

For Office Use Only:

File Number ANP12021118
Related File Number _____
Pre-consultation Meeting _____
Application Submitted _____
Complete Application MAY 6, 2021

Application Fee ✓ 1560.00
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner Nicole Goodbrand
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 402-010-00800 0000

A. Applicant Information

Name of Owner Douglas Brazier

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 594 Queensway West.
Town and Postal Code Sincere Ont. N3Y 4S9
Phone Number 519 758 7811 519 426 4662
Cell Number _____
Email dc665@hotmail.com

Name of Applicant Douglas Brazier
Address 594 Queensway West.
Town and Postal Code Sincere ont N3Y 4S9
Phone Number 519 426-4662
Cell Number 519 758 7811
Email dc665@hotmail.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

CIBC. Burford ont

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 16 in the Gore Township of Woodhouse
annexed to Simcoe now in Norfolk County.
Plan 37R-8384 Area 2.207 Ac.

Municipal Civic Address: 544 Queensway West.

Present Official Plan Designation(s):

Present Zoning: Residential / Agriculture

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.
6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:
8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:
Farm land Agriculture
10. Are there any easements or restrictive covenants affecting the subject lands?
☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	<u>n/a</u>	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

2. Please outline the relief requested (assistance is available):

~~109 m²~~
See attached
cover letter

116 sq.m. 2.25 acres
Deficiency as confirmed via phone
with N. Goodband on May 6 2021.

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Because we need the area to work
See attached cover letter.

4. Description of land intended to be severed in metric units:

Frontage:	_____
Depth:	_____
Width:	_____
Lot Area:	<u>n/a</u>
Present Use:	_____
Proposed Use:	_____
Proposed final lot size (if boundary adjustment):	_____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

N/A

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

N/A

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

N/A

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

N/A

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: N/A
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: N/A
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: N/A
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property N/A

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown previous owner
If yes, specify the uses (for example: gas station, or petroleum storage):

N/A

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown N/A

3. Provide the information you used to determine the answers to the above questions:

N/A previous owner

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

N/A

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

~~N/A~~

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

~~N/A~~

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

N/A

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

N/A

N/A

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☒ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☒ Individual wells

- ☐ Communal wells
☐ Other (describe below)

~~15/17~~

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

~~15/17~~

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)

- ☒ Open ditches

~~15/17~~

2. Existing or proposed access to subject lands

- ☐ Municipal road
☐ Unopened road
- ☒ Provincial highway
☐ Other (describe below)

~~15/17~~

Name of road/street:

Hwy #3

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

~~15/17~~

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

see attached

~~15/17~~

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

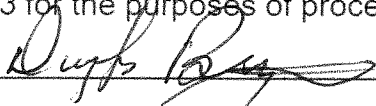
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.


Owner/Applicant/Agent Signature

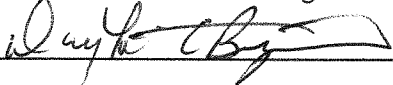
April 16/2021
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Douglas Brainer am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner

