

For Office Use Only:

File Number	<u>ANPL 202068</u>	Public Notice Sign	
Related File Number	<u> </u>	Application Fee	<u>1529⁰⁰</u>
Pre-consultation Meeting	<u> </u>	Conservation Authority Fee	<u> </u>
Application Submitted	<u> </u>	Well & Septic Info Provided	<u> </u>
Complete Application	<u>@ Sept 2/20</u>	Planner	<u>Scott Wilson</u>

Check the type of planning application(s) you are submitting.

- | | |
|-------------------------------------|---|
| <input type="checkbox"/> | Official Plan Amendment |
| <input type="checkbox"/> | Zoning By-Law Amendment |
| <input type="checkbox"/> | Temporary Use By-law |
| <input type="checkbox"/> | Draft Plan of Subdivision/Vacant Land Condominium |
| <input type="checkbox"/> | Condominium Exemption |
| <input type="checkbox"/> | Site Plan Application |
| <input type="checkbox"/> | Consent/Severance |
| <input checked="" type="checkbox"/> | Minor Variance |
| <input type="checkbox"/> | Easement/Right-of-Way |
| <input type="checkbox"/> | Extension of a Temporary Use By-law |
| <input type="checkbox"/> | Part Lot Control |
| <input type="checkbox"/> | Cash-in-Lieu of Parking |
| <input type="checkbox"/> | Renewable Energy Project or Radio Communication Tower |

Please explain the desired end result of this application (for example: a special zoning provision on the subject lands, changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

Accuire permission to build a shop for personal use behind my house. i am currently zoned hazard land.

Property Assessment Roll Number: 3310545 - 03012600

A. Applicant Information

Name of Owner Abe Giesbrecht

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 115 Lakeshore Road, RR#2

Town and Postal Code Port Burwell N0J 1T0

Phone Number 5196151518

Cell Number 5196151518

Email uubram@hotmail.com

Name of Applicant Abe giesbrecht

Address 115 Lakeshore Road RR#2

Town and Postal Code Port Burwell N0J 1T0

Phone Number 5196151518

Cell Number 5196151518

Email uubram@hotmail.com

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot:2 Norfolk county.

Concession: N/S Lake RD Houghton

Municipal Civic Address: 115 lakeshore Rd RR#2 Port Burwell, ON, N0J 1T0

Present Official Plan Designation(s): _____

Present Zoning: Hazard Land

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

Hazard Land

3. Present use of the subject lands:

Dwelling, I want to build a shop on property.

4. Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Shed: L 10' x W 10' x H 10' stay.

attached site plan shows Lot and Locations.

House: L 50' x W 30' x H 25' stay.

Carport: L 19' x W 14' x H 14' stay.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Shop and site plans are attached.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Shop and site plans are attached.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any existing easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

I would like to build a shop on the property for personal use but am in the hazard lands.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

Hazard Land zoning

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?

☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Existing****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	0	2
Building height	0	24' 4 3/4"
Total ground floor area	0	1280
Total gross floor area	0	1730
Total useable floor area	0	1730

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☒ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m ²
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool): _____

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☒ No

If yes, describe: _____

Indicate the gross floor area by the type of use (for example: office, retail, storage): _____

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☒ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☒ No If yes please describe: _____

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage): _____

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
If yes, specify the uses (for example: gas station or petroleum storage):
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions:
previous owner.
4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No
If no, please explain:
2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No
If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

no need. wont change anything.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☒ Individual wells

- ☐ Communal wells
☐ Other (describe below)
-

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)
-

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
- ☒ Open ditches
-

2. Existing or proposed access to subject lands:

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street: Lakeshore

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No
If yes, how many people are employed on the subject lands?
-

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

The current space i want to put a shop is just a flat area we currently park our cars. the pole barn will not change anything or affect the land.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

A. Giesbrecht
Owner/Applicant Signature

Aug/14/2020
Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Abe Giesbrecht & Heidi Giesbrecht am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Abe Giesbrecht & Heidi Giesbrecht to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

A. Giesbrecht
Owner

Aug/14/2020
Date

Heidi Giesbrecht
Owner

Aug/14/2020
Date

K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 27th day of AUGUST 2020

A.D., 20____

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.



A Commissioner, etc.

Springfield Building Details, Springfield

Version 8.320 S Nov 19 2019 MiTek Industries, Inc. Fri May 29 15:38:08 2020 Page 1

ID: jkkomR?79kEApRoKsHlgBAzBcvz-JeyLa74obA1NelEtIM0P7pqkNwOFMHXW6Nd6_FzBcTT

Scale = 1.71.9

LUMBER

N. L. G. A. RULES	CHORDS	SIZE	LUMBER	DESCR.
D - E	2x6	DRY	No.2	SPF
E - F	2x6	DRY	No.2	SPF
A - D	2x6	DRY	No.2	SPF
F - I	2x6	DRY	No.2	SPF
D - F	2x6	DRY	No.2	SPF
B - L	2x12	DRY	No.2	SPF
L - H	2x12	DRY	No.2	SPF
ALL WEBS EXCEPT	2x4	DRY	No.2	SPF
M - D	2x6	DRY	No.2	SPF
K - F	2x6	DRY	No.2	SPF

DRY: SEASONED LUMBER.

PLATES (table is in inches)

JT TYPE	PLATES	W	LEN	Y	X
B TMB1-I	MT20	6.0	8.0		
C TMWW-t	MT20	4.0	5.0	2.00	1.25
D TTWW-m	MT20	6.0	12.0	3.00	2.25
E TTW+p	MT20	4.0	5.0	3.00	2.00
F TTWW-m	MT20	6.0	12.0	3.00	2.25
G TMWW-t	MT20	4.0	5.0	2.00	1.25
H TMB1-I	MT20	6.0	8.0		
J BMW+w	MT20	3.0	6.0		
K BMWW-t	MT20	6.0	12.0	8.50	3.00
L BS-t	MT20	10.0	12.0		
M BMWW-t	MT20	6.0	12.0	8.50	3.00
N BMW+w	MT20	3.0	6.0		
O WMW+w	MT20	3.0	5.0	2.25	1.50

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

BEARINGS

JT	VERT	HORIZ	DOWN	HORIZ	UPLIFT	IN-SX	IN-SX
B	2972	0	3039	-308	-410	5-8	5-8
H	2972	0	3039	0	-410	5-8	5-8

PROVIDE ANCHORAGE AT BEARING JOINT B FOR 410 LBS FACTORED UPLIFT

PROVIDE ANCHORAGE AT BEARING JOINT H FOR 410 LBS FACTORED UPLIFT

PROVIDE FOR 308 LBS FACTORED HORIZONTAL REACTION AT JOINT B

UNFACTORED REACTIONS

JT	COMBINED	SNOW	LIVE	PERM.LIVE	WIND	DEAD	SOIL
B	2404	820 / 0	955 / 0	0 / 0	42 / -657	630 / 0	0 / 0
H	2404	820 / 0	955 / 0	0 / 0	42 / -657	630 / 0	0 / 0

HORIZONTAL REACTIONS

JT	COMBINED	SNOW	LIVE	PERM.LIVE	WIND	DEAD	SOIL
B	0 / 0	0 / 0	0 / 0	220 / -220	0 / 0	0 / 0	0 / 0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) B, H

BRACING

MAX. UNBRACED TOP CHORD LENGTH = 4.24 FT.

MAX. UNBRACED BOTTOM CHORD LENGTH = 6.25 FT. OR RIGID CEILING DIRECTLY APPLIED.

MAX. UNBRACED INTERIOR CHORD LENGTH = 6.25 FT OR RIGID SHEATHING TO ATTIC FLOOR AND CEILING.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE Laterally RESTRAINED.

COMPRESSIVE EDGE OF 2x12 CHORD(S) TO BE HELD IN LINE BY PURLINS @ 2'-0" MAX. OR WITH CONTINUOUS SHEATHING, ADEQUATE BRIDGING OR BLOCKING REQ'D @ 7'-5" SPACING.

1 LATERAL BRACE(S) AT 1/2 LENGTH OF D-M, F-K.

LOADING

TOTAL LOAD CASES: (18)

MEMB.	CHORDS	MAX. FACTORED FORCE (LBS)	FACTORED VERT. (PLF)	FACTORED HORZ. (LC1)	MAX. UNBRACED LENGTH	WEBS	MEMB.	MAX. FACTORED FORCE (LBS)	FACTORED VERT. (PLF)	FACTORED HORZ. (LC1)	MAX. UNBRACED LENGTH
FR-TO						FR-TO					
D-E	-1734 / 455	-97.7	-97.7	0.63 (2)	5.16	M-D	-63 / 1999	0.24 (6)			
E-F	-1734 / 455	-97.7	-97.7	0.63 (3)	5.16	K-F	-63 / 1999	0.24 (5)			
A-B	0 / 18	-75.2	-75.2	0.02 (2)	10.00	O-E	0 / 430	0.07 (17)			
B-Q	-3987 / 204	-75.2	-75.2	0.14 (1)	4.24	N-C	-1208 / 132	0.25 (6)			
Q-C	-3375 / 474	-75.2	-75.2	0.17 (13)	4.57	C-M	-256 / 797	0.13 (6)			
C-D	-3908 / 463	-75.2	-75.2	0.15 (13)	4.28	J-G	-1208 / 137	0.25 (5)			
F-G	-3908 / 463	-75.2	-75.2	0.15 (14)	4.28	K-G	-254 / 797	0.13 (5)			
G-S	-3375 / 478	-75.2	-75.2	0.17 (14)	4.57	P-Q	-39 / 677	0.00 (1)			
S-H	-3987 / 209	-75.2	-75.2	0.14 (1)	4.24	R-S	-37 / 677	0.00 (1)			
H-I	0 / 18	-75.2	-75.2	0.02 (3)	10.00						
B-P	-445 / 2277	-37.5	-37.5	0.20 (4)	6.25						
P-N	-445 / 2277	-37.5	-37.5	0.37 (4)	6.25						
N-M	-445 / 2277	-37.5	-37.5	0.95 (6)	6.25						
M-L	-92 / 2681	-122.5	-122.5	0.99 (5)	6.25						
L-K	-92 / 2681	-122.5	-122.5	0.99 (5)	6.25						
K-J	-146 / 2277	-37.5	-37.5	0.95 (5)	6.25						
J-R	-146 / 2277	-37.5	-37.5	0.37 (4)	6.25						
R-H	-146 / 2277	-37.5	-37.5	0.20 (4)	6.25						
D-O	-1392 / 41	-32.5	-32.5	0.26 (17)	6.25						
O-F	-1392 / 41	-32.5	-32.5	0.26 (17)	6.25						

DESIGN CRITERIA

SPECIFIED LOADS:

TOP CH. LL = 28.4 PSF

DL = 5.0 PSF

BOT CH. LL = 10.0 PSF

DL = 7.0 PSF

TOTAL LOAD = 50.4 PSF

ATTIC FLOOR = 40.0 PSF

DL = 10.0 PSF

CEILING DL = 5.0 PSF

SPACING = 24.0 IN./C/C

THIS TRUSS IS DESIGNED FOR COMMERCIAL OR INDUSTRIAL BUILDING REQUIREMENTS OF PART 4, NBCC 2015

THIS DESIGN COMPLIES WITH:

- PART 4 OF BCBC 2018 , ABC 2019
- PART 4 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

DESIGN ASSUMPTIONS

- SLOPE REDUCTION FACTOR USED

(80 % OF 25.1 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) TIMES IMPORTANCE FACTOR EQUALS 28.4 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (1.07")

CALCULATED VERT. DEFL.(LL)= L/ 999 (0.21")

