

For Office Use Only:

File Number	<u>ANPL2019054</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>\$480.25</u>
Pre-consultation Meeting	<u>Dec 3/18</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>Feb 25/19</u>	Planner	<u>Steve</u>
Complete Application	<u>Feb 25/19</u>	Public Notice Sign	<u>Yes</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 543 - 060 - 09800 - 0000

A. Applicant Information

Name of Owner BRAD & GAIL LEGEIN

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 29 PICKEREL RD

Town and Postal Code LONG POINT / PORT ROWAN

Phone Number 289-407-7152

Cell Number 289-407-7152

Email blegein1960@gmail.com

Name of Applicant BRAD LEGEIN

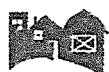
Address 29 PICKEREL RD

Town and Postal Code LONG POINT / PORT ROWAN

Phone Number 289-407-7152

Cell Number 289-407-7152

Email blegein1960@gmail.com



Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

N/A

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

NONE

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

SWAL PLAN 429 LOT 87

Municipal Civic Address: 29 PICKERD RD

Present Official Plan Designation(s): RESORT RESIDENTIAL

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Cottage ~~House~~ - to Retain

Sited - to Retain (less than 10 x 10)

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

BOAT CANOPY TO STORAGE ABOVE

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Existing ^{Cottage} ~~House~~ built in 1998

9. Existing use of abutting properties:

RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:



C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information	Existing	Proposed
Please indicate unit of measurement, i.e. m, m ² or %, etc		
Lot frontage	56' 17.07m	NO CHANGE
Lot depth	150' 45.72m	
Lot width	56' 17.07m	
Lot area	8400 sq ft 780.38m	
Lot coverage	9.0%	10.3%
Front yard	56' x 45' 17.07 x 13.71	NO CHANGE
Rear yard	56' x 50' 17.07 x 15.24	NO CHANGE
Left Interior side yard	10' (cottage) 3.05m	3'3" (new structure)
Right Interior side yard	4' 1.22m	NO CHANGE
Exterior side yard (corner lot)	N/A	N/A

2. Please outline the relief requested (assistance is available):

- A - HEIGHT ALLOWANCE TO 23'6" OR 7.16 m
- B - LOT COVERAGE ALLOWANCE TO 11% from 10%
- C - MINIMUM SIDE YARD TO 3'3" OR 1.0 m

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

- Need additional height to allow for boat canopy below storage
- building/structure size dictated by size of existing boat slip
- Side yard variance required to accommodate building to be over existing boat slip

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

N/A



NORFOLK COUNTY
2017

Proposed final lot size (if boundary adjustment): N/A

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____



Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (i.e., corn, orchard etc) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (i.e., corn, orchard etc) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (i.e., corn, orchard etc) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Familiar with property and knowledge of previous owners - have been neighbours for almost 40 years



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

*Existing property in built up area of Long Point
already developed for many years.*

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance ≥ 50m

Floodplain

☐ On the subject lands or ☒ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☒ within 500 meters – distance ≈ 225 m

Local
Retail/Food
Shops

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____



F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☒ Communal wells
☐ Individual wells ☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☒ Other (describe below)

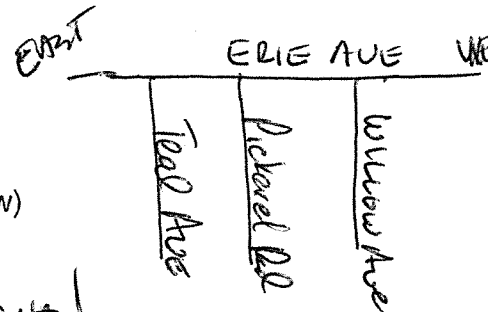
Drainage into existing channel.

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

PICKEREL RD LONG POINT / PORT HAVEN



G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- ① Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
- ⑥ Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
- ⑧ Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☒ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

Brad Heezen
Owner/Applicant/Agent Signature

01/10/19
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date



K. Declaration

I, BRAO LEGGIN of Long Point

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

Brao Leggin
Owner/Applicant/Agent Signature

In Ontario

This 25th day of February

A.D., 2019

Steven James Colyer
A Commissioner, etc.

Steven James Colyer,
a Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires April 3, 2021.





Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 29 Pickerel Road Long Point

Legal Description:

Roll Number: 331054306009800

Application #:

Information Origins: drawings from Len Girard, no site plan or survey at this time

Resort Residential Zone (RR)

3.2.2 Boathouse

- a) minimum exterior side yard
- b) minimum interior side yard
- i) typical lot
- ii) erected on a common lot line
- c) maximum building height
- (Note: Proposed Area)
- d) maximum total usable floor area
- e) maximum lot coverage - shall not occupy more than 10 percent of the lot area, for accessory buildings

REQUIRED	PROPOSED	DEFICIENCY	UNITS
6.00			m
			m
1.20	1.00	0.20	m
0.00			m
5.00	6.86	1.86	m
			m.sq
56.00	37.02	N/A	m.sq
10.00	8.80		%
		N/A	

Comments

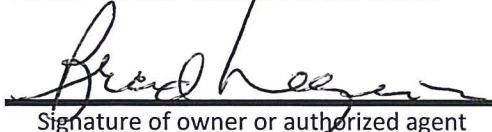
enclosed building over boatslip to be treated as part of a boathouse by definition.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Koot

I have read and understand the above.


Signature of owner or authorized agent


Signature of Zoning Administrator

* applicant is requesting slightly more relief as a 'buffer' - see Section C.2 of application form *

02/25/19
date

Jan 11/2019
date

AS PER: Fritz R. Enzlin. CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County

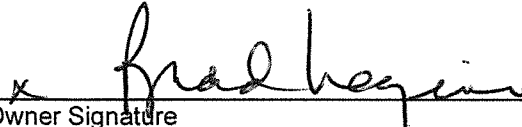
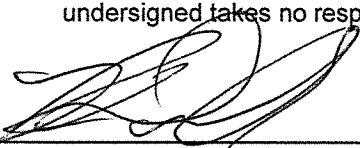


Working together with our community
to provide quality services.

Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

OFFICE USE ONLY		FILE NO.:		DATE RECEIVED:	
PROPERTY INFORMATION		Municipal Address: 29 Pickering Rd Long Point / Port Rowan			
Owner: BRAD & GAIL LEGEN		Lot: SWAN PLANT 429		Concession: Lot 87	
Lot Area: 8400 sq ft	Lot Frontage: 56	Assessment Roll No. 543-060-09800-0000			
PURPOSE OF EVALUATION	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Minor Variance <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____ <input type="checkbox"/> Site Plan				
BUILDING INFORMATION	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural				
Building Area: 1200 sq ft	No. of Bedrooms: 2	No. of Fixture Units: 10	Is the building currently occupied? <input checked="" type="radio"/> Yes / No If No, how long?		
EVALUATOR'S INFORMATION	Evaluator's Name: Richard Miller		Company Name: Miller Construction		
Address: 1507 WILK 45 LAMAR	Postal Code: N0E 1G0		Phone: 519 403 8590		
Email: millerconstruct@gmail.com	BCIN #		46141		
SITE EVALUATION	Ground Cover (trees, bushes, grass, impermeable surface): GRASS			Soil Type: SAND	
Site Slope: <input type="checkbox"/> Flat <input checked="" type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry		Depth of Water Table: 4 ft.	
Surface Discharge Observed: Yes <input checked="" type="radio"/> No		Odour Detected: Yes <input checked="" type="radio"/> No		Current Weather (at time of evaluation): OVERCAST	
SYSTEM EVALUATION	Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)				
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____			Size: 3600 Gal.		Pump: Yes <input checked="" type="radio"/> No
Distribution System: Area: <input type="checkbox"/> Trench Bed <input checked="" type="checkbox"/> Filter Medium		No. of Tile Runs: 4	Total Length of Tile: 80 ft	Distance Between Tile Runs: 6 ft	
Tile Material: <input checked="" type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other		Ends: <input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined	Cover: <input type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input checked="" type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded		
Setbacks:			Tank		
Distance to Buildings & Structures (ft)			5 ft		
Distance to Bodies of Water (ft)			70 ft		
Distance to Nearest Well (ft)			N/A		
Distance to Proposed Property Lines			Front 35' Rear 70' Side 25' Side 25'		
			Distribution Pipe		
Distance to Buildings & Structures (ft)			17 ft		
Distance to Bodies of Water (ft)			87 ft		
Distance to Nearest Well (ft)			N/A		
Distance to Proposed Property Lines			Front 10' Rear 84' Side 15' Side 16'		

OVERALL SYSTEM RATING	<input checked="" type="checkbox"/> System Working Properly / No Work Required <input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required <p><u>Note:</u> Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-5870 for more information.</p>
	<p>Additional Comments:</p> <p style="font-size: 1.2em; font-family: cursive;">System is working OK</p>
VERIFICATION	<p>OWNER: The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.</p> <p>I, <u>Brian Leggin</u> (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> <p><u></u> Owner Signature</p> </div> <div style="width: 45%;"> <p><u>01/08/19</u> Date</p> </div> </div>
<p>EVALUATOR:</p> <p>1. I, <u>Richard Wilson</u> declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> <p><u></u> Evaluator Signature</p> </div> <div style="width: 45%;"> <p><u>Jan 8/19</u> Date</p> </div> </div>	
<p>BUILDING DIVISION COMMENTS</p> <p>Comments: _____</p> <p>_____</p> <p>I, _____ have reviewed the information contained in this form as submitted.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> <p>_____ Chief Building Official or designate</p> </div> <div style="width: 45%;"> <p>_____ Date</p> </div> </div>	



On Site Sewage Disposal System Location Plan

DATE: JAN 20/17

APPLICATION NUMBER: _____

OWNER: BRAD LEGEN

EVALUATOR: RNELL

PROPERTY ADDRESS: 29 PICKEREL, LONG POINT

Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.