April 16/2021
Date

Owner

Date

K. Declaration

I, Douglas Brazier of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

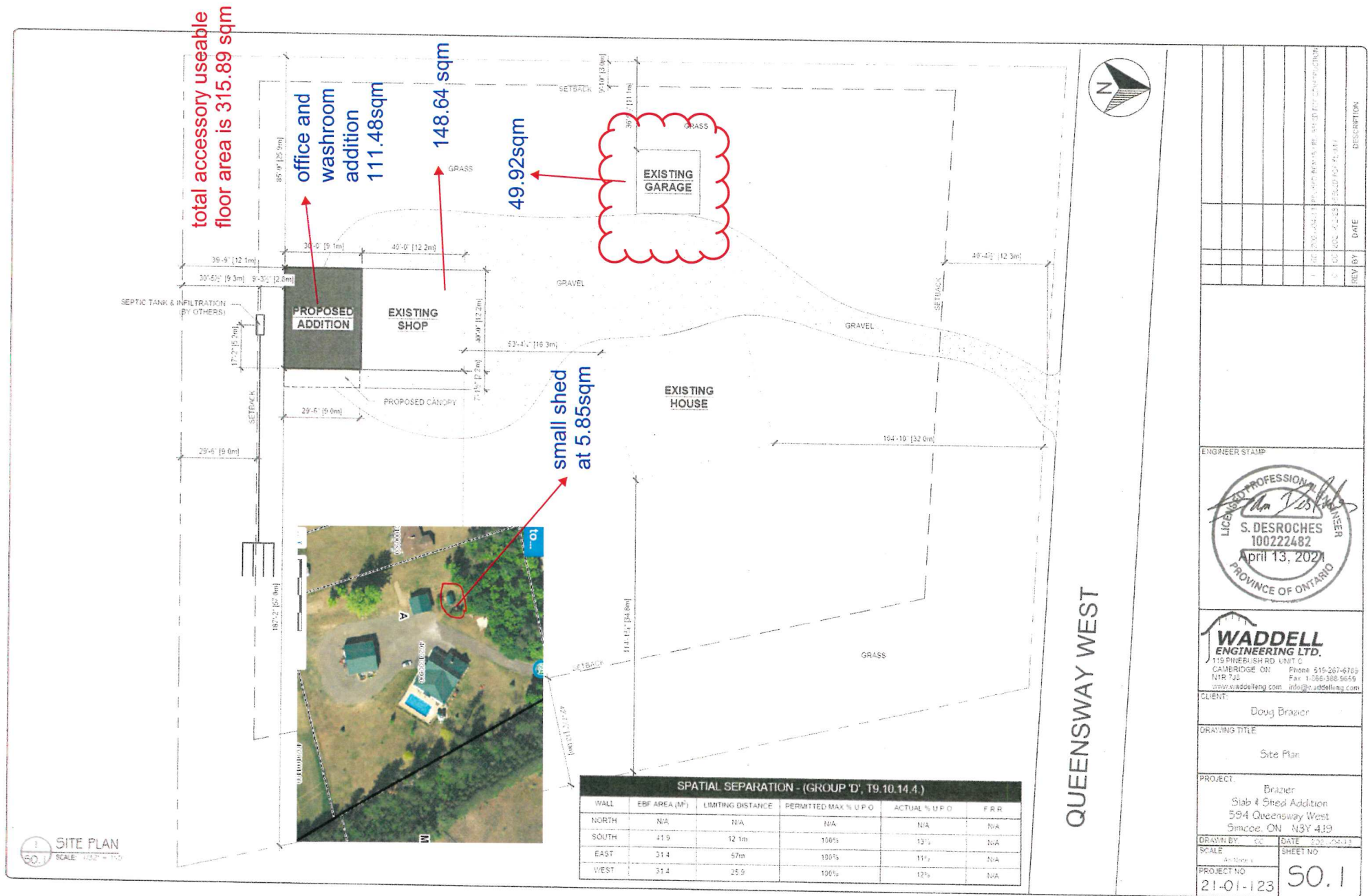
This 23rd day of APRIL, 2021

A.D., 20



Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.

A Commissioner, etc.



GENERAL

- DESIGN & CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
 - NATIONAL BUILDING CODE
 - ONTARIO BUILDING CODE
 - LOCAL REGULATIONS
 - OHSA REGULATIONS
- THE STRUCTURAL ENGINEERING REVIEW BY WADDELL ENGINEERING LTD (WEL) IS FOR THE STRUCTURAL ITEMS NOTED ON THE STAMPED DRAWINGS FOR WHICH THERE ARE NO ONTARIO BUILDING CODE (OBC) PART 9 PROVISIONS
- THE SEALED DRAWINGS ARE ONLY FOR USE BY THE PARTY WITH WHOM WEL HAS ENTERED INTO A CONTRACT (THE CLIENT), AND ARE NOT TO BE USED BY OTHERS
- WEL'S REVIEW IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AT THE TIME OF OUR REVIEW. WEL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS INFORMATION. IT IS THE CLIENT'S RESPONSIBILITY TO INFORM US OF ANY CHANGES, ADDITIONS OR CORRECTIONS REQUIRED ON OUR DRAWINGS.
- THIS SPECIFICATION SHEET IS TO SUPPLEMENT THE STAMPED DRAWINGS AND OBC PART 9 REQUIREMENTS. PLEASE CONTACT THE LOCAL BUILDING DEPARTMENT OR WEL IF FURTHER CLARIFICATION IS REQUIRED.
- WEL ASSUMES THAT ALL REQUIRED INSPECTIONS WILL BE DONE BY THE LOCAL BUILDING DEPARTMENT. IF WEL IS REQUIRED TO PERFORM AN INSPECTION, CALL (519) 267-6769, ALLOW 24 HOURS NOTICE FOR ALL INSPECTIONS.
- NO CHANGES SHALL BE MADE TO THE STAMPED DRAWINGS WITHOUT NOTIFYING WEL PRIOR TO MAKING THOSE CHANGES.
- THE CLIENT SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR TEMPORARY BRACING AND SHORING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS NOTED ON DRAWINGS.

