

For Office Use Only:

File Number	<u>ANPL 2019200</u>	Application Fee	<u>\$1400</u>
Related File Number	<u>-</u>	Conservation Authority Fee	<u></u>
Pre-consultation Meeting	<u></u>	OSSD Form Provided	<u></u>
Application Submitted	<u>May 30/19</u>	Planner	<u>Neil</u>
Complete Application	<u>May 30/19</u>	Public Notice Sign	<u>yes</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 337040387000000

A. Applicant Information

Name of Owner EARL + HELEN BROWN

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 294 NEW LAKE SHORE RD.

Town and Postal Code PORT DOVER NOVA

Phone Number 519-583-2571

Cell Number

Email EH.BROWN@KIWI.COM

Name of Applicant Same as agent.

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent Bill Hlyn Carpentry Inc. (Mike Hlyn)
Address 52 Church St W.
Town and Postal Code Burgessville ON N0J1C0
Phone Number 519-424-2816
Cell Number 519-617-2813
Email Mike@bklcarpentry.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Earl and Helen Brown
294 New Lakeshore Rd Port Dover ON N0A 1N3

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Norfolk County, Lot 12, Port Dover

Municipal Civic Address: 294 New Lakeshore Rd

Present Official Plan Designation(s): Agricultural - Hazard Land

Present Zoning: RL + HL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

See sketch - house and garden shed to be retained
- remove existing deck and replace same footprint

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

3 season sunroom / deck

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

See sketch - replace existing deck and build a
3 season sunroom within the same footprint

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

+/- 1960

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

2. Please outline the relief requested (assistance is available):

45(2) - Expansion legal non-conforming use

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

land was zoned RV and has changed to HL which doesn't permit development

4. Description of land intended to be severed in metric units:

Frontage:	_____
Depth:	_____
Width:	_____
Lot Area:	_____
Present Use:	_____
Proposed Use:	_____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Property has always been Residential

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☒ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☐ Individual wells ☒ Other (describe below)

Cistern

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers ☒ Open ditches
☐ Other (describe below)

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

New Lakeshore Rd.

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

→ 2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

The existing deck footprint is being replaced
Existing deck has been in place for +/- 12 years

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- 1. Concept/Layout Plan
- 2. All measurements in metric
- 3. Existing and proposed easements and right of ways
- 4. Parking space totals – required and proposed
- 5. All dimensions of the subject lands
- 6. Dimensions and setbacks of all buildings and structures
- 7. Names of adjacent streets
- 8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

[Signature]
Owner/Applicant/Agent Signature

May 29, 2019
Date

J) Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We EARL & HELEN BROWN am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize Bill Klyn Carpentry Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Earl Brown
Owner
Helen Brown
Owner

May 29, 2019
Date
May 29, 2019
Date


K. Declaration

I, Mike Klyn of Oxford County
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

185 Robinson St.




Owner/Applicant/Agent Signature

In Simcoe, ON

This 30th day of May

A.D., 2019



A Commissioner, etc.

Alisha Kathleen Cull, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County
Expires April 28 2022

JEWITT & DIXON LTD.

ONTARIO LAND SURVEYOR
RR. 1, 51 PARK ROAD
SPENCER, ONTARIO, N8Y 4P9
(519) 426-0842 TELEPHONE
(519) 426-1034 FAX

May 12, 2015

Earl Brown
294 New Lakeshore Road
Port Dover, Ontario
N0A 1N3


RE: Boundary Survey of
Lot 12, Registered Plan 461,
Geographic Township of Woodhouse
Town of Port Dover.

In accordance with your instructions we attended the above
noted property on May 8, 2015 and completed the required boundary
survey. Please find enclosed a copy of our account for this work.

Should you have any questions or require additional
information, please contact this office.

