

For Office Use Only:

File Number	<u>ANPL2019010</u>	Public Notice Sign	<u>Yes</u>
Related File Number	<u></u>	Application Fee	<u>\$1406</u>
Pre-consultation Meeting	<u></u>	Conservation Authority Fee	<u>—</u>
Application Submitted	<u>January 18/19</u>	OSSD Form Provided	<u>—</u>
Complete Application	<u>January 18/19</u>	Planner	<u>Steve</u>

Check the type of planning application(s) you are submitting.

- | | |
|-------------------------------------|---|
| <input type="checkbox"/> | Official Plan Amendment |
| <input type="checkbox"/> | Zoning By-Law Amendment |
| <input type="checkbox"/> | Temporary Use By-law |
| <input type="checkbox"/> | Draft Plan of Subdivision/Vacant Land Condominium |
| <input type="checkbox"/> | Condominium Exemption |
| <input type="checkbox"/> | Site Plan Application |
| <input type="checkbox"/> | Consent/Severance |
| <input checked="" type="checkbox"/> | Minor Variance |
| <input type="checkbox"/> | Easement/Right-of-Way |
| <input type="checkbox"/> | Extension of a Temporary Use By-law |
| <input type="checkbox"/> | Part Lot Control |
| <input type="checkbox"/> | Cash-in-Lieu of Parking |
| <input type="checkbox"/> | Renewable Energy Project or Radio Communication Tower |

Please explain the desired end result of this application (for example: a special zoning provision on the subject lands, changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

The subject site is presently occupied by a bakery and a small cafe.
The property is under site plan control and the approved site plan shows 14 parking spaces.
The owner wishes to use the upper level of the building an area of 175 sq. m. That additional space requires an additional 5 parking spaces.
The owner request relief of the 5 additional spaces due to the lack of space on the lot to supply the additional spaces.

Property Assessment Roll Number: 49306024300

A. Applicant Information

Name of Owner Richard Posavad

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1991 Old Highway 24 RR1

Town and Postal Code Wilsonville, ON N0E 1Z0

Phone Number 519-428-1300

Cell Number _____

Email rickposavad@yahoo.ca

Name of Applicant Richard Posavad

Address 1991 Old Highway 24 RR1

Town and Postal Code Wilsonville, ON N0E 1Z0

Phone Number 519-428-1300

Cell Number _____

Email rickposavad@yahoo.ca

Name of Agent G. Douglas Vallee Limited

Address 2 Talbot Street North

Town and Postal Code Simcoe, Ontario N3Y 3W4

Phone Number 519-426-6270

Cell Number _____

Email michaelhiggins@gdvallee.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

CHR Plan 29B Blk 17 Lot E Pt Lot F

Municipal Civic Address: 15 Lamport Street

Present Official Plan Designation(s): Hamlet

Present Zoning: Community Institutional IC 14.901

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

14.901

3. Present use of the subject lands:

Bake shop and small cafe

4. Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Former Church and manse

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
Not known.

9. Existing use of abutting properties:
Residential

10. Are there any existing easements or restrictive covenants affecting the subject lands?
☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Propose to use the second level of the existing building and require relief of the parking requirement.
The proposed use of the floor area requires an additional 5 parking spaces.
We propose to use the existing 14 parking spaces on the site.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

The site is not large enough to provide the additional parking spaces on the site.

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☐ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☐ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Existing****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	50.29 m	
Lot depth	54.27 m	
Lot width	50.29 m	
Lot area	2729.2 sq. m	
Lot coverage		
Front yard		
Rear yard		
Left Interior side yard		
Right Interior side yard		
Exterior side yard (corner lot)		
Landscaped open space		
Entrance access width		
Exit access width		
Size of fencing or screening		
Type of fencing		

10. Building Size

Number of storeys		
Building height		
Total ground floor area		
Total gross floor area		
Total useable floor area		

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	14	
Number of visitor parking spaces		
Number of accessible parking spaces		
Number of off street loading facilities		

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m ²
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool): _____

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: One

Number of buildings proposed: none

Is this a conversion or addition to an existing building? ☒ Yes ☐ No

If yes, describe:

From a former Church to a bake shop and small cafe

Indicate the gross floor area by the type of use (for example: office, retail, storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: Bake shop and small cafe.

