

**For Office Use Only:**

File Number	<u>ANPL2019053</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>\$480.25</u>
Pre-consultation Meeting	<u>—</u>	OSSD Form Provided	<u>N/A new system coming</u>
Application Submitted	<u>Feb 25/19</u>	Planner	<u>Steve</u>
Complete Application	<u>Feb 25/19</u>	Public Notice Sign	<u>Yes</u>

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 54306001500

**A. Applicant Information**

**Name of Owner** PAUL & MARLENE SMITH

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** P.O. BOX 193

**Town and Postal Code** PORT ROWAN ON NOEIMO

**Phone Number** 226-206-0403

**Cell Number** \_\_\_\_\_

**Email** paulmar.smith@gmail.com

**Name of Applicant** ABOVE

**Address** \_\_\_\_\_

**Town and Postal Code** \_\_\_\_\_

**Phone Number** \_\_\_\_\_

**Cell Number** \_\_\_\_\_

**Email** \_\_\_\_\_

Name of Agent \_\_\_\_\_

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☒ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

NONE

#### B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

29 POPLAR RD, NORFOLK, ON (LONG POINT)

SWAL PLAN 429 BLK 'A' 1.81AC

Municipal Civic Address: 29 POPLAR RD

Present Official Plan Designation(s): RESORT RESIDENTIAL

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☒ No If yes, please specify:

14.609

3. Present use of the subject lands:

VACANT

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

VACANT - SUMMER RESIDENCE UNDER CONSTRUCTION

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

GARAGE AND SEPARAT BOATHOUSE

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

~~NO MORE~~

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

VACATION PROPERTIES

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply.

#### 1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	<u>SEE DRAWINGS</u>	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

#### 2. Please outline the relief requested (assistance is available):

GARAGE HEIGHT 6.91M  
BOATHOUSE HEIGHT 6.21M  
BOATHOUSE USABLE AREA 65.40 m<sup>2</sup>

#### 3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

ARCHITECTURAL CONSISTENCY  
SIZE OF EXISTING BOAT

#### 4. Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_  
Depth: \_\_\_\_\_  
Width: \_\_\_\_\_  
Lot Area: \_\_\_\_\_  
Present Use: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_



Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

**5. Description of proposed right-of-way/easement in metric units:**

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

**6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:**

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☒ Unknown

3. Provide the information you used to determine the answers to the above questions:

FAMILY PROPERTY 50 plus years

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

#### E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance ADJACENT

**Floodplain**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☒ On the subject lands or ☐ within 500 meters – distance FAIR NORTH END

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water ☐ Communal wells  
☐ Individual wells ☒ Other (describe below)

PRIVATE WATER SUPPLY

### Sewage Treatment

- ☐ Municipal sewers ☐ Communal system  
☒ Septic tank and tile bed ☐ Other (describe below)

### Storm Drainage

- ☐ Storm sewers ☐ Open ditches  
☒ Other (describe below)

CHANNEL

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway  
☐ Unopened road ☐ Other (describe below)

Name of road/street:

POPLAR RD

## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.



## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

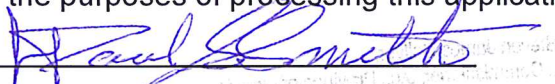
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

      Feb 25/19  
Owner/Applicant/Agent Signature      Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

_____	_____
Owner	Date
_____	_____
Owner	Date

**K. Declaration**

I, PAUL SMITH of PORT ROWAN ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton



Owner/Applicant/Agent Signature

In Norfolk County

This 25<sup>th</sup> day of February

A.D., 20 19



A Commissioner, etc.

Steven James Collyer,  
a Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires April 3, 2021



## Zoning Deficiency

Simcoe: 185 Robinson St.  
Simcoe, ON  
N3Y 5L6  
519-426-5870  
Langton: 22 Albert St.  
Langton, On.  
N0E 1G0  
519-875-4485

### PROPERTY INFORMATION

Address: 29 poplar in Long Point

Legal Description:

Roll Number: 3310-543-060-01500

Application #:

Information Origins: site plan and drawings from architect

Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) <i>building height</i>	5.00	6.91	1.91	m
b) minimum <i>front yard</i>	6.00	6.00		m
c) minimum <i>exterior side yard</i>	6.00	n/a		m
d) minimum <i>interior side yard</i>	1.20	1.20		m
e) minimum <i>rear yard</i>	1.20	1.2m +		m
f) <i>through lot</i> distance to <i>street line</i>	6.00	n/a		m
g) Lot coverage (Note:Proposed Area)				m.sq
i) lot coverage	10.00	1.50	71.35	%
ii) <i>usable floor area</i> DOES NOT APPLY	100.00	433.78	33.78	m.sq

Comments

no habitable room permitted in an accessory building (2.2 of our bylaw)

3.2.2 <i>Boathouse</i>	REQUIRED	PROPOSED	DEFICIENCY	UNITS
a) minimum <i>exterior side yard</i>	6.00	n/a		m
b) minimum <i>interior side yard</i>				m
i) typical <i>lot</i>	1.20	1.20		m
ii) <i>erected</i> on a common <i>lot line</i>	0.00	n/a		m
c) <i>maximum building height</i>	5.00	6.21	1.21	m
(Note:Proposed Area)				m.sq
d) <i>maximum total usable floor area</i>	56.00	65.40	9.40	m.sq
e) maximum <i>lot coverage</i> - shall not occupy more than 10 percent of the <i>lot area</i> , for <i>accessory buildings</i>	10.00	2.87		%

Comments


boathouse is 1.37%, therefore total all accessory for lot coverage is 2.87% which is denoted here. Note boathouse must comply with 3.2.2(f) of our bylaw

- 0 The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

#### Prepared By:

Roxanne Koot


I have read and understand the above.