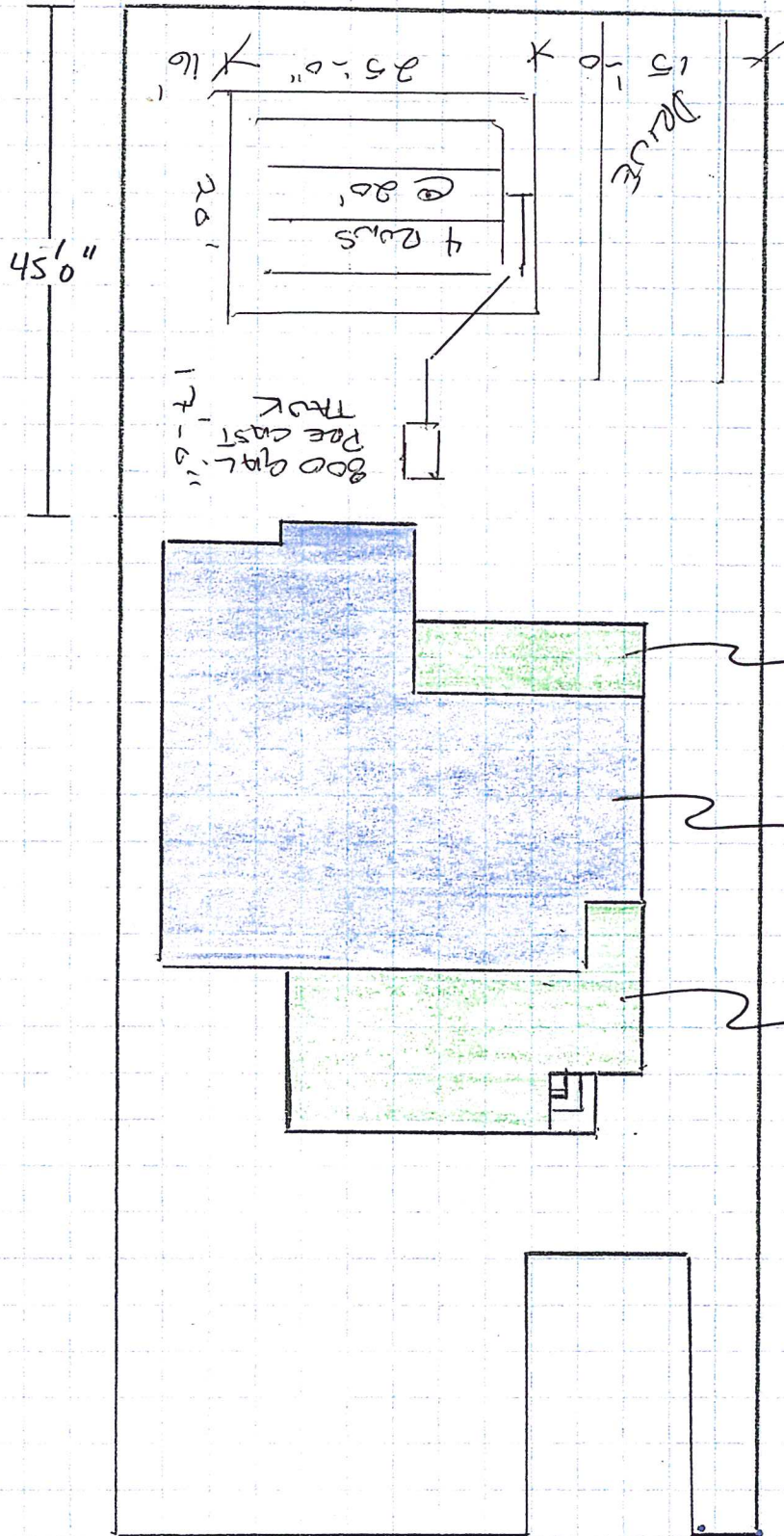
SEE ATTACHED.

PREPARED BY: _____

NOTE: The above sketch is not to exact scale.

4'0" PICKEREL

10'0"



CHANNEL

OWNERS:

DRAWING LIST:

BRAD LEGEIN

29 PICKEREL AVENUE
LONG POINT, ONTARIO

S0 - GENERAL NOTES
S1 - FRAMING PLANS
S2 - DETAILS
S3 - WALL SECTIONS
S4 - ELEVATIONS

GENERAL CONSTRUCTION NOTES

- ALL FOOTINGS TO BEAR DIRECTLY ONTO UNDISTURBED SOIL. THE SOIL BEARING CAPACITY HAS BEEN DESIGNED FOR 2500PSF. THE SOIL BEARING CAPACITY IS TO BE CONFIRMED ON SITE BY A QUALIFIED SOIL TECHNICIAN PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION. THE ENGINEER DOES NOT TAKE RESPONSIBILITY FOR TEMPORARY BRACING DURING CONSTRUCTION.
- ALL TRUSS BRACING TO BE INSTALLED AS PER TRUSS MANUFACTURERS DESIGN & SPECIFICATIONS AND AS PER ENGINEERS DESIGN & SPECIFICATIONS.
- NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
 - A. EXCAVATION - PRIOR TO POURING FOOTINGS
 - B. ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED.
 - C. ROUGH FRAMING - PRIOR TO CLOSE-IN.
 - D. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.
 - E. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.
 - F. FINAL INSPECTION FOR CERTIFICATION. TO BE COMPLETED WITH CONTRACTOR & OWNER.
- THE CONTRACTOR & OWNER ARE RESPONSIBLE FOR NOTIFYING THE GOVERNING MUNICIPALITIES FOR ALL REQUIRED INSPECTIONS.

G15 map says
lot 56x150 = 8400sq ft
(780.39sqm)

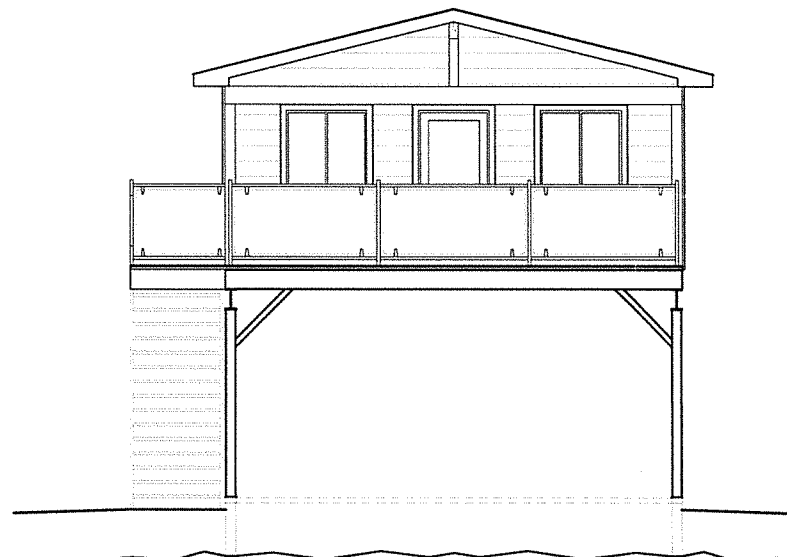
DESIGNED BY:

girard
ENGINEERING
2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. BOX 98
OTTERVILLE, ONTARIO N0J 1R0
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA

MUNICIPALITY:

NORFOLK COUNTY
185 ROBINSON STREET, SUITE 200
SIMCOE, ONTARIO N3Y 5L6
PHONE: 519-426-5870
FAX: 519-427-5901
CHIEF BUILDING OFFICIAL: FRITZ ENZLIN

CONSTRUCTED BY:



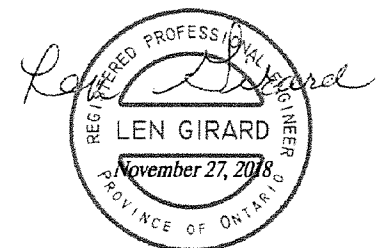
ELEVATION:



Map data ©2018 Google 1 km

SITE MAP:

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

ISSUED FOR:

PERMIT & CONSTRUCTION
NOVEMBER 26, 2018

GROUND SNOW LOAD Ss 1.30kPa (27.15psf), Ss (0.8) 1.04kPa (21.72psf), Sr 0.40kPa (8.35psf)

ROOF DEAD LOAD 0.53kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING + MECHANICAL/ELECTRICAL ALLOWANCE

WIND LOADS 1/50 = 0.45kPa (9.40psf), 1/10 FOR DEFLECTION = 0.35kPa (7.31psf)

1. THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE LATEST REVISION OF DESIGN DRAWINGS AND SPECIFICATIONS PREPARED BY ALL ENGINEERING AND ARCHITECTURAL DISCIPLINES.
2. ALL WORK INCLUDING DESIGN, DETAILING, SHOP DRAWINGS, CONSTRUCTION, AND SHORING SHALL CONFORM TO THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE MINISTRY OF LABOUR REGULATIONS AND ANY CONSTRUCTION RELATED BY-LAWS.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES ON THESE DRAWINGS TO THE ENGINEER AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.
6. OPERATIONS OF THE EXISTING FACILITY ARE NOT TO BE INTERRUPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR LOSS CAUSED BY CONSTRUCTION OPERATIONS.
7. ALL SHOP DRAWINGS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO).
8. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.

1. CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS
2. DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
3. ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT TO ADHERE TO LATEST EDITION OF D.B.C. & BY-LAWS.
4. ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH D.B.C. CHARTS TO BE ENGINEERED & APPROVED (STRUCTURAL ENGINEER TO REVIEW, CALCULATE LOADS AND SIZES, STAMP, AND APPROVE).
5. ALL FOOTINGS TO BEAK ON UNDISTURBED SOIL. ALL EXTERIOR FOUNDATION WALL FOOTINGS TO EXTEND DOWN BELOW LOCAL FROST LEVEL 148" MINIMUM BELOW FINISHED GRADE.
6. REFER TO PLANS, CROSS SECTIONS, AND DETAILS FOR ALL TYPICAL CONSTRUCTION DETAILS AND NOTES.

1. NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
 - A. EXCAVATION - PRIOR TO VERIFYING FOOTINGS
 - B. FLOOR - DURING POUR TO PERPUN CEMENT & THICKNESS
 - C. ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED.
 - D. ROUGH FRAMING - PRIOR TO CLOSE-IN.
 - E. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.
 - F. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.
 - G. FIRE INSPECTION FOR CERTIFICATION - TO BE COMPLETED WITH BOTH OWNER & CONTRACTOR PRESENT.
2. CONTRACTOR OR OWNER TO COMPLETE AND SUBMIT COPIES OF ALL CONCRETE TESTS AS PER C.S.A. A23.1 - ONE TEST REQUIRED PER 100' MINIMUM.
3. CONTRACTOR OR OWNER TO SUBMIT TRUSS DRAWINGS FOR REVIEW.
4. CONTRACTOR OR OWNER TO SUBMIT SHOP DRAWINGS OF ALL PRECAST AND / OR PRE-ENGINEERED ELEMENTS FOR REVIEW.
5. CONTRACTOR OR OWNER TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
6. THE DESIGN ON THESE DRAWINGS IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE USED OR COPIED WITHOUT CONSENT IN WRITING.
7. CHANGES OR SUBSTITUTIONS ARE NOT TO BE MADE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

INSTALL LATERAL TRUSS BRACING AS PER TRUSS DRAWINGS.
CROSS BRACE WEB LATERAL BRACING AS FOLLOWS:
SINGLE BRACE - EVERY 48'
DOUBLE BRACE - EVERY 48'
TRIPLE BRACE - CONTINUOUS

TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.

1. ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT HAS BEEN ASSUMED AT 2500 PSF (120 KPa).
2. THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT.
3. THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
4. ALL EXTERIOR FOOTINGS SHALL BE POURED ON UNDISTURBED NATIVE SOIL (OR APPROVED ENGINEERED FILL) AT A MINIMUM DEPTH OF 4'-0" (1.2M) BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
5. EXCAVATIONS SHALL CONFORM TO THE LATEST EDITIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
6. WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY UNLESS SHORED ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER. PIT WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED.
7. INSTALLATION DETAILS FOR WATERSTOPS AT WALL/FOOTING INTERFACE AND IN VERTICAL JOINTS SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
8. WALLS AND PIERS SHALL BE CENTRED ON FOOTINGS WITHIN THE MIDDLE THIRD OF THE FOOTING.

1. ALL CONCRETE SHALL CONFORM TO CAN/CSA-A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" WITH A MAXIMUM AGGREGATE SIZE OF 3/4" (19mm), TYPE 10 NORMAL PORTLAND CEMENT (UNLESS OTHERWISE NOTED), AND A COMPRESSIVE STRENGTH AT 28 DAYS.
2. SUPPLY AND PLACE CONCRETE AS FOLLOWS:
 - FLOORING - 25 MPa, MAX. W/C RATIO OF 0.50, AIR CONTENT 6% ± 1%
 - FOUNDATION WALLS - 25 MPa, MAX. W/C RATIO OF 0.50, AIR CONTENT 6% ± 1%
 - PIERS - 30 MPa, MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1%
 - SLABS ON GRADE - 25 MPa, MAX. W/C RATIO OF 0.50, NO AIR CONTENT REQUIRED
 - PI WALLS & FLOORS (SUBJECT TO ACID ATTACK) - 32 MPa, TYPE 50 CEMENT (FOR EQUIVALENT), MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1%
 - SIDEWALKS, EXPOSED CURBS, AND OTHER CONCRETE - 32 MPa, MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1%
3. ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30.8 (LATEST EDITION) WITH A YIELD STRENGTH OF 400 MPa FOR DEFORMED BARS OR 360 MPa FOR WELDED WIRE MESH.
4. MINIMUM CORNER REINFORCING SHALL BE 24"x24" (600mmx600mm) L-BARS.
5. MINIMUM COVER ON REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER SHALL BE 2" (50mm) FOR 20M OR LARGER BARS, 1 1/2" (38mm) FOR 15M OR SMALLER BARS, 3" (75mm) FOR REINFORCING IN FOOTINGS AND UNEXPOSED CONCRETE AGAINST EARTH, 1" (25mm) FOR SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER, 1 1/2" (38mm) FOR REINFORCING IN BEAMS, AND 2" (50mm) FOR MAIN PIER STEEL.
6. CONDITIONS OF PILES IN SLABS SHALL NOT EXCEED 1/3 OF THE SLAB THICKNESS IN DIAMETER AND SHALL HAVE A MINIMUM COVER OF 125mm.
7. CONTROL JOINTS SHALL BE INSTALLED AS SHOWN OR AS NOTED ON DRAWINGS WITH A MAXIMUM SPACING OF 30'-0" (9.0m) IN WALLS, MAXIMUM SLAB FOUR LENGTH OF 100'-0" (30.0m). ALL SAW CUTS SHALL BE A MINIMUM OF 1/3 OF THE SLAB DEPTH AND SHALL BE CUT WITHIN 1/4 DEPTH OF THE POUR.

1. STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CAN/CSA 086-01 "ENGINEERING DESIGN IN WOOD" AND THE WOOD DESIGN MANUAL (CANADIAN WOOD COUNCIL LATEST EDITIONS).
2. WOOD TRUSSES SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO) THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. WOOD STUDS, JOISTS, NAILERS, BLOCKING, BUILT-UP BEAMS, AND COLUMNS SHALL BE S.P.T. NO. 2 (CONSTRUCTION GRADE) OR BETTER. CONFORMING TO CAN/CSA 084-01 "SOFT WOOD LUMBER". GRADING SHALL CONFORM TO THE NATIONAL LUMBER GRADING AUTHORITY STANDARD GRADING RULES FOR CANADIAN LUMBER. WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2006 - SECTION 9.2.3.
4. PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD 0121-M1978 "DOUGLAS FIR PLYWOOD" AND 0151-M1978 "CANADIAN SOFT WOOD PLYWOOD".
5. WAFERBOARD AND C.D.S. SHALL CONFORM TO CSA STANDARD CAN3-0437-1 "M55 WAFERBOARD AND STRANDBOARD".
6. FASTENING DEVICES (NAILS) SHALL CONFORM TO CSA STANDARD B11-1974 "WIRE NAILS, SPIKES, AND STAPLES".
7. TRUSS CHAINS, JOINT HANGERS, ETC. SHALL CONFORM TO "ACCEPTANCE CRITERIA FOR JOINT HANGERS AND SIMILAR DEVICES" (THE INTERNATIONAL CONVENTION OF BUILDING OFFICIALS) AND SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL.

1. STRUCTURAL STEEL SHALL CONFORM TO CANCSA-516-01 "LIMIT STATE DESIGN OF STEEL STRUCTURES" AND SUPPLEMENT 516S1-05.
2. STEEL BEAMS AND COLUMNS SHALL CONFORM TO CANCSA-600-21 "QUALITY STRUCTURAL STEEL" WITH A YIELD STRENGTH OF 267 MPA (40000 psi) FOR BEAMS AND WIDE FLANGE COLUMNS, AND 333 MPA (50000 psi) FOR H.S. SECTIONS.
3. BOLTS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325, BOLT16, AND THREEEED R60 FOR WOOD CONNECTIONS SHALL CONFORM TO ASTM A307.
4. WELDING SHALL BE PERFORMED BY PERSONS CERTIFIED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE LATEST CSA STANDARD FOR WELDING - CLAUSE 2.4.3 OF 516-01.
5. ALL STEEL FABRICATED SHALL BE INSPECTED AND APPROVED BY A LICENSED PROFESSIONAL ENGINEER (REGISTERED IN ONTARIO) AND SUBMITTED TO THE ENGINEER PRIOR TO CONSTRUCTION.

- WOOD FRAME CONSTRUCTION TO COMPLY WITH O.B.C. 2012 9.22.
- WOOD FRAMING SPANS AND SIZES TO CONFORM TO TABLES A-1 - A-16, INCLUDING ALL APPLICABLE FOOTNOTES.
- 1 1/2" MINIMUM REQUIRED END BEARING OF JOISTS AND RAFTERS.
- HEAT TRANSFER, AIR LEAKAGE, AND CONDENSATION CONTROL TO COMPLY WITH O.B.C. 2012 9.25.
- ALL SIDING TO COMPLY WITH O.B.C. 2012 9.27.
- EXTERIOR WALLS TO HAVE A MINIMUM OF R22 INSULATION.
- VAPOUR BARRIER TO BE BULK POLYETHYLENE (G55B-S1,34) AIR AND VAPOUR BARRIER - SEALED AS PER O.B.C. 2012 9.25.
- DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS AS PER O.B.C. 2012 9.6.8.
- FLOOR LEVELS CONTAINING BEDROOMS ARE TO HAVE ONE OPENING WINDOW WITH AN UNOBSTRUCTED VIEW TO THE OUTSIDE.
- ALL ATTACHED GARAGES ARE TO HAVE GAS-PROOF WALLS WITH A MINIMUM OF R-15 INSULATION.