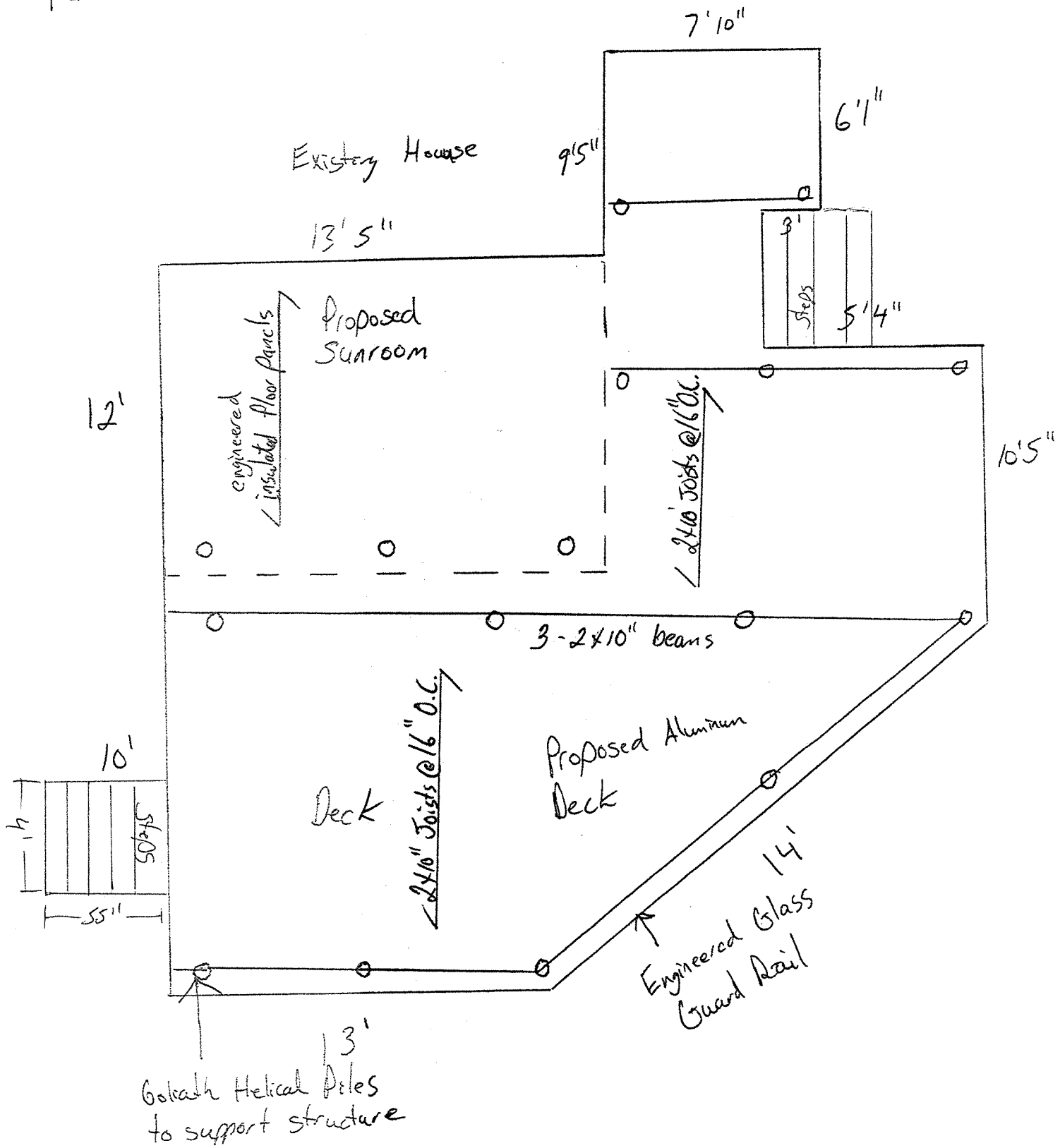
We appreciate the opportunity to be of service.