ALLOWABLE DEFL.(TL)= L/180 (2.13")

CALCULATED VERT. DEFL.(TL)= L/ 999 (0.29")

CSI: TC=0.63/1.00 (D-E:2) , BC=0.99/1.00 (K-M:5) , WB=0.26/1.00 (D-O:17) , SSI=0.57/1.00 (K-M:5)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10

COMP=1.10 SHEAR=1.10 TENS= 1.10

SNOW LOAD IMPORTANCE FACTOR = 1.00

WIND LOAD IMPORTANCE FACTOR = 1.00

LIVE LOAD IMPORTANCE FACTOR = 1.00

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

NAIL VALUES

PLATE GRIP(DRY) SHEAR SECTION (PSI) (PLI) (PLI)

MAX MIN MAX MIN MAX MIN

MT20 650 371 1747 788 1987 1873

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.79 (C) (INPUT = 0.90)

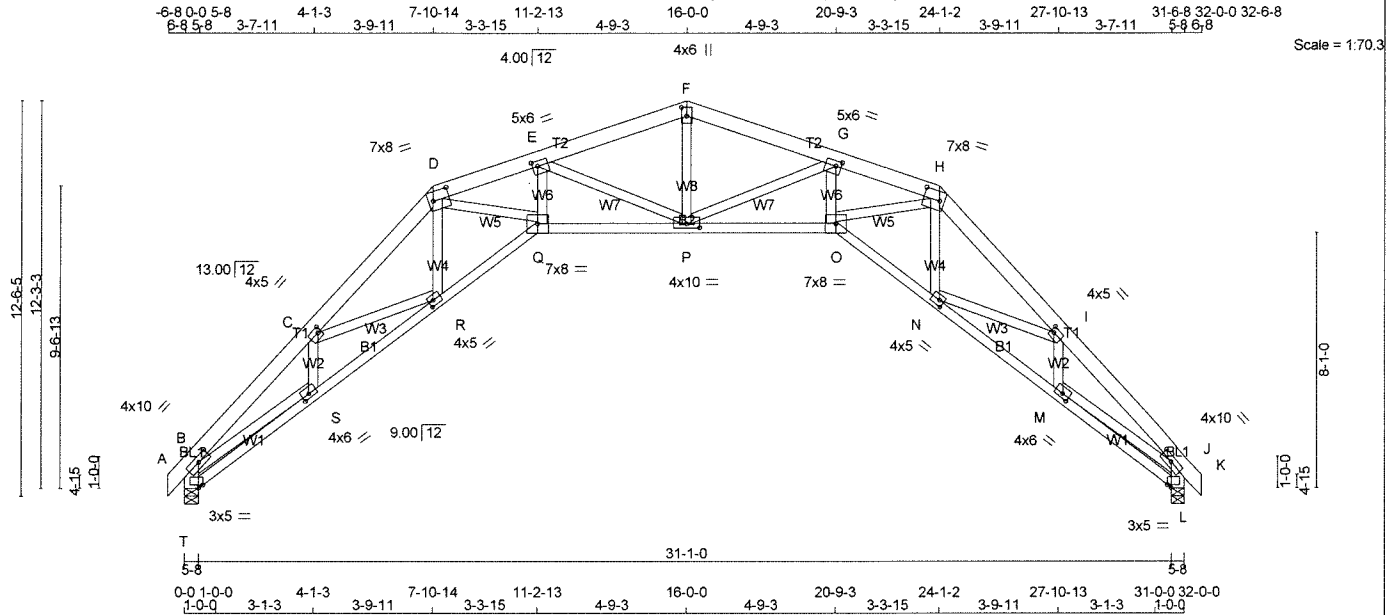
JSI METAL= 0.77 (L) (INPUT = 1.00)

CONTINUED ON PAGE 2

JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC.	DRWG NO.
Q2000470	B1	5	1	Abe Giesbrecht - 115 Lakeshore	
Springfield Building Components, Springfield				TRUSS DESC.	

Version 8.320 S Nov 19 2019 MiTek Industries, Inc. Fri May 29 15:38:10 2020 Page 1

ID: jkkomR?79kEApRoKsHlgBAzBcvz-F145?p527nH5t3OGqn3tCEvmjkrzq6RpZh6D37zBcTR



LUMBER

N. L. G. A. RULES	CHORDS	SIZE	LUMBER	DESCR.
A - D	2x6	DRY	No.2	SPF
D - F	2x6	DRY	No.2	SPF
F - H	2x6	DRY	No.2	SPF
H - K	2x6	DRY	No.2	SPF
T - Q	2x4	DRY	2100F 1.8E	SPF
Q - O	2x4	DRY	2100F 1.8E	SPF
O - L	2x4	DRY	2100F 1.8E	SPF

BEARING BLOCKS				
BL1	2 - 2x6	DRY	No.2	SPF
ALL WEBS	2x4	DRY	No.2	SPF
DRY: SEASONED LUMBER.				

PLATES (table is in inches)

JT	TYPE	PLATES	W	LEN	Y	X
B	TMKW-t	MT20	4.0	10.0	2.00	4.75
C	TMWW-t	MT20	4.0	5.0	2.00	1.25
D	TTWW-t	MT20	7.0	8.0	3.50	6.25
E	TMWW-t	MT20	5.0	6.0	2.00	2.00
F	TTW+p	MT20	4.0	6.0	3.25	2.00
G	TMWW-t	MT20	5.0	6.0	2.00	2.00
H	TTWW-t	MT20	7.0	8.0	3.50	6.25
I	TMWW-t	MT20	4.0	5.0	2.00	1.25
J	TMKW-t	MT20	4.0	10.0	2.00	4.75
L	BKM1-p	MT20	3.0	5.0	1.25	1.50
M	BMWW-t	MT20	4.0	6.0	1.50	2.75
N	BMWW-t	MT20	4.0	5.0	2.00	1.75
O	BBWW-p	MT20	7.0	8.0		
P	BMWW-t	MT20	4.0	10.0	1.50	5.00
Q	BBWW-p	MT20	7.0	8.0		
R	BMWW-t	MT20	4.0	5.0	2.00	1.75
S	BMWW-t	MT20	4.0	6.0	1.50	2.75
T	BKM1-p	MT20	3.0	5.0	1.25	1.50

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

FACTORED		MAXIMUM FACTORED		INPUT		REQRD	
GROSS REACTION		GROSS REACTION		BRG		BRG	
JT	VERT	HORZ	DOWN	HORZ	UPLIFT	IN-SX	IN-SX
T	1515	0	1515	0	0	5-8	5-8
L	1515	0	1515	0	0	5-8	5-8

ALLOW FOR 1.0" OF HORIZONTAL MOVEMENT DUE TO TOTAL LOAD

UNFACTORED REACTIONS

1ST LCASE		MAX/MIN. COMPONENT REACTIONS					
JT	COMBINED	SNOW	LIVE	PERM.LIVE	WIND	DEAD	SO
T	1064	740 / 0	0 / 0	0 / 0	0 / 0	324 / 0	0
L	1064	740 / 0	0 / 0	0 / 0	0 / 0	324 / 0	0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) T, L
BEARING SIZE FACTOR = 1.15 AT JNT(S) T, L (BASED ON SUPPORT DEPTH = 1-8)

BRACING

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 3.74 FT.
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT. OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE Laterally RESTRAINED.

LOADING

TOTAL LOAD CASES: (4)

CHORDS				WEBS			
MEMB.	MAX. FACTORED FORCE (LBS)	FACTORED VERT. LOAD (PLF)	MAX. UNBRACED LENGTH (FT)	MEMB.	MAX. FACTORED FORCE (LBS)	MAX. UNBRACED LENGTH (FT)	CSF (LC)
FR-TO				FR-TO			
A-B	0 / 21	-73.9	-73.9 0.02 (1)	10.00	P-F	0 / 1698	0.27 (1)
B-C	-3553 / 0	-73.9	-73.9 0.15 (1)	4.44	P-G	-1870 / 0	0.62 (1)
C-D	-3690 / 0	-73.9	-73.9 0.16 (1)	4.36	O-G	0 / 1199	0.19 (1)
D-E	-5139 / 0	-73.9	-73.9 0.19 (1)	3.74	O-H	0 / 2468	0.40 (1)
E-F	-3262 / 0	-73.9	-73.9 0.18 (1)	4.55	N-H	0 / 56	0.01 (4)
F-G	-3262 / 0	-73.9	-73.9 0.18 (1)	4.55	N-I	0 / 141	0.02 (1)
G-H	-5139 / 0	-73.9	-73.9 0.19 (1)	3.74	M-I	-372 / 0	0.04 (1)
H-I	-3690 / 0	-73.9	-73.9 0.16 (1)	4.36	E-P	-1870 / 0	0.62 (1)
I-J	-3553 / 0	-73.9	-73.9 0.15 (1)	4.44	Q-E	0 / 1199	0.19 (1)
J-K	0 / 21	-73.9	-73.9 0.02 (1)	10.00	D-Q	0 / 2468	0.40 (1)
T-B	-1557 / 0	0.0	0.0 0.10 (1)	7.81	R-D	0 / 56	0.01 (4)
L-J	-1557 / 0	0.0	0.0 0.10 (1)	7.81	C-R	0 / 141	0.02 (1)
					S-C	-372 / 0	0.04 (1)
					M-J	0 / 2624	0.42 (1)
					B-S	0 / 2624	0.42 (1)
T-S	0 / 130	-17.5	-17.5 0.05 (1)	10.00			
S-R	0 / 2946	-17.5	-17.5 0.26 (1)	10.00			
R-Q	0 / 3102	-17.5	-17.5 0.25 (1)	10.00			
Q-P	0 / 4782	-17.5	-17.5 0.40 (1)	10.00			
P-O	0 / 4782	-17.5	-17.5 0.40 (1)	10.00			
O-N	0 / 3102	-17.5	-17.5 0.25 (1)	10.00			
N-M	0 / 2946	-17.5	-17.5 0.26 (1)	10.00			
M-L	0 / 130	-17.5	-17.5 0.05 (1)	10.00			

DESIGN CRITERIA

SPECIFIED LOADS:

TOP CH.	LL	=	22.1	PSF
	DL	=	3.0	PSF
BOT CH.	LL	=	0.0	PSF
	DL	=	7.0	PSF
TOTAL LOAD	=	32.1	PSF	

SPACING = 24.0 IN./C

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2015

THIS DESIGN COMPLIES WITH:

- PART 9 OF CBC 2018, ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

(55 % OF 25.1 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 22.1 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (1.07")
CALCULATED VERT. DEFL.(LL) = L/999 (0.33")
ALLOWABLE DEFL.(TL)= L/360 (1.07")
CALCULATED VERT. DEFL.(TL) = L/651 (0.59")

CSI: TC=0.19/1.00 (D-E:1), BC=0.40/1.00 (P-Q:1), WB=0.62/1.00 (E-P:1), SSI=0.11/1.00 (E-F:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10
COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

AUTOSOLVE HEELS OFF

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT.