- ROOF CONSTRUCTION AND FLASHING TO COMPLY WITH O.B.C. 2006 9.26.
- ROOF SPACES TO COMPLY WITH O.B.C. 2012 9.19.
- UNOBSTRUCTED VENT AREA TO BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- MINIMUM ATTIC ACCESS TO BE 20"x20" - FITTED WITH A COVER COMPLETE WITH WEATHERSTRIPPING AND RIGID INSULATION.

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CONSTRUCTED BY:

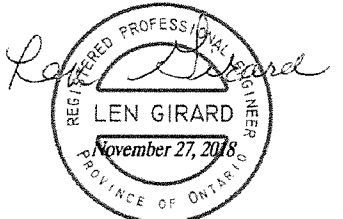
DESIGNED BY:

girard
ENGINEERING

2478153 ONTARIO INC.

212 MAIN STREET WEST P.O. BOX 98
OTTERVILLE, ONTARIO N0J 1R0

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EMAIL: INFO@GIRARDEENGINEERING.CA



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DESIGNED FOR:

BRAD LEGEIN
29 PICKEREL AVENUE
LONG POINT, ONTARIO

PROPOSED BOAT HOUSE & STORAGE BUILDING

GENERAL NOTES & FOUNDATION PLAN

SCALE: 1"= 1'-0"		DRAWING NO: S-0
DATE: OCTOBER 2018		
DRAWING BY: D. FALLOWFIELD		
DESIGNED BY: L. GIRARD		
CHECKED BY: L. GIRARD		
PROJECT NO: 18-154		



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

[illegible]

CONSTRUCTED 8'

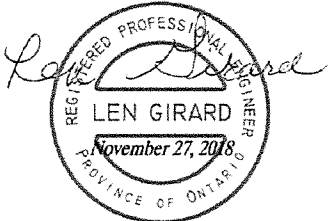
DESIGNED BY:



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DESIGNED FOR

BRAD LEGEIN
29 PICKEREL AVENUE
LONG POINT, ONTARIO

PROPOSED BOAT HOUSE & STORAGE BUILDING

FRAMING PLANS

SCALE: 1/8" = 1'-0"

DATE: OCTOBER 2011

DRAWING BY: D. FALLOWFIELD

DESIGNED BY: L. GIRARD

CHECKED BY: J. SIBARD

PROJECT NO: 10-154

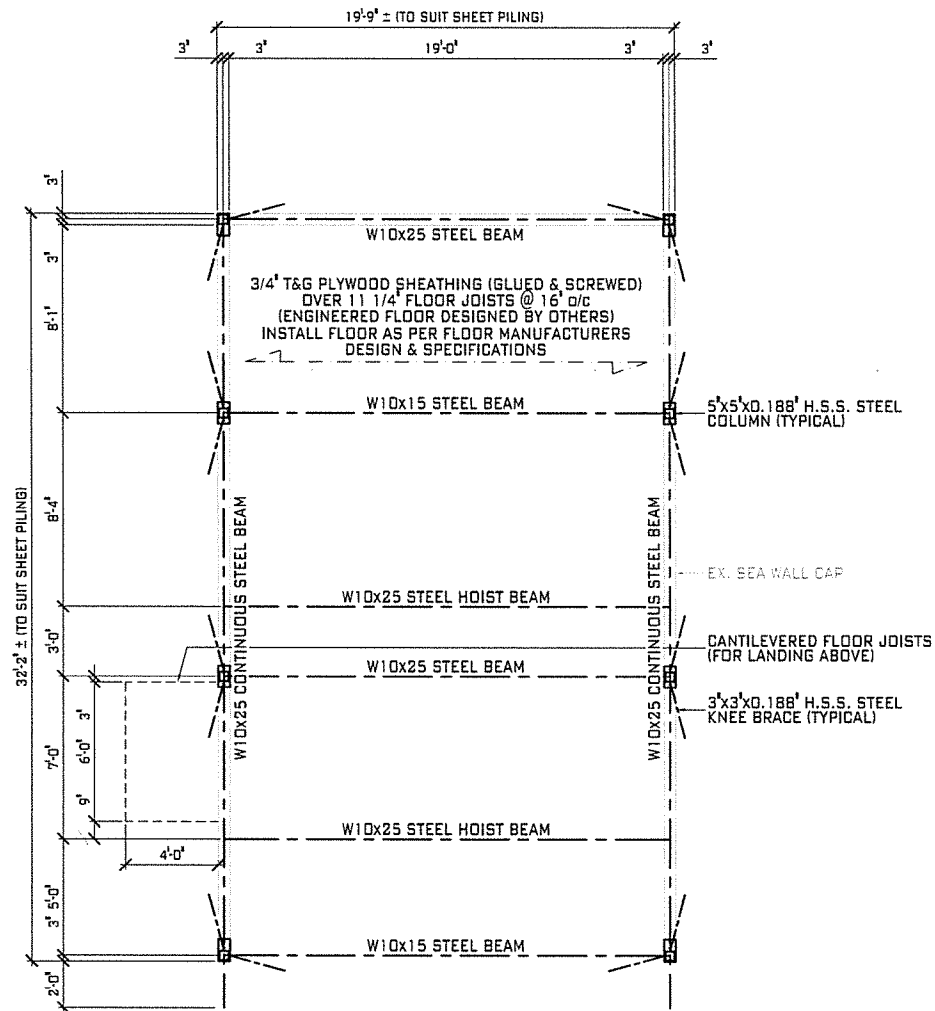
DRAWING NO:

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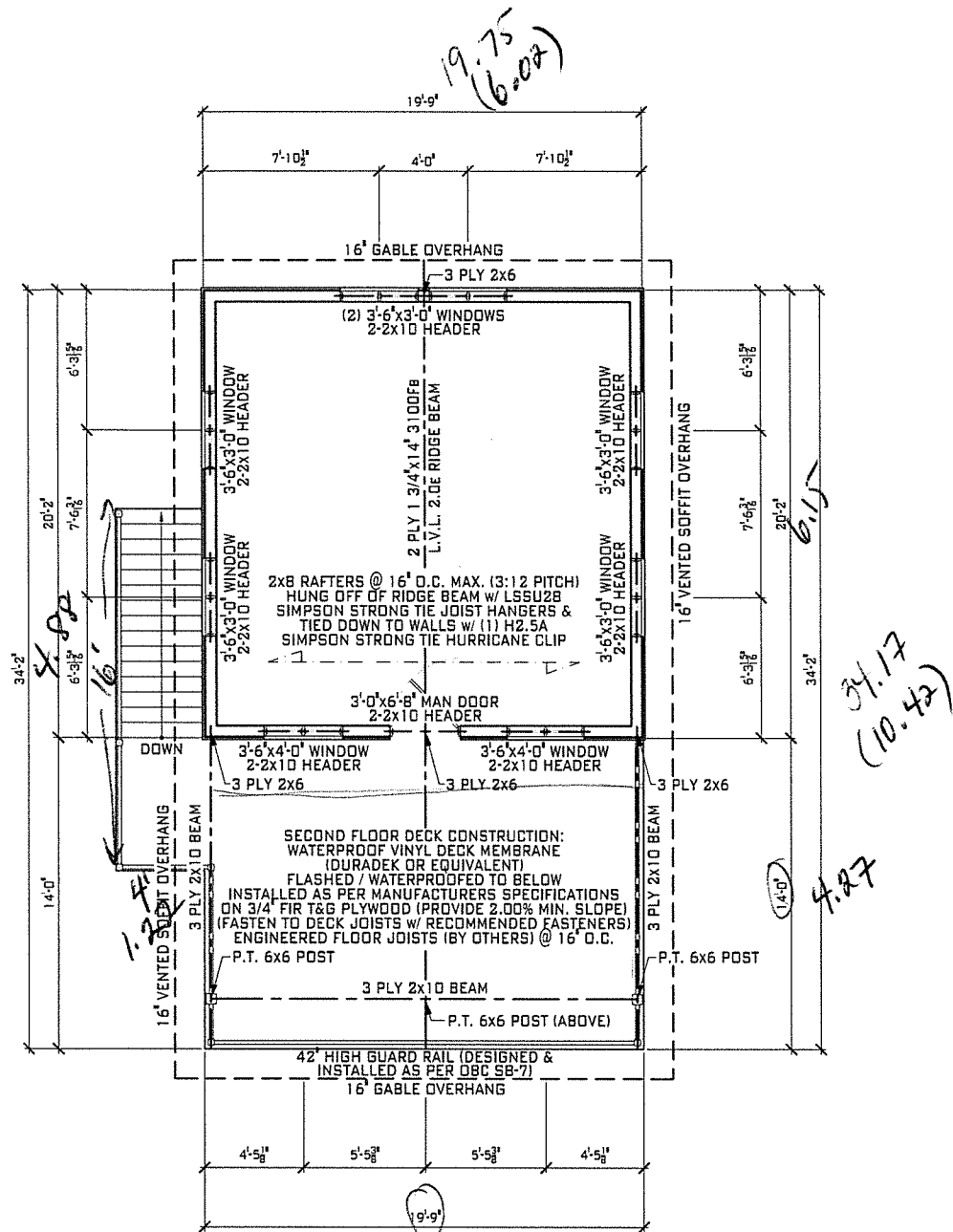
5-1



MAIN FLOOR FRAMING AND BRACING PLAN

SCALE: 1/8" = 1'-0"

- TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.



