

For Office Use Only:

File Number	<u>ANPL2019005</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>—</u>
Pre-consultation Meeting	<u>Nov 2018</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>Jan 8/19</u>	Planner	<u>Steve</u>
Complete Application	<u>Jan 8/19</u>	Public Notice Sign	<u>Yes</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 331049301053000000

A. Applicant Information

Name of Owner Jesse Hilliard

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 96 Lynedoch Rd. Delhi, ON

Town and Postal Code Delhi, ON N4B 2W4

Phone Number (519) 428-4427

Cell Number same

Email jesse@jandj.aluminum.ca

Name of Applicant Same as above

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

First Ontario

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

CHR PLAN 37B BLK 6 LOT 10 RP

Municipal Civic Address: 90 Lynedoch Rd Delhi on

Present Official Plan Designation(s): Hamlet

Present Zoning: Hamlet Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

House/Residence



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

as per sketch one dwelling

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

attached garage addition existing

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

40+ years

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:



C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage

Lot depth

Lot width

Lot area

Lot coverage

Front yard

Rear yard

Left Interior side yard

Right Interior side yard

Exterior side yard (corner lot)

2. Please outline the relief requested (assistance is available):

Relief of 0.98m to allow minimum front yard of 5.07m

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

attached garage is already constructed and too close to property line

4. Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:



Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____



Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

_____ on a developed lot within in a developed hamlet

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 130m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☒ within 500 meters – distance 330m



F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☐ Communal wells

☒ Individual wells

☐ Other (describe below)

Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed

☐ Other (describe below)

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Lynedach Rd Charlottesville Rd 12 West

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☒ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

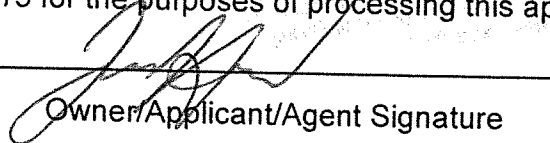
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

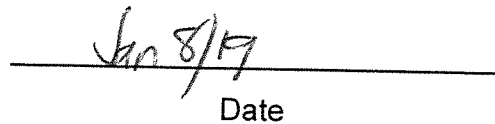
Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.


Owner/Applicant/Agent Signature


Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date



* Leave blank until submitting

K. Declaration


I, Jesse Hiliard of Lynedoch

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

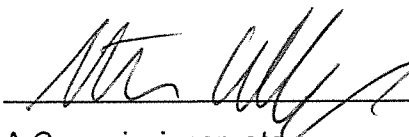
Langton


Owner/Applicant/Agent Signature

In Norfolk County

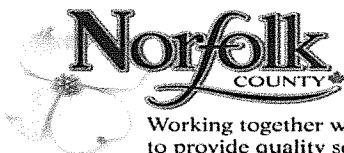
This 8th day of January

A.D., 20 19


A Commissioner, etc.

Steven James Coltyer,
a Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires April 3, 2021





Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

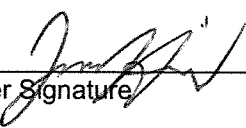
OFFICE USE ONLY		FILE No.:	DATE RECEIVED:
PROPERTY INFORMATION		Municipal Address: <u>90 LYNEDOCK ROAD</u>	
Owner: <u>JESSE HILLIARD</u>		Lot: <u>10</u>	Concession:
Lot Area: <u>.39A</u>	Lot Frontage: <u>148.26'</u>	Assessment Roll No. <u>3310493010153</u>	
PURPOSE OF EVALUATION		<input checked="" type="checkbox"/> Consent <input type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____	
BUILDING INFORMATION		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural	
Building Area: <u>900 sq ft</u>	No. of Bedrooms: <u>2</u>	No. of Fixture Units: <u>12</u>	Is the building currently occupied? <u>Yes</u> No If No, how long?
EVALUATOR'S INFORMATION		Company Name: <u>DARLINGTON WIRING + PLBG LTD.</u>	
Address: <u>1925 NORFOLK CANTY RD 21</u>		Postal Code: <u>N4B 2W4</u>	Phone: <u>519 815-2571</u>
Email: <u>scott@darlingtonwp.com</u>		BCIN # <u>15833</u>	
SITE EVALUATION		Ground Cover (trees, bushes, grass, impermeable surface): <u>LAWN</u>	
Soil Type: <u>SAND</u>			
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry	
Depth of Water Table: <u>60</u> ft.			
Surface Discharge Observed: Yes <u>No</u>		Odour Detected: Yes <u>No</u>	
Current Weather (at time of evaluation): <u>Sunny 12°C</u>			
SYSTEM EVALUATION		Class of System:	
<input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)			
Tank:		Size: <u>800</u> Gal.	
<input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____		Pump: Yes <u>No</u>	
Distribution System:		No. of Tile Runs: <u>7</u>	
Area: <input checked="" type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		Total Length of Tile: <u>300</u>	Distance Between Tile Runs: <u>5.5'</u>
Tile Material:		Cover:	
<input checked="" type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other _____		<input checked="" type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input type="checkbox"/> Top Soil <input type="checkbox"/> Seeded	
Ends:			
<input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined			
Setbacks:		Tank	
Distance to Buildings & Structures (ft)		<u>5'</u>	
Distance to Bodies of Water (ft)		<u>N/A</u>	
Distance to Nearest Well (ft)		<u>52'</u>	
Distance to Proposed Property Lines		Front <u>30'</u> Rear <u>20'</u> Side <u>15'</u> Side <u>25'</u>	
		Front <u>10</u> Rear <u>10</u> Side <u>10</u> Side <u>30</u>	

OVERALL SYSTEM RATING	<input checked="" type="checkbox"/> System Working Properly / No Work Required
	<input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required <u>Note:</u> Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-4377 for more information.
Additional Comments:	

VERIFICATION	
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OWNER:
 The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.