WOOD-FRAME CONSTRUCTION

- ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23 U.N.O. ON THE STAMPED DRAWINGS.
- ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH Fb=2950 OR BETTER. FASTER MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" MIN. BEARING LENGTH AT ENDS U.N.O.
- ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND STAMPED DRAWINGS TO WEL AND THE LOCAL BUILDING DIVISION.
- ENSURE THE EXTERIOR WALLS ARE BRACED AS PER OBC 9.23.10.2 TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
- PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
 - AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER OBC TABLE 5.23.3.4).
- ALL WOOD COLUMNS SHALL CONFORM TO OBC 9.17 U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF BEAM/GIRDER TRUSS UNDER ALL BEAM/GIRDER TRUSSES MIN. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES. TYPICAL (TYP.)
- ALL LINTELS TO HAVE 1 JACK STUD. 1 KING STUD AT ENDS U.N.O.
- ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER.
- ALL GUARDS SHALL CONFORM TO OBC 9.8.8 AND SUPPLEMENTARY STANDARD SB-7 U.N.O.

ROOF AND CEILING FRAMING

- ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13 U.N.O. ON THE STAMPED DRAWINGS.
- ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLES A-3 TO A-7.
- WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
 - WEL ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DIAPHRAGM WALLS U.N.O. (I.E. ALL ROOF RAFTERS/JOISTS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.).
- WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.9 TO PREVENT OUTWARD MOVEMENT.
- OVER-FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" EACH WAY MIN. U.N.O.
- WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC 9.23.13.11 OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER OBC 9.23.1.1).
- IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH OBC PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND STAMPED DRAWINGS.

MATERIALS

- MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS U.N.O. ON THE STAMPED DRAWINGS:

CONCRETE	- OBC 9.3.1
REINFORCING STEEL	- CSA G30
LUMBER & WOOD PRODUCTS	- OBC 9.23
STEEL BEAMS	- OBC 9.23.4.3
STEEL COLUMNS	- OBC 9.17
ANCHOR BOLTS, STEEL PLATES & ROLLED SECTIONS	- CAN/CSA-G40.21
STEEL HSS & W-BEAMS	- CAN/CSA-G40.21M-350W
ALL OTHER STEEL	- CAN/CSA-G40.21M-360W
STRUCTURAL BOLTS	- ASTM A325

FOOTINGS AND FOUNDATIONS

- ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 UNLESS NOTED OTHERWISE (U.N.O.) ON THE STAMPED DRAWINGS.
- FOOTINGS TO BEAR ON SOUND SUB-GRADE SUITABLE FOR 75 kPa (1500 psf). ALLOWABLE SOIL BEARING CAPACITY. THE CLIENT IS TO INFORM WEL IF THE REQUIRED BEARING CAPACITY CANNOT BE ACHIEVED.
- FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED IN 9.4.6 (1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
- ENSURE ALL FOUNDATION WALLS ARE LATERALLY SUPPORTED PRIOR TO BACKFILLING.
- ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA-G30. REINFORCING BARS SHALL BE DEFORMED HI-BOND HARD GRADE WITH MINIMUM YIELD STRENGTH OF $F_y = 420 \text{ MPa}$.