NAIL VALUES

PLATE	GRIP(DRY)	SHEAR	SECTION
(PSI)	(PLI)	(PLI)	
MAX MIN	MAX MIN	MAX MIN	
MT20	650	371	1747 788 1987 1873


PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.89 (F) (INPUT = 0.90)
JSI METAL= 0.67 (Q) (INPUT = 1.00)

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name 115 Lakeshore Road		Unit no.	Lot/con.
Municipality Clear Creek	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name Chet Liu		Firm Y.C. Liu Engineering	
Street address 39 McNaughton Ave., West		Unit no.	Lot/con.
Municipality Chatham-Kent	Postal code N7L 1R2	Province Ontario	E-mail chet@ycliu.ca
Telephone number (519) 351-9612	Fax number (519) 351-5526	Cell number (519) 809-0126	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 2.20.2.1]			
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input checked="" type="checkbox"/> Building Structural	
<input checked="" type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems	
Description of designer's work New 32' x 40' Post-Frame Garage (Abe Giesbrecht)			
D. Declaration of Designer			
I <u>Chet Liu</u> declare that (choose one as appropriate): (print name)			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>20529</u> Firm BCIN: <u>29635</u>			
<input type="checkbox"/> I review and take responsibility for the design work and am qualified in the appropriate category as an "other designer" under subsection 2.17.5. of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have authority to bind the corporation or partnership (if applicable).			
July 14, 2020			
Date		Signature of Designer	

*For the purposes of this form, "individual" means the "person" referred to in Clause 2.17.4.7.(1)(d), Article 2.17.5.1. and all other persons who are exempt from qualification under Subsections 2.17.4. and 2.17.5.

NOTE:

1. Firm and Individual BCIN numbers are not required for building permit applications submitted prior to January 1, 2006
2. Schedule 1 does not need to be completed by architects, or holders of a Certificate of Practice or a Temporary License under the *Architects Act*.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -
Office Use Only

Applicant/
Owner's Name:

Alco Giesbrecht

Mailing Address:

115 Lakeshore Rd RR#2

Street Address

Port Burwell

City/Town

P.O. Box

ON

Province

Apartment/Unit #

NOT 110

Postal Code

Primary Phone:

519-845-1518

Alternate Phone:

Email:

vibram@hotmail.com

Agent's Name:



Check if same as above

Mailing Address:

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone:

Alternate Phone:

Email:

Location of Proposed Work

Lot:



Concession/Plan:

N/S Lake rd houghton

Municipality:

Norfolk

Municipal Address:

115 Lakeshore Rd RR#2 Port Burwell, ON NOT 110

Street Address

Tax Assessment Roll Number:

3310545 - 03012600

Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☐ Site grading
- ☒ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe)

Quantity of fill:

0

Proposed square footage:

1,456

Existing square footage:

0

Description of Proposed Works:

Build a 40x32 Pole barn with a 15x30

Upper floor.

PROPOSED START DATE:

July 1st

PROPOSED COMPLETION DATE:

July 30th

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Applicant Signature

Alco Giesbrecht

Date

June 23 2020

Agent Signature

Date



Long Point Region Conservation Authority

PERMIT No. LPRCA-154/20

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Owner:	<u>Abe Giesbrecht</u>	Telephone:	<u>519-615-1518</u>
Address:	<u>115 Lakeshore Road</u>	Postal Code:	<u>N0J 1T0</u>
	<u>Port Burwell, ON</u>		
Agent :	<u></u>	Telephone:	<u></u>
Address:	<u></u>	Postal Code:	<u></u>
	<u></u>		<u></u>

Location/Address of works: 115 Lakeshore Road; 33.10.545.030.12600

Lot: 2 Concession: NLR Municipality: Norfolk Watershed:

Description of Works: Construct a 160.7m² detached accessory pole barn.

Type of fill:

This permit is valid on the above location only for the period of:

DATE: July 29, 2020 to July 29, 2022

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS :

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated June 23, 2020 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4
Tel: (519) 842-4242 Fax: (519) 842-7123
Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Applicant/
Owner's Name:

Abc Giesbrecht

Application #

LPRCA -

Office Use Only

Mailing Address:

115 Lakeshore Rd RR#2

Street Address

P.O. Box

Apartment/Unit #

Port Burwell

ON

NOT 1T0

City/Town

Province

Postal Code

Primary Phone:

519-845-1518

Alternate Phone:

Email:

vibram@hotmail.com

Agent's Name:



Check if same as above

Mailing Address:

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone:

Alternate Phone:

Email:

Location of Proposed Work

Lot:



Concession/Plan:

N/S Lake rd Houghton

Municipality:

Norfolk

Municipal Address:

115 Lakeshore Rd RR#2 Port Burwell, ON NOT 1T0

Street Address

Tax Assessment Roll Number:

3310545 - 03012600

Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☐ Site grading
- ☒ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe)

Quantity of fill:

0

Proposed square footage:

1,456

Existing square footage:

0

Description of Proposed Works:

Build a 40x32 Pole barn with a 15x30

Upper floor.

PROPOSED START DATE:

July 1st

PROPOSED COMPLETION DATE:

July 30th

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Applicant Signature

Ar Giesbrecht

Date

June 23 2020

Agent Signature

Date

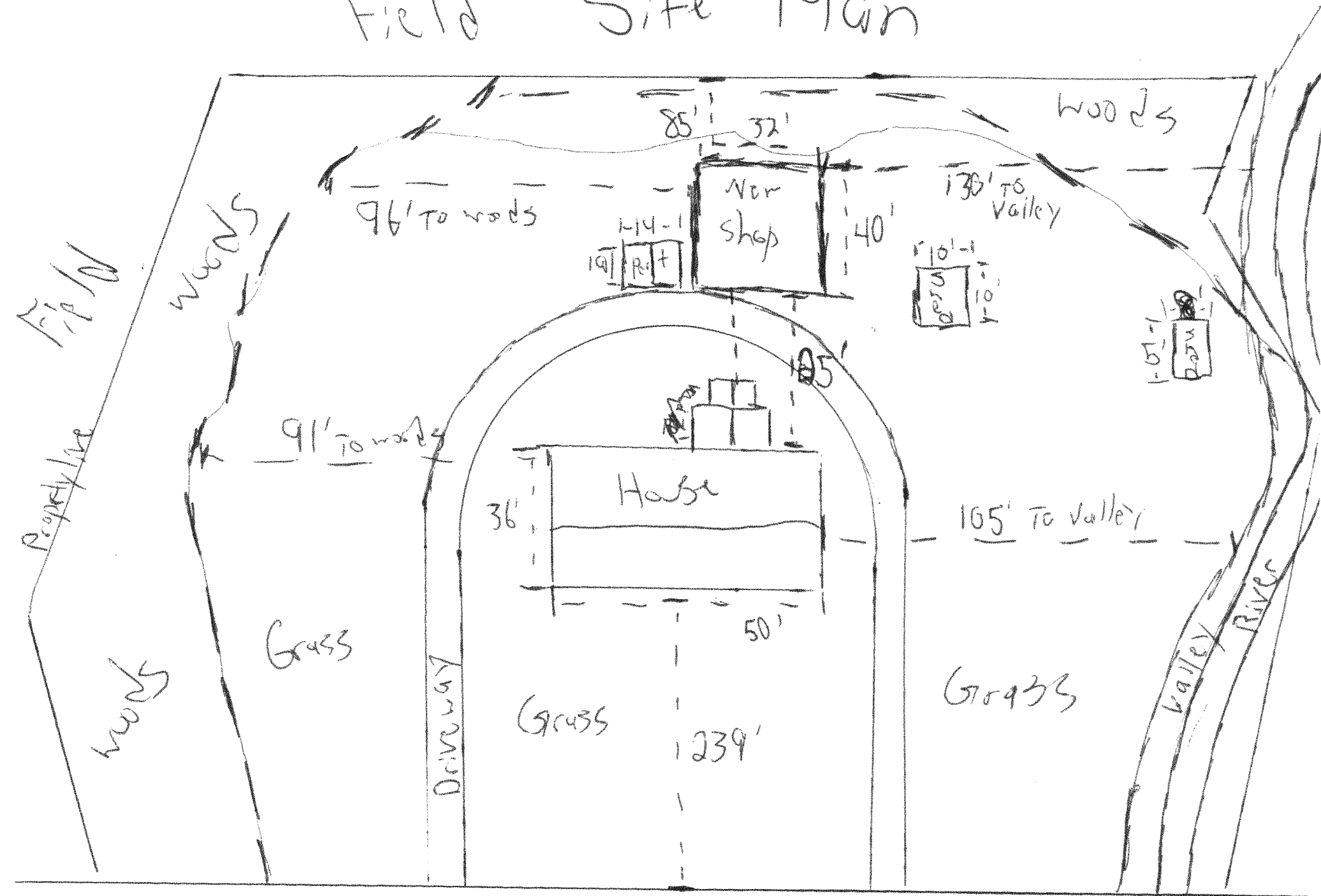
GENERAL CONDITIONS OF PERMIT

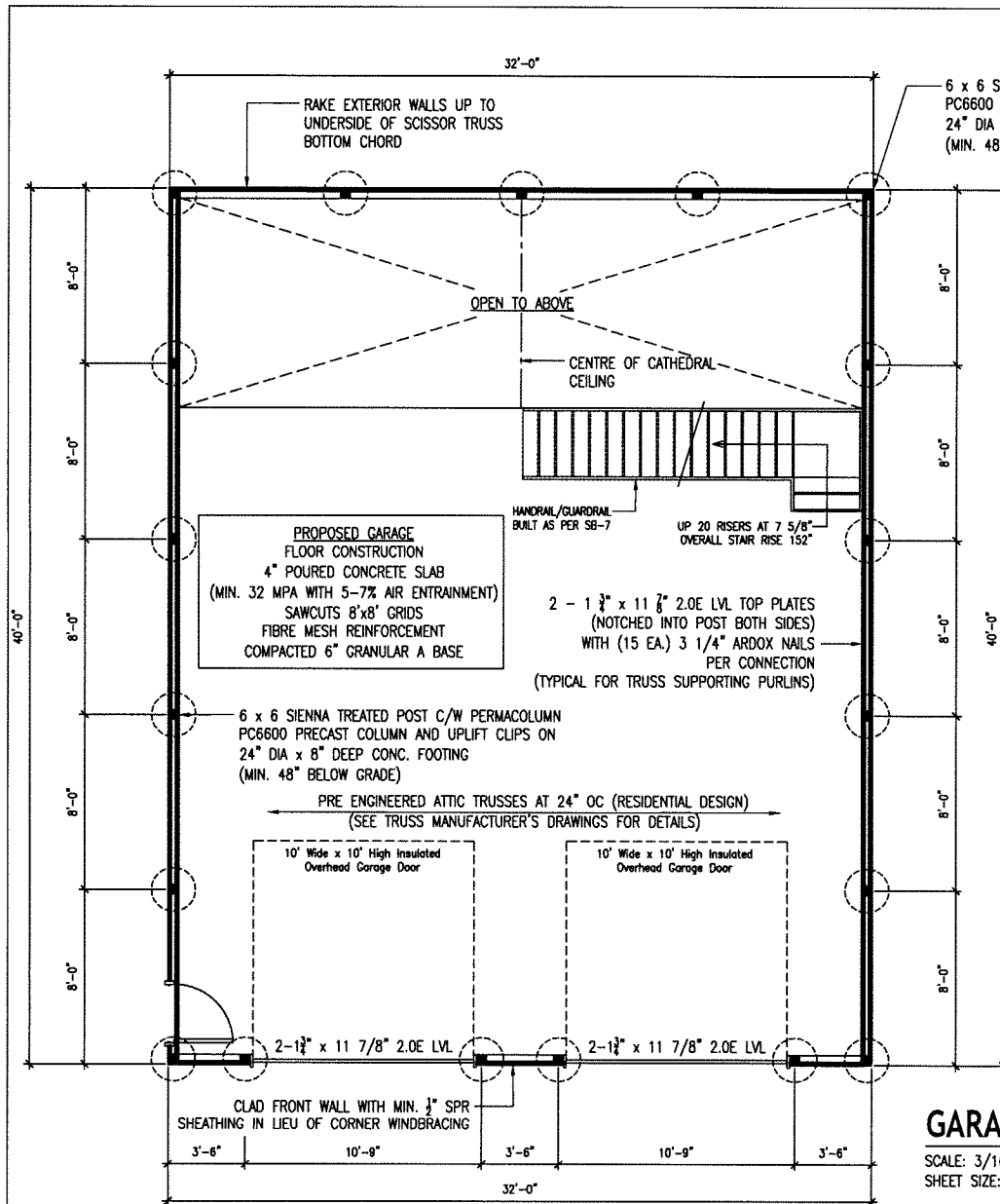
1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
 - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - a) the works are not in conformance with the intent of the permission granted;
 - b) the information presented to obtain a permit is false;
 - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.

