

**For Office Use Only:**

File Number	<u>ANPL 2019060</u>	Application Fee	<u>\$ 1406.00</u>
Related File Number		Conservation Authority Fee	<u>-</u>
Pre-consultation Meeting	<u>Feb. 15</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>March 1</u>	Planner	<u>Neil</u>
Complete Application	<u>March 1</u>	Public Notice Sign	

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 493-080-22400-0000

**A. Applicant Information**

**Name of Owner**

Robert Dean  
Kathleen Wardell ~~Robert Dean~~ Wardell

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address**

1505 County Rd. 19W

**Town and Postal Code**

Vanessa On. N0E1V0

**Phone Number**

Dean Cell 519 755 9059

**Cell Number**

Kathy Cell 519 429 4063

**Email**

dean.kathy.wardell@gmail.com

**Name of Applicant**

R Dean Wardell

**Address**

1505 County Rd. 19W

**Town and Postal Code**

Vanessa On. N0E-1V0

**Phone Number**

519 755 9059

**Cell Number**

519 429 4063

**Email**

dean.kathy.wardell@gmail.com



Name of Agent \_\_\_\_\_  
Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☐ Owner ☐ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

TD Canada Trust, 121 King St. Delhi

#### B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 17 Reg. Plan 166, Village of Normandale  
Township of Charlotteville

Municipal Civic Address: 10 Ridgeway St. Normandale NOE W/O

Present Official Plan Designation(s): \_\_\_\_\_

Present Zoning: Residential/Recreational Resort/Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

Residential





4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

All existing buildings are to be Retained  
(see survey and/or ~~Proposed~~ Construction Plans)

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

additions will be used for a covered walk  
To entrance, a deck and a Shed.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

a covered walk to entrance, a deck  
and a Shed

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

\_\_\_\_\_  
\_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:

40 + years

9. Existing use of abutting properties:

Residential / cottage

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_



### C. Purpose of Development Application

Note: Please complete all that apply.

#### 1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m<sup>2</sup> or %, etc.

Lot frontage

\_\_\_\_\_

\_\_\_\_\_

Lot depth

\_\_\_\_\_

\_\_\_\_\_

Lot width

\_\_\_\_\_

\_\_\_\_\_

Lot area

\_\_\_\_\_

\_\_\_\_\_

Lot coverage

\_\_\_\_\_

\_\_\_\_\_

Front yard

\_\_\_\_\_

\_\_\_\_\_

Rear yard

\_\_\_\_\_

\_\_\_\_\_

Left Interior side yard

\_\_\_\_\_

\_\_\_\_\_

Right Interior side yard

\_\_\_\_\_

\_\_\_\_\_

Exterior side yard (corner lot)

\_\_\_\_\_

\_\_\_\_\_

#### 2. Please outline the relief requested (assistance is available):

min interior side yard - 1.71 m  
lot coverage - 19.09 %

#### 3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Because the lot is small and  
the current location of the building  
we need minor relief from  
bylaws.

#### 4. Description of land intended to be severed in metric units:

Frontage:

\_\_\_\_\_

Depth:

\_\_\_\_\_

Width:

\_\_\_\_\_

Lot Area:

\_\_\_\_\_

Present Use:

\_\_\_\_\_

Proposed Use:

\_\_\_\_\_





Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

5. Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed use: \_\_\_\_\_

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_



Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (i.e., corn, orchard etc) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

#### **D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

*Property has been used as a primary residence for over 40 years.*



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

#### E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_



## F. Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells         |
| <input checked="" type="checkbox"/> Individual wells      | <input type="checkbox"/> Other (describe below) |

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### Sewage Treatment

- |   |  |
|---|--|
| <input type="checkbox"/> Municipal sewers         | <input type="checkbox"/> Communal system                   |
| <input type="checkbox"/> Septic tank and tile bed | <input checked="" type="checkbox"/> Other (describe below) |

*Holding Tank*

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### Storm Drainage

- |   |                                       |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers           | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |                                       |

2. Existing or proposed access to subject lands:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road             | <input type="checkbox"/> Other (describe below) |

Name of road/street:

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## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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#### **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☒ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Robert D Wardell

Owner/Applicant/Agent Signature

Mar 1 / 19

Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Robert D Wardell am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Robert D Wardell

Owner

Mar. 1 / 19

Date

Owner

Date



K. Declaration

I, Robert D Wardell of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

175 Robinson St.

[Signature]

Owner/Applicant/Agent Signature

In Simcoe, ON

This 1st day of March

A.D., 20 19

[Signature]

A Commissioner, etc.

ALISHA KATHLEEN CULL, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires April 28, 2019.








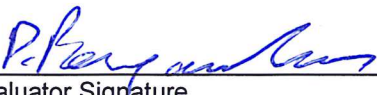
Working together with our community  
to provide quality services.

## Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

<b>OFFICE USE ONLY</b>		<b>FILE NO.:</b>		<b>DATE RECEIVED:</b>	
<b>PROPERTY INFORMATION</b>		Municipal Address: <i>10 Ridgeway St. Normandale On.</i>			
Owner: <i>Robert &amp; Kathleen Wardell</i>		Lot: <i>17</i>		Concession: <i>CHR Pbn 166</i>	
Lot Area: <i>405 sq.m</i>	Lot Frontage: <i>13.716 m</i>	Assessment Roll No. <i>493-080-22400-0000</i>			
<b>PURPOSE OF EVALUATION</b>		<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____			
<b>BUILDING INFORMATION</b>		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural			
Building Area: <i>85 sq.m</i>	No. of Bedrooms: <i>2</i>	No. of Fixture Units: <i>6</i>	Is the building currently occupied? Yes / (No) If No, how long? <i>7 months</i>		
<b>EVALUATOR'S INFORMATION</b>		Evaluator's Name: <i>Pranas Pargauskas</i>		Company Name: <i>Otterville Septic Service</i>	
Address: <i>246040 Milldale Rd. Otterville</i>		Postal Code: <i>N0J-1R0</i>		Phone: <i>519 983 0653</i>	
Email: _____		BCIN # <i>108281</i>			
<b>SITE EVALUATION</b>		Ground Cover (trees, bushes, grass, impermeable surface): <i>Grass</i>		Soil Type: <i>Sand</i>	
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry		Depth of Water Table: _____ ft.	
Surface Discharge Observed: Yes (No) <i>(No)</i>		Odour Detected: Yes (No) <i>(No)</i>		Current Weather (at time of evaluation): <i>Sun w/ cloud -2°</i>	
<b>SYSTEM EVALUATION</b>		Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input type="checkbox"/> 4 (Leaching Bed) <input checked="" type="checkbox"/> 5 (Holding Tank)			
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____		Size: <i>2000</i> Gal.		Pump: Yes (No) <i>(No)</i>	
Distribution System: Area: <input type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		No. of Tile Runs: _____		Total Length of Tile: _____	
Tile Material: <input type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other _____		Ends: <input type="checkbox"/> Capped <input checked="" type="checkbox"/> Joined		Cover: <input type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded	
<b>Setbacks:</b>		<b>Tank</b>		<b>Distribution Pipe</b>	
Distance to Buildings & Structures (ft)		<i>12 Ft.</i>			
Distance to Bodies of Water (ft)		<i>Lake Erie</i>			
Distance to Nearest Well (ft)		<i>30 Ft.</i>			
Distance to Proposed Property Lines		Front <i>11'</i> Rear <i>64'</i> Side <i>37'</i> Side <i>8'</i>			
		Front _____ Rear _____ Side _____ Side _____			



<b>OVERALL SYSTEM RATING</b>	<input checked="" type="checkbox"/> System Working Properly / No Work Required <input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required  <u>Note:</u> Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-5870 for more information.
<div style="font-size: 2em; color: blue; text-align: center;">Good</div>	Additional Comments:
<b>VERIFICATION</b>  <b>OWNER:</b> The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.  I, <u>Robert Wardell</u> (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.  <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <u></u>            Owner Signature         </div> <div style="width: 45%;"> <u>Feb 26/19</u>            Date         </div> </div>	
<b>EVALUATOR:</b>  1. I, <u>Praus Porgankar</u> declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.  <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <u></u>            Evaluator Signature         </div> <div style="width: 45%;"> <u>Feb 26, 2019</u>            Date         </div> </div>	
<b>BUILDING DIVISION COMMENTS</b>  Comments: _____ _____  I, _____ have reviewed the information contained in this form as submitted.  <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;">           _____            Chief Building Official or designate         </div> <div style="width: 45%;">           _____            Date         </div> </div>	