SECOND FLOOR FRAMING AND BRACING PLAN

SCALE: 1/8" = 1'-0"

• TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.

useable floor area = enclosed area
37.02 sqm

lot coverage = enclosed area = 37.02
deck = 25.71
stairs = 5.95

$$\frac{68.68 \text{ sqm}}{780.39 \text{ sqm}} = 8.8\%$$



CONSTRUCTION NORTH

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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO.	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	OF	OCTOBER 20, 2018
2	ISSUED FOR PERMIT & CONSTRUCTION	OF	NOVEMBER 26, 2018

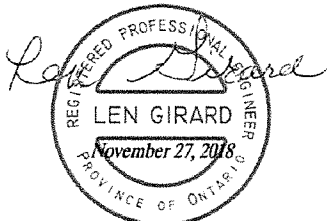
CONSTRUCTED BY:

DESIGNED BY:

girard
ENGINEERING

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212 MAIN STREET WEST P.O. BOX 98
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DESIGNED FOR:

BRAD LEIGIN
29 PICKEREL AVENUE
LONG POINT, ONTARIO

**PROPOSED BOAT HOUSE &
STORAGE BUILDING**

DETAILS

SCALE: 1/8" = 1'-0"

DATE: OCTOBER 2018

DRAWING BY: D. FALLONFIELD

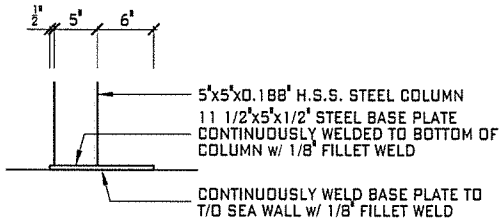
DESIGNED BY: L. GIRARD

CHECKED BY: L. GIRARD

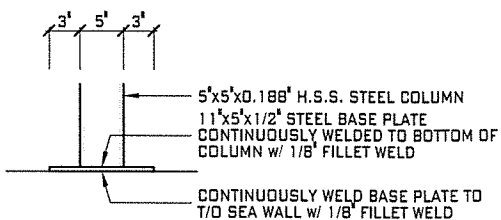
PROJECT NO: 18-154

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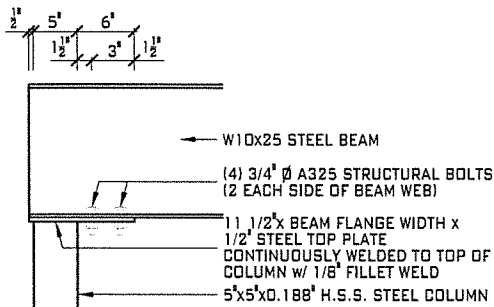
S-2



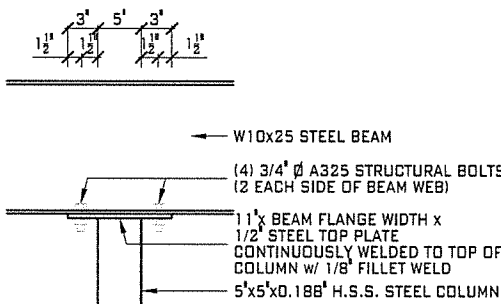
**STEEL COLUMN TO SEA WALL
CONNECTION DETAIL - END COLUMNS**
SCALE: NOT TO SCALE



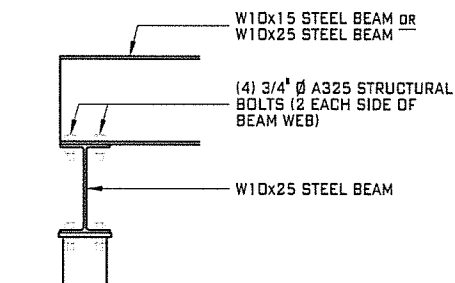
**STEEL COLUMN TO SEA WALL
CONNECTION DETAIL - CENTER COLUMNS**
SCALE: NOT TO SCALE



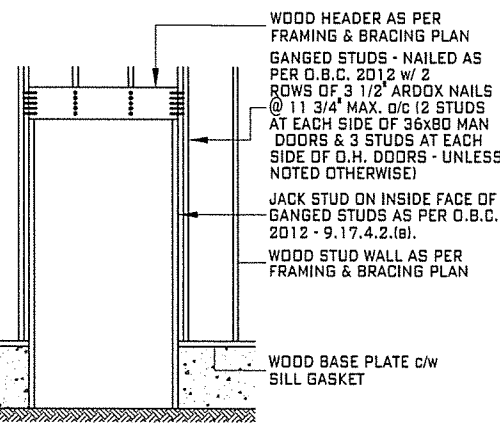
**STEEL BEAM TO STEEL
COLUMN CONNECTION DETAIL - END COLUMN**
SCALE: NOT TO SCALE



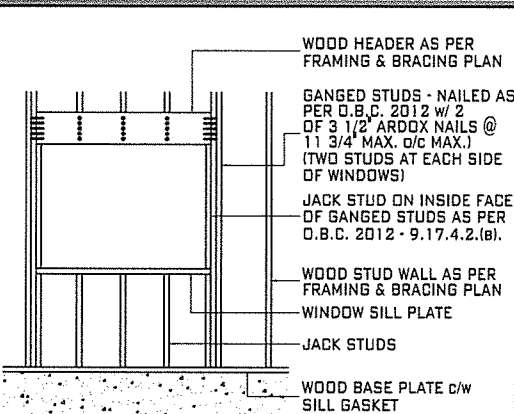
**STEEL BEAM TO STEEL
COLUMN CONNECTION DETAIL - CENTER COLUMNS**
SCALE: NOT TO SCALE



**STEEL BEAM TO STEEL
BEAM CONNECTION DETAIL**
SCALE: NOT TO SCALE



DOOR FRAMING DETAIL
SCALE: NOT TO SCALE



WINDOW FRAMING DETAIL
SCALE: NOT TO SCALE



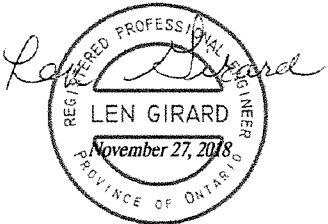
CONSTRUCTION NORTH

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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO.	REVISION	BY	DATE
1	ISSUED FOR PRELIMINARY REVIEW	DF	OCTOBER 30, 2018
2	ISSUED FOR PERMIT & CONSTRUCTION	DF	NOVEMBER 26, 2018

CONSTRUCTED BY:

DESIGNED BY:
girard
ENGINEERING
2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. BOX 98
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DESIGNED FOR:

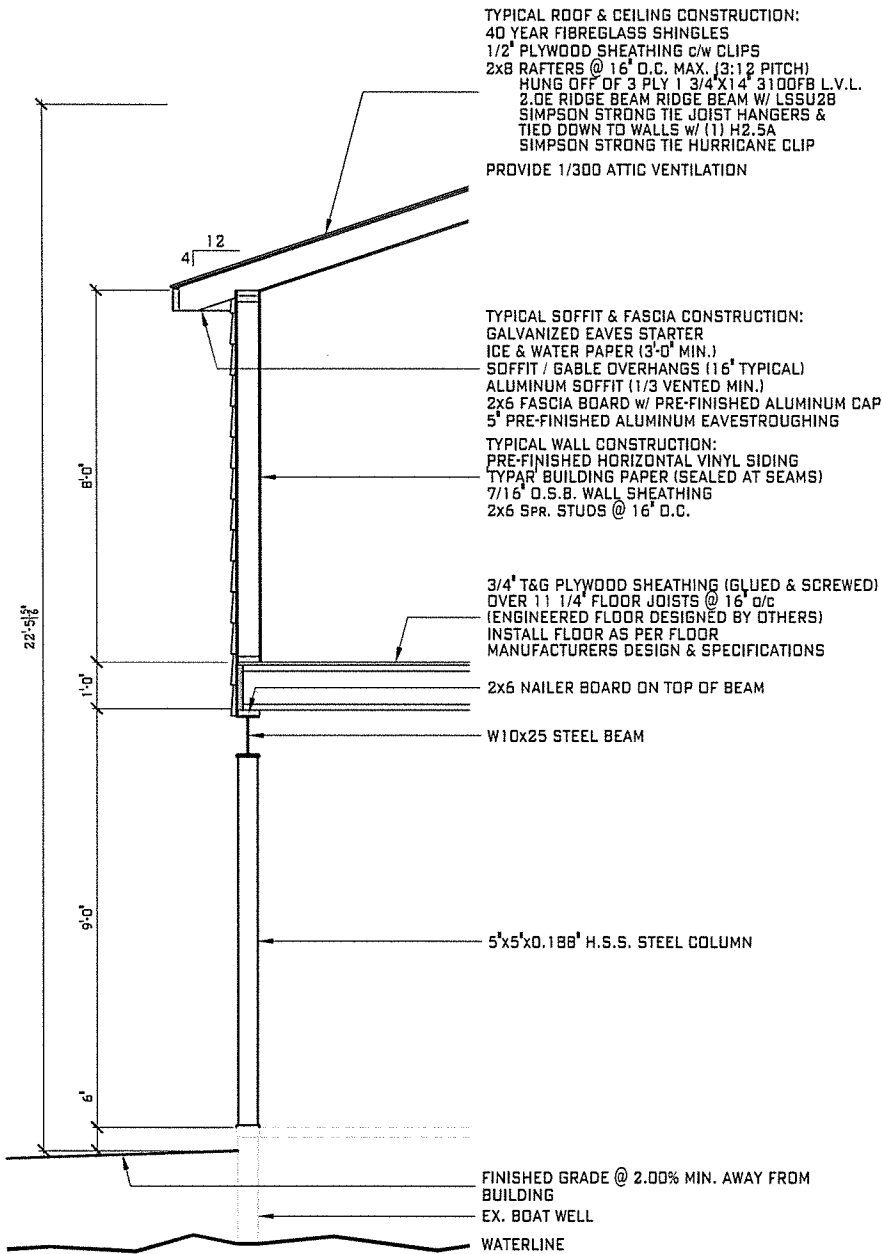
BRAD LEGEIN
29 PICKEREL AVENUE
LONG POINT, ONTARIO

**PROPOSED BOAT HOUSE &
STORAGE BUILDING**

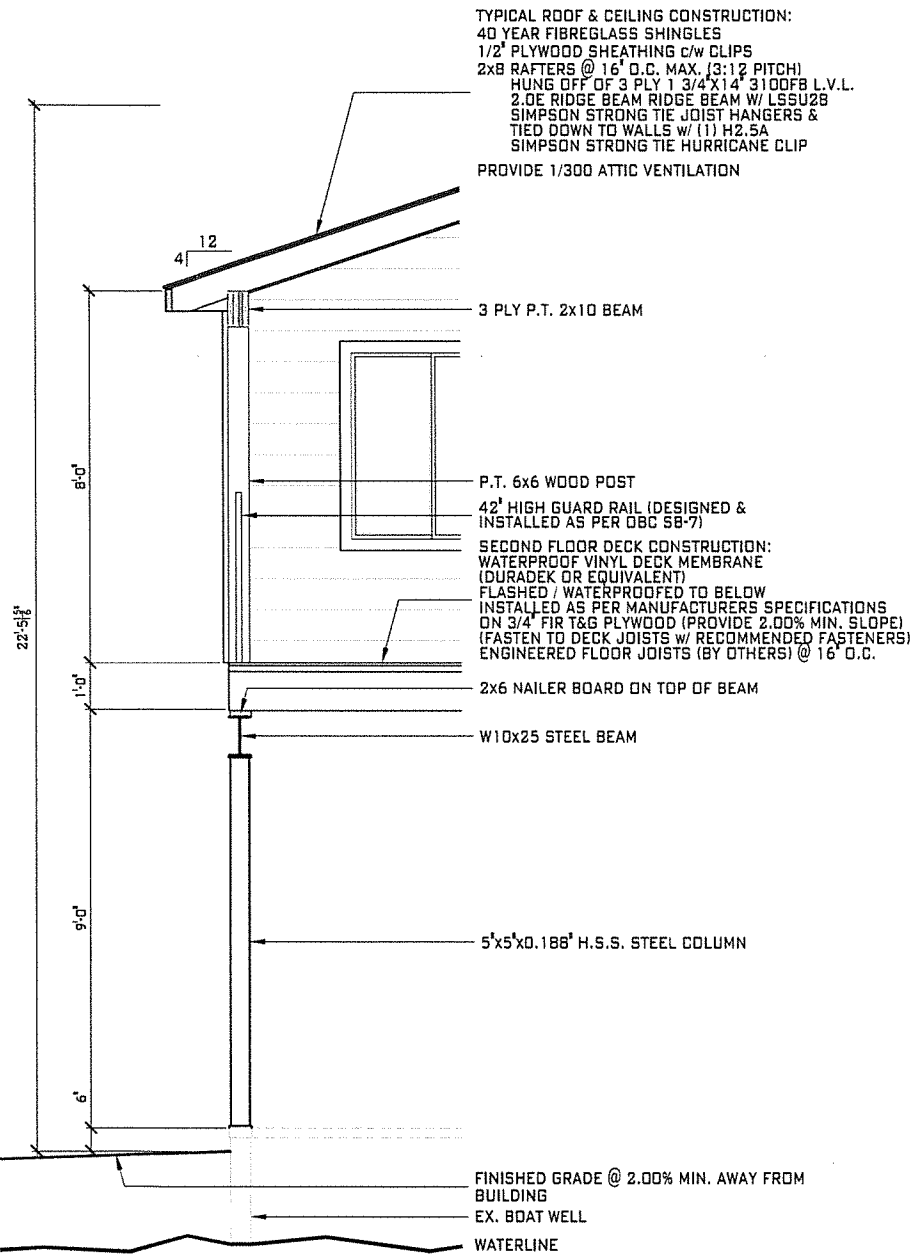
WALL SECTIONS

SCALE:	1/8" = 1'-0"	DRAWING NO:
DATE:	OCTOBER 2018	
DRAWING BY:	D. FALLOWFIELD	
DESIGNED BY:	L. GIRARD	
CHECKED BY:	L. GIRARD	
PROJECT NO:	18-154	

S-3



WALL SECTION - THROUGH CLOSED IN SECTION
SCALE: 1/4" = 1'-0"



WALL SECTION - THROUGH COVERED DECK SECTION
SCALE: 1/4" = 1'-0"



CONSTRUCTION NORTH

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2	ISSUED FOR PERMIT & CONSTRUCTION	OF	NOVEMBER 26, 2019

CONSTRUCTED BY:

DESIGNED BY:

girard
ENGINEERING

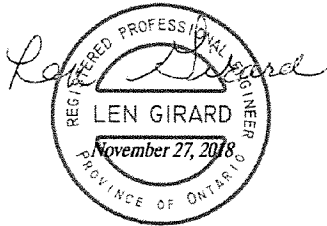
2478153 ONTARIO INC.

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DESIGNED FOR:

BRAD LEGEIN
29 PICKEREL AVENUE
LONG POINT, ONTARIO

**PROPOSED BOAT HOUSE &
STORAGE BUILDING**

ELEVATIONS

SCALE: 1/8" = 1'-0"