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Owner

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No
If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

Existing use in a Hamlet area.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Not in a source water protection area.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☐ Communal wells

☒ Individual wells

☐ Other (please describe): _____

Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed

☐ Other (please describe): _____

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (please describe): _____

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street: Lamport Street

G. Other Information

1. Does the application involve a local business? ☒ Yes ☐ No

If yes, how many people are employed on the subject lands?

Not known

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Gross, ground and useable floor area
19. Lot coverage
20. Floor area ratio
21. Building entrances, building type, height, grades and extent of overhangs
22. Names, dimensions and location of adjacent streets including daylighting triangles
23. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
24. All exterior stairways and ramps with dimensions and setbacks
25. Retaining walls including materials proposed
26. Fire access and routes
27. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
28. Location of mechanical room, and other building services (e.g. A/C, HRV)
29. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
30. Winter snow storage location
31. Landscape areas with dimensions
32. Natural features, watercourses and trees

33. Fire hydrants and utilities location
34. Fencing, screening and buffering – size, type and location
35. All hard surface materials
36. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
37. Business signs (make sure they are not in sight lines)
38. Sidewalks and walkways with dimensions
39. Pedestrian access routes into site and around site
40. Bicycle parking
41. Architectural elevations of all building sides
42. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study
- ☐ Functional Servicing Report

- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

RE/OSW
Owner/Applicant Signature

16 Jan 19
Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We RICHARD ROSAVAD am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize G. Douglas Vallee Limited to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

RE/OSW
Owner

16 Jan 19
Date

Owner

Date

N. Declaration

I, Rick Posavad of County of Norfolk

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Town of Simcoe




Owner/Applicant Signature

In Norfolk County

This 16 day of JANUARY

A.D., 2019


A Commissioner, etc.

**MICHAEL JOHN HIGGINS, a Commissioner, etc.,
Norfolk County, for G. Douglas Vallee Limited.
Expires June 19, 2021.**



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 13 Lamport Street Vittoria

Legal Description:

Roll Number: 49306024300

Application #:

Information Origins: email from Vallee regarding parking spaces

Community Institutional Zone (IC)

4.0 Parking Requirements

	REQUIRED	PROPOSED	DEFICIENCY	UNITS
4.9 number of parking spaces	19	14.00	5	
4.3.3 number of accessible parking spaces			N/A	
i) Type A			N/A	
ii) Type B	1	1.00		
4.1.5 Minimum Driveway Width				
a) one-way traffic	6.00		N/A	m
b) two-way traffic	7.30	7.30	N/A	m
4.2 e) interior lot line <i>abutting a residential</i>	4.50		N/A	m
Zone				

Comments

special provision 14.901 applies. The 2nd storey of bake shop to be used as part of business, adds useable floor area and increased parking spaces. The useable floor area being proposed is 175sqm. See attached email from Vallee and previous approved site plan