  
Signature of owner or authorized agent

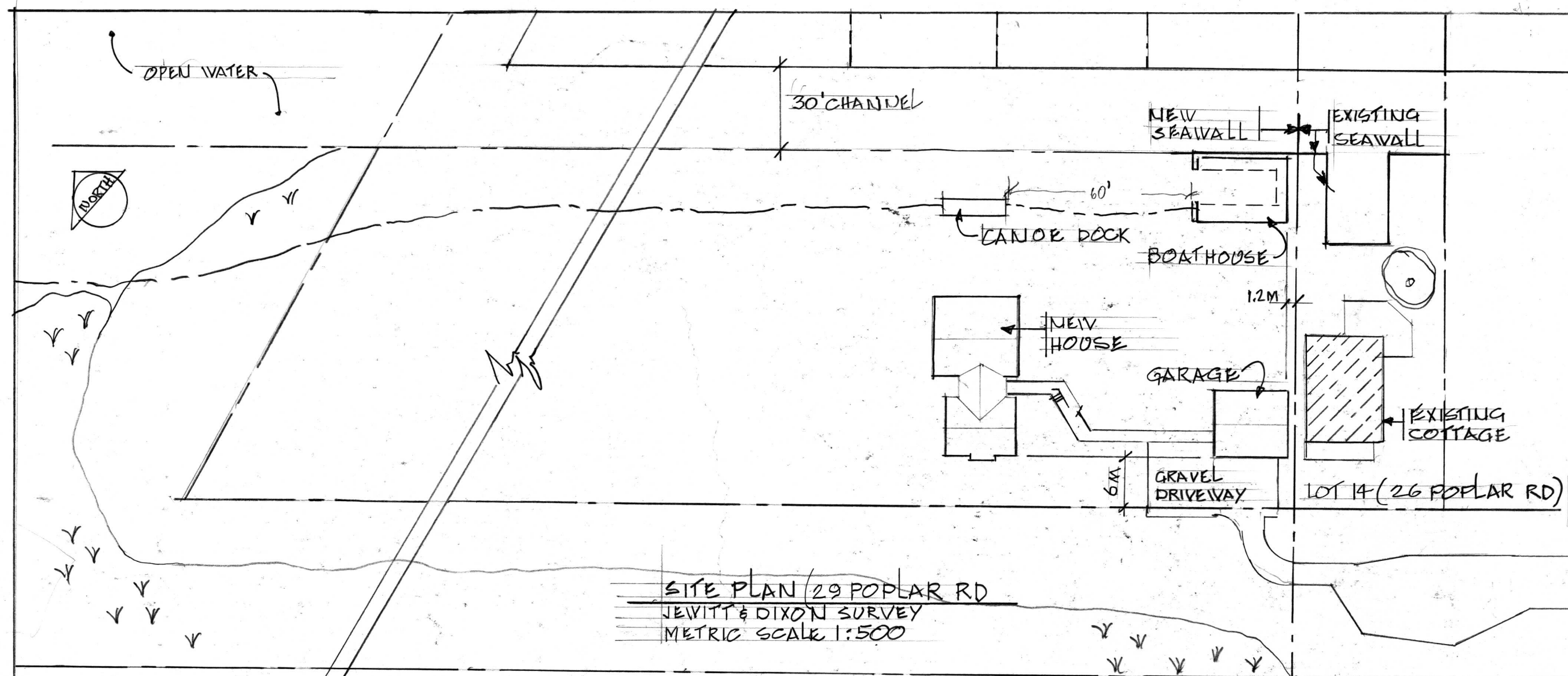
  
date

AS PER: Fritz R. Enzlin. CBCO, CRBO -  
Chief Building Official Manager,  
Building & Bylaw Division, Norfolk  
County

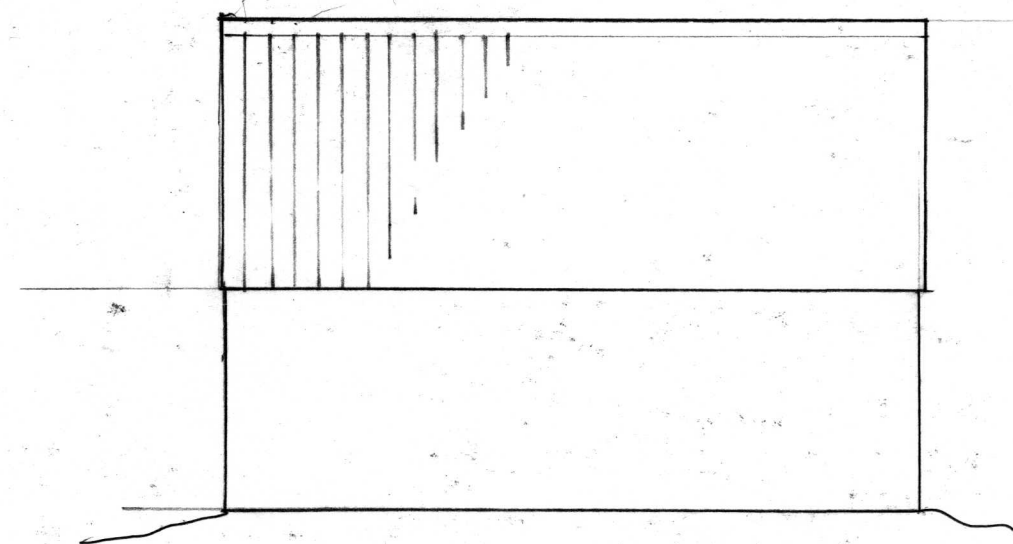
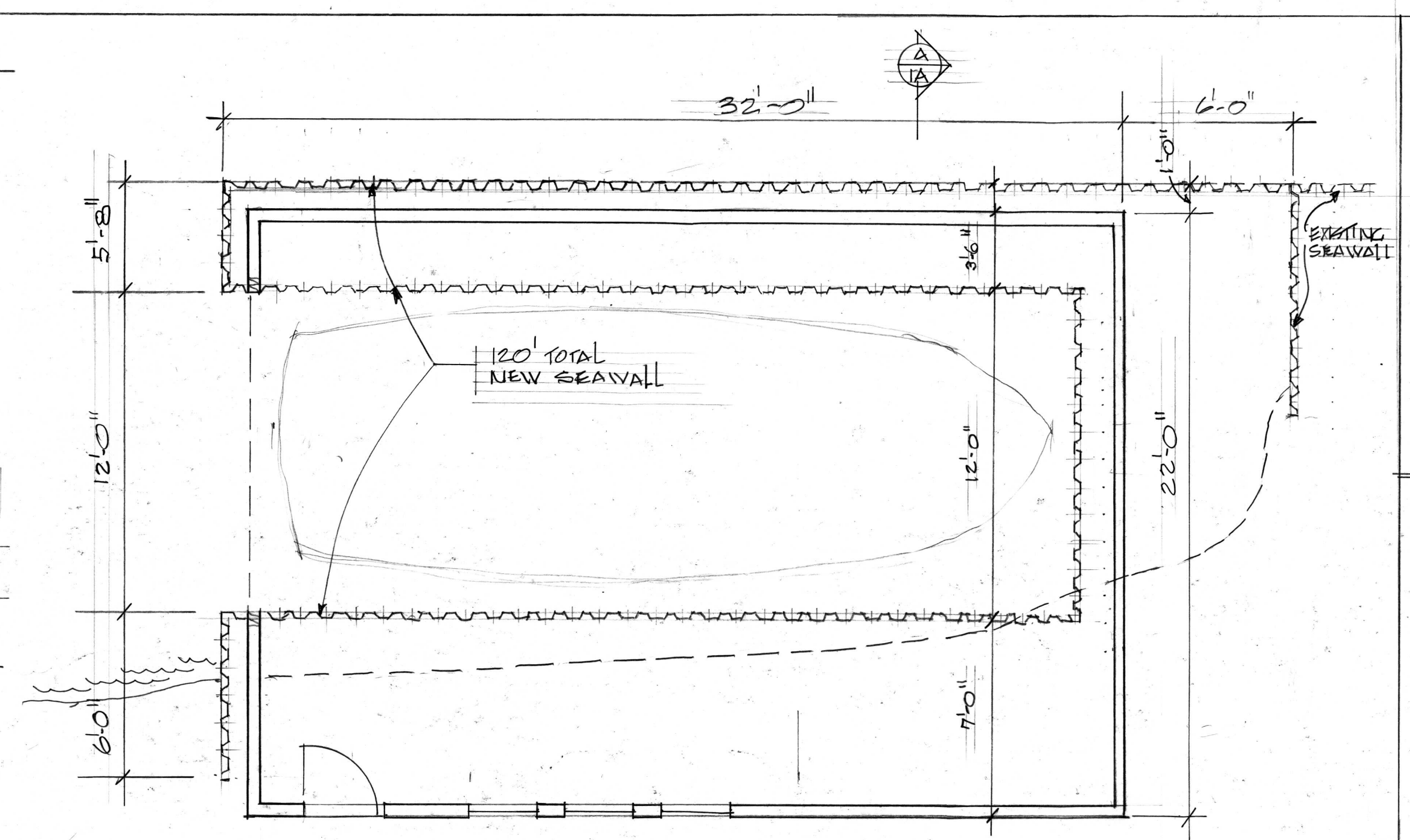
  