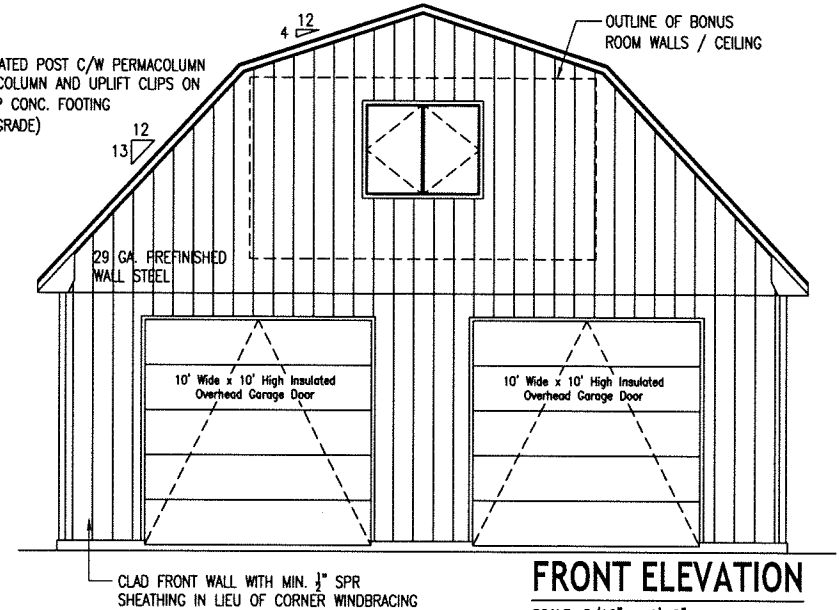
Field Site Plan





GARAGE FLOOR PLAN

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'x17'

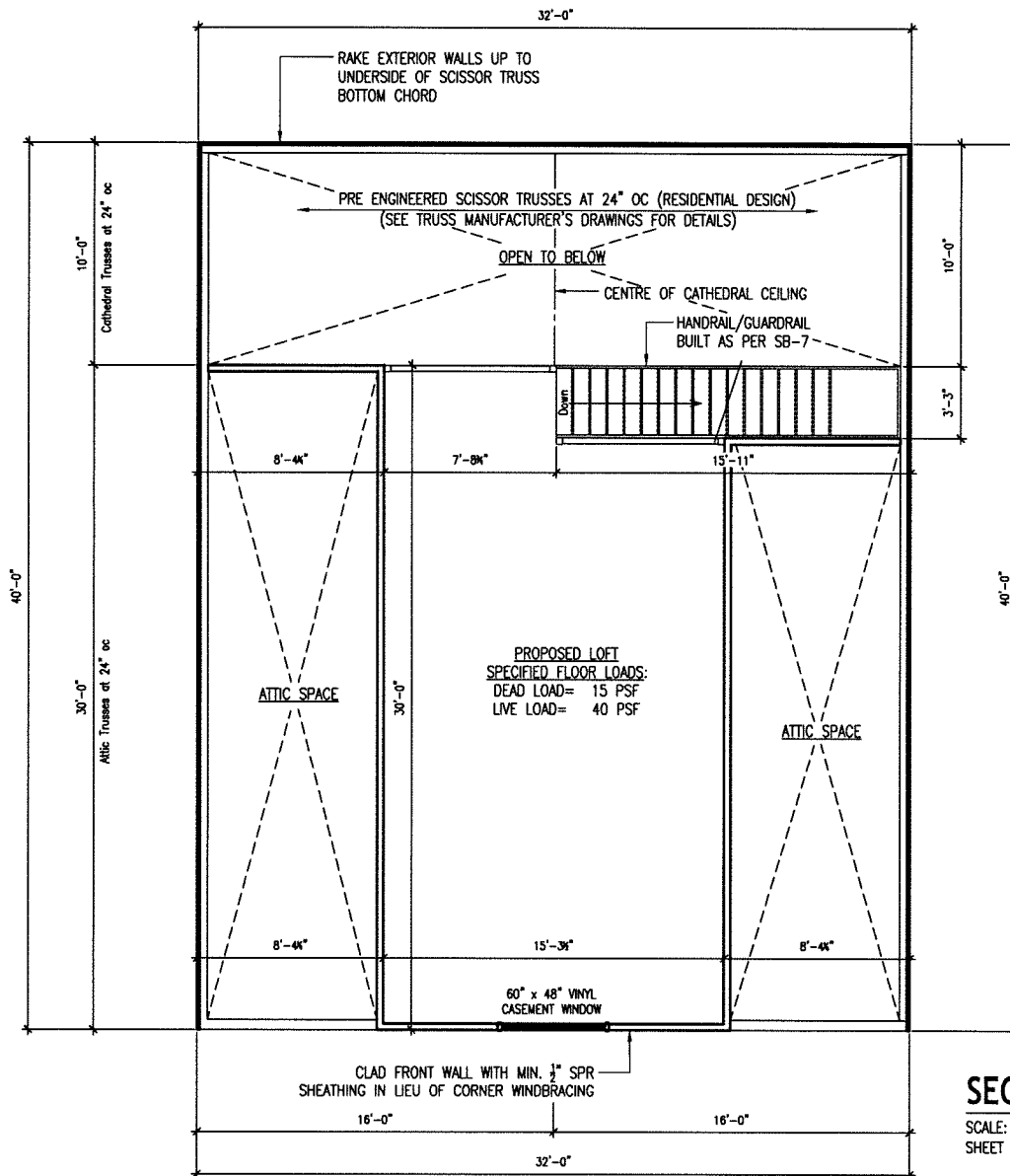


FRONT ELEVATION

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'x17'

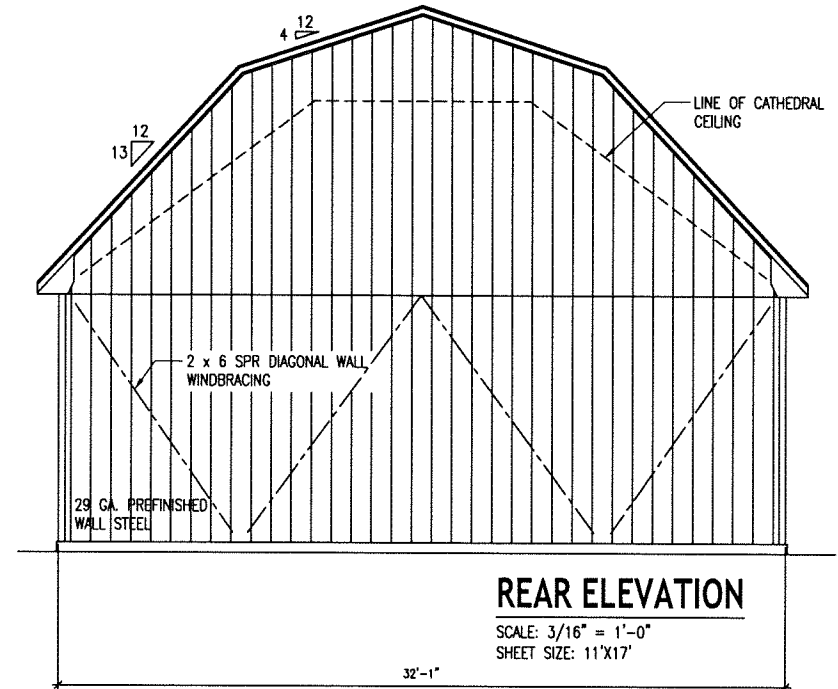


REVISIONS	ISSUED FOR	DATE
	OWNER APPROVAL/ISSUING POINT	JULY 13/2020
PROJECT		
32' x 40' POST FRAME GARAGE FOR ABE GIESBRECHT		
GARAGE PLAN & FRONT ELEVATION		
Y.C. LIU ENGINEERING KANSAS, PA 15		
DATE	DESIGNED	FILE NO.
C.L.	C.L.	20-175
REV	FILE NO.	DATE
20529	29635	JULY/20



SECOND FLOOR PLAN

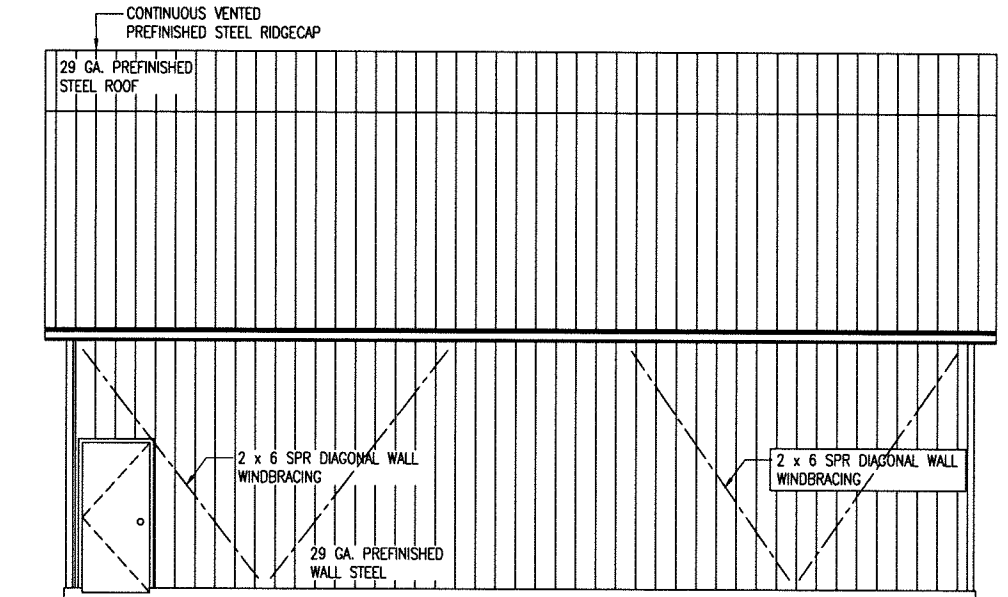
SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'



REVISIONS	ISSUED FOR	DATE
	OWNER APPROVAL/BUILDING PERMIT	JULY 13/ 2020
32' x 40' POST FRAME GARAGE FOR ABE GIESBRECHT		
SECOND FLOOR PLAN & REAR ELEVATION		
T.A. LEE ENGINEERING		
DESIGN	CHECKED	BY NO.
CL	CL	20-175
20529	29635	JULY/20

