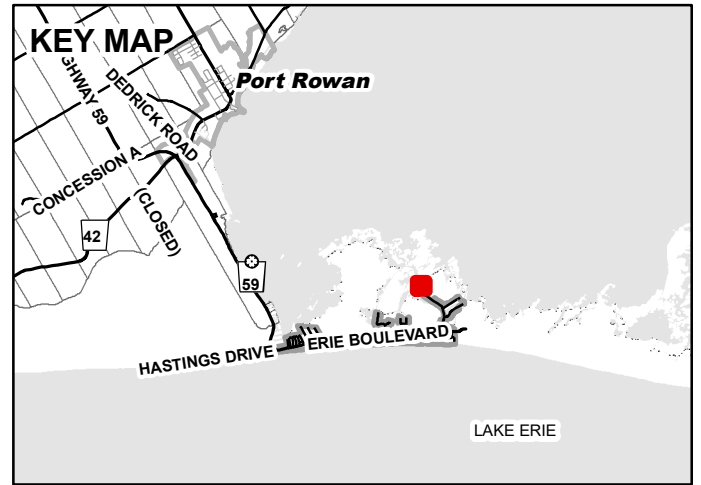
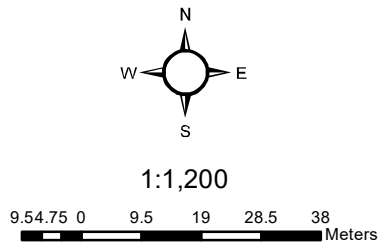
Proposed New Boat House:
Wayne & Dianne Woloschuk
100 Old Cut Blvd.
Port Rowan, On

Second Floor Plan / Section Drawings

DRAWN: J. Carol	SCALE: 1/4" = 1'-0"
DESIGNED BY: DF/MV	DRAWING No.
CHECKED BY: DF/MV	A2
DATE: July 30 2018	JOB No.: 00-000