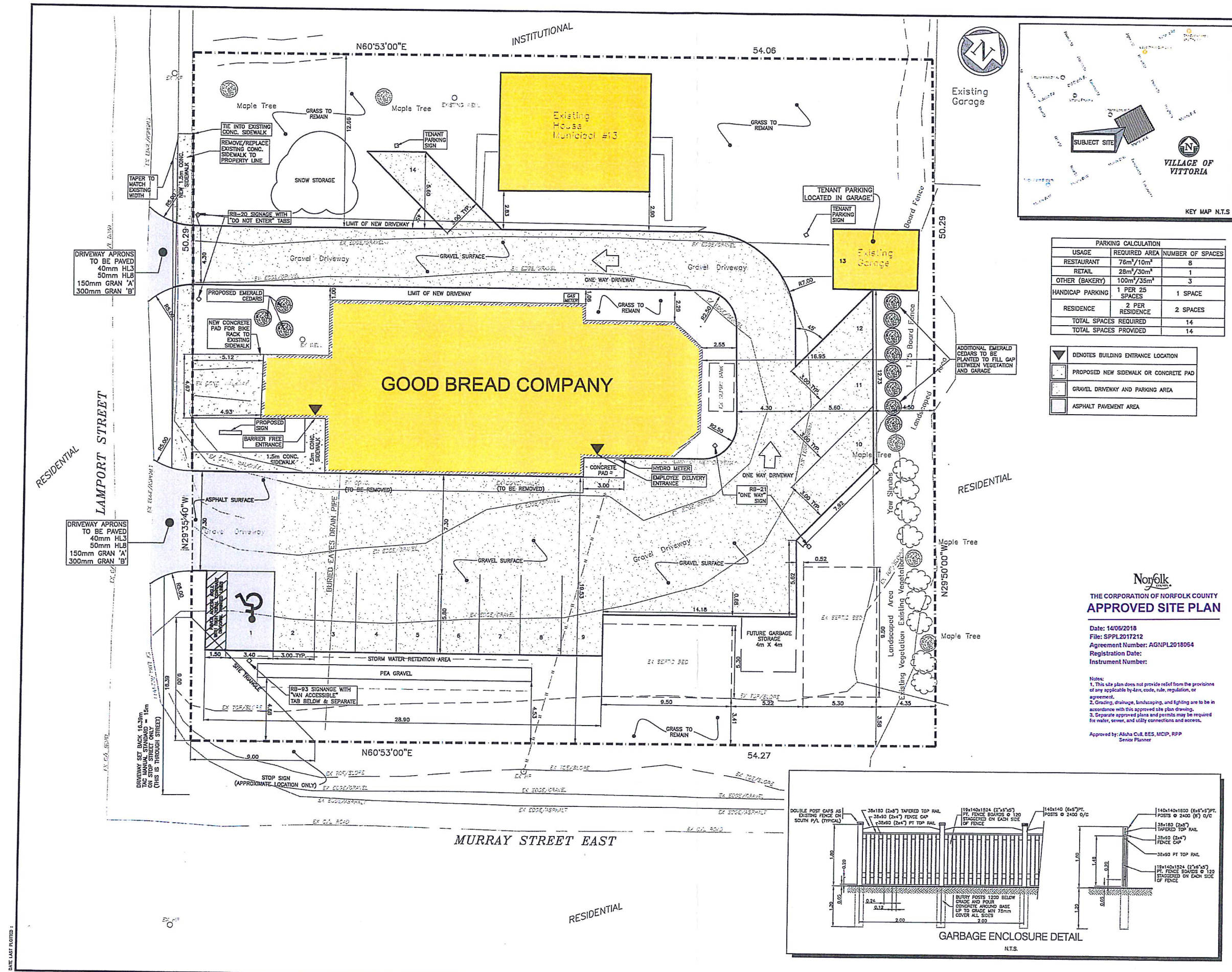
Signature of owner or authorized agent

date

AS PER: Fritz R. Enzlin. CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County

Signature of Zoning Administrator

date



REV. No.	DATE	REVISION
0	SEP 7/17	ISSUED TO CLIENT FOR REVIEW
1	SEP 21/17	FIRST SUBMISSION SITE PLAN
2	MAR 13/18	SECOND SUBMISSION SITE PLAN
3	MAY 17/18	THIRD SUBMISSION SITE PLAN
4	JUNE 14/18	THIRD SUBMISSION SITE PLAN

CHR PLAN 298 BLOCK 17
PART BLOCK E LOT F
IN THE
GEOGRAPHIC TOWNSHIP OF
CHARLOTTEVILLE
VICTORIA
NORFOLK COUNTY

NOTES:
1. SEPTIC SEWAGE LOCATION PROVIDED BY CLIENT. NOT CONFIRMED BY VALLEE
2. ANY AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL AND SEED
3. CONTRACTOR TO APPLY FOR REQUIRED WORK PERMITS FROM NORFOLK COUNTY PUBLIC WORKS.