Signature of Zoning Administrator

  
date

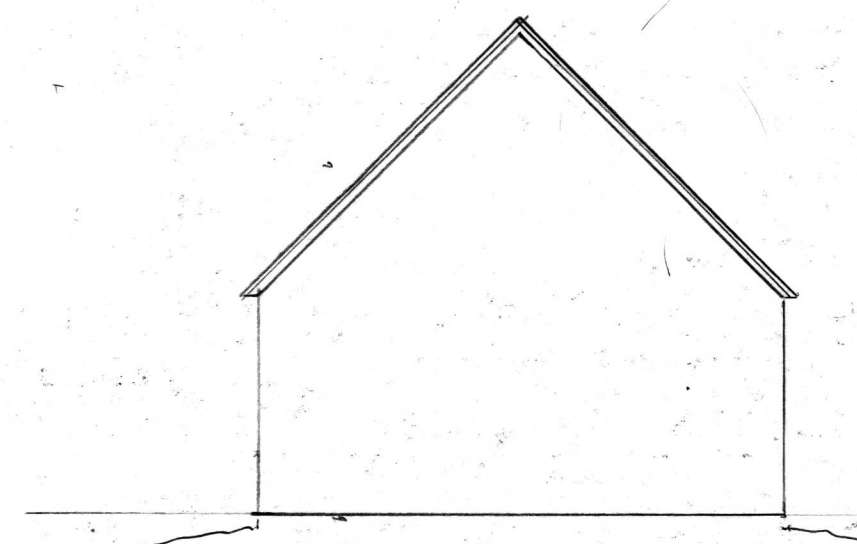




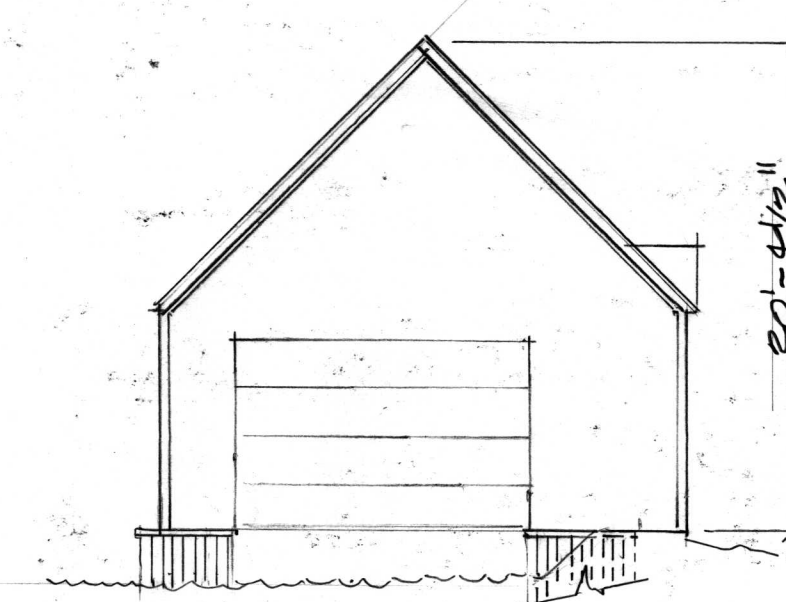
NOTE:  
DIMENSIONS IN FEET CAN BE  
CONVERTED TO METERS BY  
MULTIPLYING BY 0.3048