STRUCTURAL STEEL

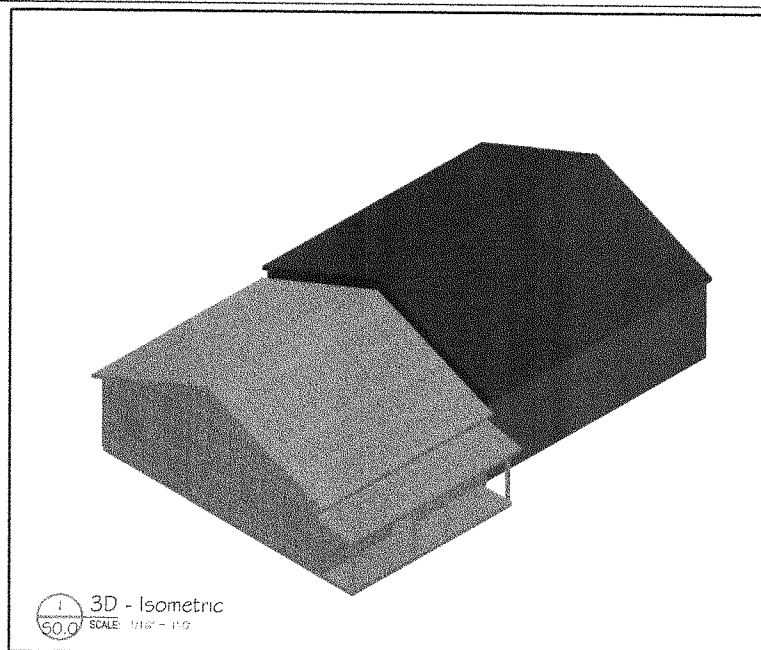
- ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO CSA STANDARD W59.
- PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
 - DROPPED STEEL BEAM - AS PROVIDED IN OBC 9.23.4.3 (3), OR A 2x6 TOP PLATE w/ 3/8" THRU BOLTS o/n NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" o.c., STAGGERED INTO THE TOP FLANGE & (2) 3/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
 - FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" DIA. THRU BOLTS AT 16" o.c. STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
- WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG FILLET WELDS @ 12" o.c. MIN. STAGGERED.
- ALL STEEL COLUMNS ARE TO BE LATERALLY SUPPORTED TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE, (2) 3/8" C BOLTS OR 2" OF 1/4" FILLET WELD MIN.) CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES. TYPICAL (TYP.)
- ALL STRUCTURAL STEEL TO BE FINISHED AS APPROVED BY GENERAL CONTRACTOR.

LOADING

- ROOF LOADING
 - SNOW LOAD = $C_b \times S_g + 0.4 \text{ kPa}$, NOT LESS THAN 1 kPa (20.9 psf), AS PER OBC 9.4.2.2.

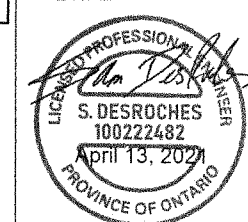
$C_b = 0.55$ FOR ROOF WIDTH > 4.3m
$C_b = 0.45$ FOR ROOF WIDTH <= 4.3m

 $S_g = 1.4H-50$ GROUND SNOW LOAD in kPa
 $S_g = 0.55 \times 2.5 + 0.4 = 1.78 \text{ kPa}$
 $C_{bz} = 0.46 \text{ kPa}$
 - DEAD LOAD = 0.29 kPa (6 psf) (ROOF RAFTERS/ JOISTS OR TRUSS TOP CHORDS)
- CEILING LOADING
 - ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY (CEILING JOISTS/TRUSS BOTTOM CHORDS) AS PER OBC 9.4.2.4 (1). TOTAL SPECIFIED LOAD = 0.35 kPa (7.3 psf).
 - ACCESSIBLE ATTIC - SEE FLOOR LOADING.
- FLOOR LOADING
 - LIVE LOAD = 1.92 kPa (40 psf). BEDROOMS = 1.44 kPa (30 psf).
 - DEAD LOAD = 0.57 kPa (12 psf).
- ACCESSIBLE EXTERIOR PLATFORMS/ DECKS, AS PER OBC 9.4.2.3.
 - LIVE LOAD = GREATER OF 1.92 kPa (40 psf) OR 500N/m² LOAD.
- GUARD LOADS AS PER OBC 2012 4.1.5.14 (1).



