

APR 23 2020

For Office Use Only:

File Number ANPL2020095
 Related File Number _____
 Pre-consultation Meeting _____
 Application Submitted April 23/20
 Complete Application _____

Application Fee _____
 Conservation Authority Fee _____
 Well & Septic Info Provided _____
 Planner _____
 Public Notice Sign _____

DEVELOPMENT AND
CULTURAL SERVICES

M. HIGGINS

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310543070326000000

A. Applicant Information

Name of Owner

ROB EATON

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

29 ROGERS AVE.

Town and Postal Code

PORT ROXAN NOE 1MO

Phone Number

519-319-7051

Cell Number

Same

Email

rob1993stfd@gmail.com

Name of Applicant

Same

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

SWAL PLAN 436 LOT 568.

Municipal Civic Address: 29 ROGERS AVE RR1 RANAN

Present Official Plan Designation(s):

Present Zoning: RR (1-Z-2014).

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

RR (1-Z-2014)

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

Rec / Res.

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage

15.248

Lot depth

30.48

Lot width

Lot area

Lot coverage

17%

30%

Front yard

Rear yard

Left Interior side yard

Right Interior side yard

Exterior side yard (corner lot)

2. Please outline the relief requested (assistance is available):

VARIANCE TO ALLOW FOR CONSTRUCTION
OF DECKS.

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

BYLAW ALLOWS 15% LOT COVERAGE
PROPOSED DECKS FRONT AND BACK ~~WILL~~ WILL
INCREASE COVERAGE TO 29%

4. Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐Yes ☒No ☐Unknown
If yes, specify the uses (for example: gas station, or petroleum storage): _____

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐Yes ☒No ☐Unknown

3. Provide the information you used to determine the answers to the above questions: _____

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

EXEMPTION PROVIDED FROM K. HUSTED.
SUBMITTED WITH PERMIT APPLICATION # 20200314.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☒ On the subject lands or ☒ within 500 meters – distance _____

Floodplain

☒ On the subject lands or ☒ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☒ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☒ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers
☒ Other (describe below)

- ☐ Open ditches

SWALES IN PLACE BETWEEN PROPERTIES

2. Existing or proposed access to subject lands

- ☒ Municipal road
☐ Unopened road

- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

SITE PLAN / SURVEY SUPPLIED AND EDITED BY
ROXANNE KOOT. SITE PLAN WAS ADDED TO "CITYVIEW"
AND FORWARDED TO MICHAEL HIGGINS. PERMIT # 20200318.
ZONING DEFICIENCY FORM SENT FROM
ROXANNE TO MICHAEL.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Rob & Shelley Eaton am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

K. Declaration

I, [Signature] of 29 ROGERS AVE
Port Rowan
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

185 Robinson St

In Norfolk County

This 16 day of April

A.D., 20 20

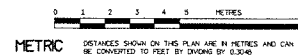
[Signature]
A Commissioner, etc.

Susan Diane Wakeling, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires March 11, 2022.

[Signature]
Owner/Applicant/Agent Signature

SITE PLAN
PREPARED FOR BUILDING PERMIT
AND LOT GRADING
FOR: ROBERT AND SHELLEY EATON

SCALE 1:100



METRIC

CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCIAL PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND ITS LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELED UPON AS CERTIFICATION THAT THE BUILDING WAS ACTUALLY CONSTRUCTED AS SHOWN.
- ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED

zoning review for permit
PRBD20200314

zoning approved to lift cottage only
and replace with new foundation.
Planning application will be required
for decks

front deck with steps = 14sqm
rear deck with steps = 47sqm
cottage is 77sqm
lot area that you own is 50'x100' (465sqm)
lot coverage cottage 17%
deck coverage of decks a part of cottage 13%
total lot coverage of cottage with associated
decks is 30%

NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSTIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN AS SHOWN AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - SITE BENCHMARK SPINE SET IN SOUTH FACE OF HYDRO POLE AT NORTH EAST CORNER OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 176.50 meters
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LEFT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (8) - SEPTIC SYSTEM TO BE DESIGNED BY OTHERS. ELEVATIONS TO BE REVISED WHERE REQUIRED.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION.
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1988 VERTICAL DATUM
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 5th DAY OF FEBRUARY, 2020
- (12) - EXISTING COTTAGE TO REMAIN