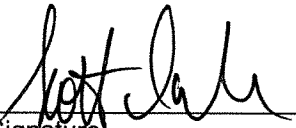
I, Jesse Hilliard (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.

 _____
 Owner Signature

 Date Jan 8/19

EVALUATOR:

1. I, SCOTT DARWINSTON declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.

 _____
 Evaluator Signature

 Date Dec 12 / 2018

BUILDING DIVISION COMMENTS	
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Comments: _____

I, _____ have reviewed the information contained in this form as submitted.

 Chief Building Official or designate

 Date



On Site Sewage Disposal System Location Plan

DATE: DEC 12

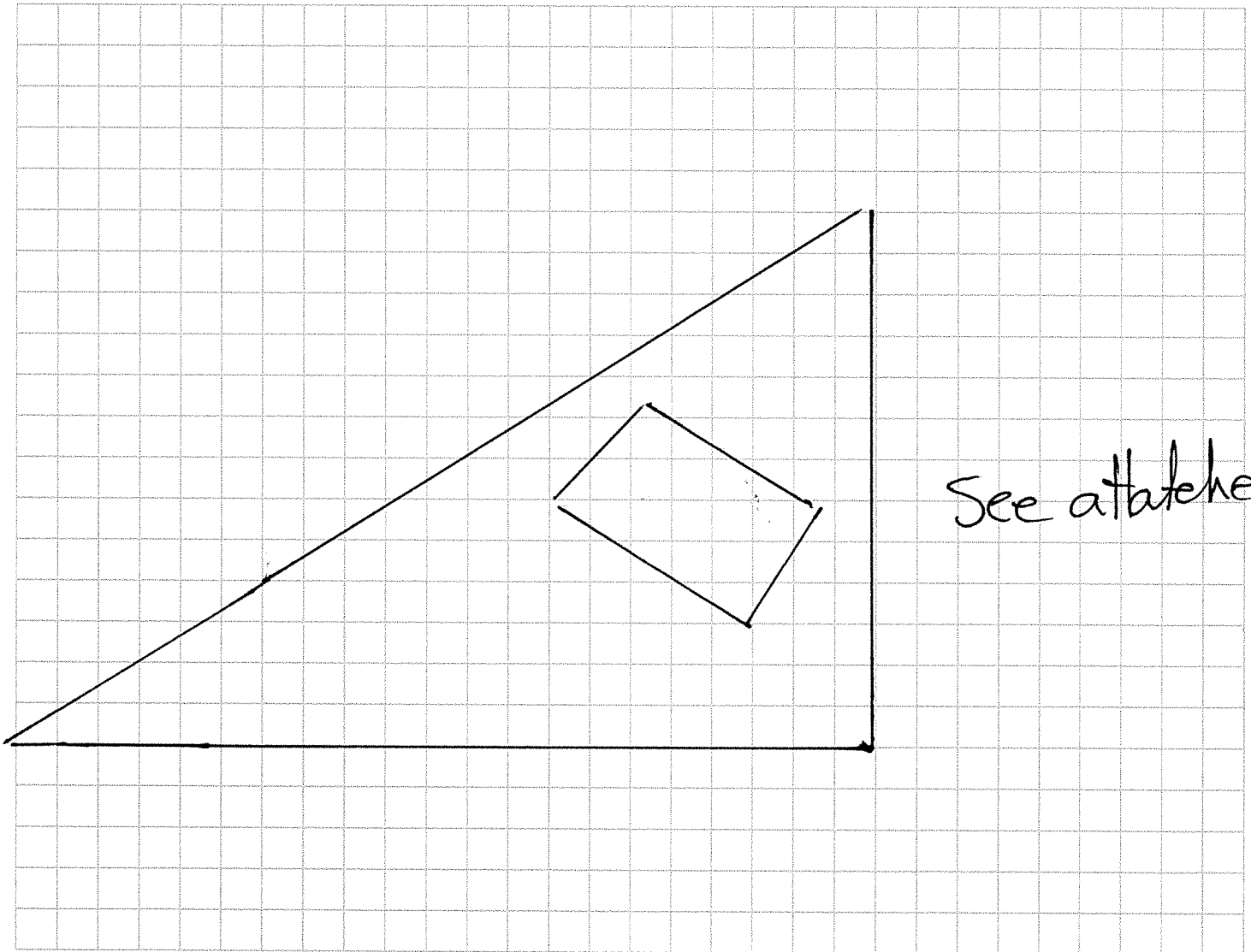
APPLICATION NUMBER: _____

OWNER JESSE HILLIARD

EVALUATOR SCOTT DARLINGTON

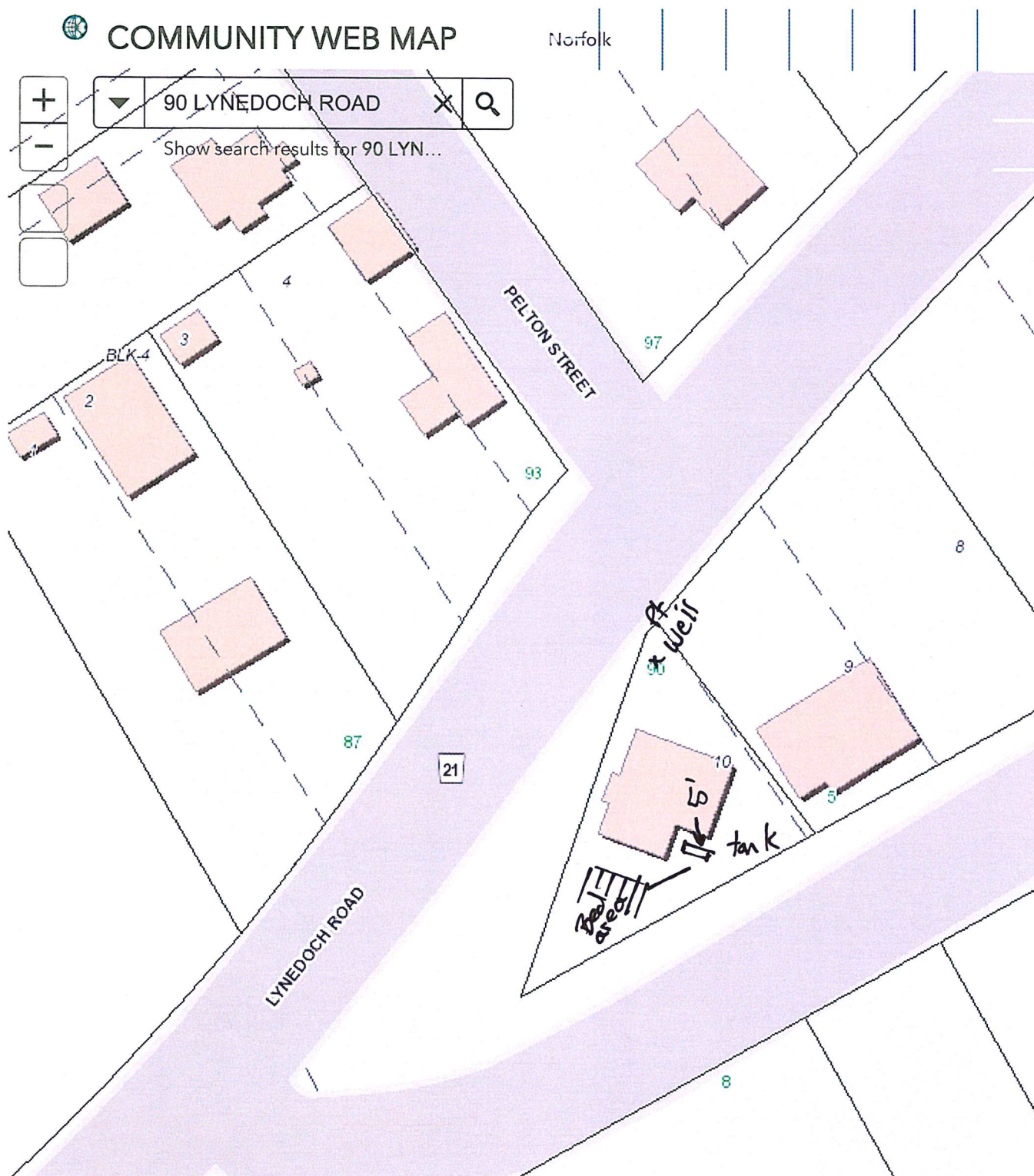
PROPERTY ADDRESS 90 Lynedoch Road

Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.



PREPARED BY: SCOTT DARLINGTON

NOTE: The above sketch is not to exact scale.





Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 90 Lynedoch Road

Legal Description:

Roll Number: 49301015300

Information Origins: survey Jewitt & Dixon

Application #:

Hamlet Residential Zone (RH)

Main Building

- 5.7.2 a) minimum lot area
- i) new lot 0.40
- ii) lot of record 930.00
- b) minimum lot frontage
- i) interior lot 30.00
- ii) corner lot 30.00
- iii) lot of record 18.00
- c) minimum front yard 6.00
- d) minimum exterior side yard 5.02
- e) minimum interior side yard 6.00
- i) attached garage 1.20
- ii) detached garage 1.20
- f) minimum rear yard 3.00
- g) maximum building height 1.20
- 9.00
- 11.00

REQUIRED	PROPOSED	DEFICIENCY	UNITS
		N/A	ha
		N/A	m.sq
		N/A	m
		N/A	m
		N/A	m
	5.02	0.98	m
		N/A	m
		N/A	m
		N/A	m
		N/A	m
		N/A	m
		N/A	m

Comments

attached garage requires relief of front yard setback

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:
Roxanne Koot

I have read and understand the above.