Sincerely,


Gerhard Auer,
B.Tech, O.L.S., OLIP.

cc:file 15-852

294 New Lake Shore Rd.
Port Dover.



2015 SURVEY

N

NEW LAKE SHORE ROAD

1" OFF

WATER POST

3' DEEP
8' DEEP
2' DEEP
10' DEEP
4' DEEP

8' DEEP

2' DEEP

STAKE
1" DEEP

65'

65'

E

95'

1' DEEP

6" DEEP

1' DEEP

1' DEEP

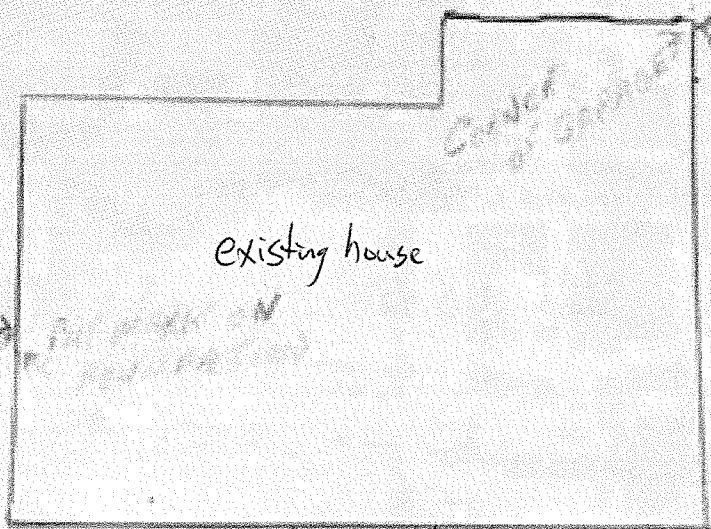