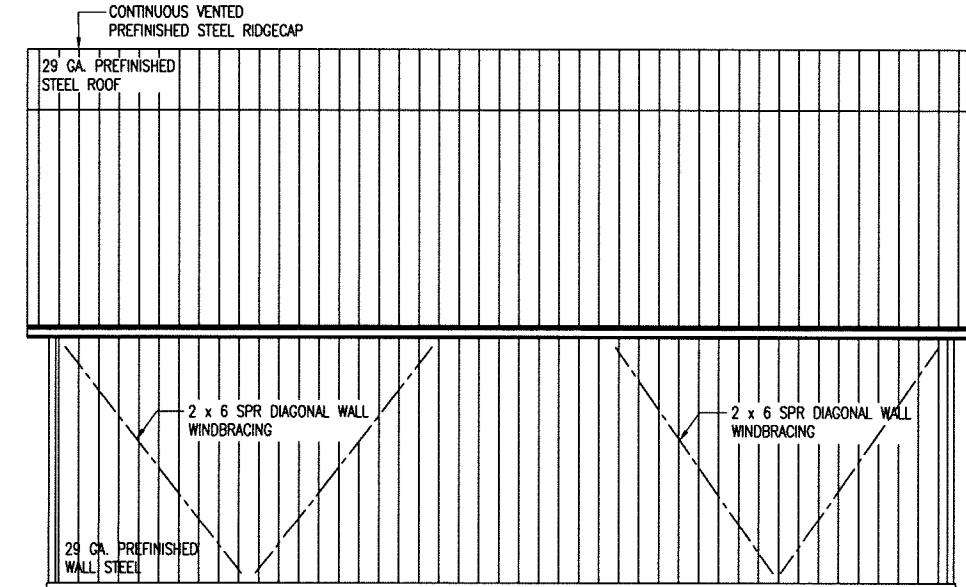
GENERAL NOTES

- 1.0 GENERAL
- 1.1 PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR FABRICATION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. SHOULD FIELD CONDITIONS OR DIMENSIONS VARY FROM DESIGN DRAWINGS.
- 1.2 THE LOCATION OF UTILITIES IS NOT SHOWN ON THESE DRAWINGS AND THE ONUS LIES UPON THE CONTRACTOR TO ASCERTAIN, AT THEIR OWN EXPENSE, THE EXACT LOCATION OF EACH UTILITY.
- 2.0 CODES
- 2.1 THE NATIONAL BUILDING CODE OF CANADA, 2010 EDITION, LATEST REVISIONS, AND THE BUILDING CODE OF ONTARIO 2012, ONT. REG. 403/97, LATEST REVISIONS, SHALL BE THE BASIS FOR DESIGN.
- 2.2 CONSTRUCTION OF ALL WORK SHALL CONFORM TO THE HEALTH AND SAFETY ACT ONT. REG. 213/91, LATEST REVISIONS.
- 3.0 CARPENTRY WORK
- 3.1 CARPENTRY WORK SHALL INCLUDE ALL LABOUR, EQUIPMENT AND MATERIALS REQUIRED TO INSTALL ALL NAILERS, BLOCKING, INSTALLATION OF DOORS, FRAMES AND HARDWARE, PLYWOOD SHEATHING, EXHAUST FAN CURB BLOCKING, ALL NAILERS, FASTENERS, BOLTS, WASHERS, NUTS AND SCREWS.
- 3.2 ALL FRAMING LUMBER TO BE S-P-F No. 2 OR BETTER TO SIZES AND SPACINGS SHOWN ON THE DRAWINGS. PRESSURE TREATED LUMBER TO BE IN ACCORDANCE TO CSA 080-M89 AND 080.1-M89, INTERIOR PLYWOOD TO BE G.I.S. GRADE B FIR PLYWOOD IN ACCORDANCE WITH CSA 0121-M78, TO THICKNESS AS SHOWN ON DRAWINGS.
- 3.3 SUPPLY ALL ROUGH HARDWARE WHERE REQUIRED, NAILS, SPIKES, SCREWS, BOLTS, MECHANICAL FASTENERS, EXPANSION BOLTS, ETC., TO BE OF SUFFICIENT SIZE AND TYPE TO RIGIDLY SECURE ALL MEMBERS IN PLACE.
- 3.4 INSTALL HOLLOW METAL DOOR FRAMES PLUMB, RIGID AND IN TRUE ALIGNMENT. INSTALL DOORS IN LOCATIONS INDICATED ON DRAWINGS COMPLETE WITH HARDWARE.
- 4.0 ROOF LOADS
- T.C. LIVE = 28.4 psf
T.C. DEAD = 5.0 psf
B.C. LIVE = 10.0 psf
B.C. DEAD = 7.0 psf
- ATTIC FLOOR:
LIVE = 40.0 psf
DEAD = 10.0 psf
CEILING = 5.0 psf
- 5.0 CONCRETE
- FOOTINGS -67 MPa (PRECAST "COOKIE")
INTERIOR CONC. SLAB -32 MPa
EXTERIOR CONC. SLAB -32 MPa (w/6% AIR)
- 5.1 SOIL NET BEARING PRESSURE TO BE 3000 psf (DENSE-COMPACT SAND OR STIFF CLAY-TO BE FIELD VERIFIED BY OTHERS)
- ALL FOOTINGS TO BE PLACED ON UNDISTURBED SOIL. IF SOIL IS POORLY CONSOLIDATED OR DOES NOT MEET THE DESIGN BEARING PRESSURE, THE ENGINEER SHALL BE NOTIFIED.



LEFT ELEVATION

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'

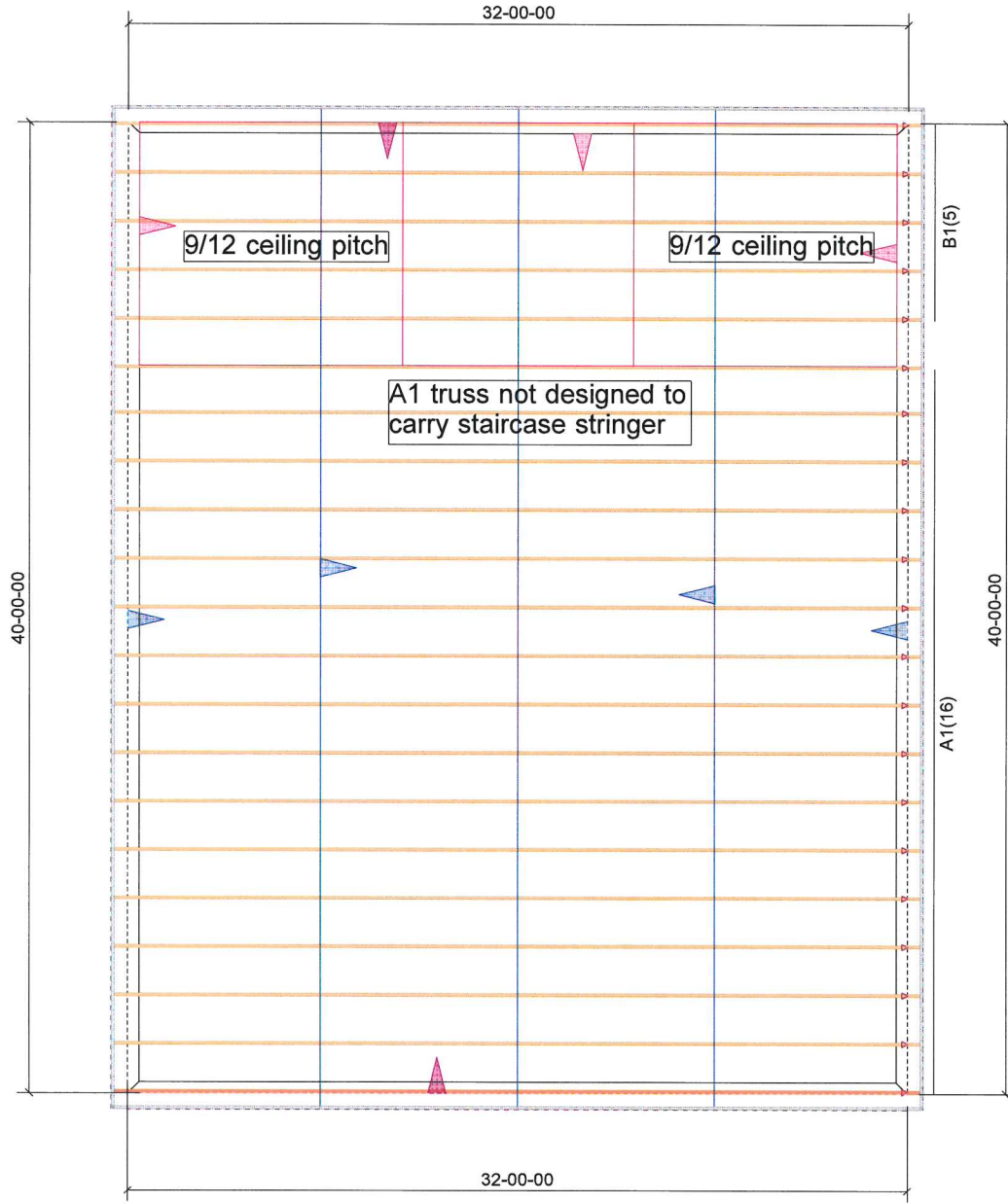


RIGHT ELEVATION

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'



REVISIONS	ISSUED FOR	DATE
	OWNER APPROVAL/ISSUING PERMIT	JULY 13/ 2020
DESCRIPTION		
32' x 40' POST FRAME GARAGE FOR ABE GIESBRECHT		
LEFT & RIGHT ELEVATIONS		
Y.C. LIU ENGINEERING		
20529 29635 JULY/20 5-3 of 4		



Estimation			
Name	Selection	Formula	Calculation
Horizontal Overhang Lines	1st Floor	Horizontal Overhang Lines	82.67
Raked Overhang Lines	1st Floor	Raked Overhang Lines	84.68
Roof Area	1st Floor	Roof Area	1750.16