REV	DATE	DESCRIPTION
1	00	2021-04-13 REVISED BEAMS / PER-SHALED FOR CONSTRUCTION
0	00	2021-03-23 AS-BUILT FOR PERMIT

ENGINEER STAMP



WADDELL ENGINEERING LTD.
 115 PINEBUSH RD. UNIT C
 CAMBRIDGE, ON N1R 7J8
 Phone: 519-267-6769
 Fax: 1-866-308-9659
 www.waddelleng.com info@waddelleng.com

CLIENT: Doug Brazier

DRAWING TITLE: General Notes

PROJECT: Brazier
 Slab & Shed Addition
 594 Queensway West
 Simcoe, ON N3Y 4J9

DRAWN BY: CC DATE: 2021-04-13
 SCALE: As Noted SHEET NO: 50.0
 PROJECT NO: 21-01-123



Zoning Deficiency

Simcoe: St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: t St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 594 Queensway West

Legal Description:

Roll Number: 40201000800

Application #:

Information Origins: plot plan from applicant

Agricultural Zone (A)

Main Building		REQUIRED	PROPOSED	DEFICIENCY	UNITS
12.1 a) lot area			5605.00		sqm
Accessory Structure		REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) building height		8.00	> 8.0		m
b) minimum front yard		13.00	> 13.0		m
c) minimum exterior side yard		6.00		N/A	m
d) minimum interior side yard	Right	1.20	57.00		m
	Left	1.20	25.90		
e) minimum rear yard		1.20	12.10		m
f) through lot distance to street line		6.00		N/A	m
g) Lot coverage (Note: Proposed Area)					
i) lot coverage		10.00	5.63	N/A	%
ii) usable floor area		200.00	315.89	115.89	m.sq
3.36 Surplus Farm Dwelling Severance					
		200.00		N/A	m.sq
b) existing accessory buildings/structures					

Comments

only washroom and office is permitted in the addition of the accessory building, no other habitable rooms have been requested with this application

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Lambrecht

I have read and understand the above.