1' DEEP

1' DEEP

1' DEEP

1' DEEP

1' DEEP



existing house

Proposed sunroom

Proposed deck

60' - 6"

- existing house = 1822 sq ft
- existing garage = 518 sq ft
- proposed sunroom = 162 sq ft
- proposed deck = 350 sq ft

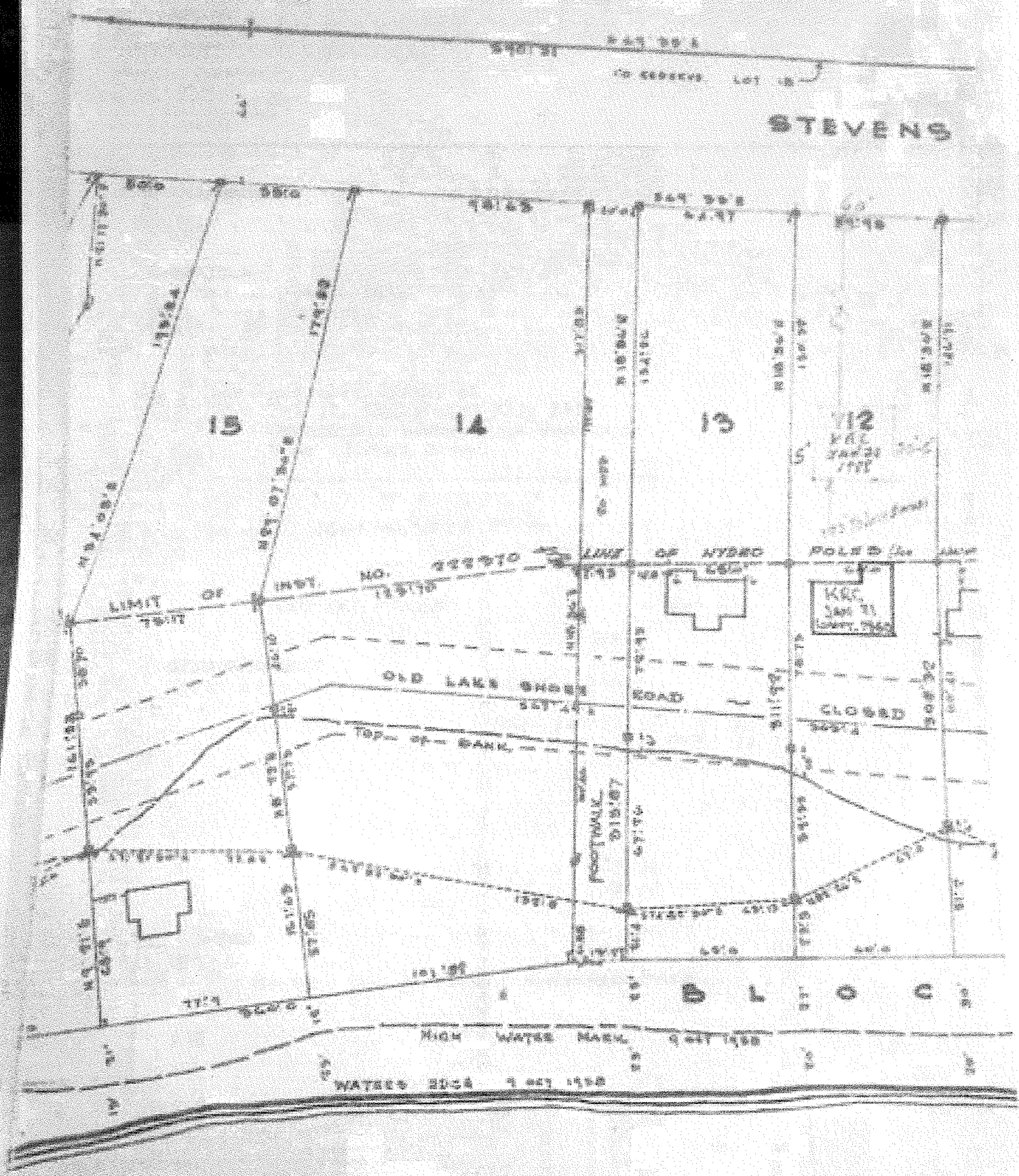
HOUSE TO LAKE SHORE 176 FT (STRAIGHT LINE)