PROPERTY DESCRIPTION:
LOT 551, REGISTERED PLAN 436 (LONG POINT)
GEOGRAPHIC TOWNSHIP OF SOUTH WALSINGHAM
NORFOLK COUNTY

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KPM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR
30 HARVEY STREET, TILLSBURG, ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 19-14967SP REFERENCE: FILE

10:54



Done

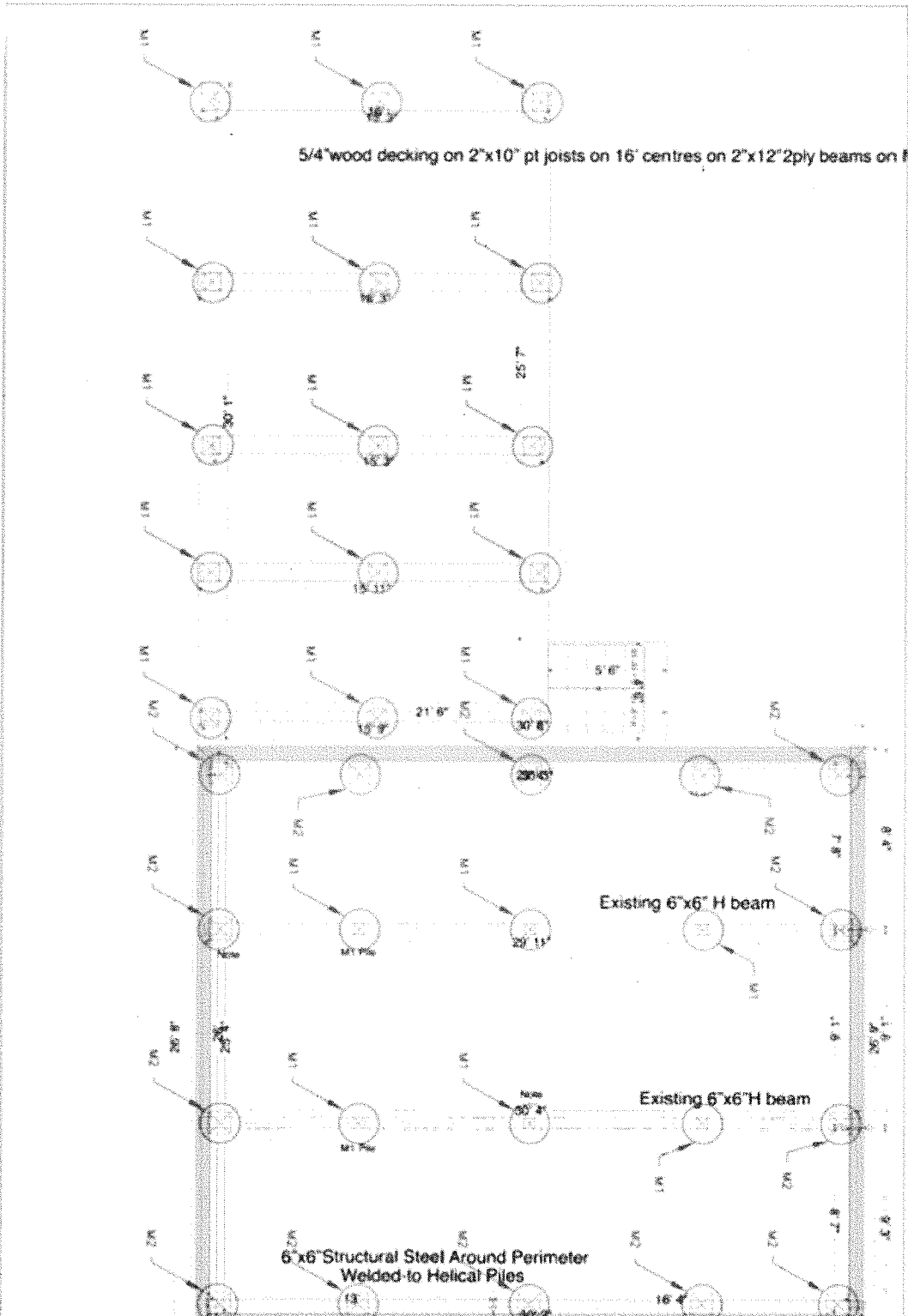
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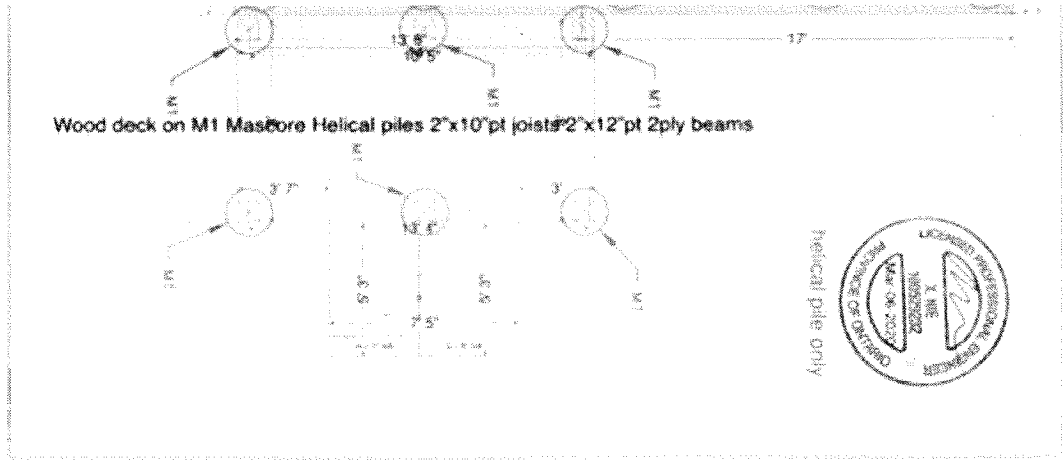
1 of 1