## On Site Sewage Disposal System Location Plan

DATE: Feb 26 / 19

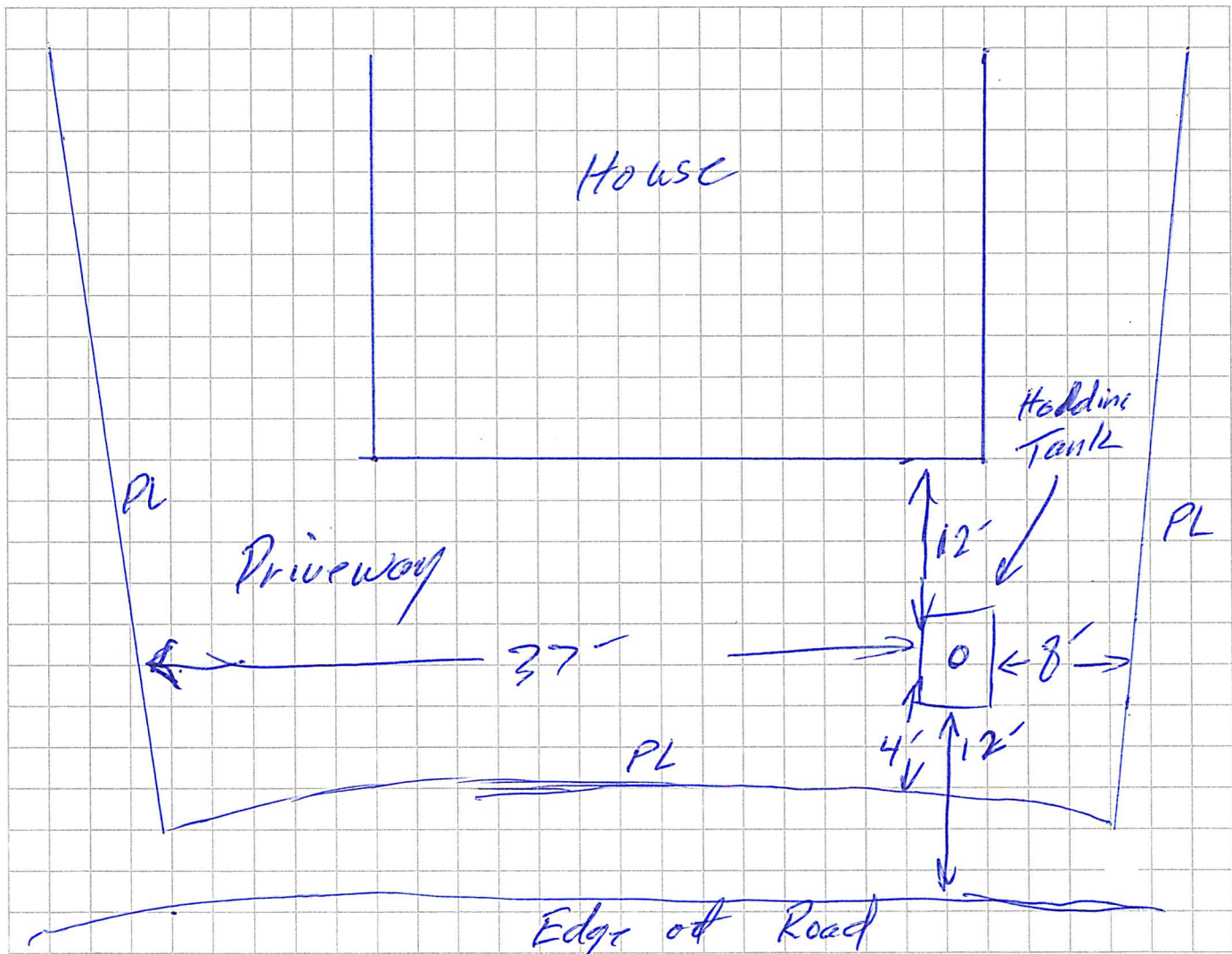
APPLICATION NUMBER: \_\_\_\_\_

OWNER Robert + Kathleen Wardell

EVALUATOR \_\_\_\_\_

PROPERTY ADDRESS 10 Ridgeway St. Nor mandale

Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.

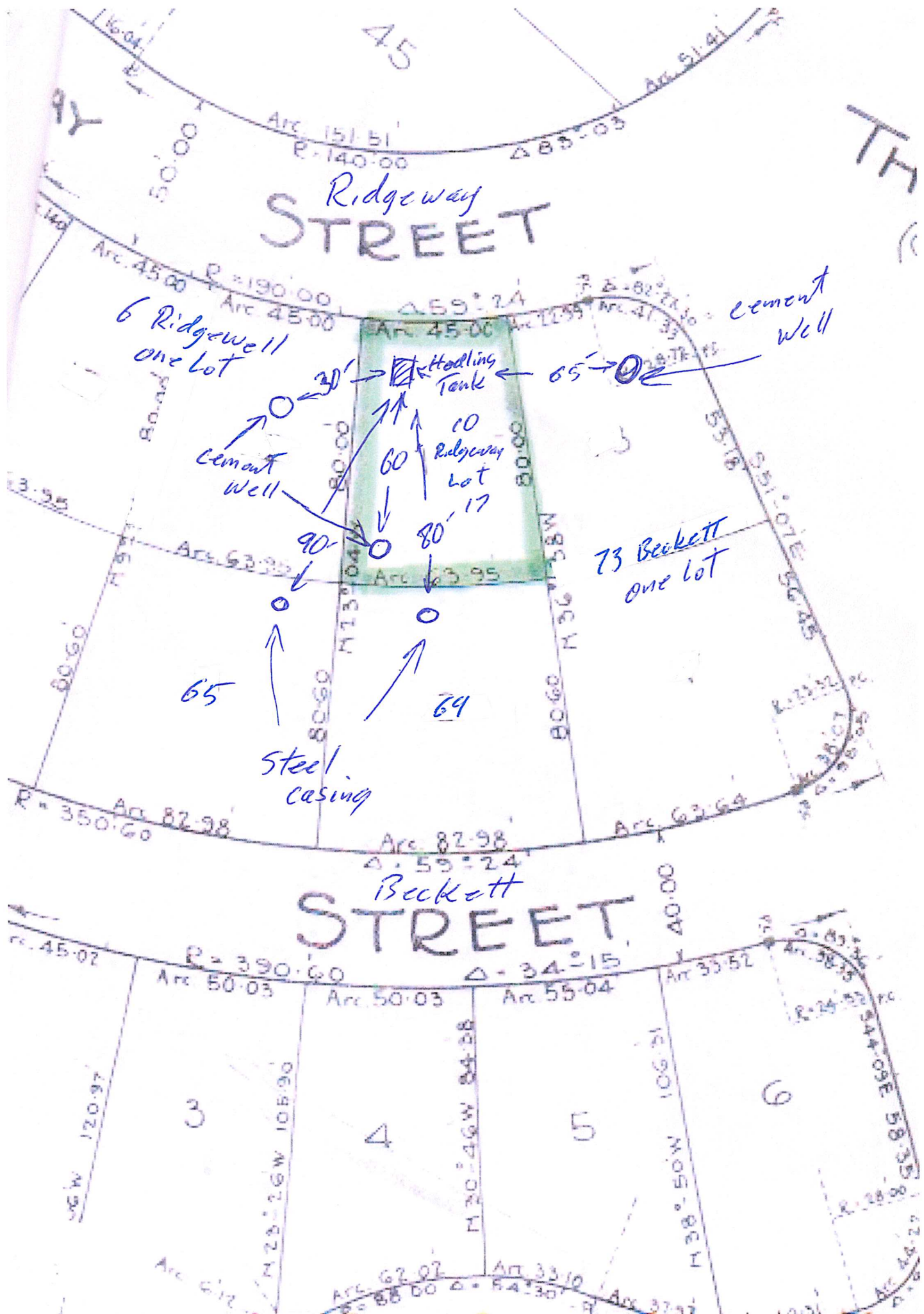


PREPARED BY: R Dean Wardell

NOTE: The above sketch is not to exact scale.

See well locations  
on next page







1000

1000

1000

1000

1000

1000

1000

1000

1000

1000

1000



## Zoning Deficiency

Simcoe: 185 Robinson St.  
Simcoe, ON  
N3Y 5L6  
519-426-5870  
Langton: 22 Albert St.  
Langton, On.  
N0E 1G0  
519-875-4485

### PROPERTY INFORMATION

Address: 10 Ridgeway Street

Legal Description:

Roll Number: 49308022400

Application #:

Information Origins: survey from Jewitt and Dixon, construction drawings accompany

### Resort Residential Zone (RR)

Main Building	REQUIRED	PROPOSED	DEFICIENCY	UNITS
5.8.2 a) minimum lot area				
i) new lot	0.40			ha
ii) lot of record	700.00	405.00		m.sq
b) minimum lot frontage				
i) interior lot	15.00	13.71		m
ii) corner lot	18.00			m
c) minimum front yard	6.00	4.40		m
d) minimum exterior side yard	6.00			m
e) minimum interior side yard				
i) attached garage	1.20			m
	1.20			m
ii) detached garage	3.00	1.30	1.71	m
	1.20	1.52		m
f) minimum rear yard	9.00	11.67		m
g) maximum building height	9.10	9.10+		m
h) maximum lot coverage (Note: Proposed Area)				m.sq
i) lot	15.00	34.09	19.09	%

Comments

lot and cottage are existing, so lot area, frontage, and front yard set back to existing cottage are all legal non complying. Since no garage, one interior side yard must be 3.0m. I used the side where the new construction is as the deficient side.

Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) building height	5.00	?		m
b) minimum front yard	6.00	16.0+		m
c) minimum exterior side yard	6.00			m
d) minimum interior side yard	1.20	1.36		m
e) minimum rear yard	1.20	2.14		m
f) through lot distance to street line	6.00		N/A	m
g) Lot coverage (Note: Proposed Area)				m.sq
i) lot coverage	10.00	3.31		%
ii) usable floor area	100.00	13.39		m.sq

Comments

Height not listed but must be under 5.0m. Since the lot is 405sqm, the 10% lot coverage applies. Max lot coverage for accessory is 40.5sqm

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:  
Roxanne Koot

I have read and understand the above.

Signature of owner or authorized agent

date

Mar. 11/19

AS PER: Fritz R. Enzlin, CBCO, CRBO -  
Chief Building Official Manager,  
Building & Bylaw Division, Norfolk  
County

Signature of Zoning Administrator

date

Feb 27/2019

TOPOGRAPHIC SITE PLAN  
OF  
**LOT 17**  
**REGISTERED PLAN 166**  
**(VILLAGE OF NORMANDALE)**  
IN THE GEOGRAPHIC  
**TOWNSHIP OF CHARLOTTEVILLE**  
IN  
**NORFOLK COUNTY**

SCALE: 1 : 100

1 0 4 METRES

JEWITT AND DIXON LTD.

COTTAGE:  
 $405\text{sqm} \times 15\% = 60.75\text{sqm}$  allowed.  
proposing  $138.08\text{sqm}$  lot coverage  
 $\approx 34.09\%$  lot coverage

NOTE:

LOT AREA = 405 SQ.M.  
BUILDING AREA = 85 SQ.M.  
LOT COVERAGE = 21.0%

NOTE:

MAINTAIN A MINIMUM OF 1.22 METERS OF GROUND COVER TO UNDER SIDE OF FOOTINGS IN ALL LOCATIONS.

LEGEND

STANDARD IRON BAR	SHOWN	SIB	■
IRON BAR	SHOWN	IB	■
ROUND IRON BAR	SHOWN	IB	●
BENCH MARK	SHOWN	BM	⊙
OVERHEAD HYDRO LINE	SHOWN	O/H	—
TOWER	SHOWN	T	■
TOP OF FOUNDATION	SHOWN	TOF	■

ELEVATIONS SHOWN HEREON ARE IN METRES  
AND ARE BASED ON A GEODETIC DATUM.

METRIC NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE  
BASED ON PHYSICAL LOCATES.  
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION  
LOCATE IS BOTH RECOMMENDED AND ADVISED.