S

Shed 8 x 12

SHORE ROAD

STEVENS



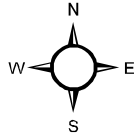
LAKE

ERIE

MAP 1

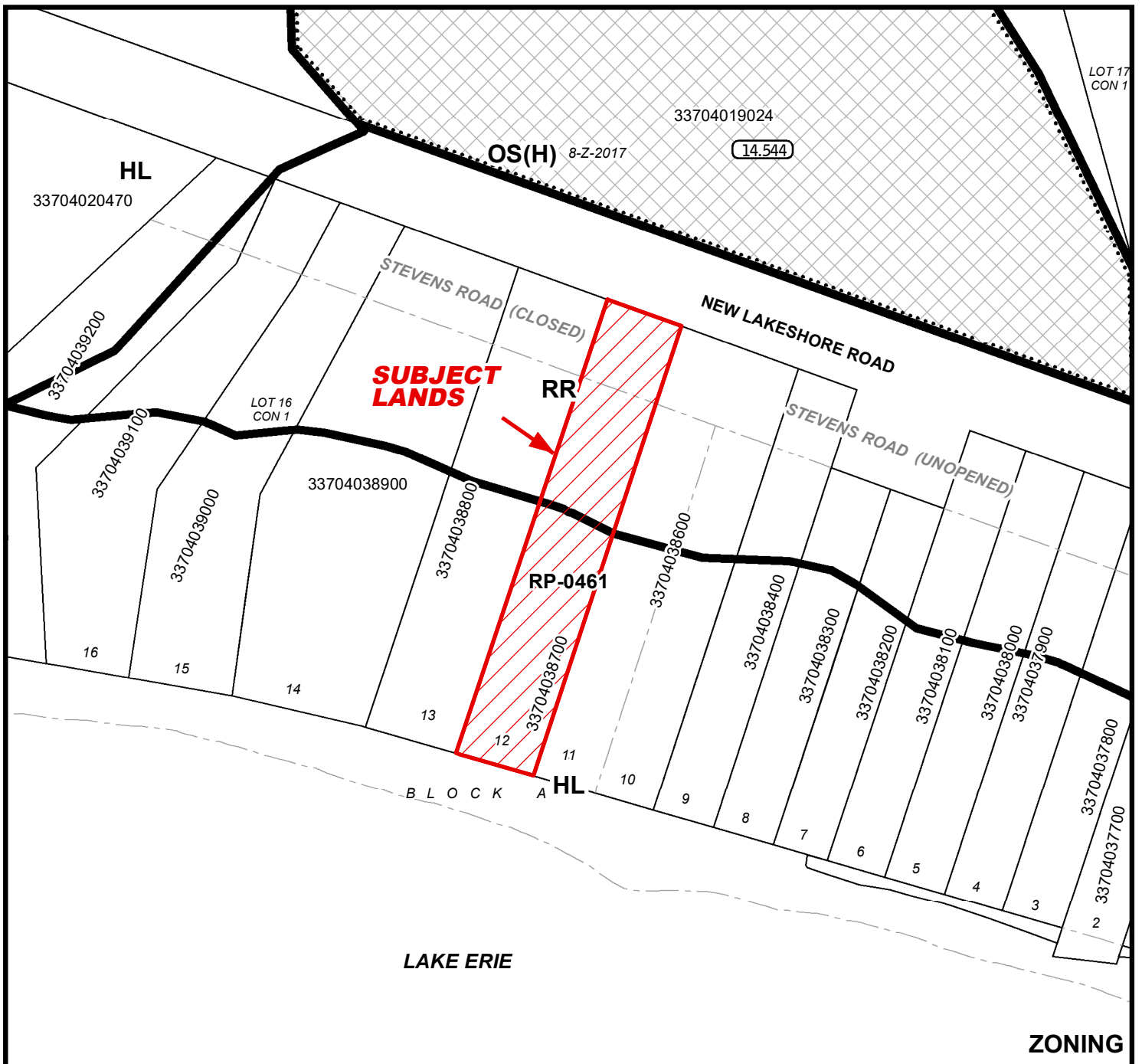
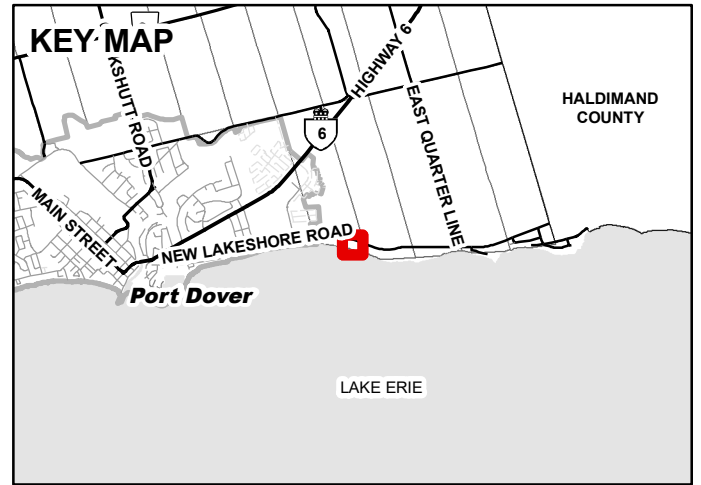
File Number: ANPL2019200