REVISIONS		DATE		BY		CHECKED	
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FOUNDATION PLAN



Project	Robert George, 24 Woodgates
Drawn	
PILE PLAN	
Sheet	F2





Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 29 Rogers Ave Long Point

Legal Description:

Roll Number: 54307027300

Application #:

Information Origins: survey from Kim Husted

Resort Residential Zone (RR)

Decks and Porches	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.6 a) interior side lot line	1.20		N/A	m
b) have a floor higher than the height, above finished grade, of the floor of the first storey of the main building on the lot.			N/A	m
c) be no closer than 3m from the rear lot line.	3.00	1.90	1.1	m
d) project more than 1.5m into the required front yard or required exterior side yard.	1.50		N/A	m
e) sloping rear yard.				
i) interior lot line	3.00		N/A	m
ii) rear lot line	6.00		N/A	m
Comments				

crown land at back of property not yet shown as owned by applicant, therefore there is a deficiency in the setback of the deck to the rear lot line

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Scott Puillandre

I have read and understand the above.

Signature of owner or authorized agent

Roxanne Koot

Signature of Zoning Administrator

date

5-May-20

date

AS PER: Fritz R. Enzlin. CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 29 Rogers Ave Long Point

Legal Description:

Roll Number: 54307027300

Application #:

Information Origins: survey from Kim Husted

Resort Residential Zone (RR)

Main Building		REQUIRED	PROPOSED	DEFICIENCY	UNITS
5.8.2 a) minimum lot area					
i) new lot		0.40		N/A	ha
ii) lot of record		700.00	465.00	235.00	m.sq
b) minimum lot frontage					
i) interior lot		15.00		N/A	m
ii) corner lot		18.00		N/A	m
c) minimum front yard		6.00		N/A	m
d) minimum exterior side yard		6.00		N/A	m
e) minimum interior side yard					
i) attached garage		1.20		N/A	m
		1.20		N/A	m
ii) detached garage		3.00		N/A	m
		1.20		N/A	m
f) minimum rear yard		9.00		N/A	m
g) maximum building height		9.10		N/A	m
h) maximum lot coverage (Note: Proposed Area)					m.sq
i) lot		15.00	30.00	15.00	%