**JEWITT AND DIXON LTD.**  
ONTARIO LAND SURVEYORS  
R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034  
E-mail: surveyors@amtelecom.net

F.W.	-	J.P.H.
BOOK	-	LL
CALC.	-	W.J.S.
PLAN	-	W.J.S.
CHECK	-	K.S.H.
PROJECT No.	-	18-1766
		P18 03 A5996

SITE B.M.  
SET SPIKE IN WOOD  
HYDRO POLE  
EL. 198.155

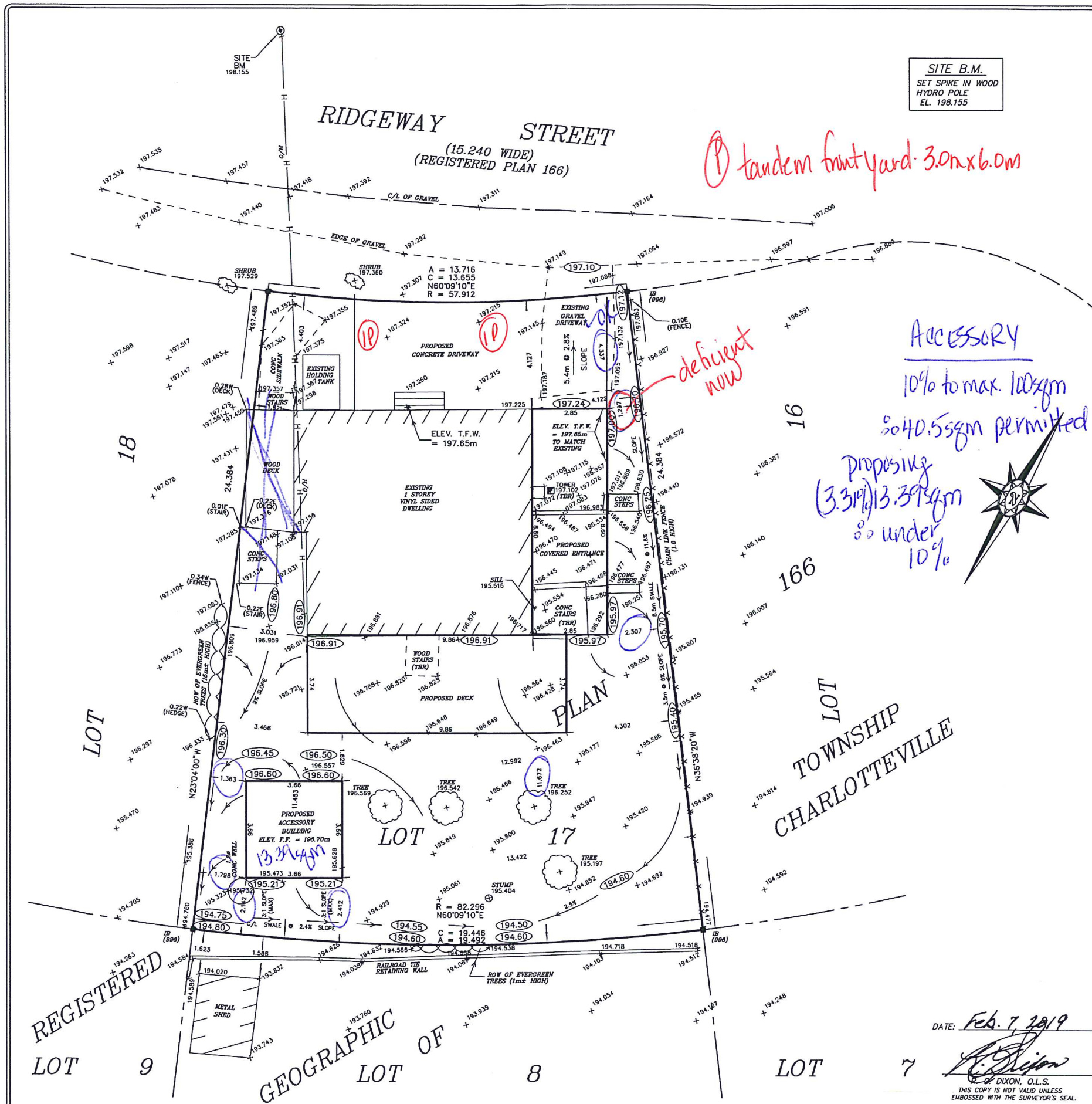
① tandem front yard 3.0m x 6.0m

deficient now

ACCESSORY

10% to max. 100sqm  
so 40.5sqm permitted

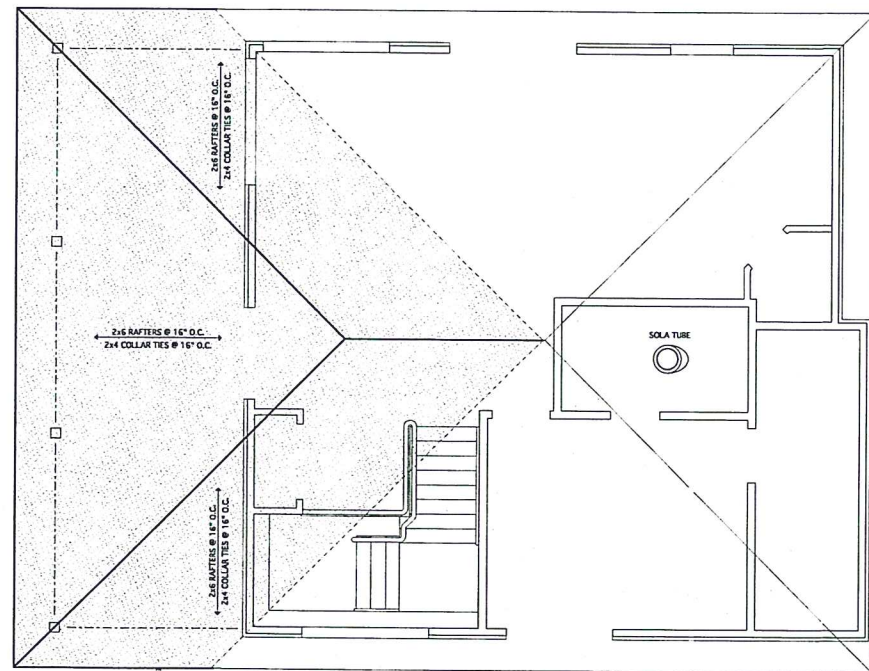
proposing  
(3.3m) 13.3sqm  
so under  
10%



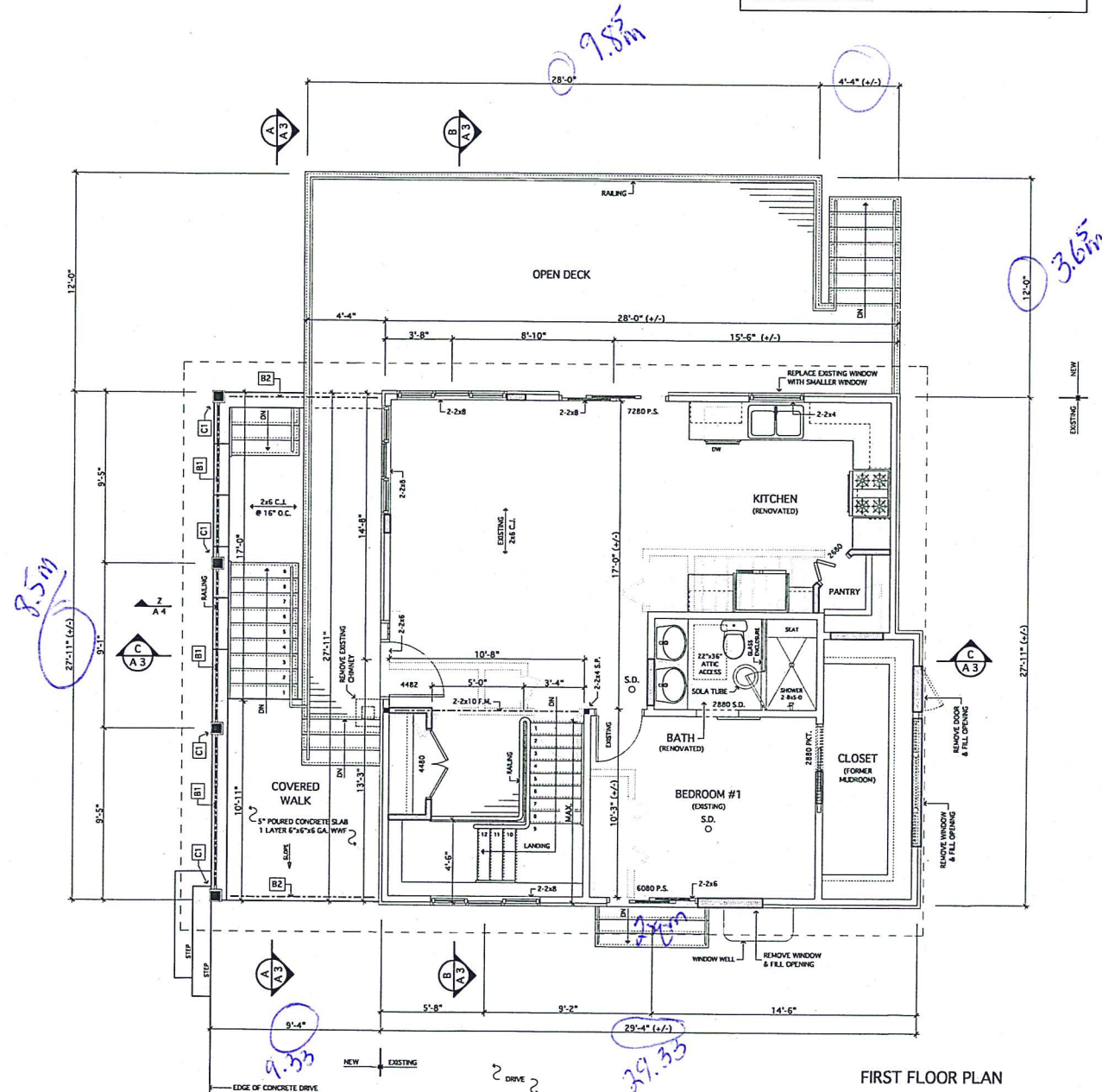
DATE: Feb. 7, 2019

*A. Dixon*  
A. DIXON, O.L.S.  
THIS COPY IS NOT VALID UNLESS  
EMBOSSED WITH THE SURVEYOR'S SEAL.