Job Number: Q2000470

Customer: Springfield Rona

Job Name: Abe Giesbrecht - 115 Lakeshore

Sales Rep: John Schultz

Site Address: 115 Lakeshore Rd

Designer: Nick Kerkvliet

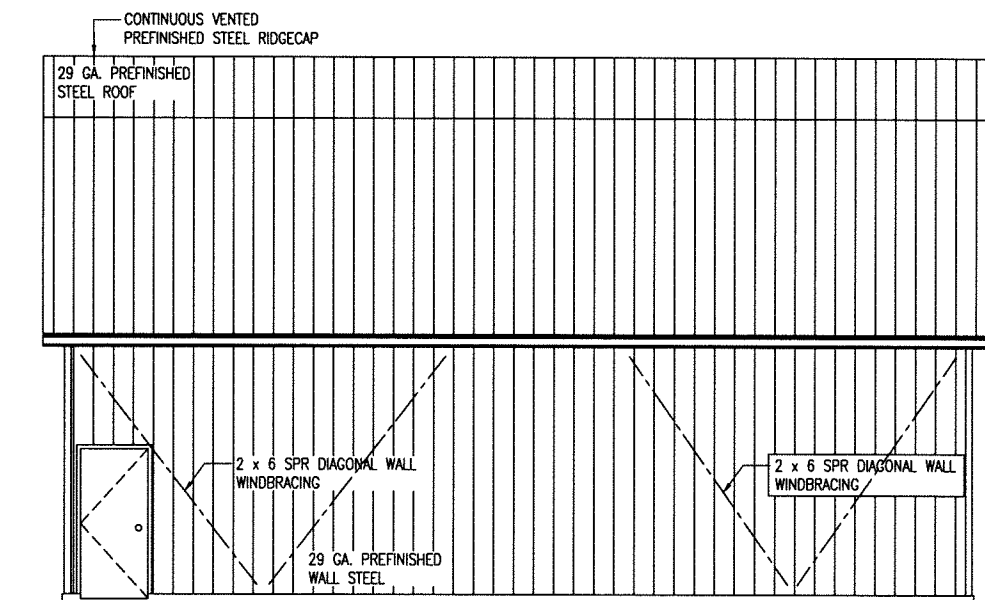
City, Pr: Clear Creek, ON

Date: 2020-05-29



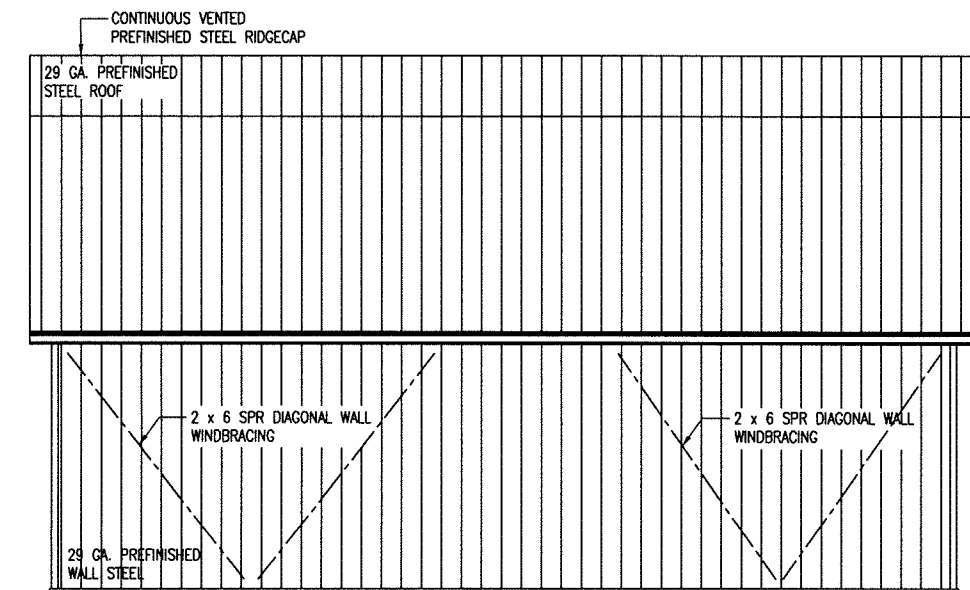
1.0 GENERAL

- | | | | |
|-----|---|-----|--|
| 1.1 | PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR FABRICATION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. SHOULD FIELD CONDITIONS OR DIMENSIONS VARY FROM DESIGN DRAWINGS. | 3.3 | SUPPLY ALL ROUGH HARDWARE WHERE REQUIRED. NAILS, SPIKES, SCREWS, BOLTS, MECHANICAL FASTENERS, EXPANSION BOLTS, ETC., TO BE OF SUFFICIENT SIZE AND TYPE TO RIGIDLY SECURE ALL MEMBERS IN PLACE. |
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| 2.0 | <u>CODES</u> | 4.0 | <u>ROOF LOADS</u> |
| 2.1 | THE NATIONAL BUILDING CODE OF CANADA, 2010 EDITION, LATEST REVISIONS, AND THE BUILDING CODE OF ONTARIO 2012. ONT. REG. 403/97, LATEST REVISIONS, SHALL BE THE BASIS FOR DESIGN. | | T.C. LIVE = 28.4 psf
T.C. DEAD = 5.0 psf
B.C. LIVE = 10.0 psf
B.C. DEAD = 7.0 psf |
| 2.2 | CONSTRUCTION OF ALL WORK SHALL CONFORM TO THE HEALTH AND SAFETY ACT ONT. REG. 213/91, LATEST REVISIONS. | | ATTIC FLOOR:
LIVE = 40.0 psf
DEAD = 10.0 psf
CEILING = 5.0 psf |
| 3.0 | <u>CARPENTRY WORK</u> | | |
| 3.1 | CARPENTRY WORK SHALL INCLUDE ALL LABOUR, EQUIPMENT AND MATERIALS REQUIRED TO INSTALL ALL NAILERS, BLOCKING, INSTALLATION OF DOORS, FRAMES AND HARDWARE, PLYWOOD SHEATHING, EXHAUST FAN CURB BLOCKING, ALL NAILERS, FASTENERS, BOLTS, WASHERS, NUTS AND SCREWS. | 5.0 | <u>CONCRETE</u>
FOOTINGS -47 MPa (PRECAST "COOKIE")
INTERIOR CONC. SLAB -32 MPa
EXTERIOR CONC. SLAB -32 MPa (w/6% AIR) |
| 3.2 | ALL FRAMING LUMBER TO BE S-P-F No. 2 OR BETTER TO SIZES AND SPACINGS SHOWN ON THE DRAWINGS.
PRESSURE TREATED LUMBER TO BE IN ACCORDANCE TO CSA M1639 AND D80-1-M489. INTERIOR PLYWOOD TO BE GL-15, GRADE B FIR PLYWOOD IN ACCORDANCE WITH CSA 0121-M78, TO THICKNESS AS SHOWN ON DRAWINGS. | 5.1 | SOIL NET BEARING PRESSURE TO BE 3000 psf (DENSE-COMPACTED SAND OR STIFF CLAY-TO BE FIELD VERIFIED BY OTHERS) - ALL FOOTINGS TO BE PLACED ON UNDISTURBED SOIL. IF SOIL IS POORLY CONSOLIDATED OR DOES NOT MEET THE DESIGN BEARING PRESSURE, THE ENGINEER SHALL BE NOTIFIED. |



LEFT ELEVATION

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'




REVISIONS	ISSUED FOR	DATE
	OWNER APPROVAL/ISSUING POINT	AUG 13/ 20

OWNER

32' x 40' POST FRAME GARAGE
FOR ABE GIESBRECHT

LEFT & RIGHT ELEVATIONS



T.C. LEE ENGINEERING
INC.

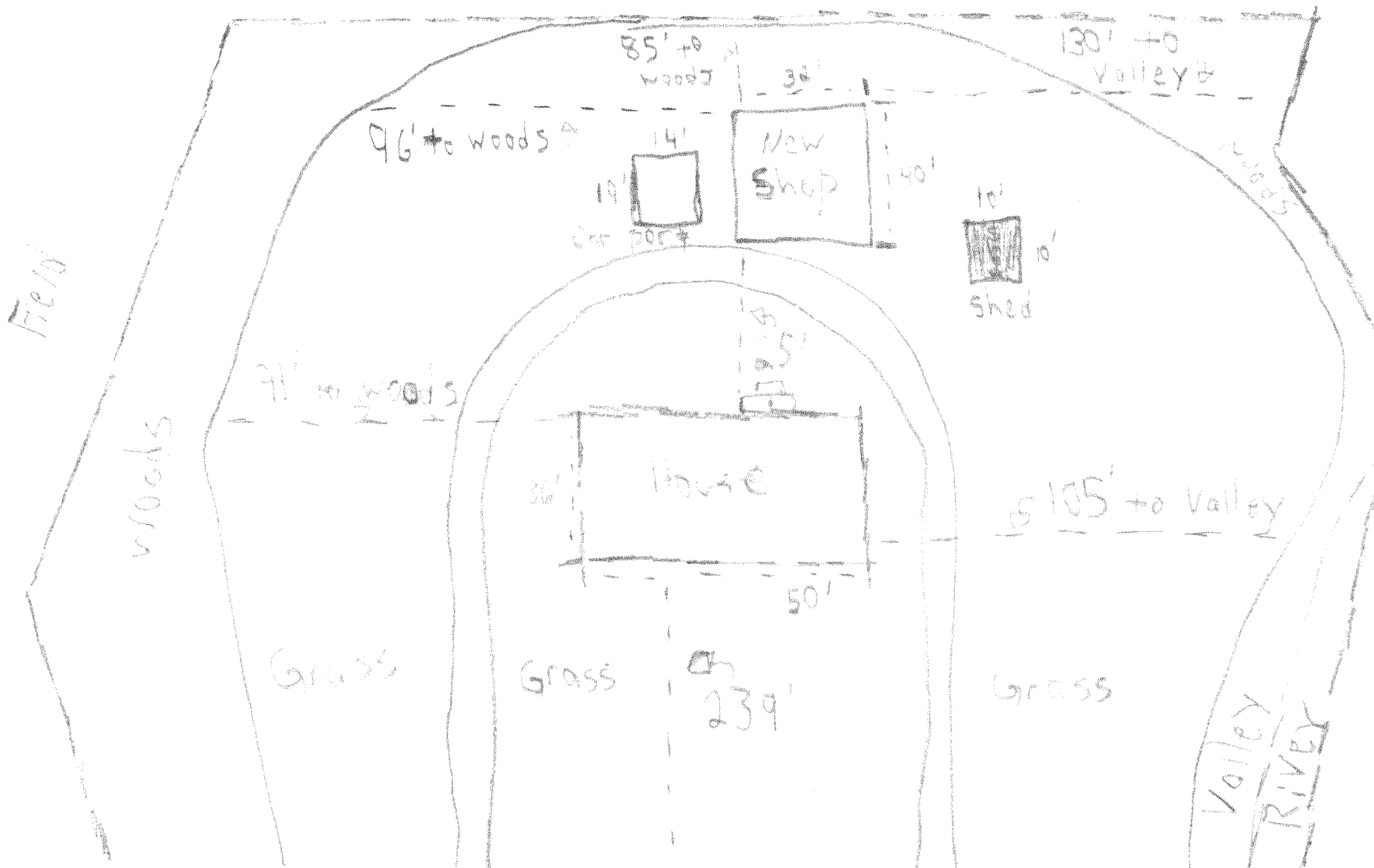
REGISTERED ARCHITECT
STATE OF CALIFORNIA
LICENSE NO. 15555

ISSUE	REVISION	FILE NO.	DATE
C.L.	C.L.	20-175	3
205/9	205/5	JUL 17/20	5-3-20

4.33 acres
in total

Site Plan

E. 1/8



Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>Norfolk County</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name <u>115 Lakeshore Road</u>		Unit number	Lot/con. <u>2</u>
Municipality <u>Norfolk County</u>	Postal code <u>N0T 1T0</u>	Plan number/other description	
Project value est. \$ <u>55,000</u>		Area of work (m ²) <u>1,280 sq feet</u>	
B. Purpose of application			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building <u>Shop</u>		Current use of building	
Description of proposed work <u>Building a pole barn at 40x32. Metal clad on outside.</u>			
C. Applicant Applicant is: <input checked="" type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name <u>Giesbraut</u>		First name <u>Alce</u>	Corporation or partnership
Street address <u>115 Lakeshore Road</u>		Unit number <u>2</u>	Lot/con. <u>2</u>
Municipality <u>Norfolk</u>	Postal code <u>N0T 1T0</u>	Province <u>ON</u>	E-mail <u>UVbraut@gmail.com</u>
Telephone number <u>(519)-615-1518</u>		Fax ()	Cell number <u>(519)-615-1518</u>
D. Owner (if different from applicant)			
Last name		First name	Corporation or partnership
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()		Fax ()	Cell number ()

E. Builder (optional)				
Last name		First name		Corporation or partnership (if applicable)
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()		Cell number ()
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
<p><u>He Giesbracht</u> declare that:</p> <p>(print name)</p> <p>1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.</p> <p>2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.</p> <p><u>5/29/26</u> Date <u>[Signature]</u> Signature of applicant</p>				

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, M5G 2E5 (416) 585-6666.



Zoning Deficiency

PROPERTY INFORMATION

Address: 115 Lakeshore Road

Legal Description:

Roll Number: 331054303012600

Application #:

Information Origins: drawings and site plan from applicant

Hazard Land (HL)

11.1 No buildings or structures are permitted in a hazard land zone. This parcel has existing SFD and accessory buildings. The applicant wants to add another accessory structure to the parcel.