Geographic Township of
WOODHOUSE



1:1,400

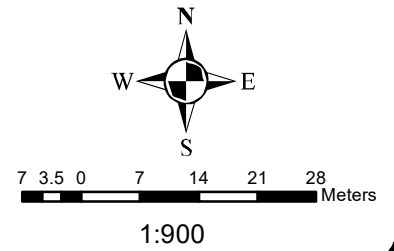
20 10 0 20 40 60 80 Meters



MAP 2

File Number: ANPL2019200

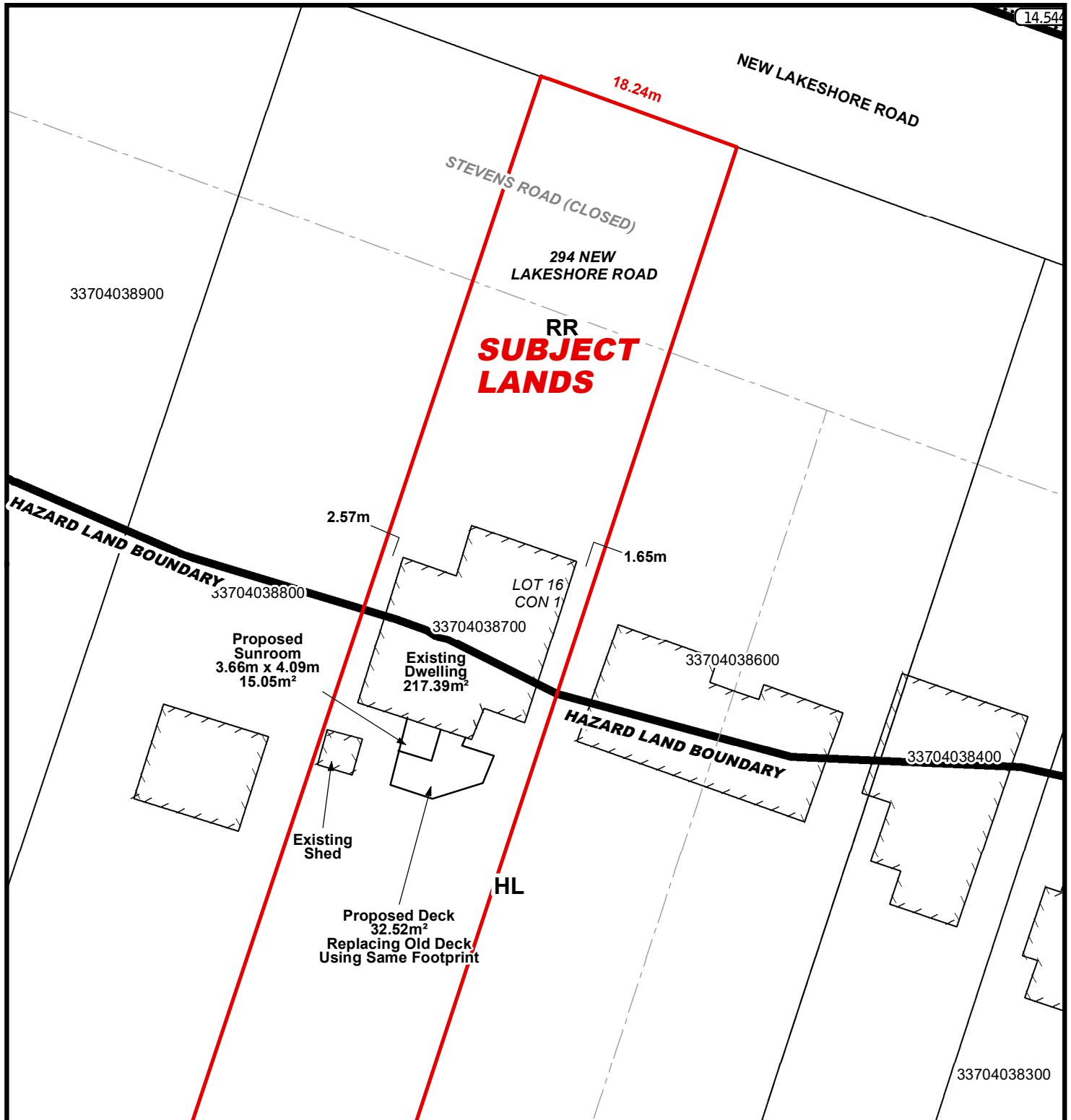
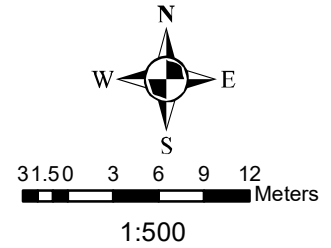
Geographic Township of WOODHOUSE



MAP 3

File Number: ANPL2019200

Geographic Township of WOODHOUSE



LOCATION OF LANDS AFFECTED

File Number: ANPL2019200

Geographic Township of WOODHOUSE