ROOF PLAN



FIRST FLOOR PLAN

COLUMN & STUD POST SCHEDULE:

- C1** 3-2x6 P.T., B.U.C. WITH 1/2" SPACER (S 1/2"x5 1/2" FRAMED).  
CAP WITH 8" SQ. PVC COLUMN VCAP.  
GALVANIZED STEEL COLUMN CAP  
SAMPSON STRONG TIE CAT. NO. BCS  
WT = 5 1/2", W2 = 5 1/2"  
BEAM CONNECTION (12) 16d NAILS  
POST CONNECTION (12) 16d NAILS  
GALVANIZED ADJUSTABLE & STANDOFF POST BASE  
SAMPSON STRONG TIE CAT. NO. ABUS62  
W = 5 1/2", L = 5"  
POST CONNECTION (12) 16d NAILS

BEAM SCHEDULE

- B1** 2-2x10 S.P.F., BUILT-UP BEAM  
SEE COLUMN SCHEDULE FOR CONNECTIONS.  
**B2** 2-2x10 S.P.F., BUILT-UP BEAM  
CONCEALED FLANGE HANGERS FOR PERPENDICULAR BEAM TO BEAM, AND WALL  
CONNECTIONS.

REVISION SCHEDULE:

- REV. C**  
MAIN FLOOR:  
1. REPLACE MASTER BEDROOM FRENCH DOORS WITH PATIO SLIDER.  
2. RELOCATE BATHROOM ENTRANCE FROM LIVING AREA TO BEDROOM.  
3. REMOVE EXISTING BATHROOM FIXTURES AND REPLACE WITH NEW FIXTURES AND CONFIGURATION.  
4. INCREASE SIZE OF WALK-IN CLOSET.  
5. REWORK PANTRY.  
**BASEMENT:**  
1. INCREASE SIZE OF MECHANICAL ROOM.  
2. RELOCATE LAUNDRY TO MECHANICAL ROOM.  
3. REMOVE BATHROOM FIXTURES FROM LAUNDRY ROOM.  
4. CONVERT WALK-IN CLOSET TO THREE PIECE BATH.  
5. RELOCATE CLOSET.  
6. REMOVE SECTION OF CENTER LOAD BEARING WALL.  
**REV. D**  
MAIN FLOOR:  
1. RELOCATED DECK STAIR FROM EAST FACE TO WEST FACE.  
**BASEMENT:**  
1. ADD FOUNDATION WALL SUPPORT FOR COVERED SIDE ENTRANCE STRUCTURE.  
**REV. E**  
MAIN FLOOR:  
1. SOLATUBE ADDED, BEDROOM STEPS REWORKED.  
**BASEMENT:**  
1. EXTERIOR STEPS ADJUSTED.  
**REV. F**  
1. SIZE OF STAIR OPENING REDUCED.

GENERAL NOTES:

1. CONTENT OF THESE DRAWINGS DOES NOT RELEASE THE CONTRACTOR FROM ERRORS OR OMISSIONS ON HIS PART IN COMPLIANCE WITH NATIONAL AND LOCAL BUILDING CODES, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL DETERMINE FOR HIMSELF ALL LINES, LEVELS, AND DIMENSIONS OF NEW AND/OR EXISTING ELEMENTS.
3. DO NOT SCALE DRAWINGS. DIMENSIONS NOTED WITH "H.T.S." INDICATES THE SIZE OR LOCATION OF THE ELEMENT(S) AS SHOWN MAY NOT REFLECT THE ACTUAL SIZE OR LOCATION TO BE CONSTRUCTED.
4. DOOR AND WINDOW SIZES AS SHOWN ARE NOMINAL. EXACT R.S.D. AND CONCRETE OPENINGS AS PER MANUFACTURER. INSTALL AS PER MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
5. LEVEL DIMENSIONS IF INDICATED REFER TO FLOOR ELEVATIONS ONLY, AND DO NOT REFLECT BUILDING ELEVATIONS IN RELATION TO SITE TERRAIN OR FINISH GRADE.
6. PLAN DIMENSIONS ARE RELATIVE TO THE WALL COMPOSITIONS AS INDICATED.
7. CONTRACTOR SHALL DETERMINE QUANTITY, SIZE, AND LOCATION OF FOOTINGS AND FOUNDATION WALL STEPS IN RELATION TO SITE CONDITIONS.
8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF SERVICES, FIXTURES AND EQUIPMENT. LOCATIONS OF THE SAME, IF SHOWN, SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF CABINETS, VANITIES, AND APPLIANCES PRIOR TO CONSTRUCTION LAYOUTS (IF SHOWN) SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

PROJECT DATA:

EXISTING FIRST FLOOR AREA 802 SQ. FT.  
EXISTING BASEMENT AREA 770 SQ. FT.  
PROPOSED COVERED SIDE ENTRANCE ADDITION 261 SQ. FT.  
PROPOSED REAR DECK ADDITION 383 SQ. FT.

STAIRS, RAMPS, HANDRAILS & GUARDS:

1. ALL STAIRS, RAMPS, HANDRAILS & GUARDS TO O.B.C. 9.8.  
**INTERIOR STAIR:**  
TOTAL RISE = 58.875" (8'-2 7/8")  
13 R @ 7.605"  
12 T @ 8.250"  
**COVERED WALK EXTERIOR BASEMENT STAIR:**  
TOTAL RISE = 75.500" (6'-3 1/2")  
10 R @ 7.550"  
9 T @ 10.000" = 2'-6"  
**EXTERIOR COVERED WALK DECK STAIR:**  
TOTAL RISE = 26.375" (2'-3 3/8")  
4 R @ 6.594"  
3 T @ 10.000" = 2'-6"  
**REAR YARD EXTERIOR BASEMENT STAIR:**  
TOTAL RISE = 31.500" (2'-7 1/2")  
4 R @ 7.875"  
3 T @ 10.000" = 2'-6"

WINDOW NOTES:

1. BEDROOM WINDOWS SHALL COMPLY TO:  
O.B.C. 9.7.1.3. (MINIMUM UNOBTURATED OPENING)  
O.B.C. 9.7.1.4. (WINDOW OPENING INTO A WINDOW WELL)

FRAMING NOTES:

1. FOR WINDOW INSTALLATION HEIGHTS SEE ELEVATIONS.
2. JOIST MATERIAL: - S.P.F. (SPRUCE, PINE, FIR) No. 1 AND No. 2.
3. CONTRACTOR SHALL REVIEW FOR HIMSELF ALL PREFABRICATED STRUCTURAL COMPONENTS - ENGINEERS REPORTS AND SHOP DRAWINGS, AND FURNISH THE SAME FOR BUILDING INSPECTOR'S REVIEW.
4. INSTALL FULL BEARING WIDTH STUD POSTS BELOW ALL GIRDOR TRUSSES.
5. CARRY ALL POINT LOADS TO FOUNDATION.
6. SEE ROOF PLAN, BUILDING & WALL SECTIONS FOR TRUSS DETAILS AND NOTES.

CEILING HEIGHTS:

1. CEILING HEIGHTS AS SHOWN ON PLAN ARE NOMINAL. SEE ROOF PLAN, ELEVATIONS, BUILDING & WALL SECTIONS FOR EXACT FRAMING.

MECHANICAL NOTES:

1. HEATING, AIR CONDITIONING, VENTILATION AND ELECTRICAL DESIGN BY OTHERS.
2. ALL ELECTRICAL AND FUEL BURNING APPLIANCES TO BE INSTALLED AS PER APPLICABLE CODES, AND MANUFACTURER'S SPECIFICATIONS.
3. HVAC AND ELECTRICAL DESIGN BY OTHERS.
4. SHOVE ALARMS TO MEET THE REQUIREMENTS OF O.B.C. 9.10.17.
5. LIGHTING OF ENTRANCES AND INTERIOR SPACES TO O.B.C. 9.34.2

FLOOR PLAN WALL LEGEND:

- EXISTING - EXTERIOR WALL  
- INTERIOR WALL  
- TO BE DEMOLISHED  
NEW - WALL

PROJECT LEGEND:

SYMBOL	TOP OF PLATE HEIGHT (AS NOTED) ABOVE + REFERENCED FLOOR SUBFLOOR.	SYMBOL	TOP OF PLATE HEIGHT (AS NOTED) ABOVE + REFERENCED FLOOR SUBFLOOR.
S.D.	- SHOCK DETECTOR	F.L.	- FLOOR LINE
C.D.	- CARBON MONOXIDE DETECTOR	S.P.F.	- SPRUCE, PINE, FIR
C.H.	- CEILING HEIGHT	S.S.	- SELECT STRUCTURAL
F.D.	- FLOOR DRAIN	L.V.L.	- LAMINATED VENEER LUMBER
B.U.B.	- BUILT-UP BEAM	C.L.	- BLUE LAMINATED THINER
B.U.C.	- BUILT-UP COLUMN	P.T.	- PRESSURE TREATED
S.P.	- STUD POST	T.B.C.	- 10 IN CONCRETE
P.L.	- POINT LOAD	W.W.F.	- WELDED WIRE FABRIC
F.M.	- FLASH MOUNTED MEASUR.	G.A.	- GAGE
U.S.	- UNKINDNESS	L.S.	- INSULATED STEEL DOOR
T	- TOP OF MEMBER	F.D.	- FRENCH DOOR
T	- TRANSOM WINDOW	F.P.	- FRENCH POCKET DOOR
A.F.F.	- ABOVE FIRST FLOOR SUBFLOOR	F.S.D.	- FRENCH SLIDING DOOR
A.S.F.	- ABOVE SECOND FLOOR SUBFLOOR		

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW.	08/15/18
B	NEW DESIGN CONCEPT.	12/11/18
C	SEE SCHEDULE THIS DRAWING.	01/12/18
D	SEE SCHEDULE THIS DRAWING.	12/17/18
E	SEE SCHEDULE THIS DRAWING.	12/28/18
F	SEE SCHEDULE THIS DRAWING.	01/09/19
G	ISSUED FOR BUILDING PERMIT.	01/09/19

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PROVIDED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OATHING BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION	
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32259
NAME	R.E.I.N.
QUALIFICATION INFORMATION	
SCOTT GILES	21608
NAME	R.E.I.N.