Accessory Structure

- a) building height
- b) minimum front yard
- c) minimum exterior side yard
- d) minimum interior side yard

e) minimum rear yard

g) Lot area (existing)

i) lot coverage

ii) usable floor area

Comments

REQUIRED

no zoning

provisions

for HL

zones

PROPOSED		UNITS
7.50		m
91.00		m
		m
30.00	R	m
30.00	L	m
10.00		m
17968.00		sqm
		%
197.00		m.sq

existing accessory total 35sqm in useable floor area. Requesting a new accessory with a useable floor area of 162sqm. Total accessory structures on the property will be 197sqm in useable floor area. Relief of the zoning bylaw is required to allow an accessory building on the parcel.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

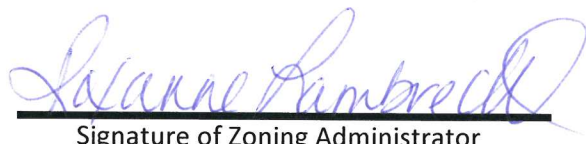
Prepared By:

Roxanne Lambrecht

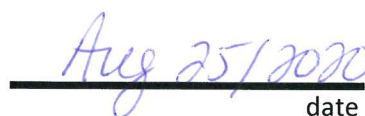
I have read and understand the above.

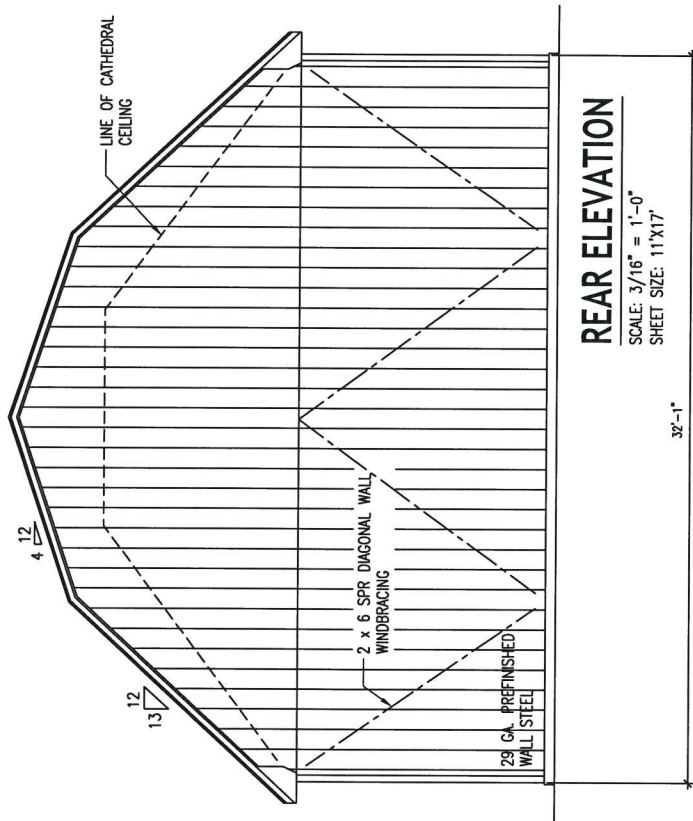
Signature of owner or authorized agent

date



Signature of Zoning Administrator


date



REAR ELEVATION


SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'

bottom floor:
1200 sq ft.
119 sqm

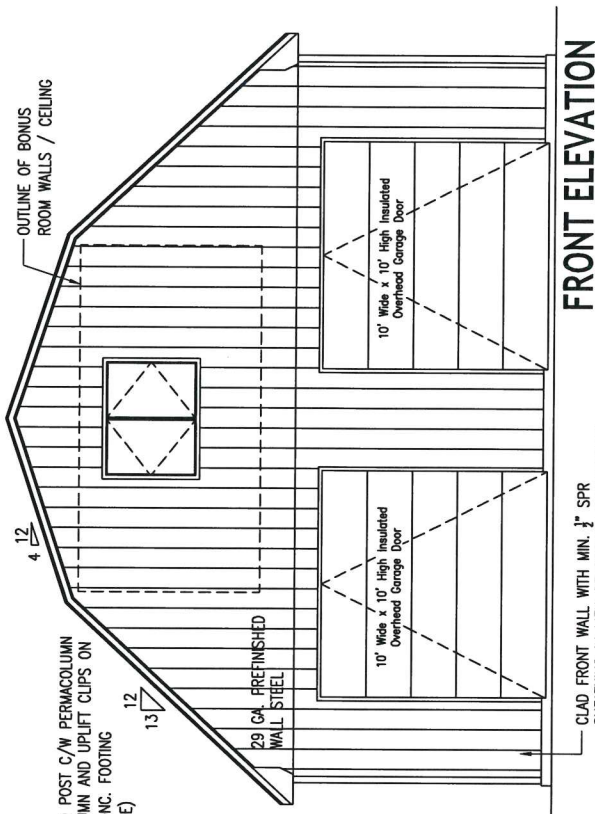
$$\text{Total} = 119 + 43$$

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"
SHEET SIZE: 11'X17'

PERMITS	32' x 40' POST FRAME GARAGE FOR ABE GIESBRECHT	OWNER: ABE GIESBRECHT, GARAGE																
APPROVALS	SECOND FLOOR PLAN & REAR ELEVATION	V.A. LUTZ ARCHITECTURE 																
REMARKS		<table><tr><th>DATE</th><th>REVISION</th><th>BY</th><th>CHKD BY</th></tr><tr><td>04/11/20</td><td>2</td><td>ML</td><td>ML</td></tr><tr><td>04/11/20</td><td>1</td><td>ML</td><td>ML</td></tr><tr><td>04/11/20</td><td>0</td><td>ML</td><td>ML</td></tr></table> <p>20529 29635 JULY/20 5-2 of 4</p>	DATE	REVISION	BY	CHKD BY	04/11/20	2	ML	ML	04/11/20	1	ML	ML	04/11/20	0	ML	ML
DATE	REVISION	BY	CHKD BY															
04/11/20	2	ML	ML															
04/11/20	1	ML	ML															
04/11/20	0	ML	ML															
DATE	ISSUED FOR	DATE																
	ORDER APPROVAL/ISSUE PERMIT																	





GARAGE FLOOR PLAN

[illegible]

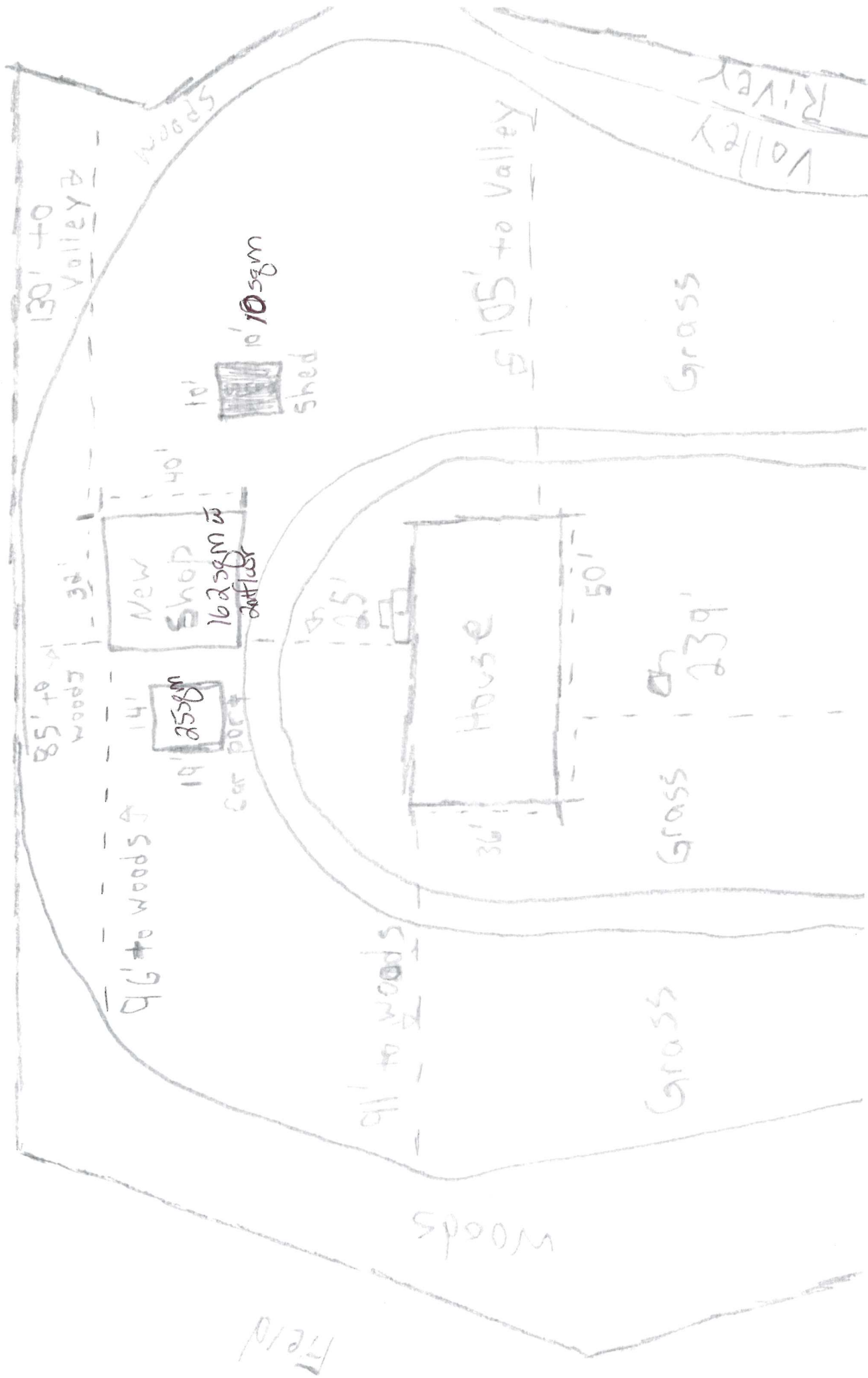
1.0	<u>GENERAL</u>	
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[illegible]