SUBMISSION DRAWING
NOT TO BE USED FOR CONSTRUCTION

0 4 8
Meters
SCALE 1:125

vallee
Consulting Engineers,
Architects & Planners

G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE, ONTARIO N3Y 3W4
(519) 426-6270

Stamp: JUN 14 2018
D. VALLEE
PROFESSOR OF ENGINEERING

Project Title
GOOD BREAD COMPANY
BAKERY AND CAFE
VICTORIA - NORFOLK COUNTY

Drawing Title
SITE PLAN

Designed by : TJC Drawn By : TJC/DCB
Checked by : GAP Date Started : SEP 07/17
Drawing Scale : 1:125 Drawing No.
Project No. **17-063** **SP**

PARKING CALCULATION		
USAGE	REQUIRED AREA	NUMBER OF SPACES
RESTAURANT	76m ² /10m ²	8
RETAIL	28m ² /30m ²	1
OTHER (BAKERY)	100m ² /35m ²	3
HANDICAP PARKING	1 PER 25 SPACES	1 SPACE
RESIDENCE	2 PER RESIDENCE	2 SPACES
TOTAL SPACES REQUIRED		14
TOTAL SPACES PROVIDED		14

▼ DENOTES BUILDING ENTRANCE LOCATION

PROPOSED NEW SIDEWALK OR CONCRETE PAD

GRAVEL DRIVEWAY AND PARKING AREA

ASPHALT PAVEMENT AREA

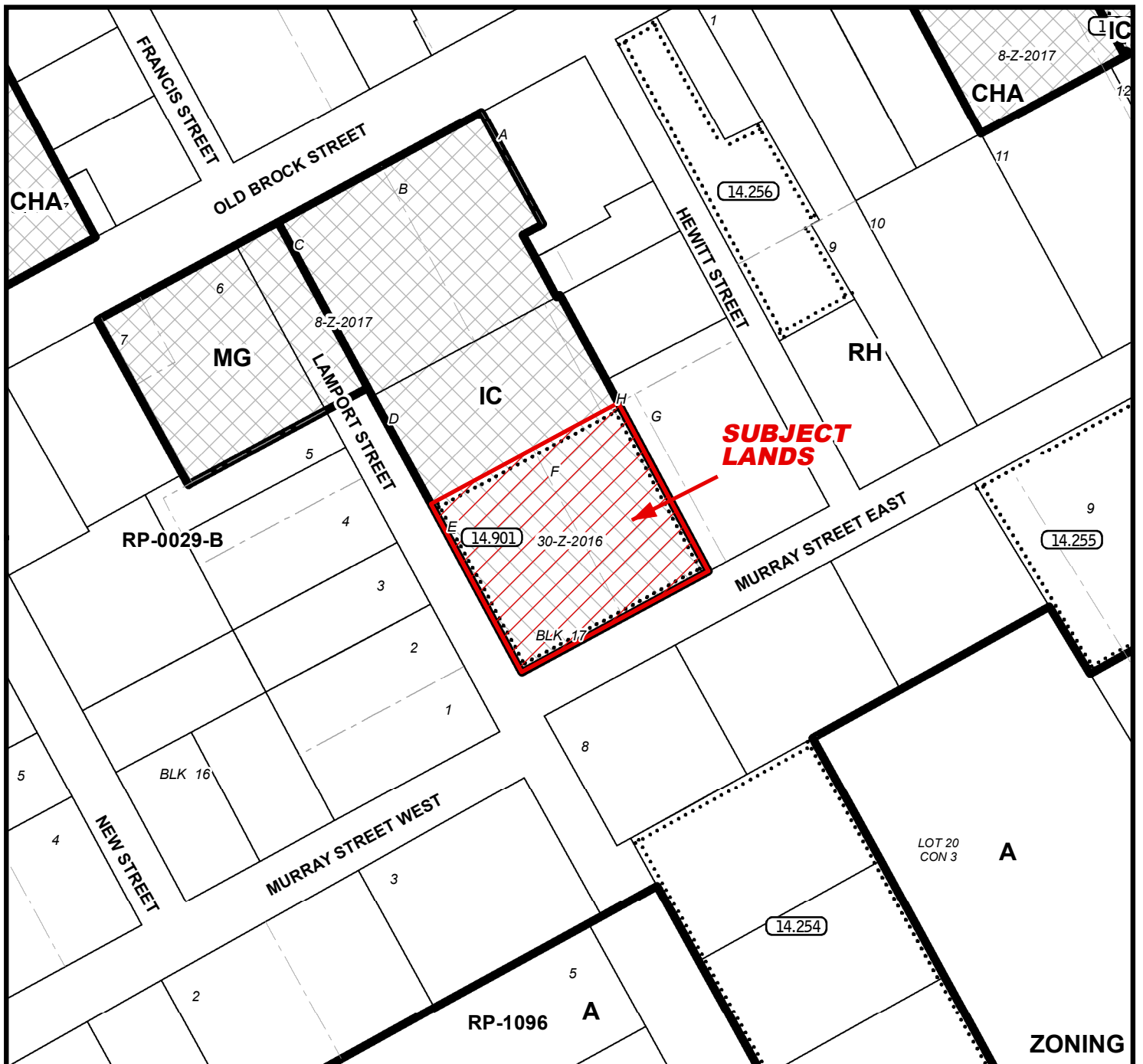
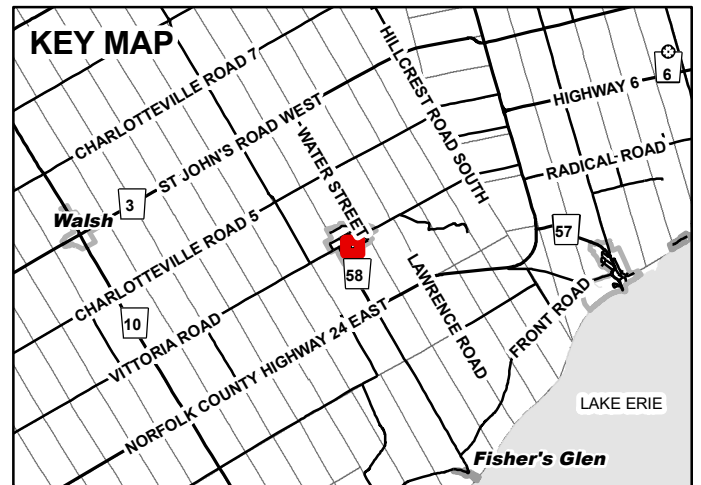
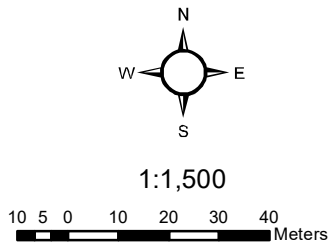
Garbage Enclosure Detail
N.T.S.