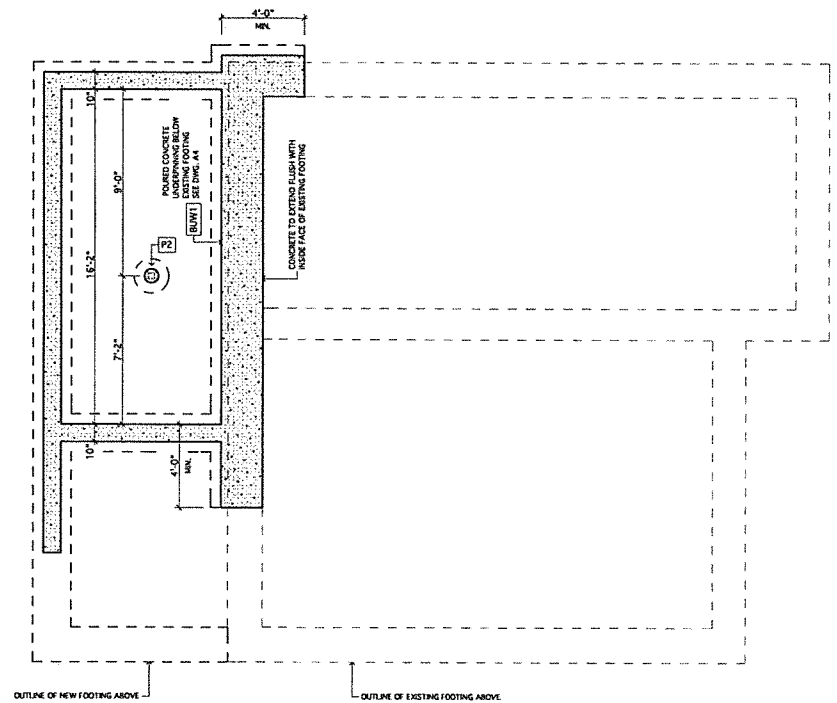
SCOTT GILES  
BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATERSFORD, ONTARIO, M0E 1T0  
519-443-7950

PROJECT  
PROPOSED ADDITION & RENOVATION  
FOR  
Mr. & Mrs. Dean Wardell  
10 ROSEWAY ST., VITTIORA (BERNARDVILLE),  
COUNTY OF HURON

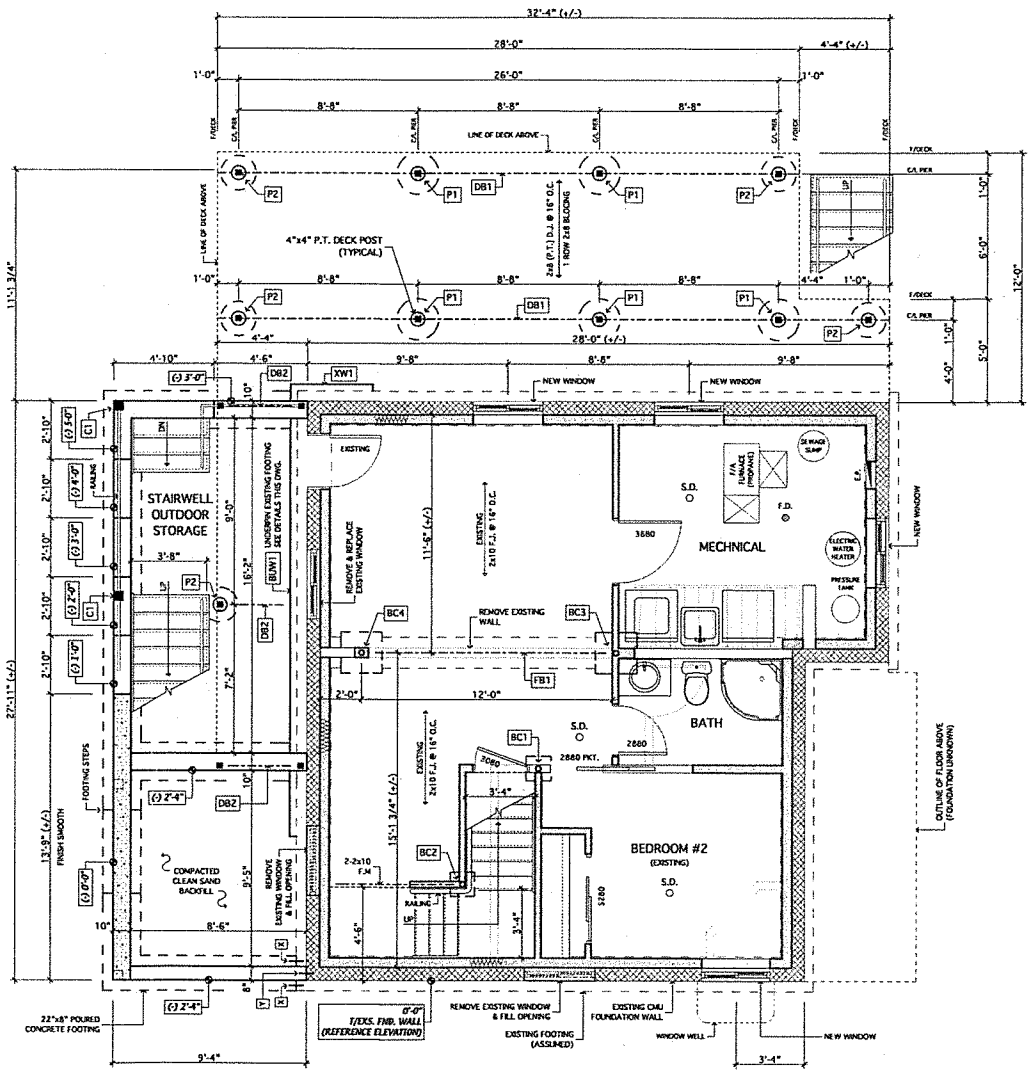
DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION

SCALE	1/4" = 1'-0"	A1
DATE	05/03/17	DRAWING

35.95sqm  
100.13sqm  
136.08sqm  
+ 2.0 sqm est. stairs  
138.08sqm lot coverage cottage



FOUNDATION UNDERPINNING PLAN



PLAN REFERENCE ELEVATION:  
 (6'-0") 1/2" EXISTING FOUNDATION WALL

TOP OF CONCRETE NOTES:  
 1. ALL FINISHED CONCRETE LEVELS SHOWN ARE BASED ON NEW GRADE ELEVATIONS ACROSS FRONT FACE OF HOUSE (0'-00' (1'-4") BELOW TOP OF EXISTING FOUNDATION). ADJUST HEIGHTS AS NECESSARY FOR ANY DEVIATION IN NEW GRADE ELEVATIONS. CONSULT SITE DRAINAGE PLAN FOR ADDITIONAL INFORMATION PRIOR TO INSTALLATION OF FORMWORK.

FOUNDATION PLAN

PIER SCHEDULE:

- [P1] 8" Ø POURED CONCRETE C/W #2 @ 24" O.C. FOOTING  
 [P2] 8" Ø POURED CONCRETE C/W #2 @ 20" O.C. FOOTING

WALL & FOOTING SCHEDULE:

- [BW1] POURED CONCRETE UNDERPINNING. SEE DETAILS THIS DRAWING.  
 [X] 3" - 15M x 12" L.G. DOVELLS EMBED INTO EXISTING FOOTING 6" (MIN.) WITH EPOXY (MIN. 150 MAX OR EQUAL).  
 [Y] 15M x 12" L.G. DOVELLS @ 16" O.C. DOVELLS EMBED INTO EXISTING FOUNDATION WALL 6" (MIN.) WITH EPOXY (MIN. 150 MAX OR EQUAL).

FLOOR BEAM SCHEDULE:

- [FB1] W15Dx22

COLUMN & FOOTING SCHEDULE:

- [BC1] ADJUSTABLE STEEL COLUMN, 8000# MIN. CAPACITY @ 96" EXTENSION, 2" (Ø) MIN. DIAMETER, 3/16" MIN. WALL THICKNESS, 4"x4"x1/4" MIN. STEEL END BEARING PLATES. COLUMN SHALL CONFORM TO CAN/CSA-B7.2.  
 [BC2] 1'-2"x1'-2" POURED CONCRETE PAD FOOTING.  
 [BC3] SAME AS BC1 EXCEPT:  
 [BC4] 2'-0"x2'-0"x1'-0" POURED CONCRETE PAD FOOTING.

DECK BEAM SCHEDULE:

- [DB1] 2"x10 P.T.  
 [DB2] 2"x8 P.T.

WINDOW NOTES:

1. ALL WINDOWS TO O.R.C. S.7.  
 2. MEANS OF EGRESS O.R.C. S.9, (AND APPENDIX A).  
 O.R.C. S.9.10.1, (AND APPENDIX A) (EGRESS FROM BEDROOMS)

EXCAVATION:

1. ALL EXCAVATION TO O.R.C. S.12.

FOUNDATION NOTES:

1. ALL FOOTINGS TO BE PLACED AT A MINIMUM OF 24" ABOVE HIGH WATER TABLE.  
 2. ALL FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 2000 P.S.F.  
 3. ALL FOOTINGS TO BE POURED CONCRETE.  
 4. SEE WALL SECTION FOR BEARING DETAILS.  
 5. CONTRACTOR TO DETERMINE FOR HIMSELF HEIGHT AND LOCATION OF FOUNDATION WALL STEPS IN CONJUNCTION WITH SITE GRADING PLAN AND ELEVATIONS.  
 6. CONSULT SITE GRADING PLAN FOR DEPTHS OF WALK OUT FOOTINGS.  
 7. THESE LAYOUT INCLUDING POINT LOAD LOCATIONS TO BE CONFIRMED PRIOR TO INSTALLATION OF FOUNDATIONS.

CONCRETE:

1. ALL CONCRETE TO O.R.C. S.9, AND S.16.4.  
 2. FOOTINGS, FOUNDATION WALLS, AND PERS:  
 15MPS (2200 P.S.F.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE, 4" MAXIMUM SLUMP.  
 3. FLOORS ON GROUND:  
 25 MPA (3600 P.S.F.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE, 4" MAXIMUM SLUMP.  
 4. GARAGE, CLOSET FLOORS, AND EXTERIOR PLATING:  
 35 MPA (4950 P.S.F.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE, 5" MAXIMUM SLUMP, 5-8" AIR ENTRAINMENT.