Signature of owner or authorized agent

Jan 8/19

date

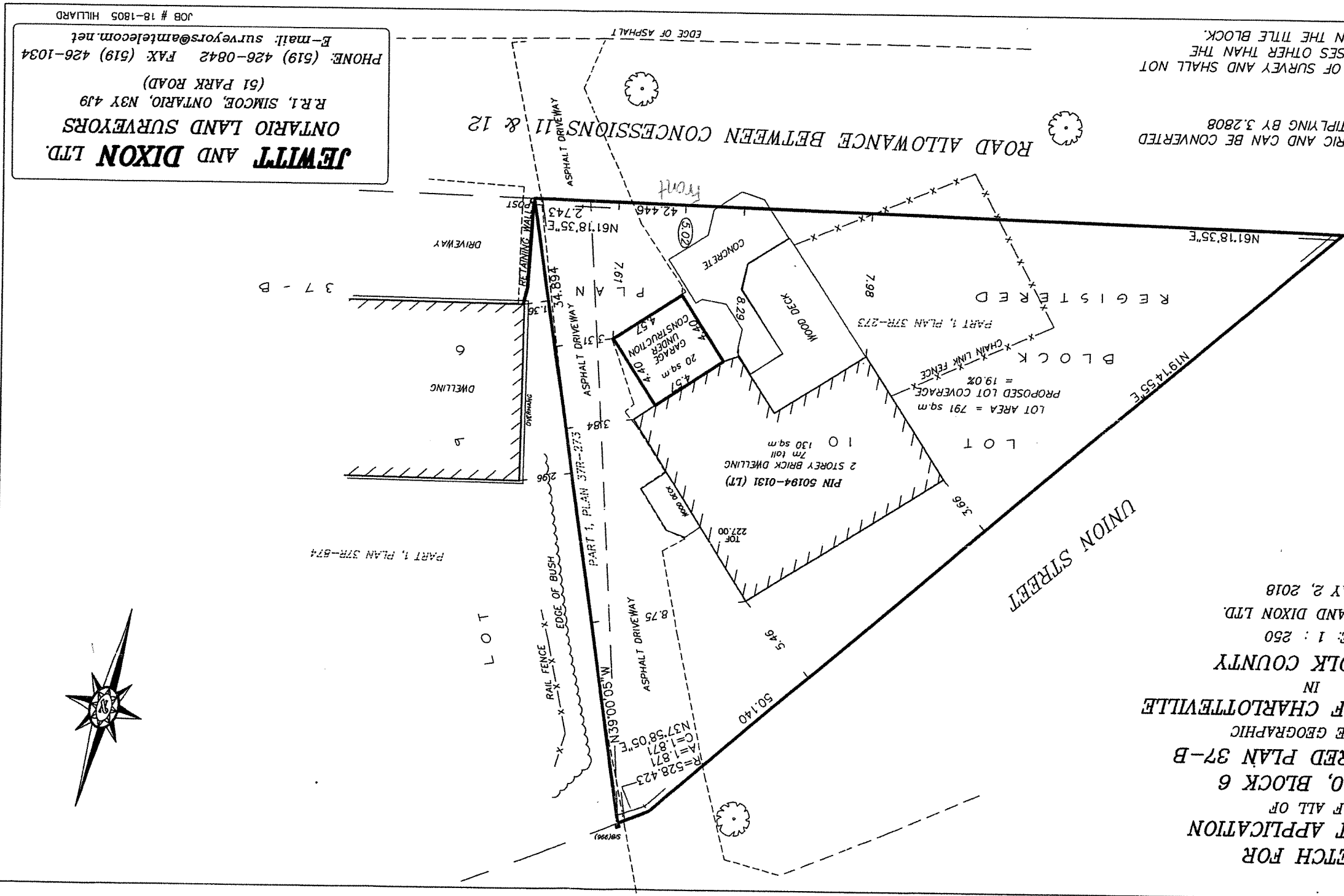
Signature of owner or authorized agent

Nov 7/2018

AS PER: Fritz R. Enzlin. CBCO,
CRBO - Chief Building Official
Manager, Building & Bylaw
Division, Norfolk County

SKETCH FOR
 CONSENT APPLICATION
 OF ALL OF
 LOT 10, BLOCK 6
 REGISTERED PLAN 37-B
 IN THE GEOGRAPHIC
 TOWNSHIP OF CHARLOTTEVILLE
 NORFOLK COUNTY
 SCALE: 1 : 250
 JEWITT AND DIXON LTD.
 MAY 2, 2018

NOTE:
 THIS PLAN IS IN METRIC AND CAN BE CONVERTED
 TO IMPERIAL BY MULTIPLYING BY 3.2808
 CAUTION:
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT
 BE USED FOR PURPOSES OTHER THAN THE
 PURPOSE INDICATED IN THE TITLE BLOCK.



GROUND SNOW LOAD	SE 1.30kPA (27.15psf), SS (0.8) 1.04kPA (21.72psf), S6 0.40kPA (8.35psf)
ROOF DEAD LOAD	0.53kPA (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING + MECHANICAL/ELECTRICAL ALLOWANCE
WIND LOADS	1/50 - 0.45kPA (9.40psf), 1/10 FOR DEFLECTION - 0.35kPA (7.31psf)

1. THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE LATEST REVISION OF DESIGN DRAWINGS AND SPECIFICATIONS PREPARED BY ALL ENGINEERING AND ARCHITECTURAL DISCIPLINE.
2. ALL WORK INCLUDING DESIGN, DETAILING, SHOP DRAWINGS, CONSTRUCTION, AND SHORING SHALL CONFORM TO THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES ON THESE DRAWINGS TO THE ENGINEER AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.
6. OPERATIONS OF THE EXISTING FACILITY ARE NOT TO BE INTERRUPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR LOSS CAUSED BY CONSTRUCTION OPERATION.
7. ALL SHOP DRAWINGS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO).
8. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.