DATE: OCTOBER 2018

DRAWING BY: D. FALLOFIELD

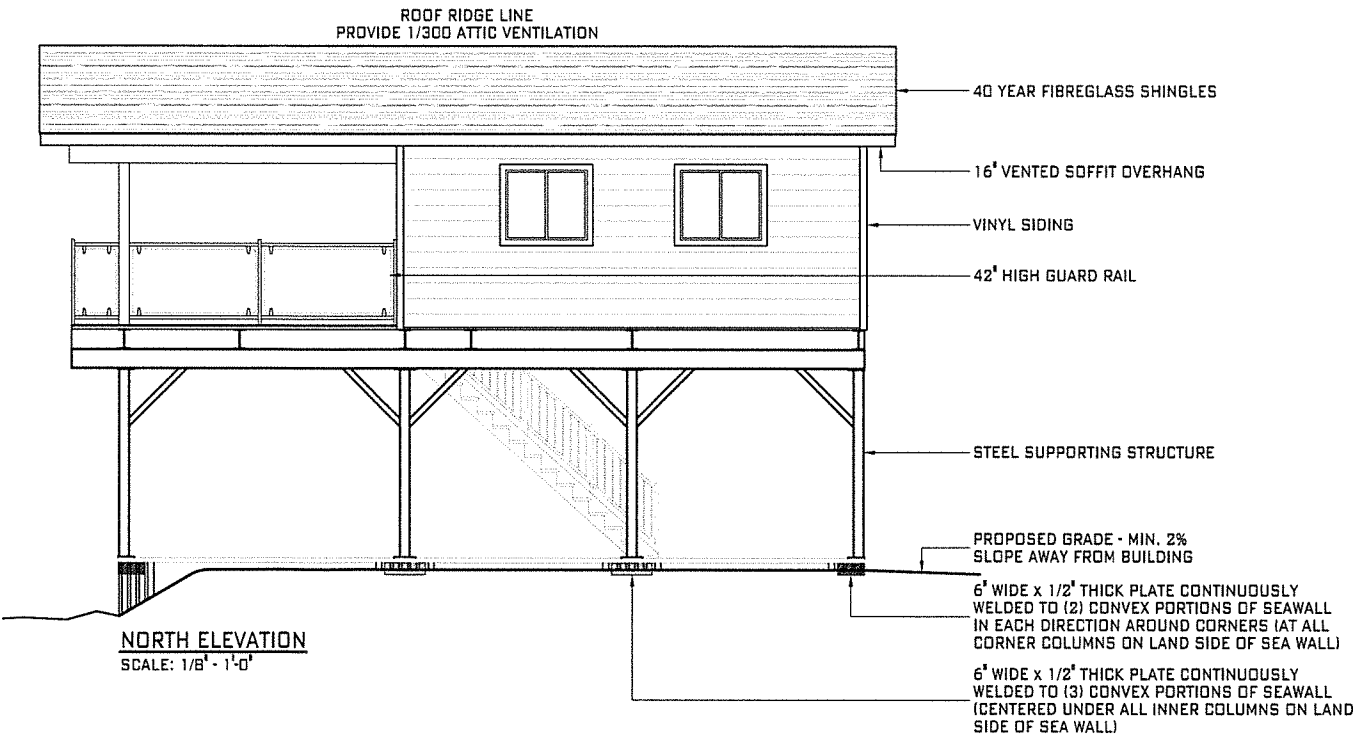
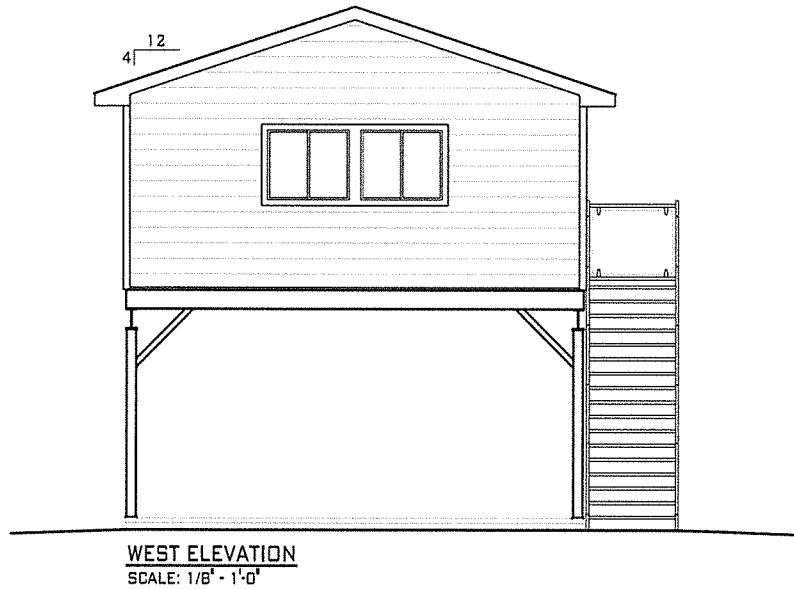
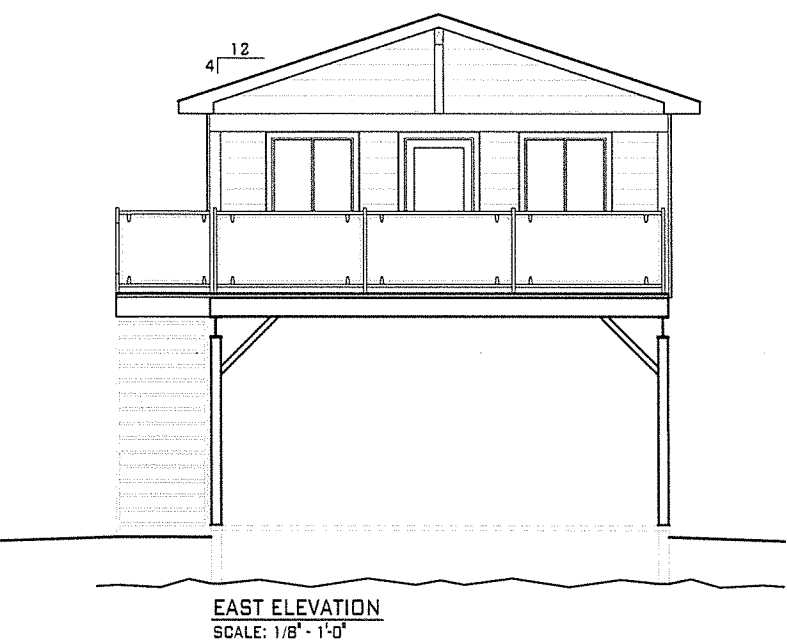
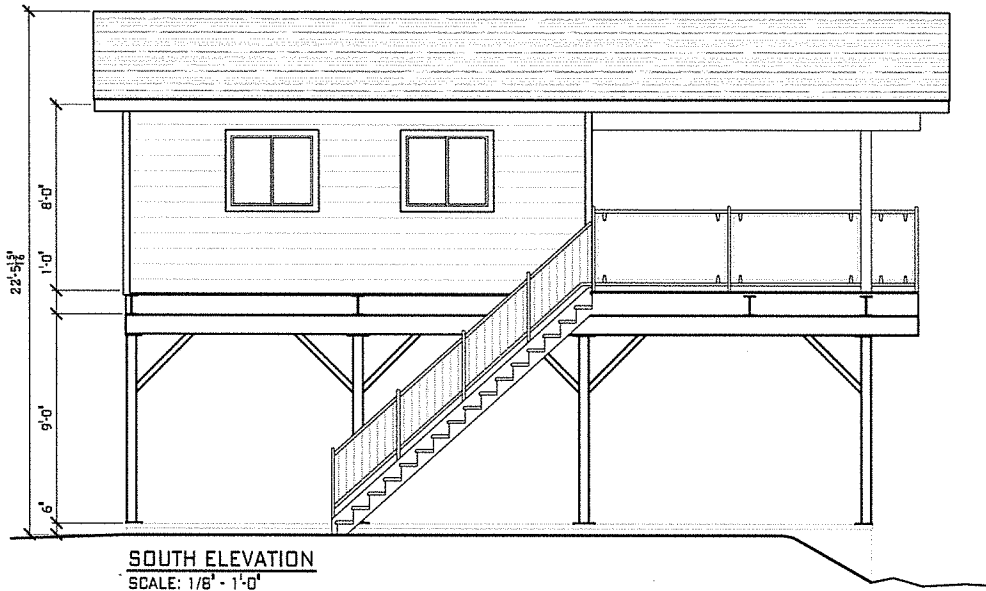
DESIGNED BY: L. GIRARD

CHECKED BY: L. GIRARD

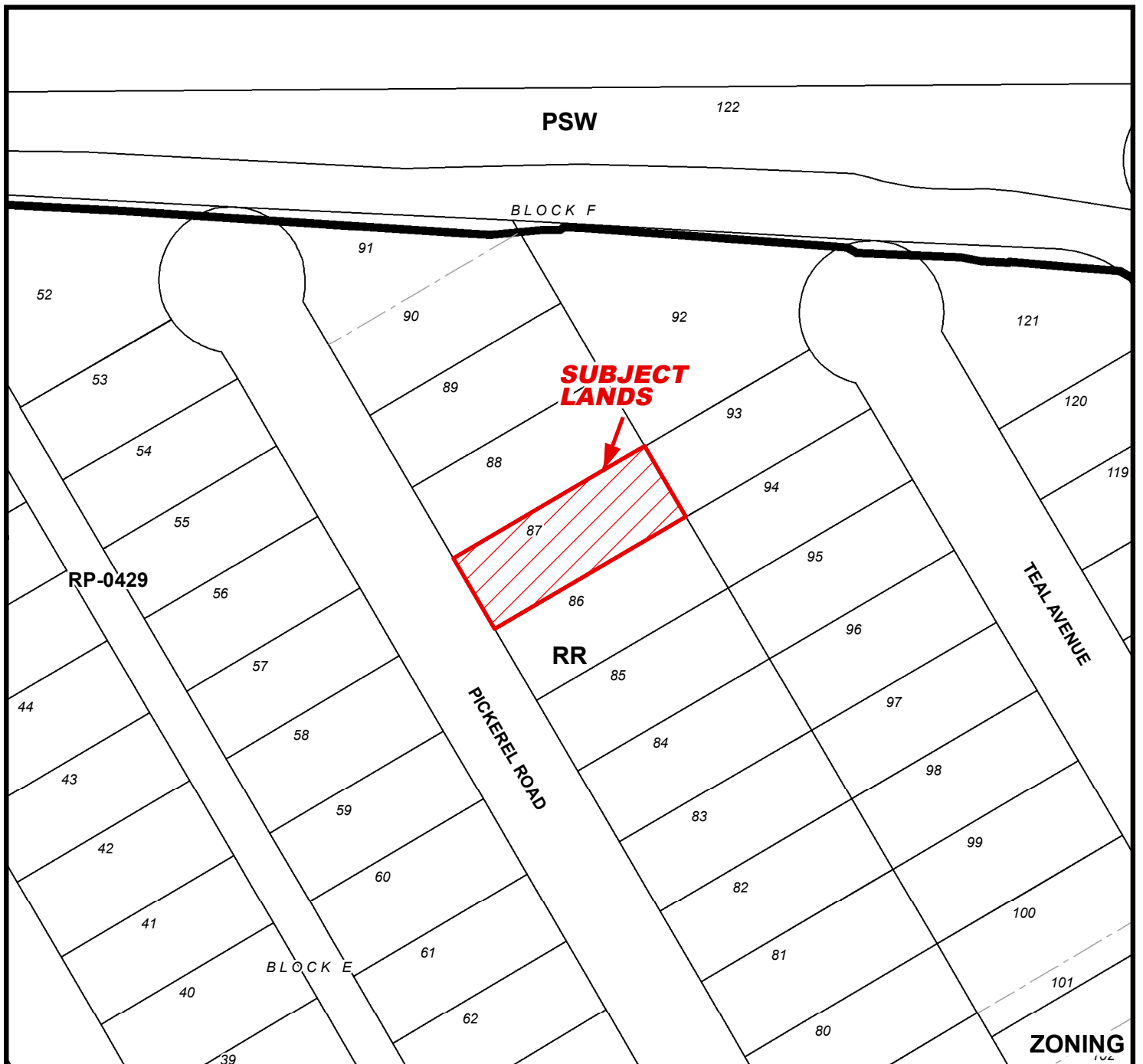
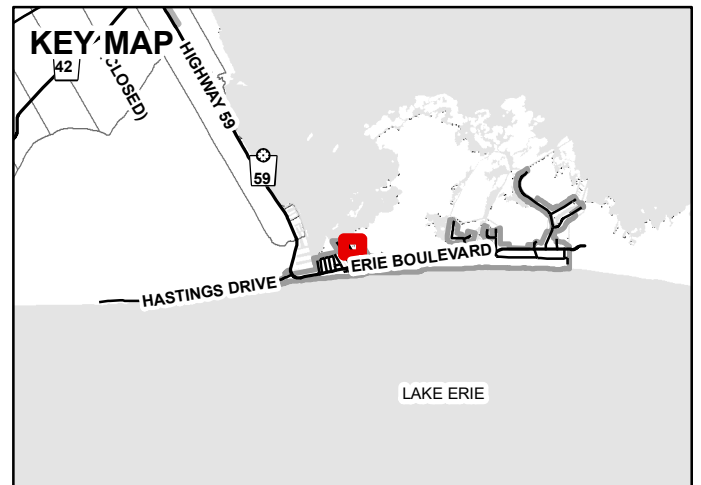
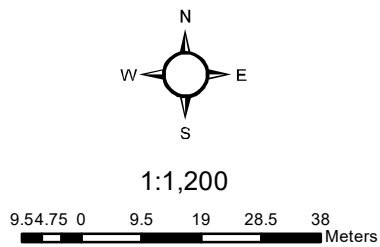
PROJECT NO: 18-154