Comments

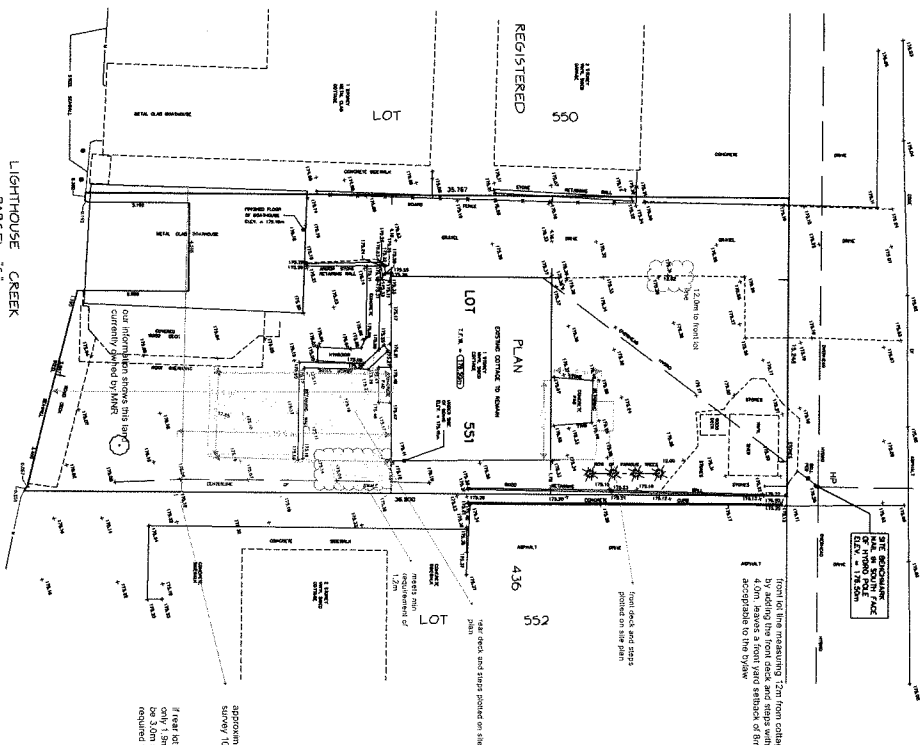
addition of decks puts lot coverage over the allowable 15%

SITE PLAN
PROPOSED BALDWIN RESORT
AND LOT GRADING
FOR ROBERT AND SHELLEY EATON

SCALE 1:1000

NOTE: DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE. THE DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE. THE DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE.

ROGERS AVENUE



Front lot line (existing) from house setback by adding the front setback of 4.0m leaves a front yard setback of 6m which is acceptable to the bylaw

Front deck and steps project on lot 551

Front deck and steps project on lot 551

Setback from lot line (existing) of 10.0m from rear wall of house

If rear lot line at the 10.0m mark from deck only 1.0m from rear lot line and it needs to be 3.0m from rear lot line will be required from lot line

- CAUTION**
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE. THE DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE. THE DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE.
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zoning review for permit
 PRB02020314

zoning approved to lot, setbacks only
 and setbacks with rear foundation.
 Planning application will be required
 for 1500's

front deck with steps = 15.0m
 rear deck with steps = 15.0m
 Lot area that you own is 500' (150' x 3.33')
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NOTES