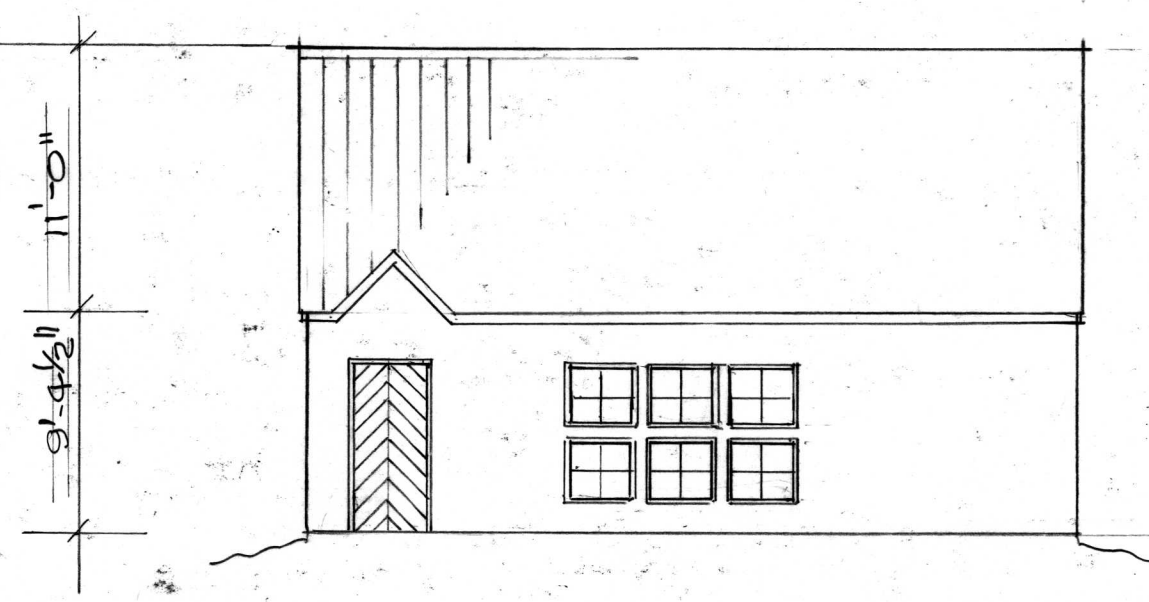
EAST ELEVATION  
SCALE 1/8" = 1'-0"



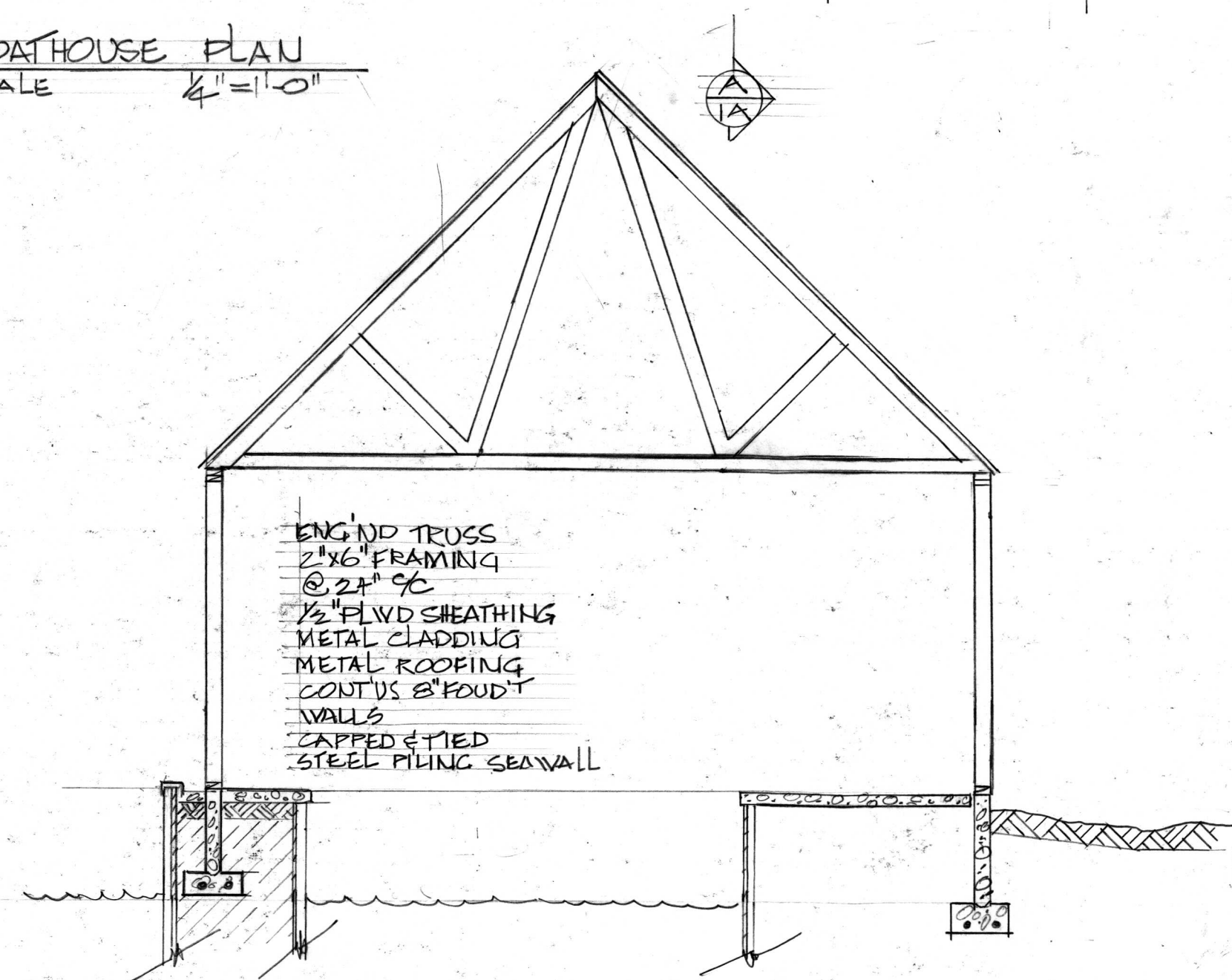
SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



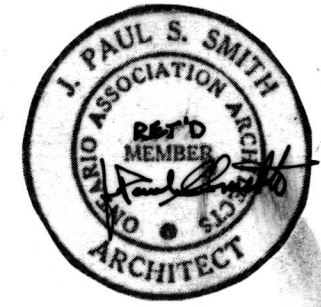
NORTH ELEVATION  
SCALE 1/8" = 1'-0"



WEST ELEVATION  
SCALE 1/8" = 1'-0"



SECTION A-A  
SCALE 1/4" = 1'-0"