Signature of owner or authorized agent

Roxanne Lambrecht

Signature of Zoning Administrator

date

6-May-21

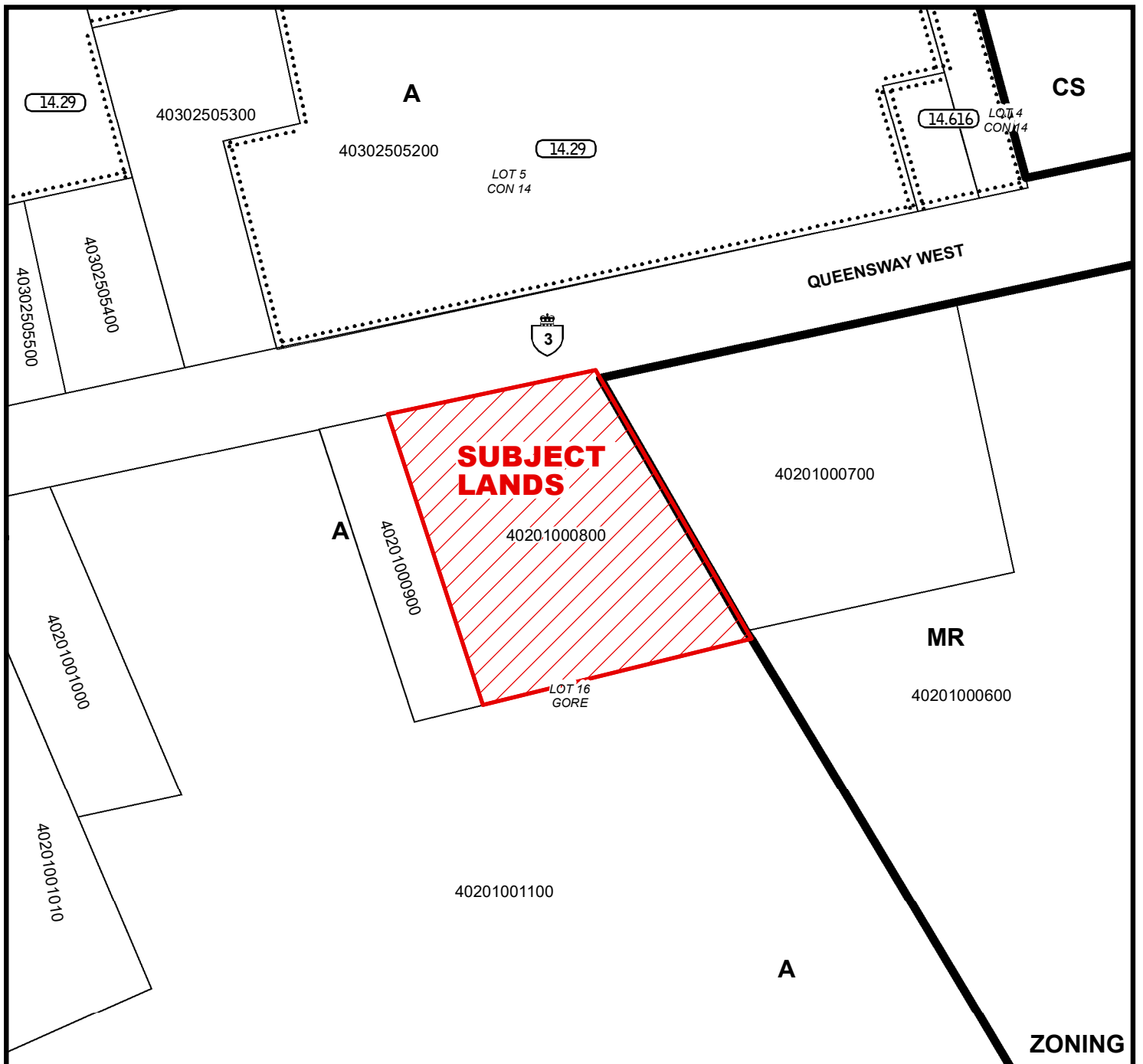
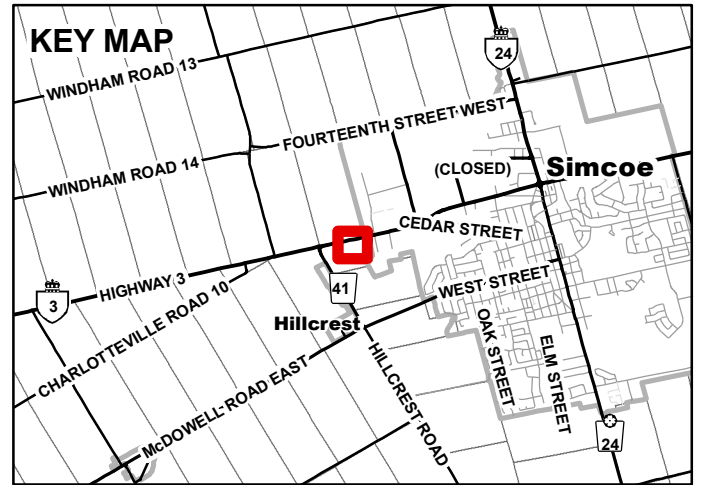
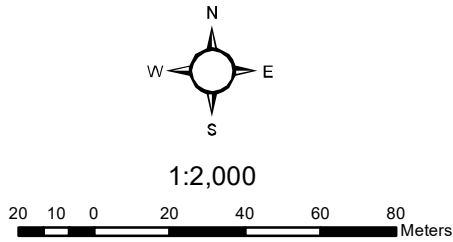
date

AS PER: Fritz R. Enzlin, CBCO,
CRBO - Chief Building Official
Manager, Building & Bylaw
Division, Norfolk County