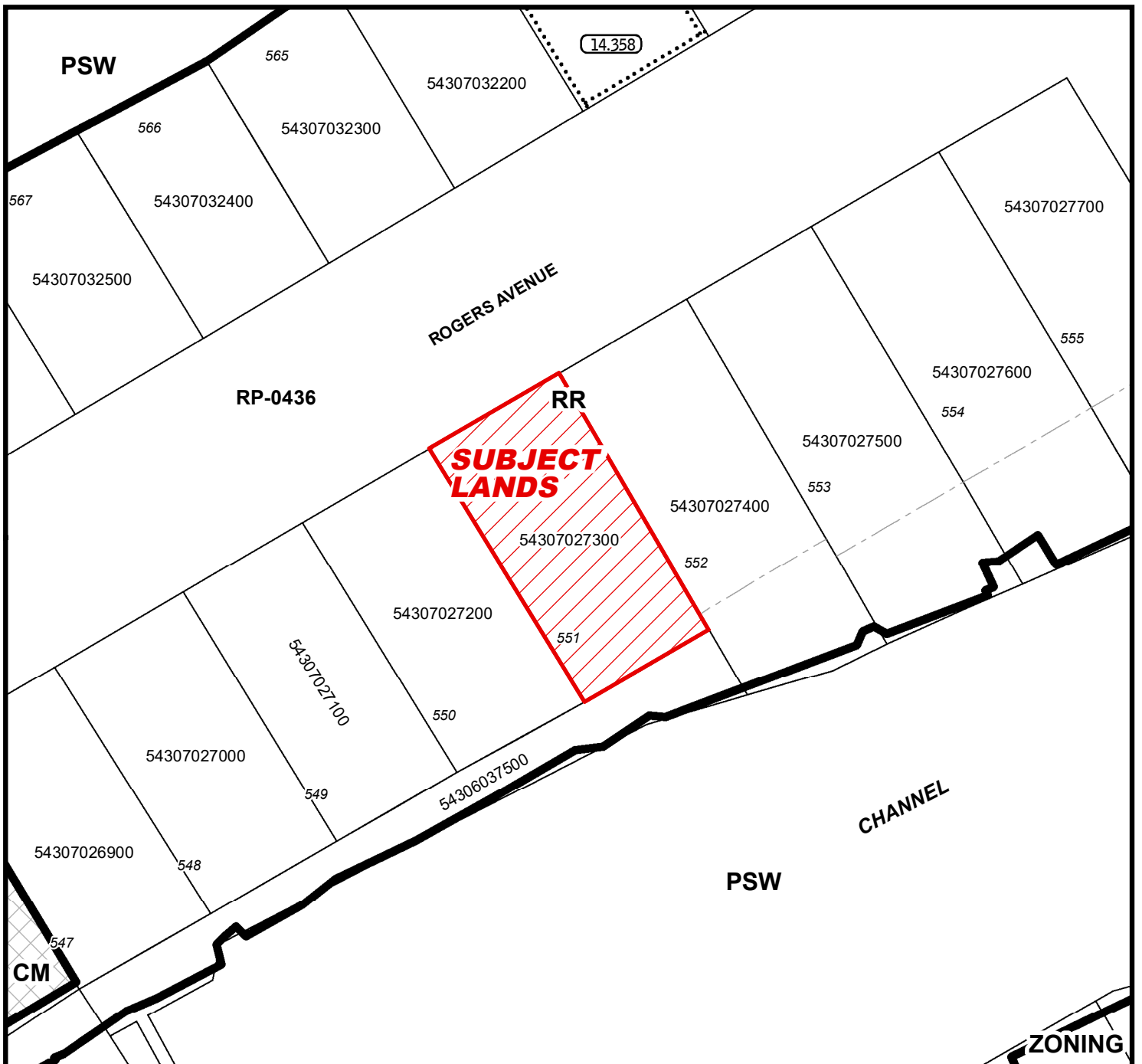
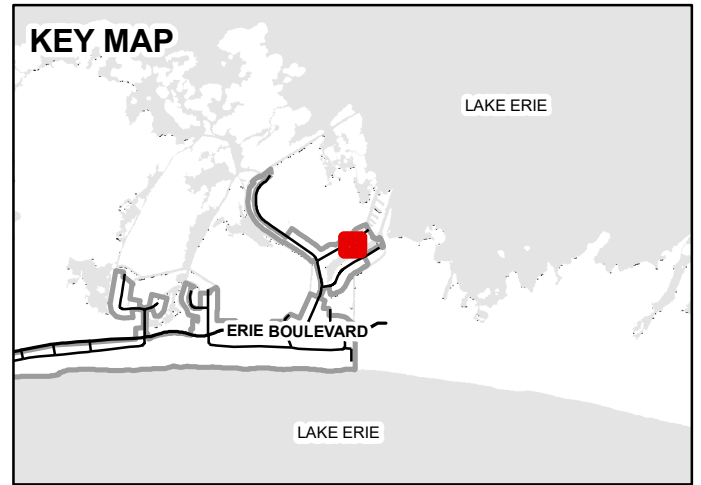
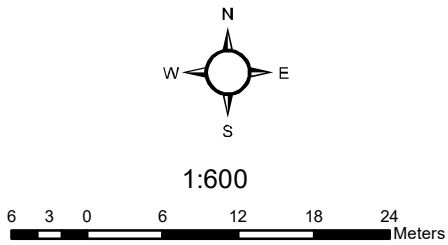
1. ALL DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE. THE DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE. THE DIMENSIONS SHOWN ON THIS PLAN ARE OF 1/8"=1'-0" SCALE.
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PROPERTY: 1500' (150' x 3.33')
 LOT 551, REGISTERED IN 436 (LDM) (DM)
 1500' (150' x 3.33')
 1500' (150' x 3.33')