FOUNDATION PLAN WALL & FOOTING LEGEND:

- EXISTING - FOUNDATION WALL  
 - TO BE DEMOLISHED  
 - INTERIOR WALL  
 NEW - FOUNDATION WALL  
 - INTERIOR WALL

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	12/22/18
B	STAIR OPENING CHANGED	01/09/19
C	ISSUED FOR BUILDING PERMIT	01/09/19

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REGISTRATION INFORMATION  
 SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED  
 NAME  
 QUALIFICATION INFORMATION  
 SCOTT GILES  
 NAME

SCOTT GILES  
 BUILDING TECHNOLOGIES INCORPORATED  
 DESIGNERS OF FINE HOMES  
 71 THOMPSON ROAD, WATERFORD, ONTARIO, M2H 1Y0  
 313-445-7930

PROJECT  
 PROPOSED ADDITION & RENOVATION  
 FOR  
 Mr. & Mrs. Dean Wardell  
 10 RODGWAY ST., VICTORIA (HONAHUVALE),  
 COUNTY OF NORTHERN

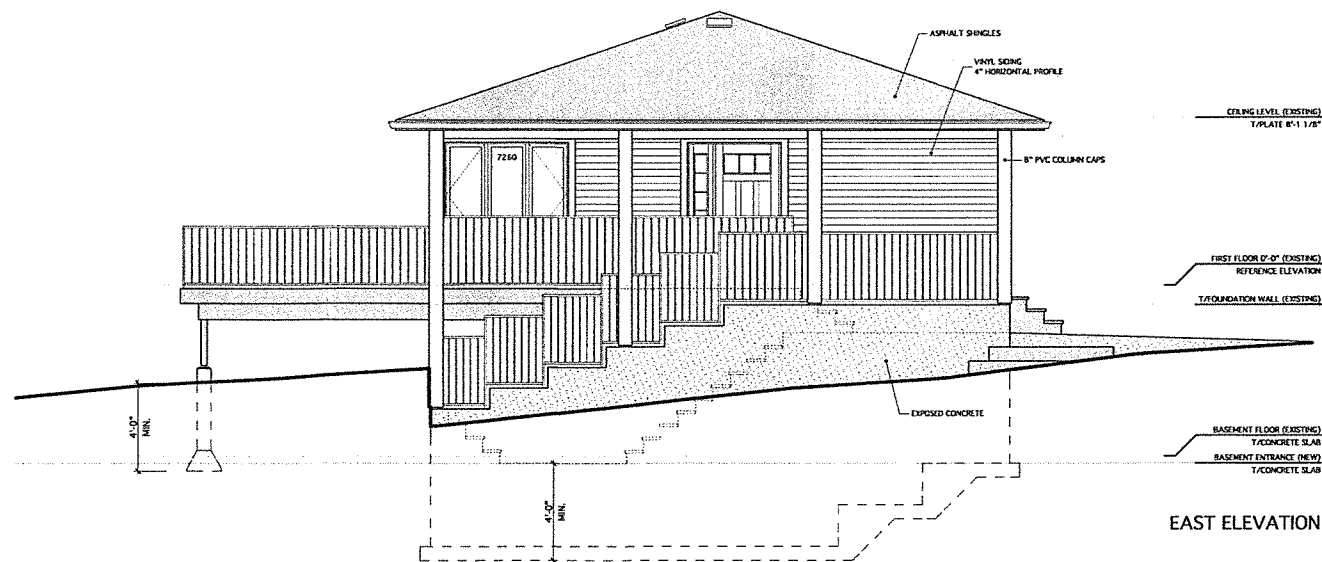
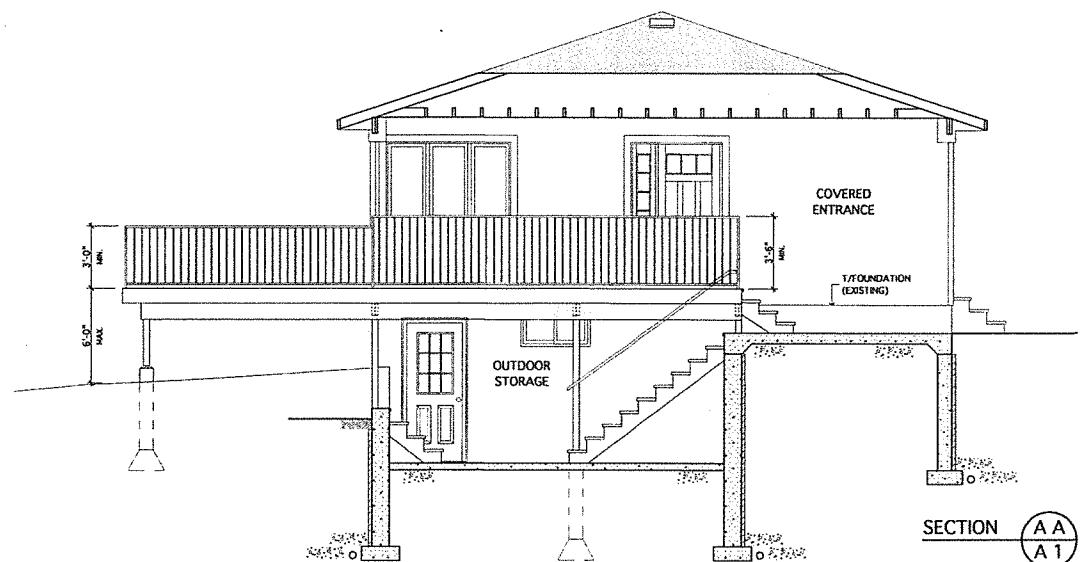
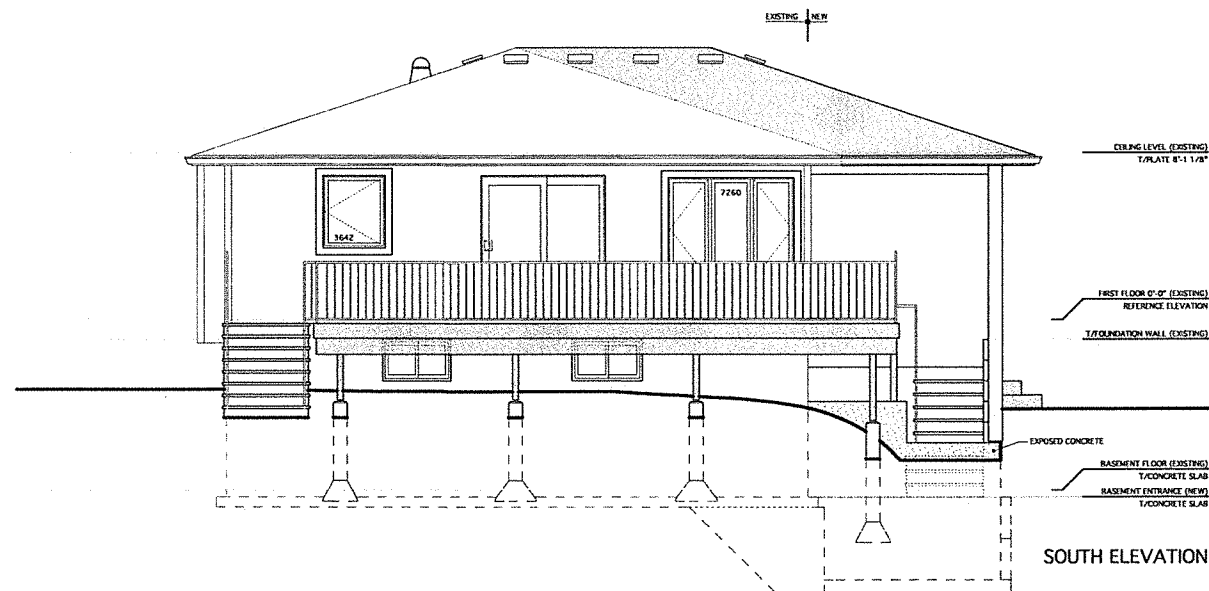
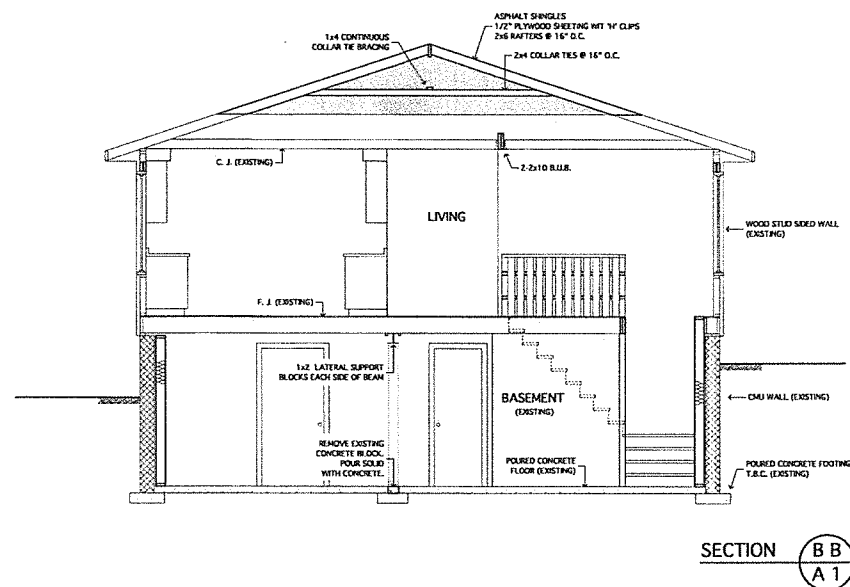
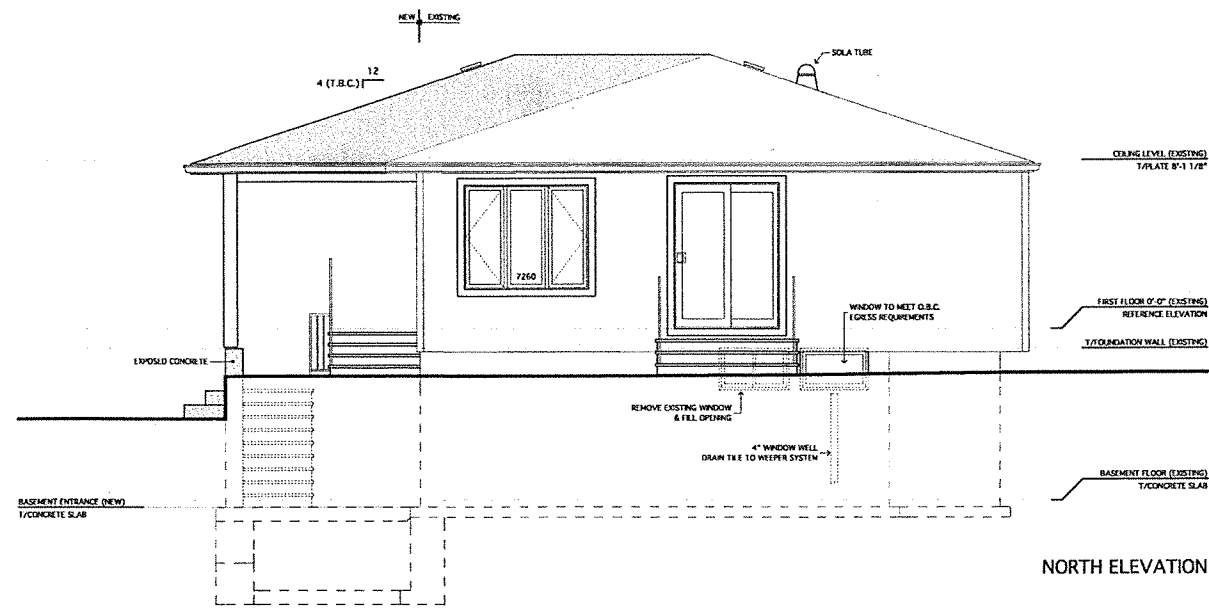
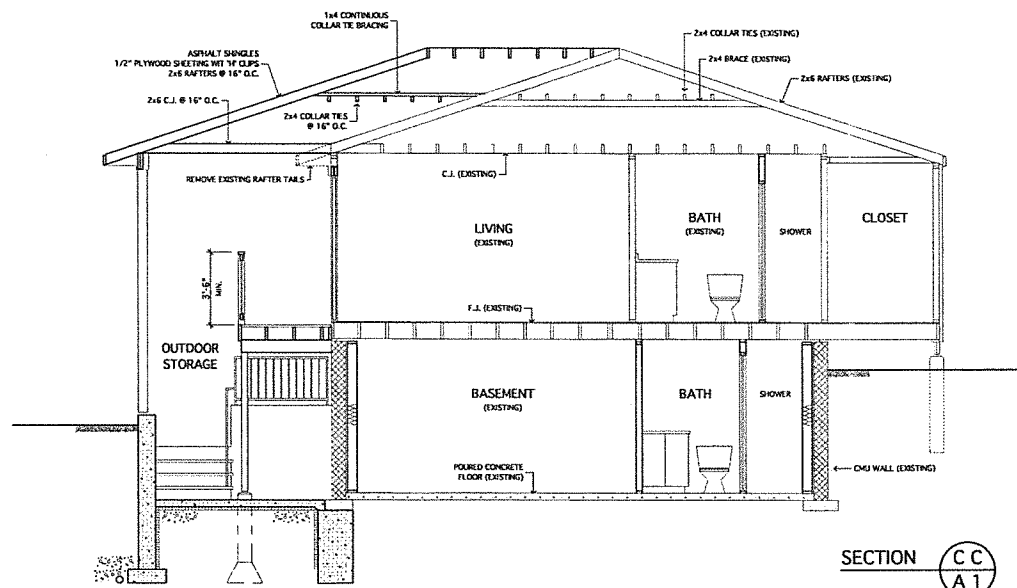
DESIGNED  
 S. GILES  
 DRAWN  
 S. GILES