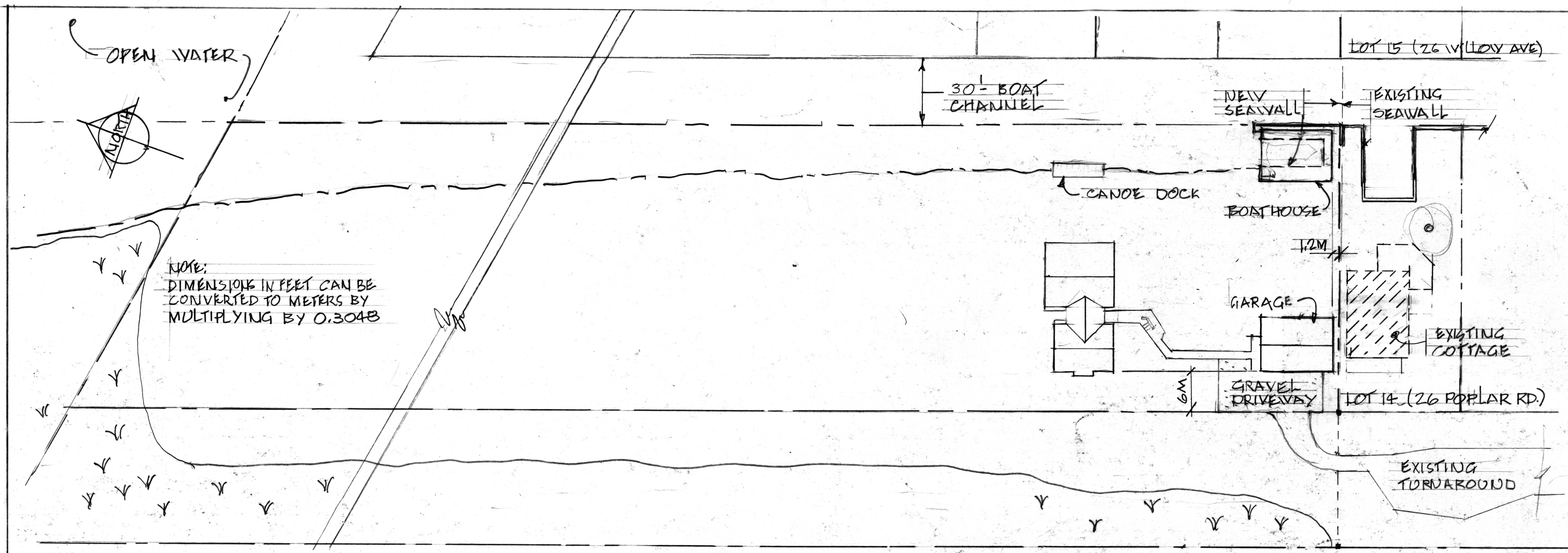


SUMMER RESIDENCE - 29 POPLAR RD  
FOR  
PAUL & MARLENE SMITH - 226-206-0403  
PO BOX 193 PORT ROYAN ON NOEIMO

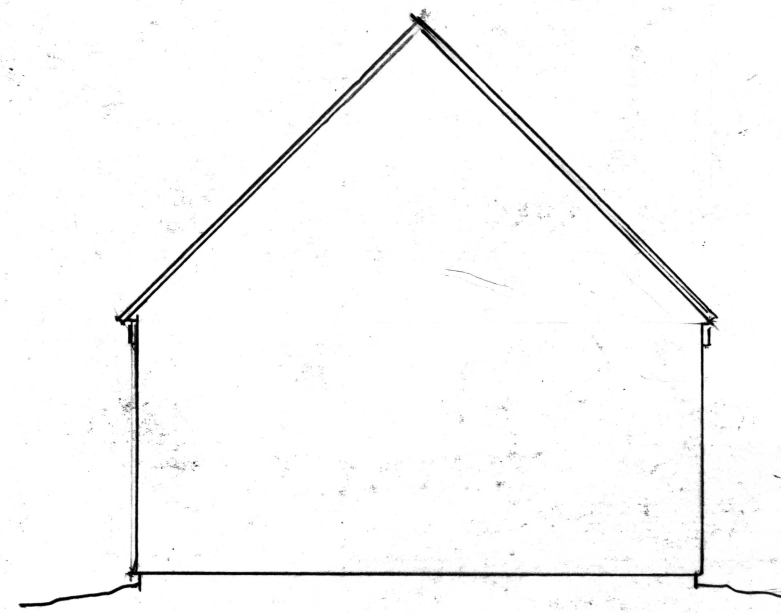
SCALE:  
AS SHOWN  
DWG NO.:

1A

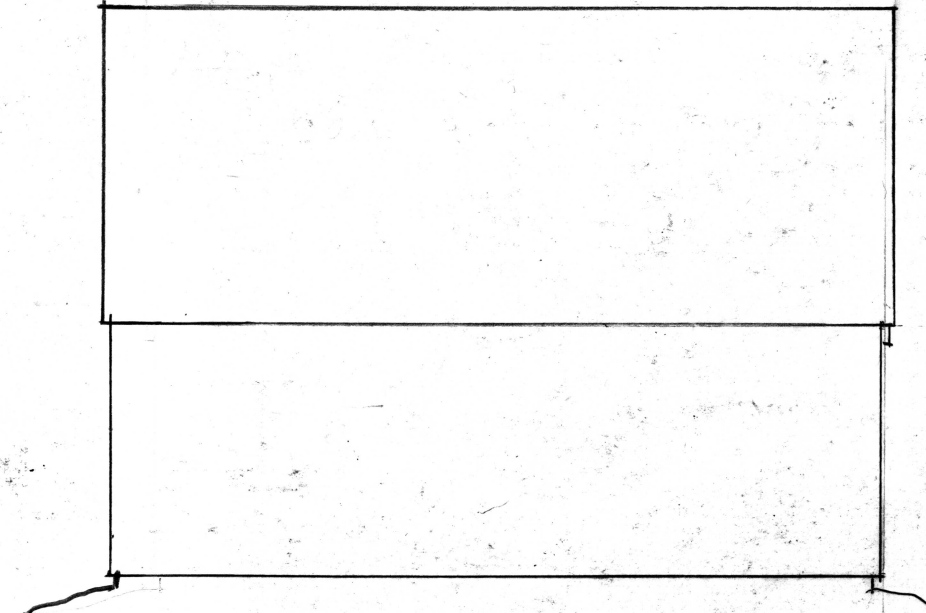




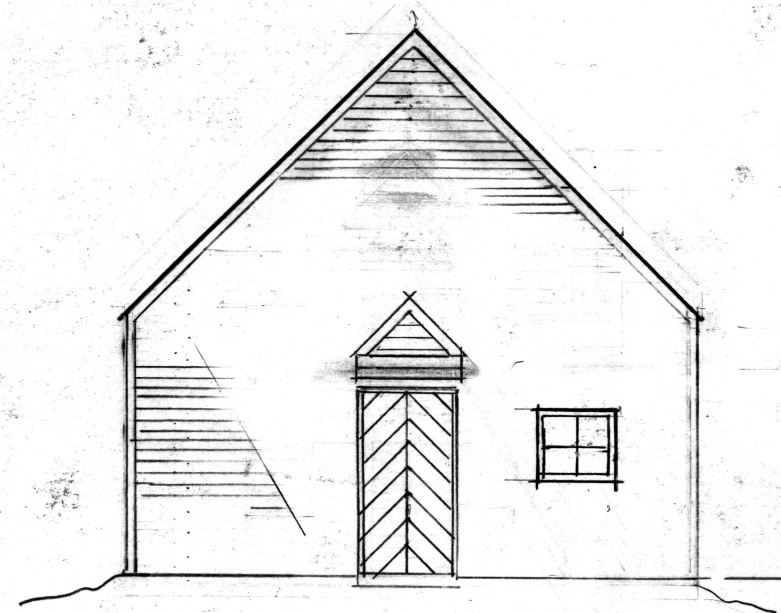
SITE PLAN (29 POPLAR RD)  
SCALE FROM JEVITTE DIXON SURVEY  
1:500 METRIC SCALE



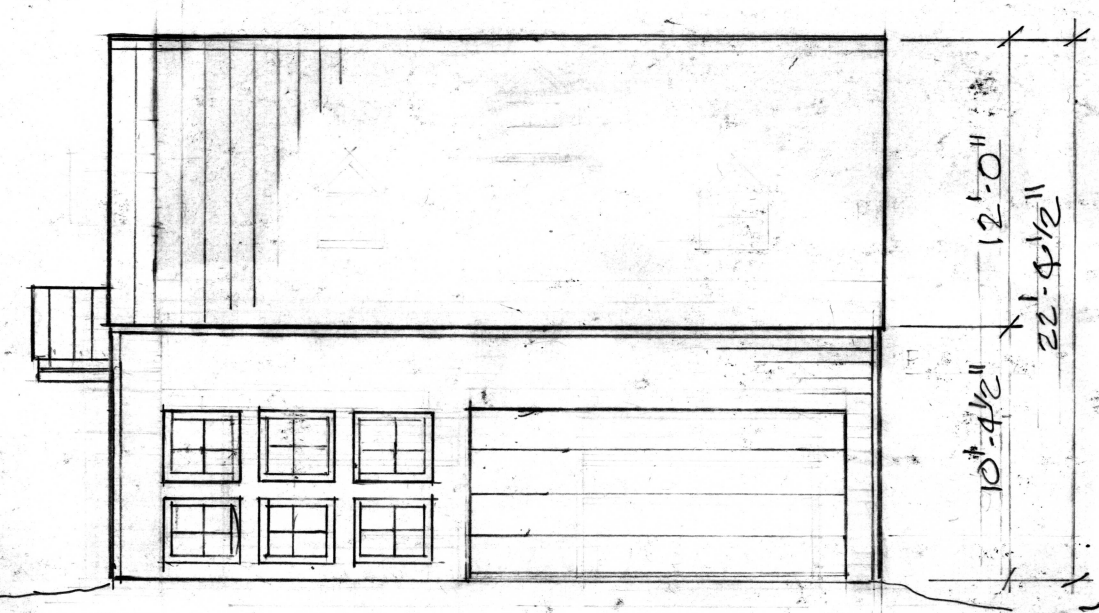
NORTH ELEVATION  
SCALE 1/8"=1'-0"



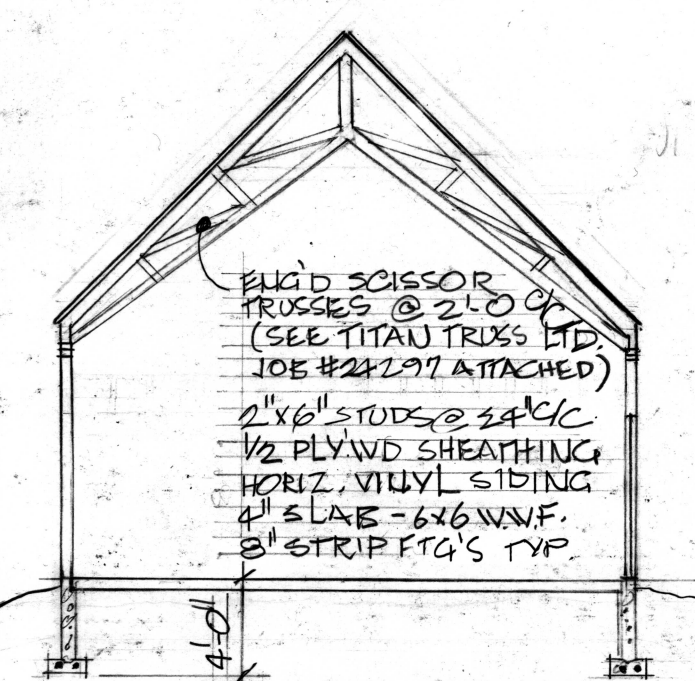
EAST ELEVATION  
SCALE 1/8"=1'-0"



SOUTH ELEVATION  
SCALE 1/8"=1'-0"