DATE LAST PLOTTED :

MAP 1

File Number: ANPL2019010

Geographic Township of
CHARLOTTEVILLE



MAP 2

File Number: ANPL2019010

Geographic Township of CHARLOTTEVILLE



3.5 7.0 10.5 14 Meters

1:900



LOT 20
CON 3

MAP 3

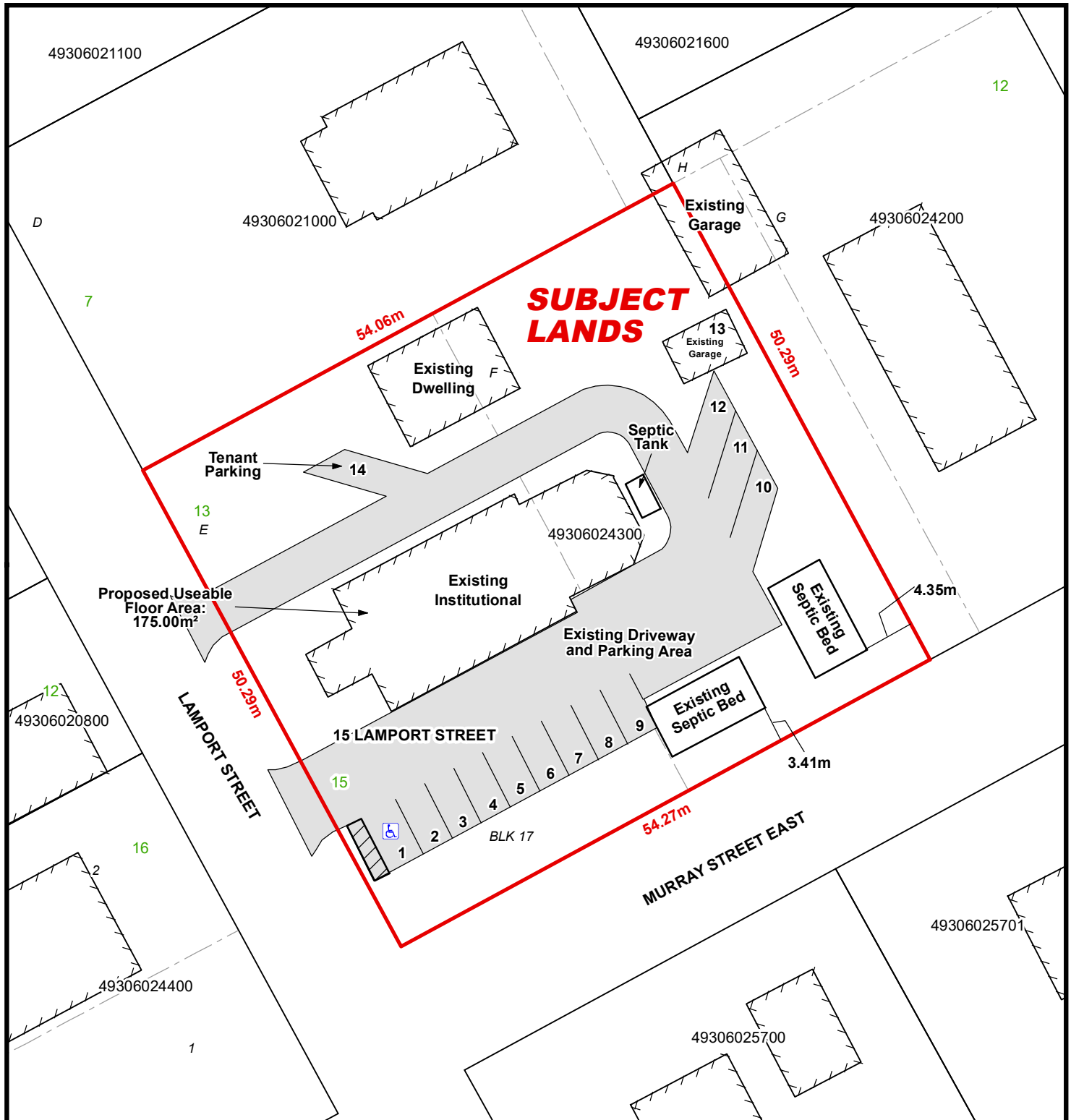
File Number: ANPL2019010

Geographic Township of CHARLOTTEVILLE



2 1 0 2 4 6 8 Meters

1:500



Geographic Township of CHARLOTTEVILLE