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 PROJECT: 1500' (150' x 3.33') REFERENCE: 1500' (150' x 3.33')

MAP 1
File Number: ANPL2020095
Geographic Township of
SOUTH WALSHINGHAM



MAP 2

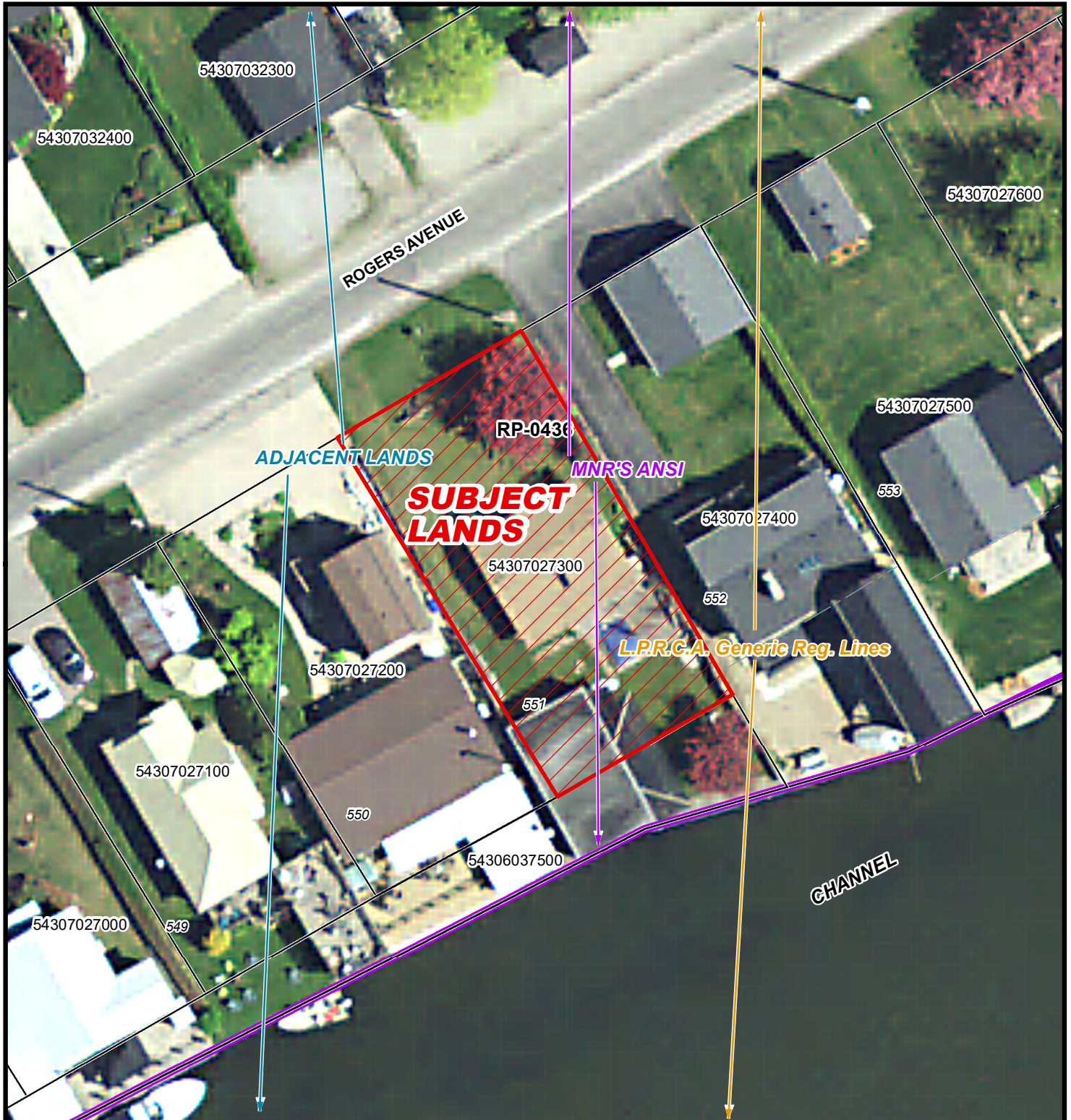
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Geographic Township of SOUTH WALSINGHAM



2 1 0 2 4 6 8 Meters

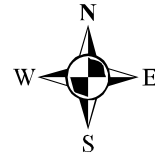
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MAP 3