DRAWING NO:

S-4



MAP 1
File Number: ANPL2019054
Geographic Township of
SOUTH WALSINGHAM

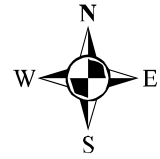


ZONING

MAP 2

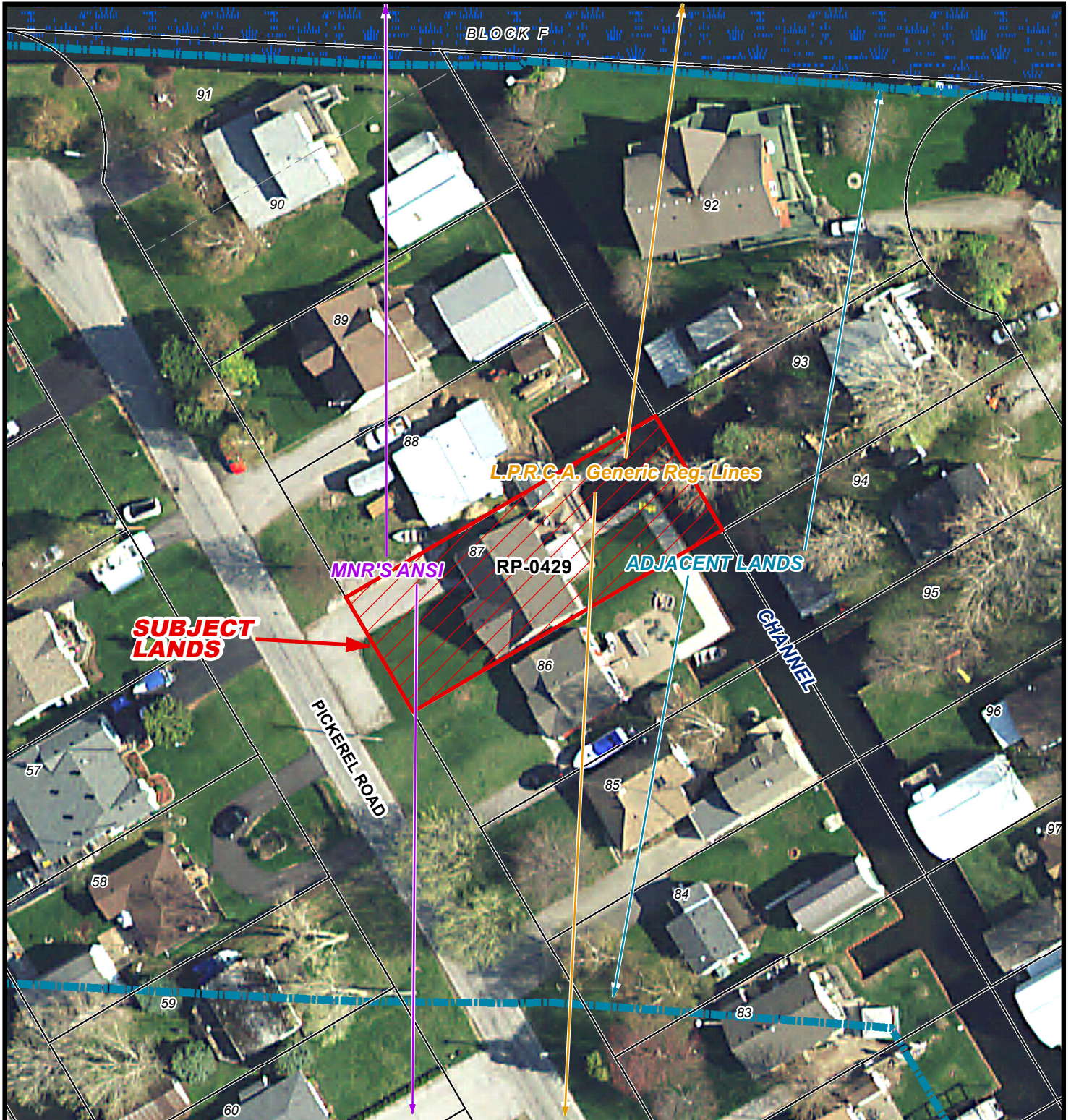
File Number: ANPL2019054

Geographic Township of SOUTH WALSHINGHAM



2.5 2.5 5 7.5 10 Meters

1:700



MAP 3

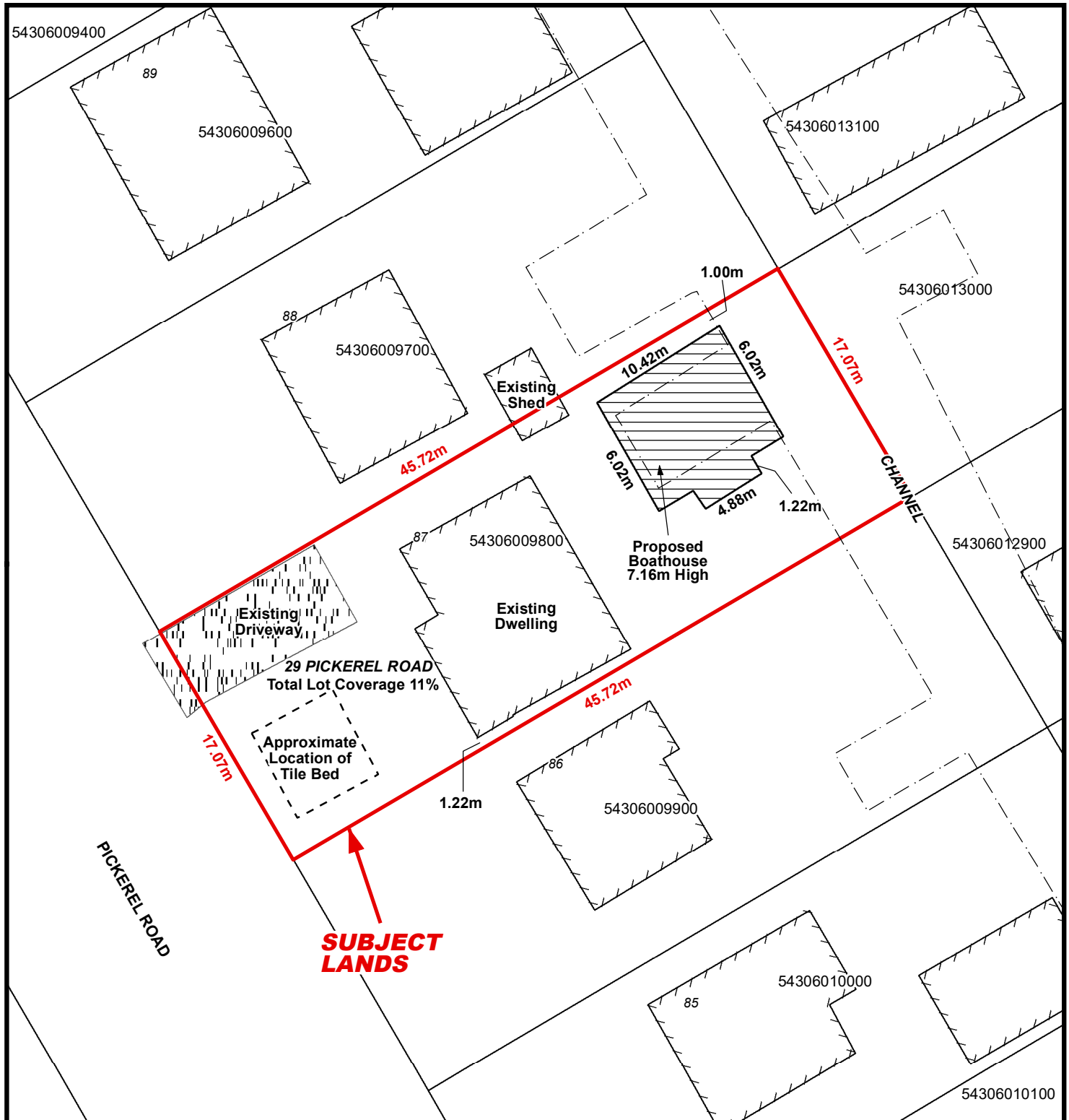
File Number: ANPL2019054

Geographic Township of SOUTH WALSLINGHAM



0.50 1 2 3 4 Meters

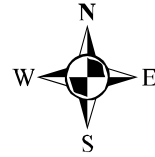
1:350



LOCATION OF LANDS AFFECTED

File Number: ANPL2019054

Geographic Township of SOUTH WALSINGHAM



0.50 1 2 3 4 Meters

1:350