MAP 1
File Number: ANPL2018287
Geographic Township of
SOUTH WALSLINGHAM



MAP 2

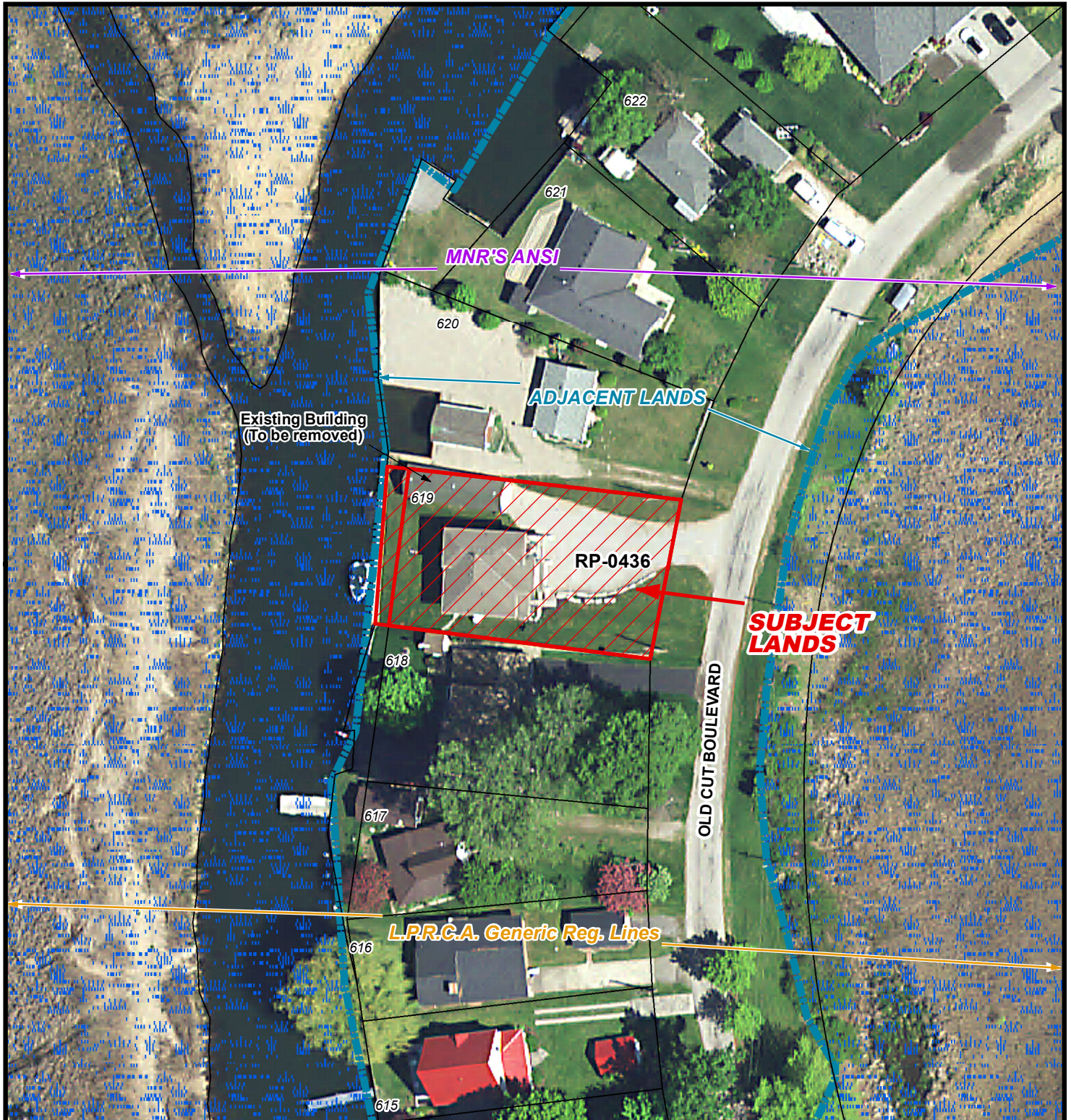
File Number: ANPL2018287

Geographic Township of SOUTH WALSINGHAM



31.50 3 6 9 12 Meters

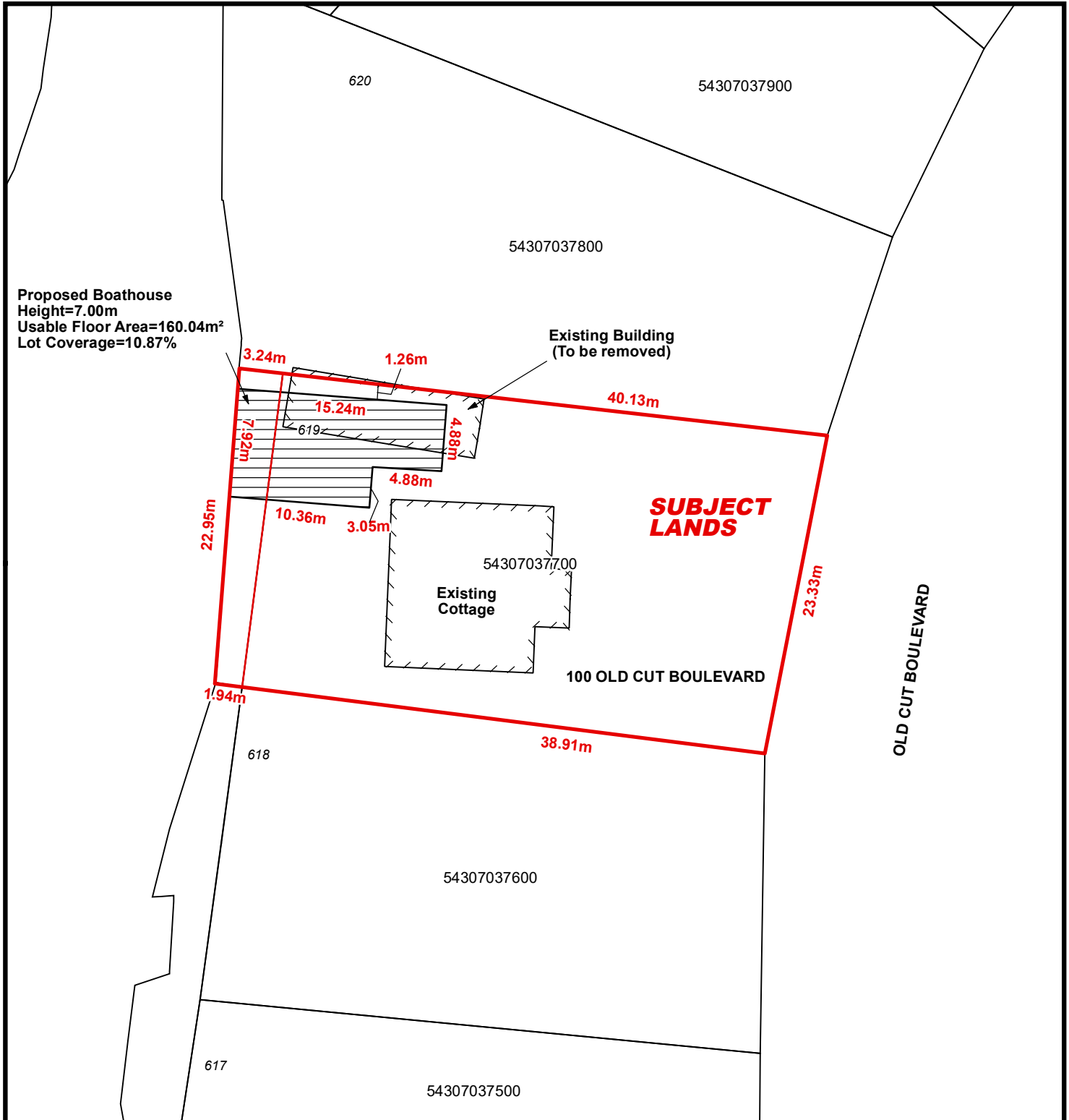
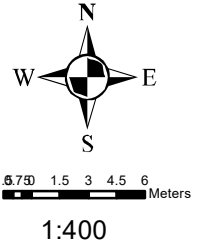
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MAP 3

File Number: ANPL2018287

Geographic Township of SOUTH WALSHINGHAM



LOCATION OF LANDS AFFECTED

File Number: ANPL2018287

Geographic Township of SOUTH WALSLINGHAM



1 1.5 3 4.5 6 Meters

1:400