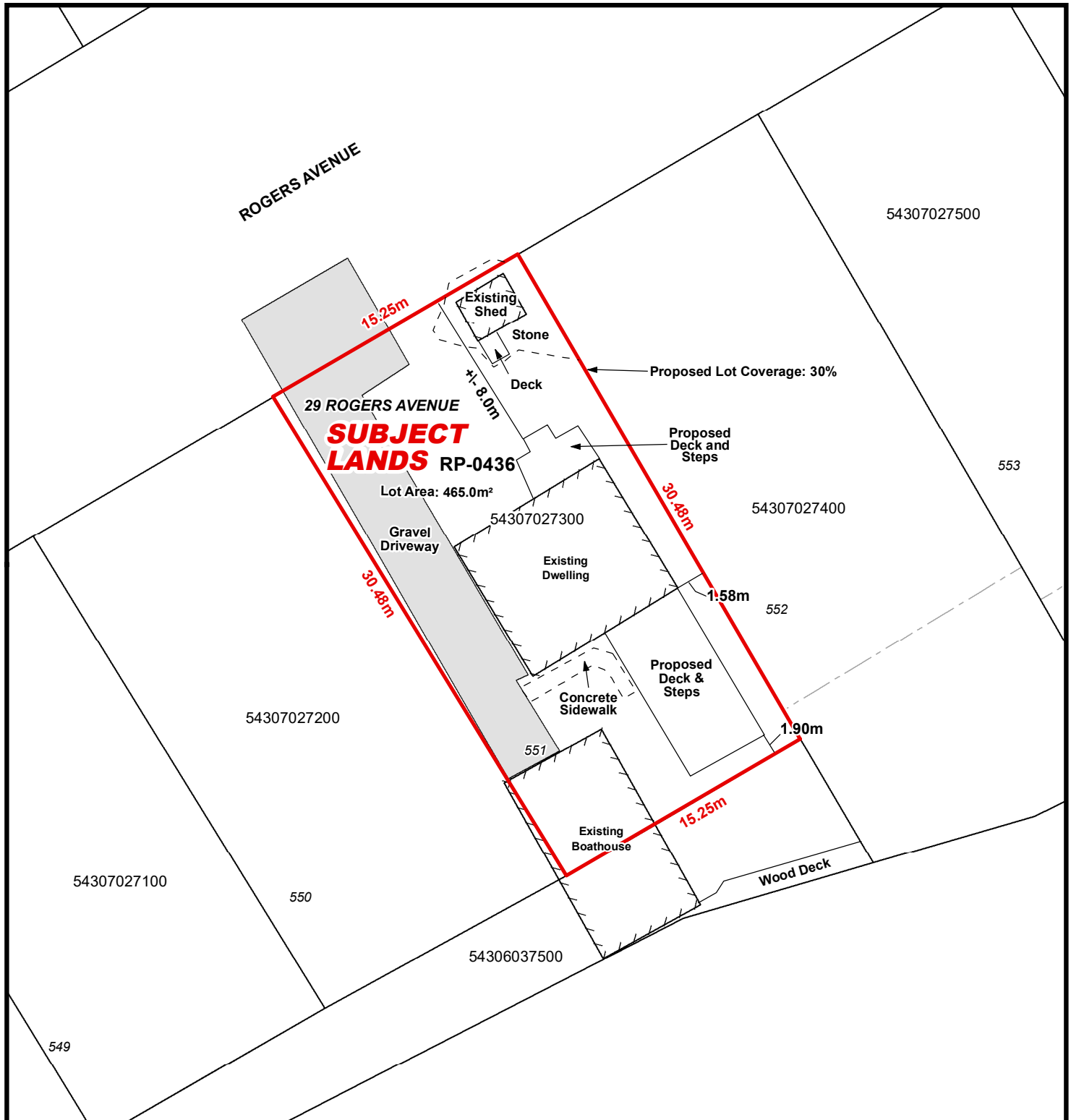
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Geographic Township of SOUTH WALSHINGHAM



2 1 0 2 4 6 8 Meters

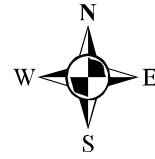
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LOCATION OF LANDS AFFECTED

File Number: ANPL2020095

Geographic Township of SOUTH WALSINGHAM



2 1 0 2 4 6 8 Meters

1:300