0  
 REVISION

SCALE  
 1/4" = 1'-0"  
 DATE  
 08/16/18

A2  
 DRAWING





REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	08/16/18
B	MISCELLANEOUS CHANGES	12/28/18
D	ISSUED FOR CONSTRUCTION	01/05/19

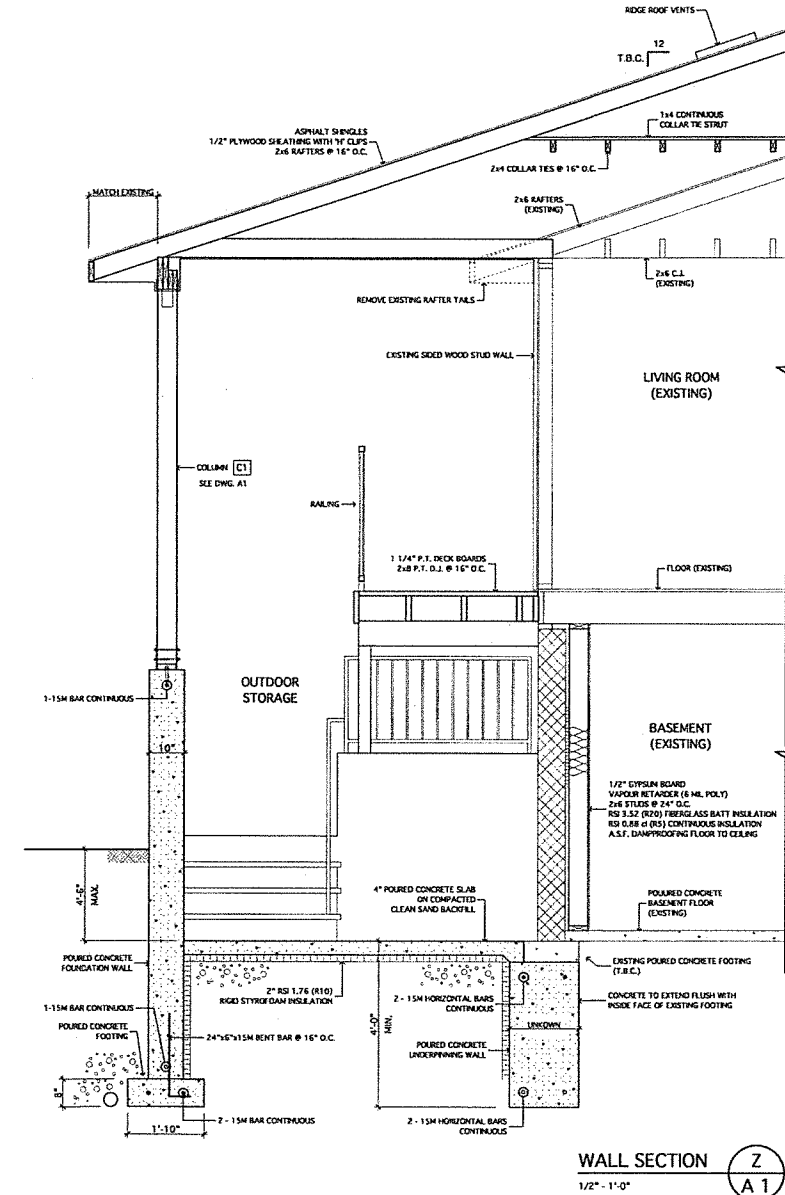
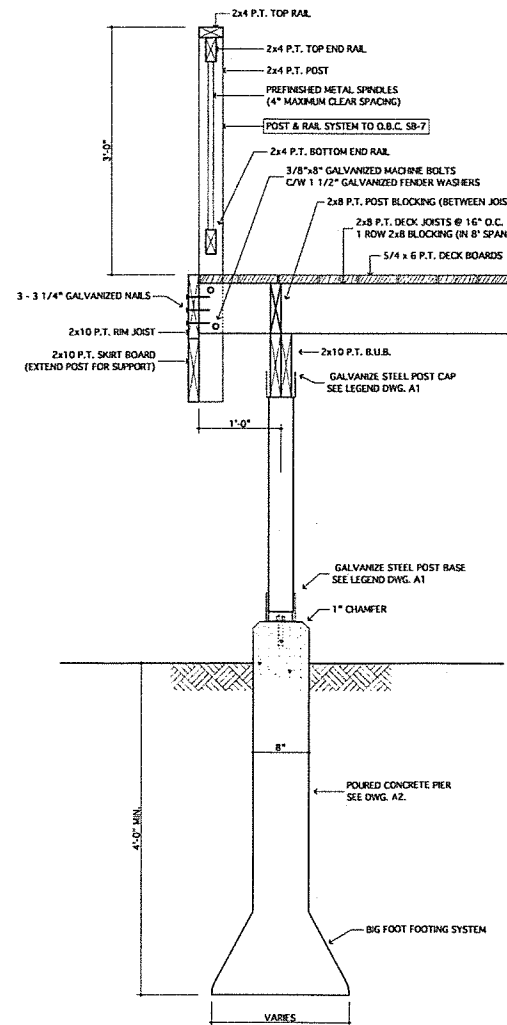
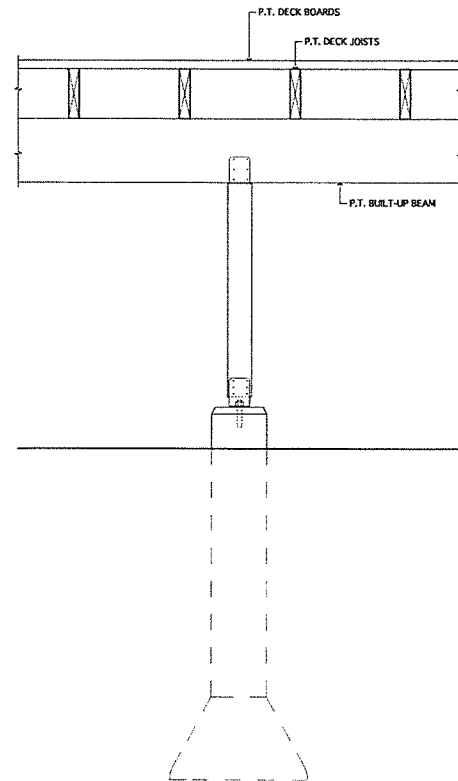
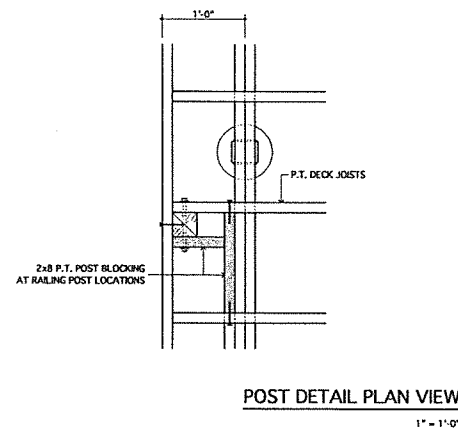
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.	
DESIGNATION OF THE DESIGNER	32259
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	R.E.I.N.
NAME	
QUALIFICATION INFORMATION	21608
SCOTT GILES	R.E.I.N.
NAME	

SCOTT GILES  
BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATFORD, ONTARIO, M2K 1T0  
515-443-7350

PROJECT  
PROPOSED ADDITION & RENOVATION  
FOR  
Mr. & Mrs. Dean Wardell  
10 HOSKIN WAY ST., WATFORD (WINDWARD),  
COUNTY OF HURON, ONT.

DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0"	A 3
DATE	08/15/18	DRAWING



REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	01/09/19

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SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATERFORD, ONTARIO, M2E 1Y0  
(905) 883-7750

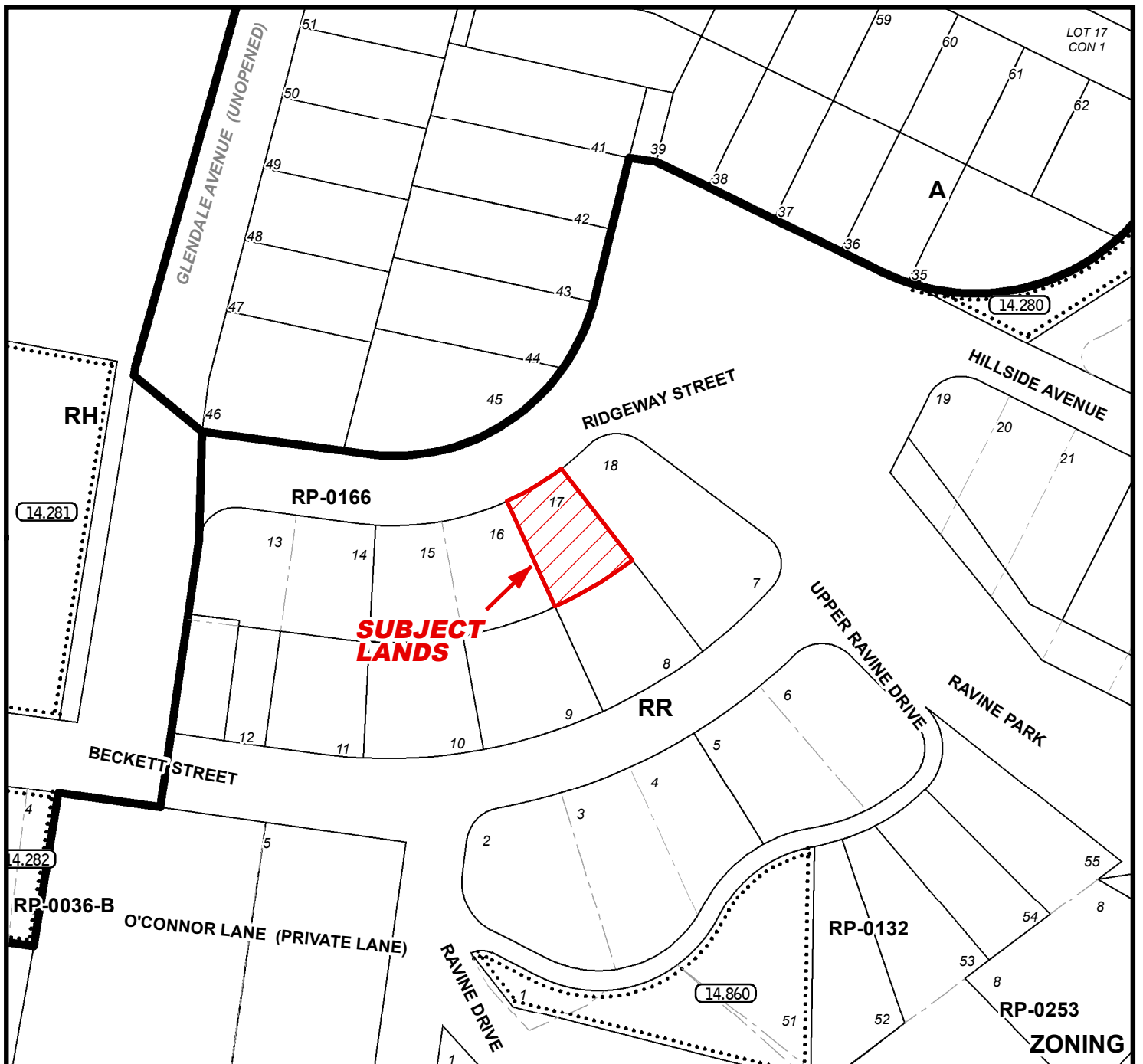
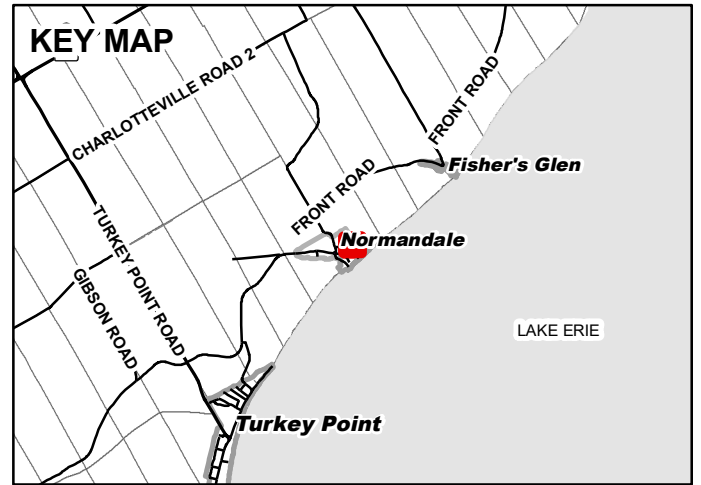
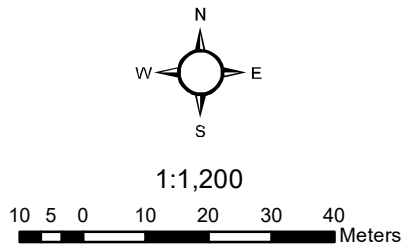
PROJECT  
PROPOSED ADDITION & RENOVATION  
FOR  
Mr. & Mrs. Dean Wardell  
10 RIDGEWAY STREET, VICTORIA (NORMANDALE)  
COUNTY OF NORFOLK

DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0" & AS NOTED	A 4
DATE	01/02/19	DRAWING

# MAP 1

## File Number: ANPL2019060

Geographic Township of  
**CHARLOTTEVILLE**





## MAP 2

File Number: ANPL2019060

Geographic Township of CHARLOTTEVILLE



3 1.5 0 3 6 9 12 Meters

1:500



# MAP 3

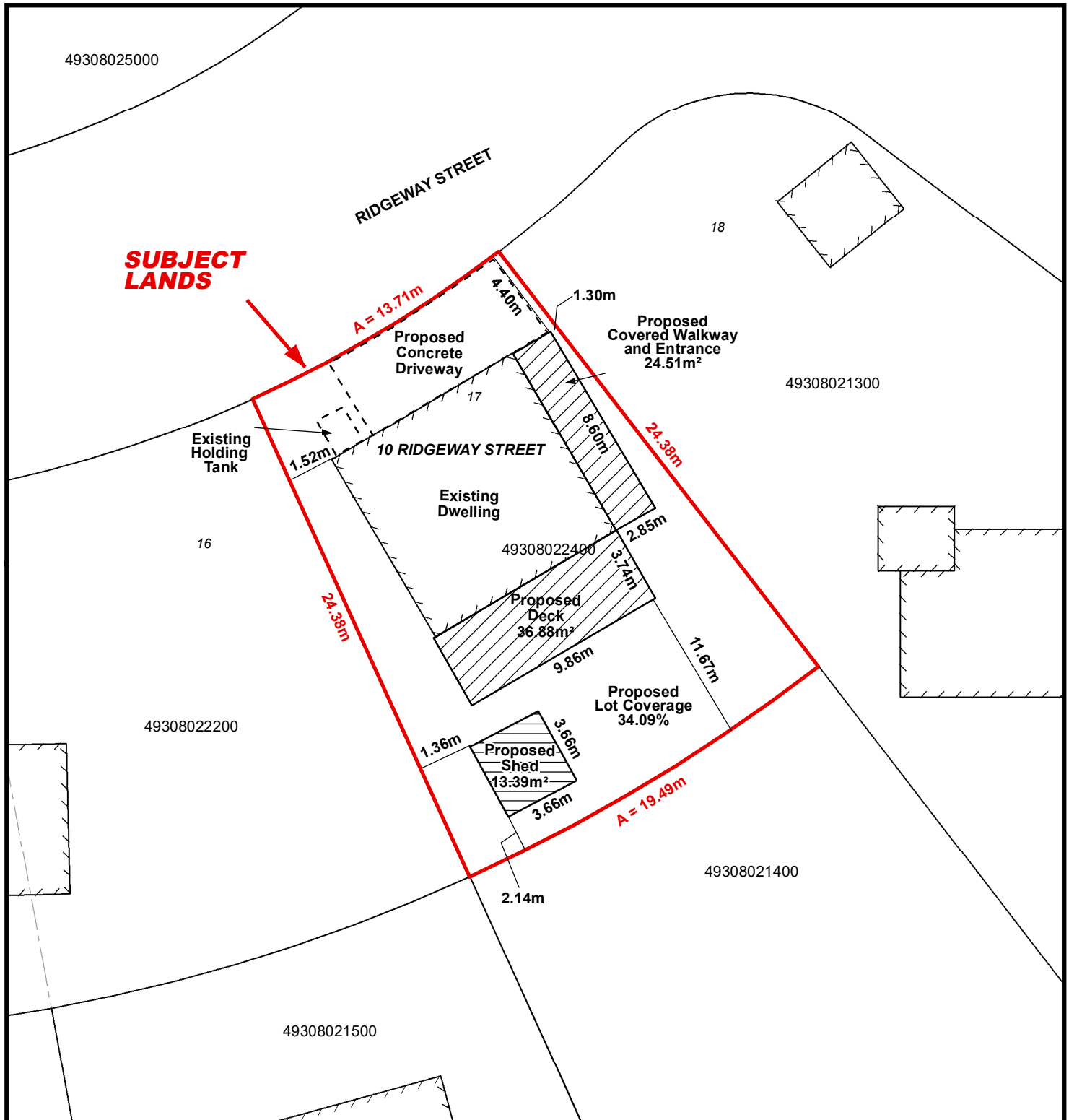
File Number: ANPL2019060

Geographic Township of CHARLOTTEVILLE



2 1 0 2 4 6 8 Meters

1:250





# LOCATION OF LANDS AFFECTED

File Number: ANPL2019060

Geographic Township of CHARLOTTEVILLE



2 1 0 2 4 6 8 Meters

1:250