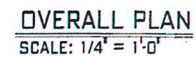
3. CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS
2. DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
4. ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT TO ADHERE TO LATEST EDITION OF D.B.C. & LOCAL BY-LAWS.
6. ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH D.B.C. CHARTS TO BE ENGINEER APPROVED STRUCTURAL ENGINEER TO REVIEW, CALCULATE LOADS AND SIZES, STAMP, AND APPROVE.
5. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL. ALL EXTERIOR FOUNDATION WALL FOOTINGS TO EXTEND DOWN BELOW LOCAL FROST LEVELS 18" MINIMUM BELOW FINISH GRADE.
6. REFER TO PLANS, CROSS SECTIONS, AND DETAILS FOR ALL TYPICAL CONSTRUCTION DETAILS AND NOTES.

1. NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
 - A. EXCAVATION - PRIOR TO POURING FOOTINGS
 - B. FLOOR - DURING POUR TO VERIFY CONCRETE & THICKNESS
 - C. ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED.
 - D. ROUGH FRAMING - PRIOR TO CLOSE-IN.
 - E. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.
 - F. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.
 - G. FINAL INSPECTION FOR CERTIFICATION - TO BE COMPLETED WITH BOTH OWNER & CONTRACTOR PRESENT.
2. CONTRACTOR OR OWNER TO COMPLETE AND SUBMIT COPIES OF ALL CONCRETE TESTS AS PER C.E.A. A23.1 - ONE TEST REQUIRED FOR EACH MINIMUM 1000 CY.
3. CONTRACTOR OR OWNER TO SUBMIT TRUSS DRAWINGS FOR REVIEW.
4. CONTRACTOR OR OWNER TO SUBMIT SHOP DRAWINGS OF ALL PRECAST AND / OR PRE-ENGINEERED ELEMENTS FOR REVIEW.
5. CONTRACTOR OR OWNER TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
6. THE DESIGN ON THESE DRAWINGS IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE USED OR COPIED WITHOUT CONSENT IN WRITING.
7. CHANGES OR SUBSTITUTIONS ARE NOT TO BE MADE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

SOIL & FOUNDATION NOTES:

2. THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT.
3. THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
4. ALL EXCAVATIONS SHALL BE EXTERIOR TO THE FOUNDATION WALLS. EXCAVATIONS SHALL BE APPROVED ENGINEERED FILL AT A MINIMUM DEPTH OF 400 (1.3M) BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
5. EXCAVATIONS SHALL CONFORM TO THE LATEST EDITIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
6. WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY UNLESS SHORED ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER. PI WALLS SHALL NOT BE BACKFILLED UNLESS BACKFILL AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED.
7. INSTALLATION DETAILS FOR WATERSTOPS AT WALL/FOOTING INTERFACE AND IN VERTICAL JOINTS SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
8. WALLS AND PIERS SHALL BE CENTRED ON FOOTINGS WITHIN THE MIDDLE THIRD OF THE FOOTING.

1. STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH CAN/CSA G96-01 "ENGINEERING DESIGN IN WOOD" AND THE WOOD DESIGN MANUAL (CANADIAN WOOD COUNCIL LATEST EDITION).
2. WOOD TRUSSES SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO). THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. WOOD STUDS, JOISTS, HALTERS, BLOCKING, BUTT-UP BEAMS, AND COLLUMS SHALL BE S & P F, NO. 2 C CONSTRUCTION GRADE OR BETTER ACCORDING TO CAN/CSA G41-91 "SOFT WOOD LUMBER", GRADING SHALL CONFORM TO THE NATIONAL LUMBER GRADES AUTHORITY "STANDARD GRADING RULES FOR CANADIAN LUMBER", WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2006 - SECTION 9.23.
4. PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD 0121-M1978 "DOUGLAS FIR PLYWOOD" AND G151-M1978 "CANADIAN SOFT WOOD PLYWOOD".
5. WATERBOARD AND C.S.B. SHALL CONFORM TO CSA STANDARD C437-1985 "MFG WATERBOARD AND STANDINGBOARD".
6. FASTENING DEVICES (NAILS) SHALL CONFORM TO CSA STANDARD B11-1974 "WIRE NAILS, SPIKES, AND STAPLES".
7. TRUSS, THE JOISTS, JOIST HANGERS, ETC. SHALL CONFORM TO "ACCEPTANCE CRITERIA FOR JOIST HANGERS AND SIMILAR DEVICES" AT THE ANNUAL CONFERENCE OF BUILDING OFFICIALS) AND SHALL BE A MINIMUM OF 20 GRADE GALVANIZED STEEL.