MAP 1

File Number: ANPL2021118

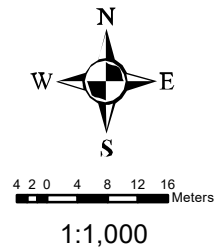
Geographic Township of
WOODHOUSE



MAP 2

File Number: ANPL2021118

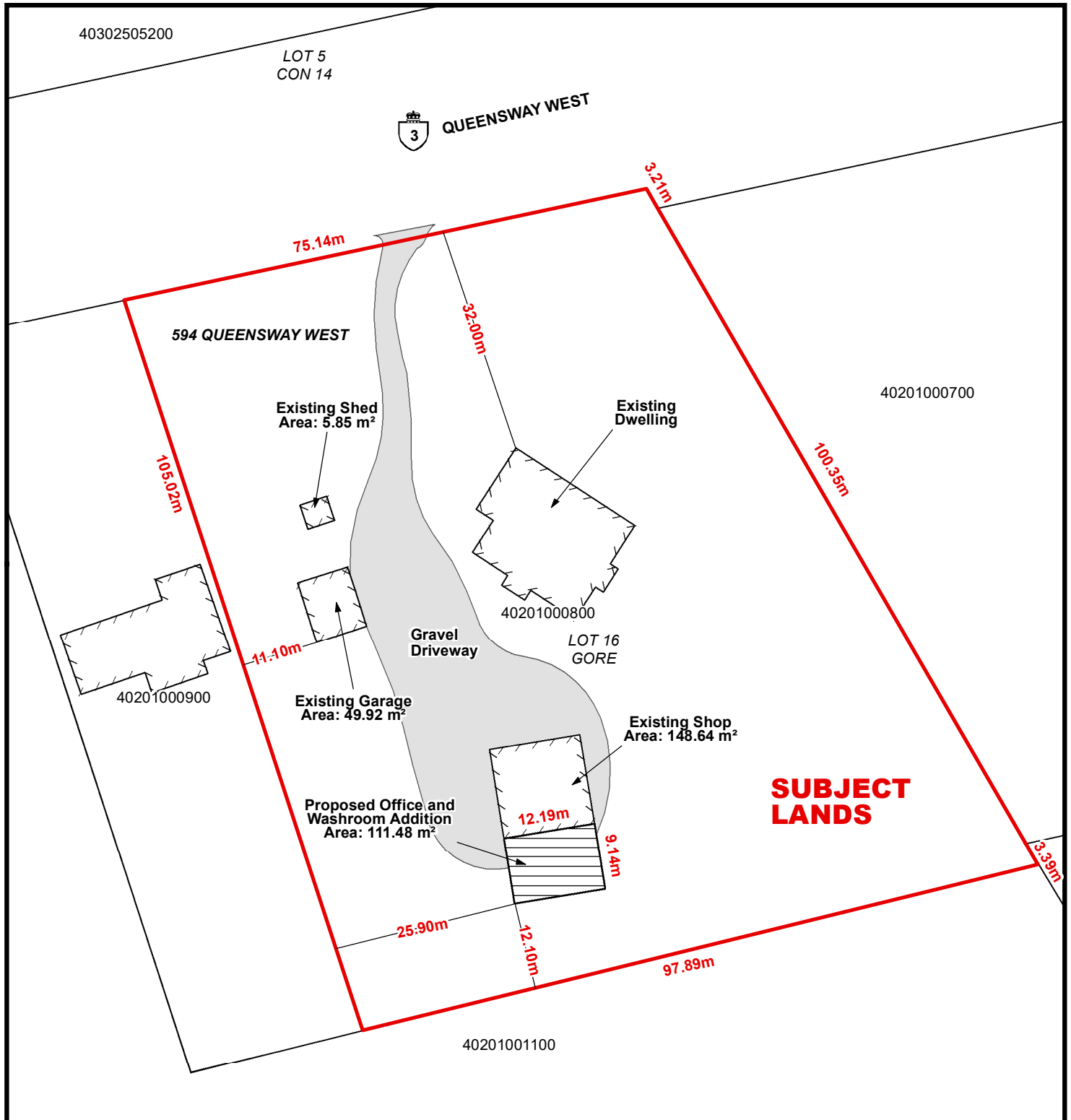
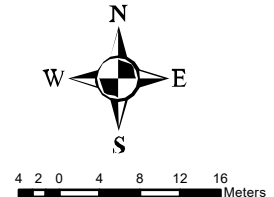
Geographic Township of WOODHOUSE



MAP 3

File Number: ANPL2021118

Geographic Township of WOODHOUSE



LOCATION OF LANDS AFFECTED

File Number: ANPL2021118

Geographic Township of WOODHOUSE