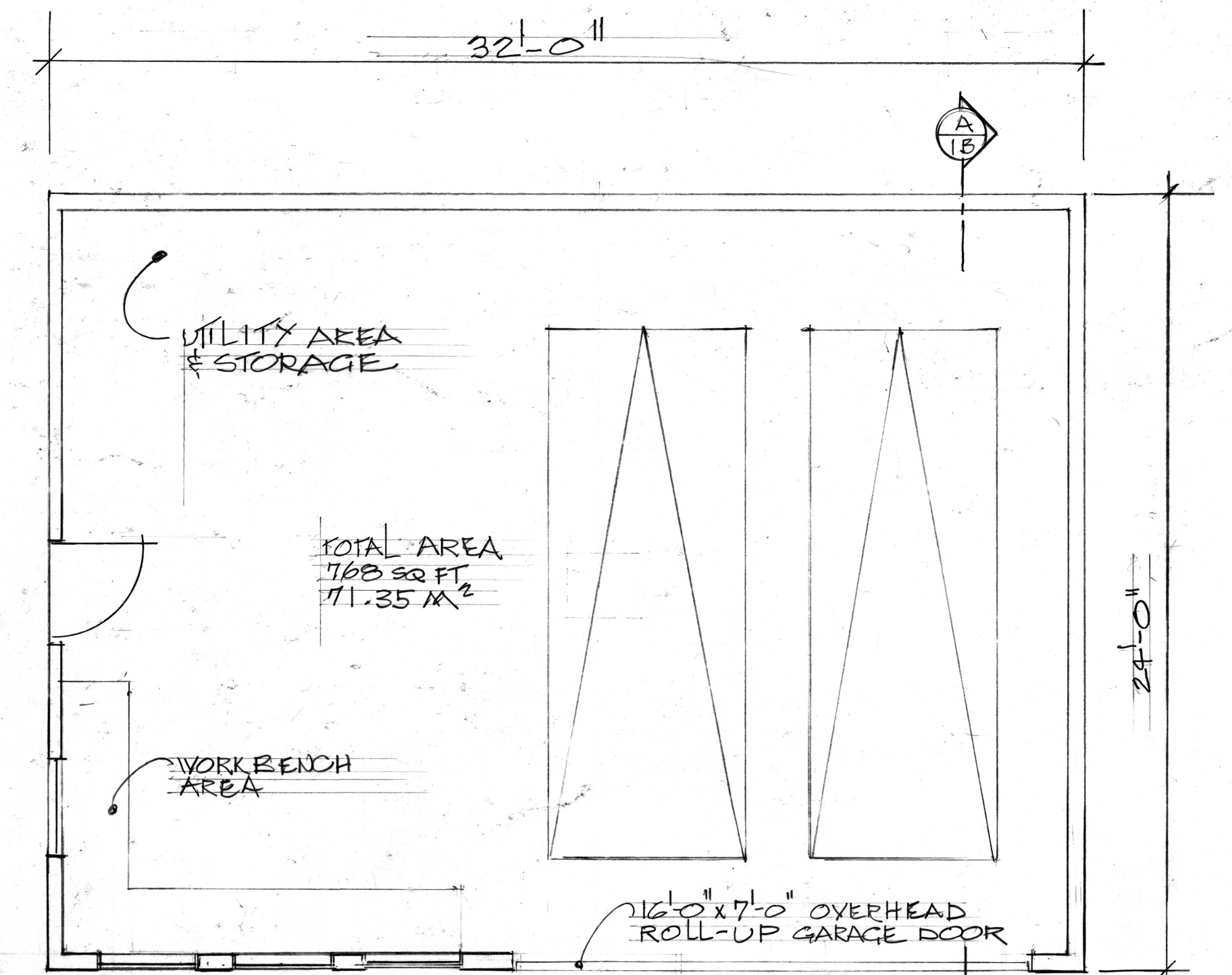


WEST ELEVATION  
SCALE 1/8"=1'-0"

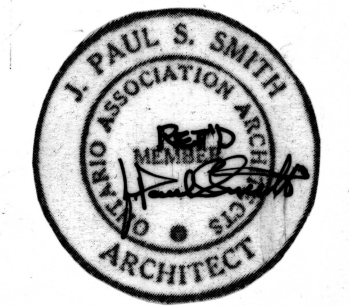


SECTION A-A  
SCALE 1/8"=1'-0"

BUILD SCISSOR  
TRUSSES @ 21'-0" O.C.  
(SEE TITAN TRUSS LTD.  
JOB #2127 ATTACHED)  
2"x6" STUDS @ 24" O.C.  
1/2" PLYWOOD SHEATHING  
HORIZ. VINYL SIDING  
4" SLAB - 6"x6" W.W.F.  
3" STRIP FTG'S TYP.



PLAN  
SCALE 1/4"=1'-0"



SUMMER RESIDENCE - 29 POPLAR RD  
FOR  
PAUL & MARLENE SMITH - 226-206-0403  
P.O. BOX 198 FORT ROYAL, MO. 65110

SCALE:  
AS SHOWN  
DWG. NO.:

1B



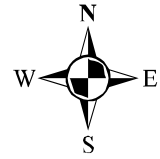




## MAP 2

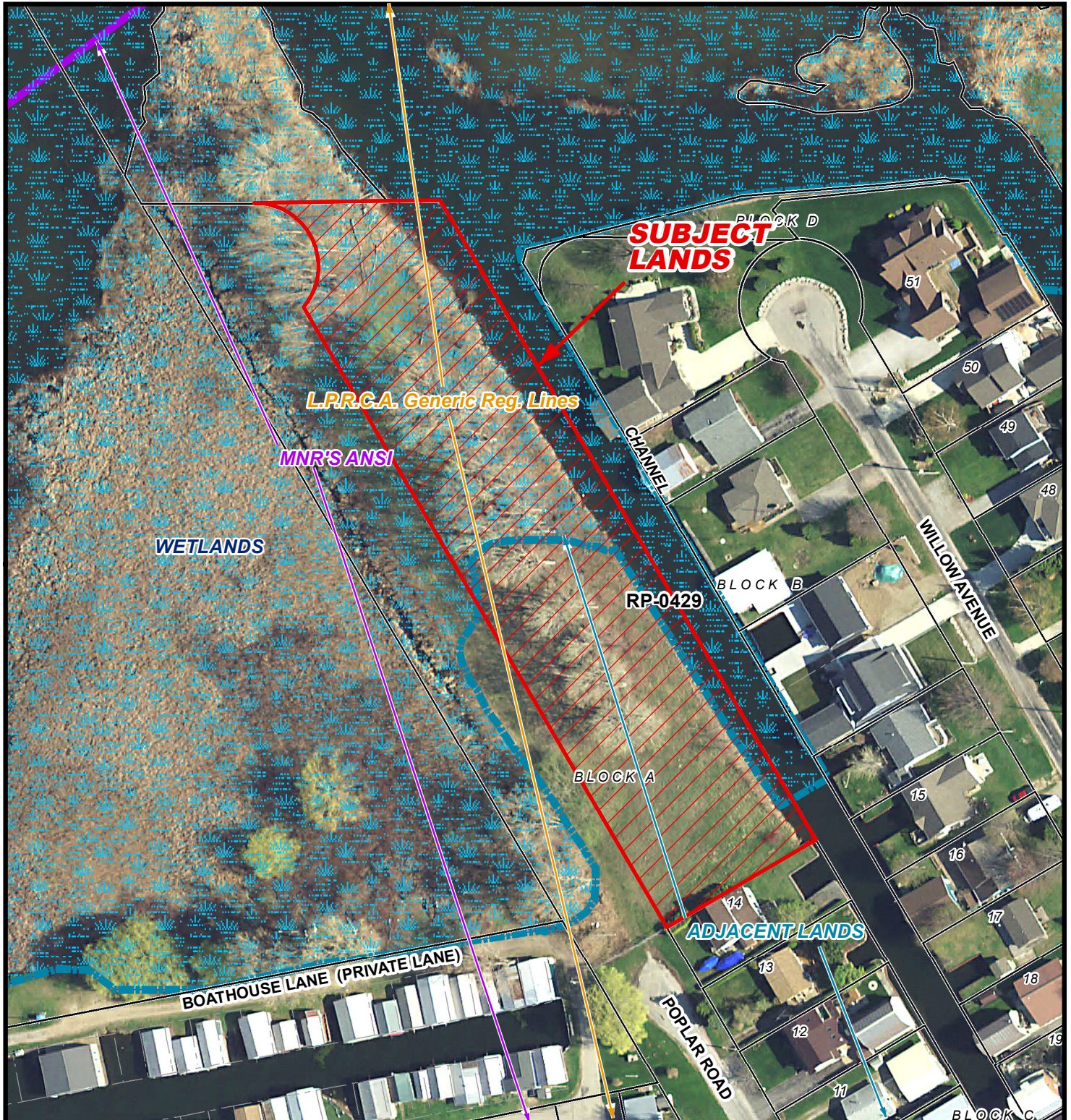
File Number: ANPL2019053

Geographic Township of SOUTH WALSINGHAM



52.50 5 10 15 20 Meters

1:1,300

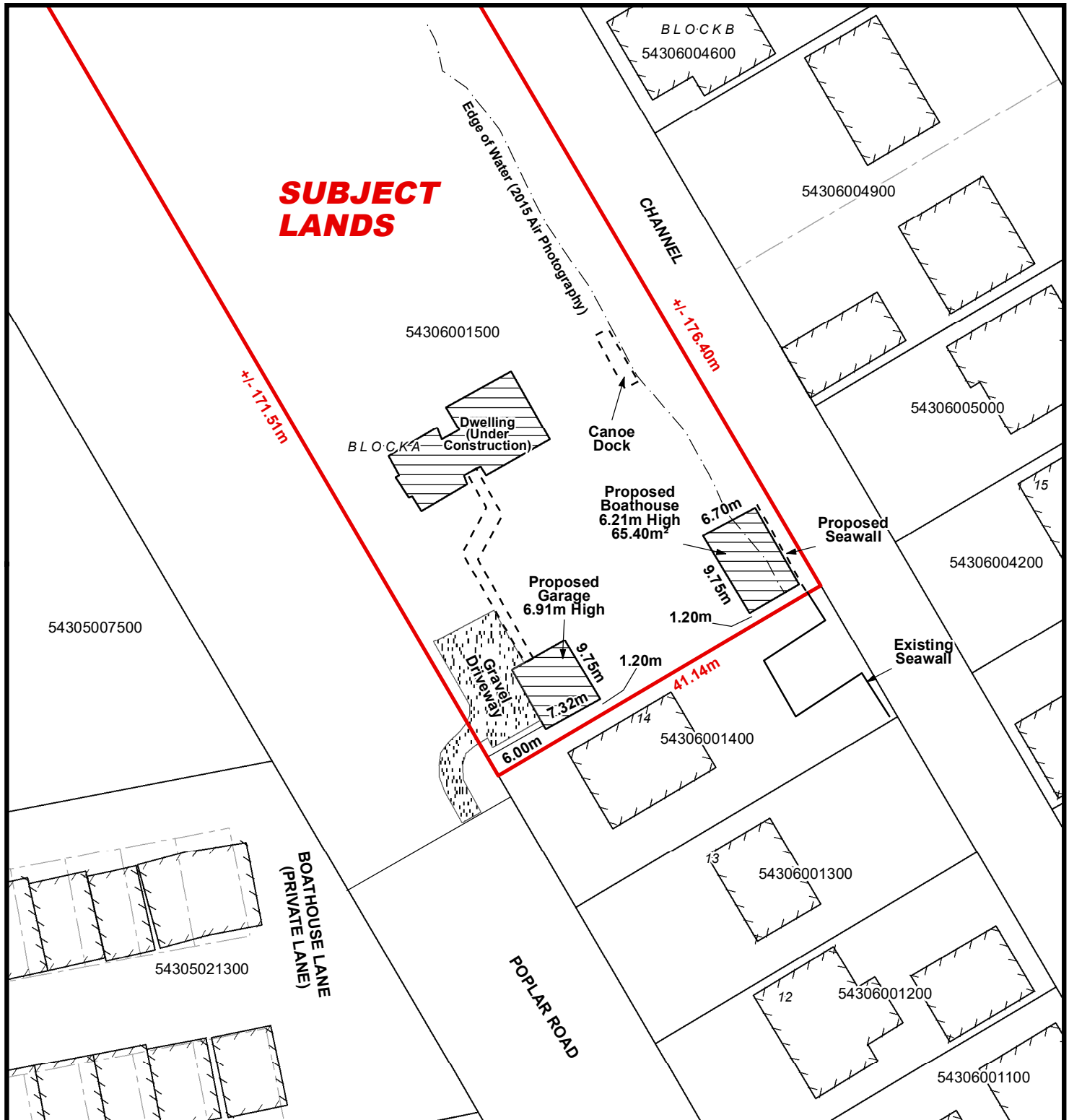
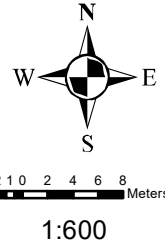




# MAP 3

File Number: ANPL2019053

Geographic Township of SOUTH WALSINGHAM



# LOCATION OF LANDS AFFECTED

File Number: ANPL2019053

Geographic Township of SOUTH WALSINGHAM



2 1 0 2 4 6 8 Meters

1:600