[illegible]

CONSTRUCTED BY:

DESIGNED BY:

girard
ENGINEERING
2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. BOX 98
OTTERVILLE, ONTARIO N0J 1R0
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED IN RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

DESIGNED FOR:

JESSE HILLIARD
90 LYNDON ROAD
DELHI, ONTARIO

NOTES & PLAN

SCALE: 1/4" = 1'-0" CB AS NOTED

DATE: MAY 20 1981

DRAWING BY: D. FALLONFIELD

DESIGNED BY: L. GIRARD

CHECKED BY: L. GIRARD

PROJECT NO: 18-122

DRAWING NO:

11

5-1

21



CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

CONSTRUCTION NORTH



THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALE.
CONSTRUCTION
RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO BE MAINTAINED AT ALL TIMES.
SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS IT IS THE
CLIENT'S RESPONSIBILITY TO ENSURE THE CONTRACTOR IS FOLLOWING ALL DIMENSIONS.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT & CONSTRUCTION	MAY 20 2018
2	ISSUED FOR PERMIT & CONSTRUCTION	MAY 20 2018

girard
ENGINEERING
2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. BOX 98
OTTAWA, ONTARIO N2J 1R0
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDEENGINEERING.CA

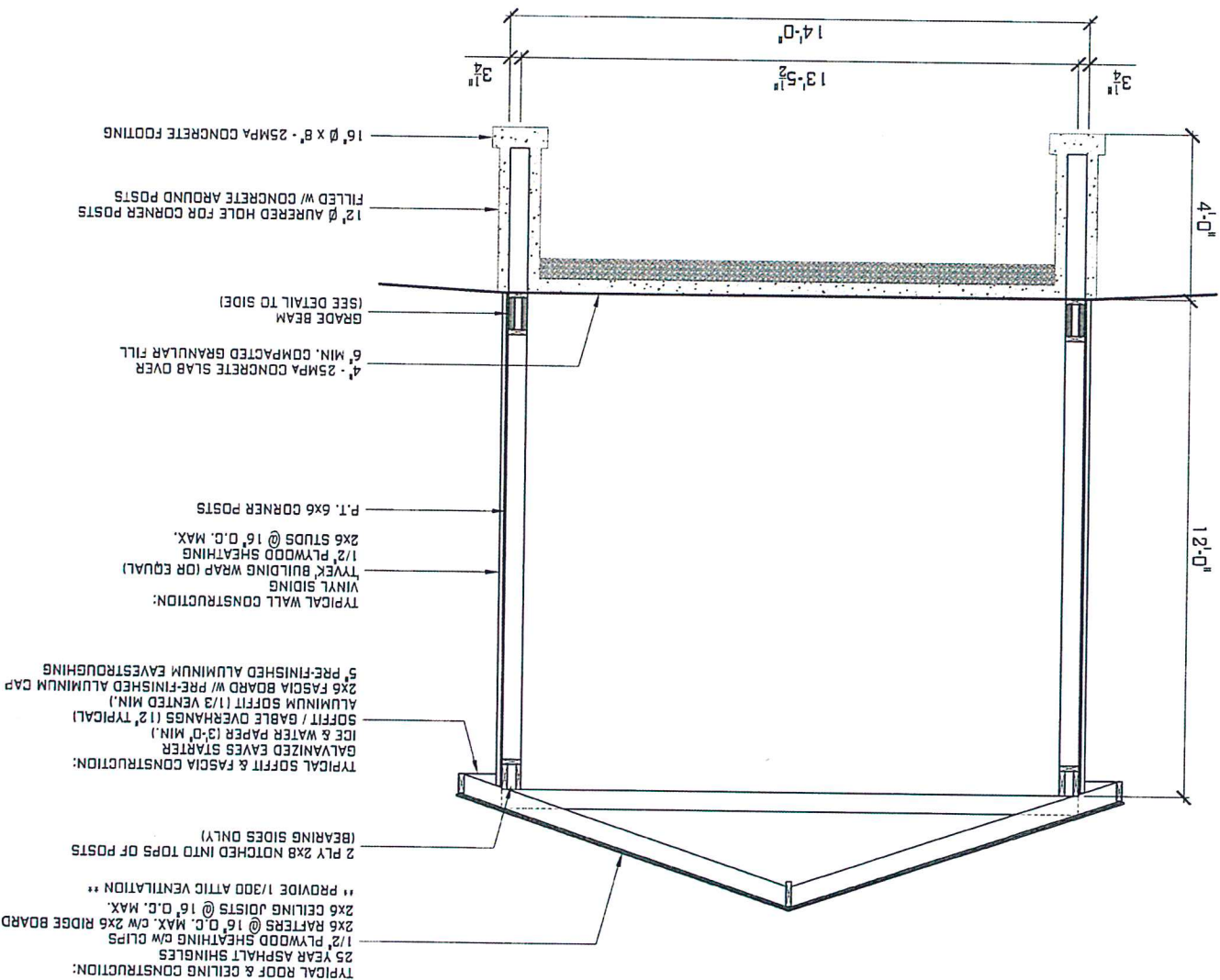


JESSE HILLIARD
90 LYNDOCH ROAD
DELHI, ONTARIO

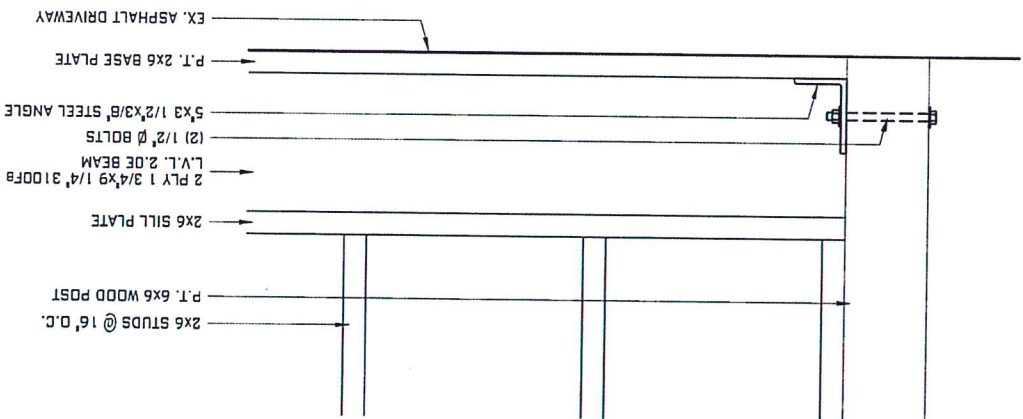
PROPOSED STORAGE
BUILDING
SECTION & DETAIL

S-2

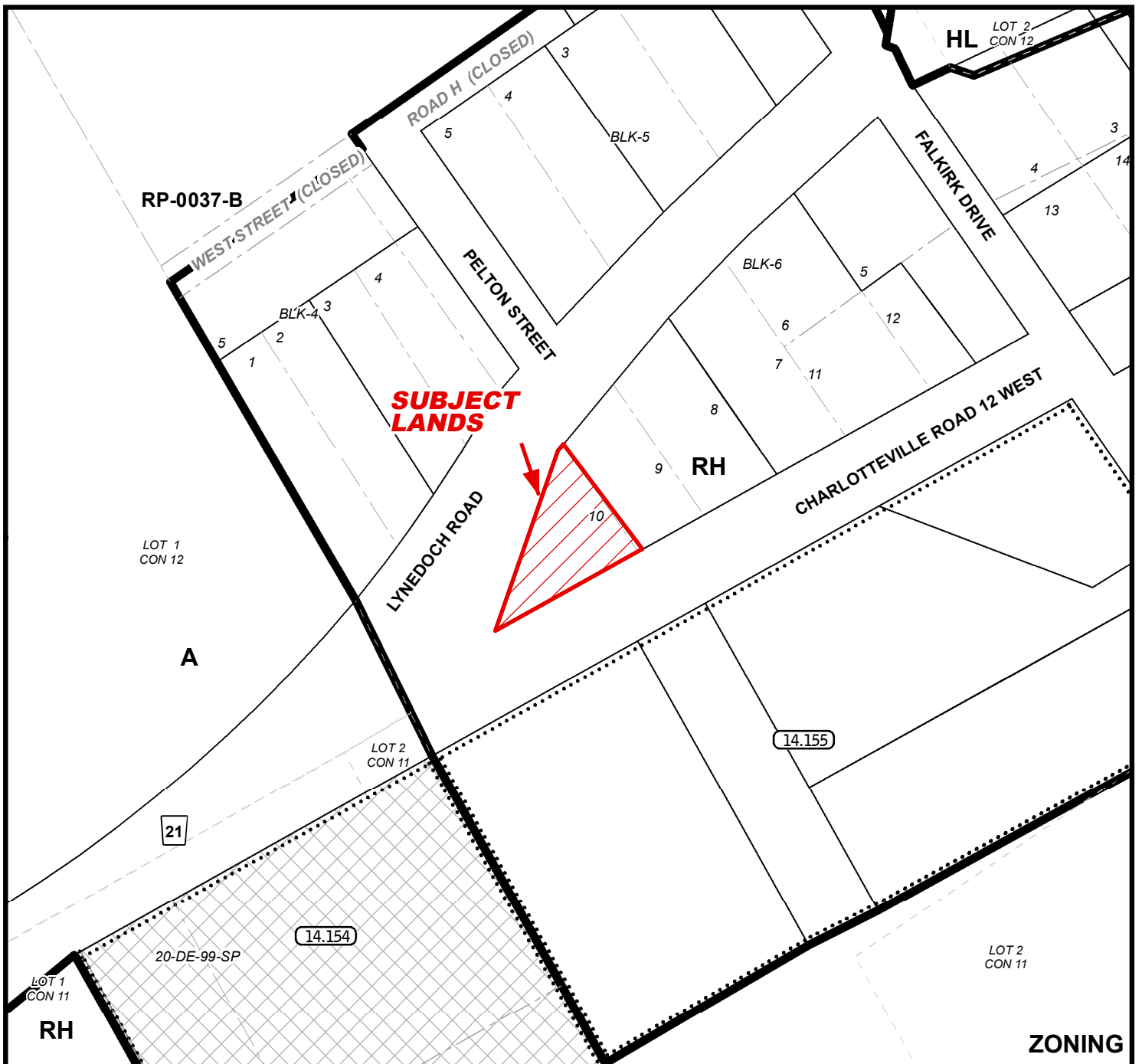
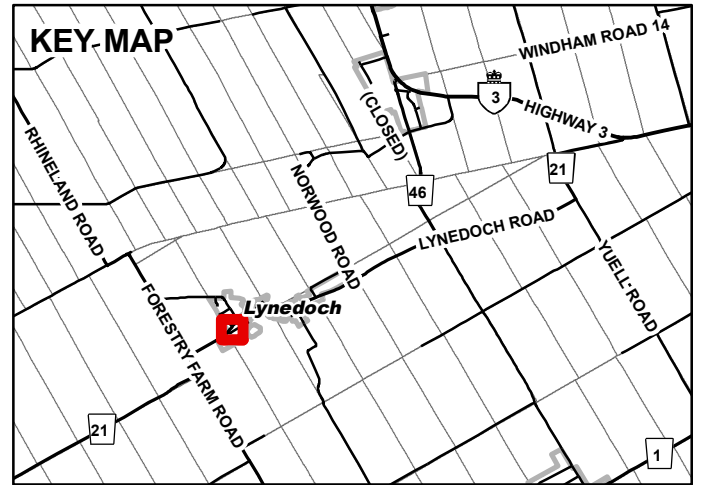
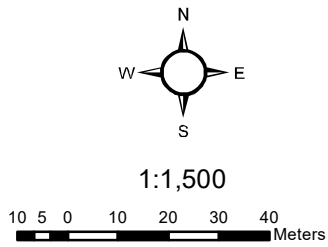
TYPICAL CROSS SECTION
SCALE: 1/4" = 1'-0"