4.33 acres
in total

Site Plan

2124

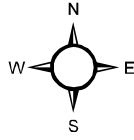


MAP 1

File Number: ANPL2020168

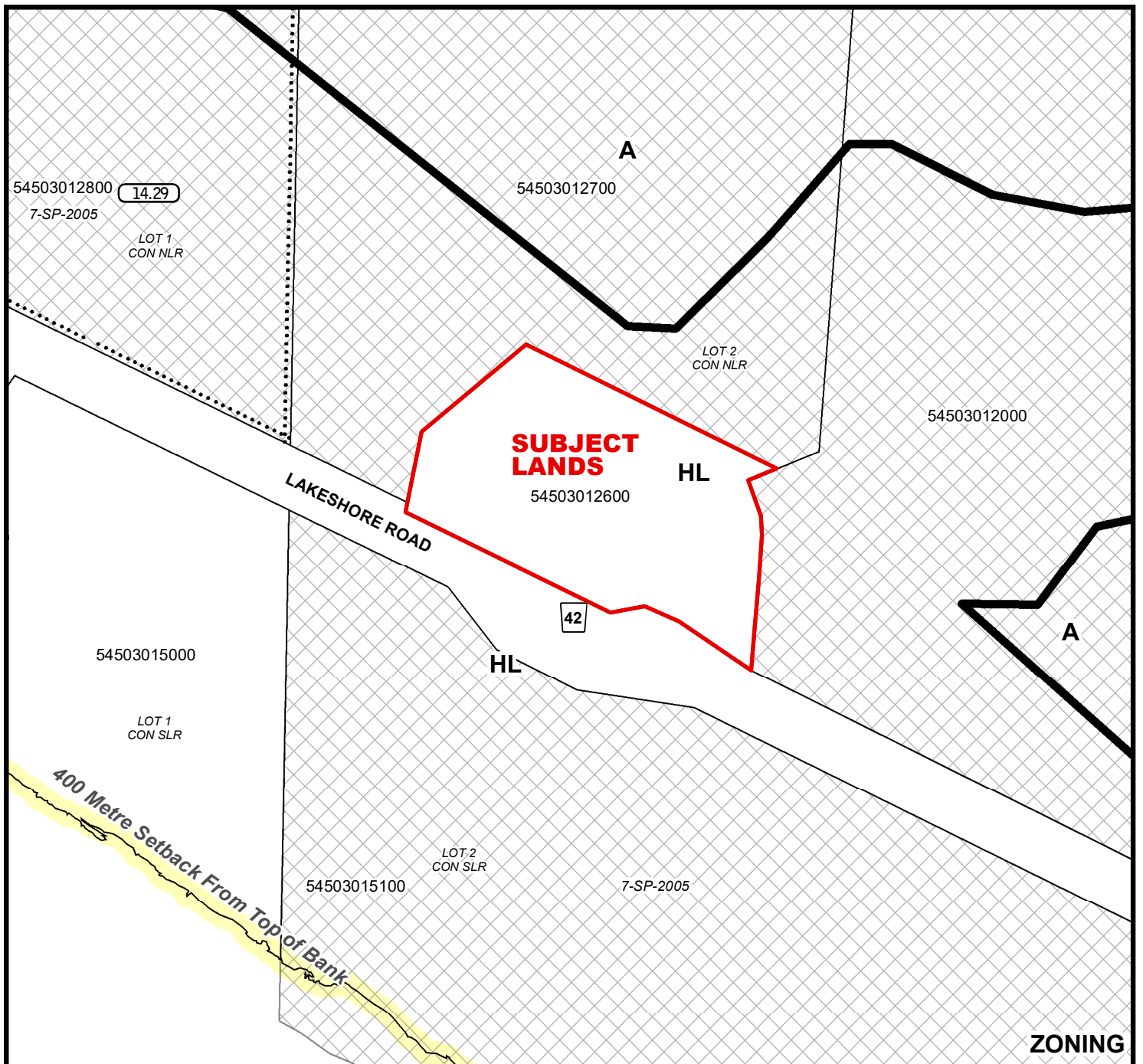
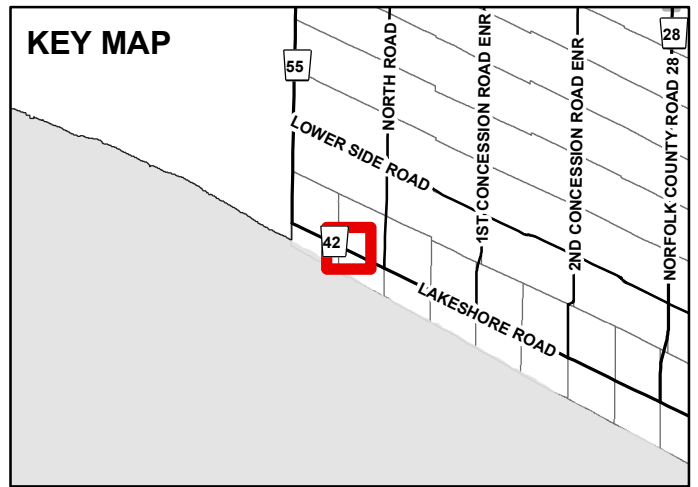
Geographic Township of

HOUGHTON



1:3,000

20 10 0 20 40 60 80 Meters



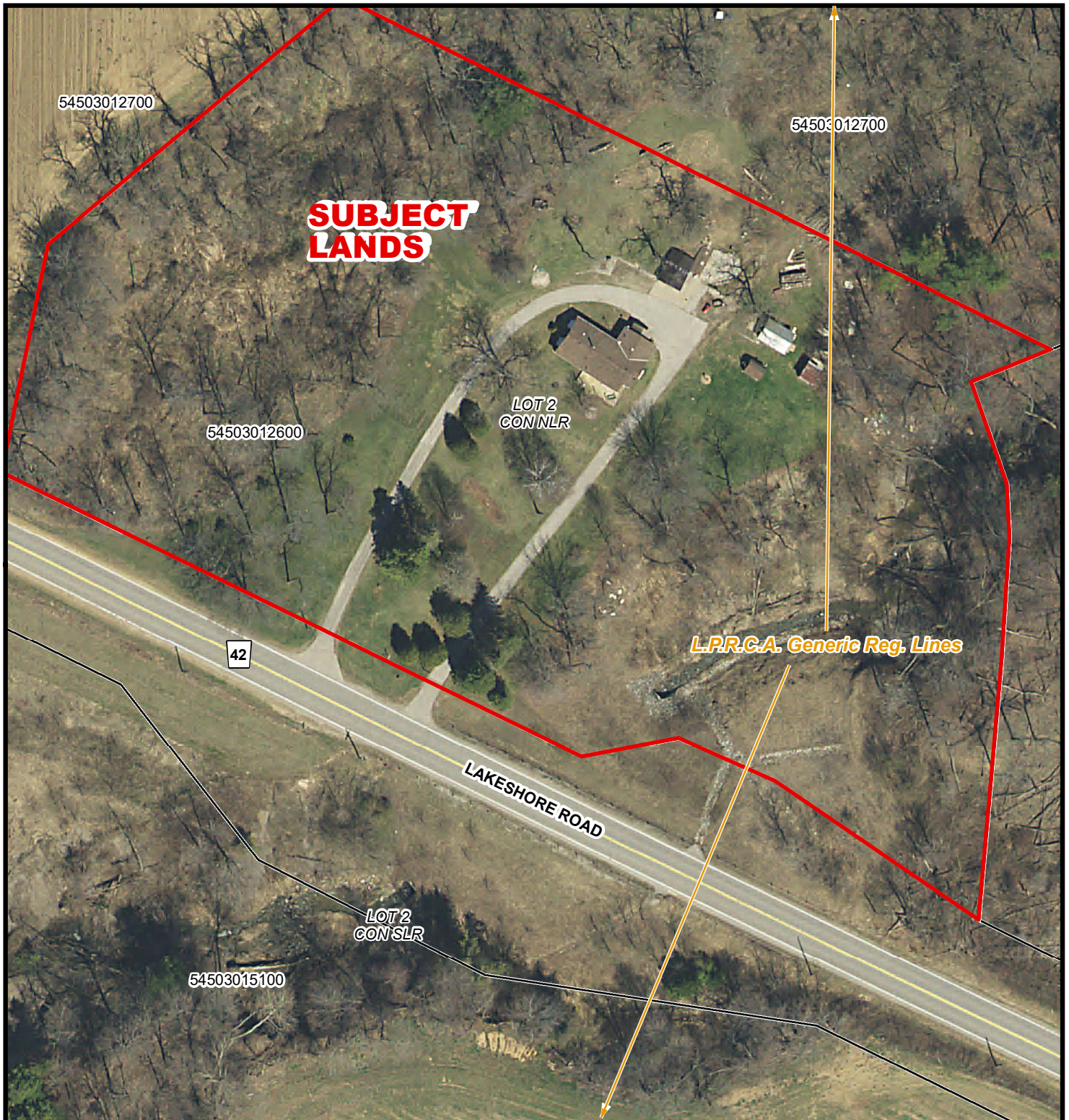
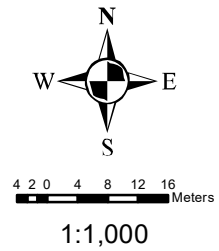
ZONING

2020-09-03

MAP 2

File Number: ANPL2020168

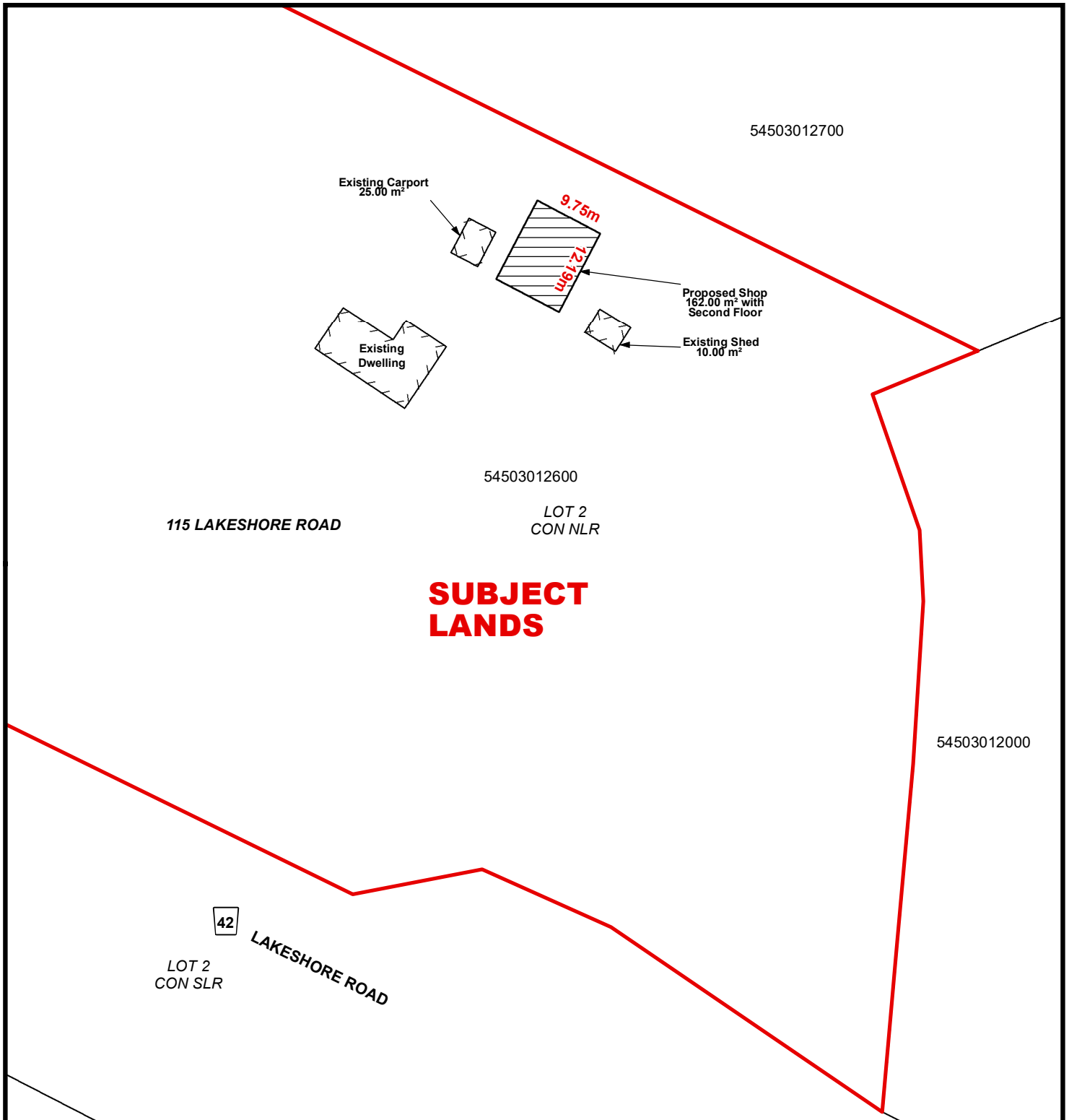
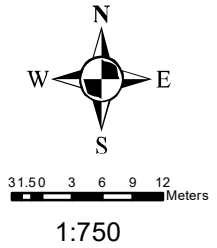
Geographic Township of HOUGHTON



MAP 3

File Number: ANPL2020168

Geographic Township of HOUGHTON



Geographic Township of HOUGHTON