GRADE BEAM DETAIL
SCALE: 1" = 1'-0"



MAP 1
File Number: ANPL2019005
Geographic Township of
CHARLOTTEVILLE

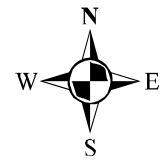


ZONING

MAP 2

File Number: ANPL2019005

Geographic Township of CHARLOTTEVILLE



4 2 0 4 8 12 16 Meters

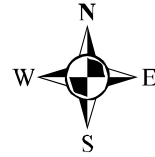
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MAP 3

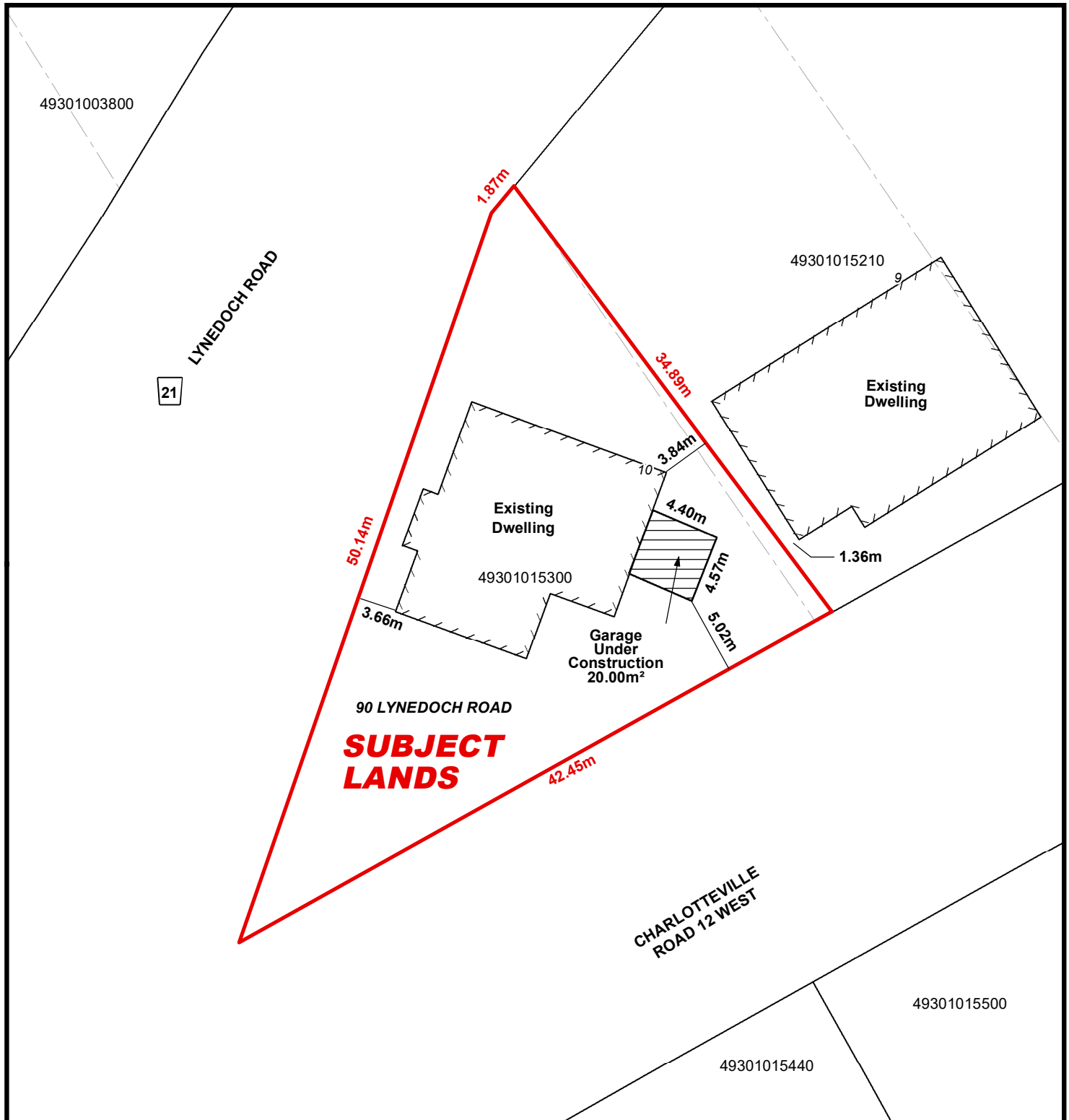
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Geographic Township of CHARLOTTEVILLE



0 1 2 3 4 Meters

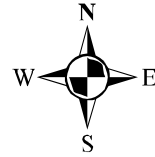
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LOCATION OF LANDS AFFECTED

File Number: ANPL2019005

Geographic Township of CHARLOTTEVILLE



0 1 2 3 4 Meters

1:350

