

For Office Use Only:

File Number

Related File Number

Pre-consultation Meeting

Application Submitted

Complete Application

ANP2021133APRIL 29, 2021MAY 26, 2021

Application Fee

Conservation Authority Fee

Well & Septic Info Provided

Planner

Public Notice Sign

✓ 1560.00 pd**Check the type of planning application(s) you are submitting.**☐

Consent/Severance/Boundary Adjustment

☐

Surplus Farm Dwelling Severance and Zoning By-law Amendment

☒

Minor Variance

☐

Easement/Right-of-Way

Property Assessment Roll Number: 335-010-05100**A. Applicant Information****Name of Owner**JASON KENNEDY

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

760 CONCESSION 10

Town and Postal Code

WATERFORD, ON, N0E 1Y0

Phone Number

519-443-6565

Cell Number

519-717-0659

Email

JKENNEDY254@GMAIL.COM**Name of Applicant**AGENT

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent DAVID MCPHERSON
Address 8 CULVER LANE
Town and Postal Code SIMCOE, ON, N3Y 5C8
Phone Number 519-426-7295
Cell Number 519-427-6483
Email DAVID-A-MCPHERSON@HOTMAIL.COM

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner

☒ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LOT 3 BLK 16 PLAN 19B
WATERFORD

Municipal Civic Address: 217 MECHANIC ST. W. WATERFORD

Present Official Plan Designation(s): URBAN RESIDENTIAL

Present Zoning: R1-A

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL (SINGLE FAMILY DWELLING)

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SEE ATTACHED SITE PLAN

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

PROPOSED 24' x 30' DETACHED GARAGE. ATTACHED IS SITE PLAN & ARCHITECTURAL PLANS.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50 + YEARS

9. Existing use of abutting properties:

RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	<u>15.8 m</u>	<u>SAME</u>
Lot depth	<u>64 m</u>	<u>SAME</u>
Lot width	<u>15.8 m</u>	<u>SAME</u>
Lot area	<u>1011 SQM</u>	<u>SAME</u>
Lot coverage		<u>6.6%</u>
Front yard		<u>35 m</u>
Rear yard		<u>23 m</u>
Left Interior side yard		<u>6.7 m</u>
Right Interior side yard		<u>1.2 m</u>
Exterior side yard (corner lot)	<u>N/A</u>	<u>N/A</u>

2. Please outline the relief requested (assistance is available):

RELIEF OF 7 SQM FROM MAXIMUM PERMITTED
USABLE FLOOR AREA OF A DETACHED GARAGE OF 55 SQM.

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law: PROPOSED DETACHED GARAGE OF 62 SQM TO
ALLOW FOR FULL SIZE, CREW CAB, LONG BOX, PICK-UP
TRUCK,

4. Description of land intended to be severed in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____
Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☒ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☒ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☒ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

SITE VISIT TO INSPECT AREA

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

RESIDENTIAL TOWN LOT EXISTING IN 50+ YEAR
OLD NEIGHBOURHOOD

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

N/A NOT IN WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

N/A

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☒ Municipal sewers
☐ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

Storm Drainage

- ☒ Storm sewers
☐ Other (describe below)
- ☐ Open ditches

2. Existing or proposed access to subject lands

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

MECHANIC ST. W. WATERFORD

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

SEE ATTACHMENTS.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- ✓ 1. Concept/Layout Plan
- ✓ 2. All measurements in metric
- N/A 3. Existing and proposed easements and right of ways
- N/A 4. Parking space totals – required and proposed
- ✓ 5. All dimensions of the subject lands
- ✓ 6. Dimensions and setbacks of all buildings and structures
- N/A 7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
- ✓ 8. Names of adjacent streets
- ✓ 9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

APRIL 26 / 21

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We John Kennedy am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize DAVID MCPHERSON to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

APRIL 26 / 21

Date

Owner

Date

K. Declaration

I, DAVID McPHERSON of SIMCOE

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 29th day of APRIL 2021

A.D., 20____



Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.

A Commissioner, etc.

GENERAL NOTES

FOOTINGS AND FOUNDATIONS:

FOOTINGS AND FOUNDATIONS SHALL CONFORM TO SECTION 9.15.

ALL FOOTINGS SHALL REST ON UNDISTURBED SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 120 KPA (2500 PSF) OR GREATER FOR BUILDINGS OF WOOD FRAME OR MASONRY CONSTRUCTION (SEE SOILS REPORT WHERE APPLICABLE). FOOTING SIZE SHALL BE ADJUSTED AS PER SUBSECTION 9.15.3., WHERE APPLICABLE. WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE SHALL NOT EXCEED 600MM (23-5/8 IN.), AND THE HORIZONTAL RUN SHALL BE NOT LESS THAN 600MM (23-5/8 IN.) AS PER ARTICLE 9.15.3.9. MAXIMUM HEIGHT OF BACKFILL FOR FOUNDATION WALLS SHALL CONFORM TO SUBSECTION 9.15.4. EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150MM (5-7/8 IN.) ABOVE FINISHED GROUND LEVEL AS PER SENTENCE 9.15.4.6.(1). AND BE SUITABLE FINISHED AS PER ARTICLE 9.15.6.2. EXTERIOR SURFACES OF CONCRETE BLOCK FOUNDATION WALLS SHALL BE PARGED WITH NOT LESS THAN 6MM (1/4 IN.) OF MORTAR AND FINISHED AS

PER ARTICLE 9.13.2.1. ALL WATERPROOFING TO CONFORM TO ARTICLE 9.13.3. INSTALL ASPHALT COATED BUILDING PAPER BETWEEN FOUNDATION WALLS AND BASEMENT WOOD STUDS ON INTERIOR FACE. WATERPROOFING OF FOUNDATION WALLS AS PER ARTICLE 9.13.3.5. CONTROL OF CONVECTION CURRENTS AS PER SENTENCE 12.3.2.4.

CONCRETE:

UNLESS SPECIFIED ELSEWHERE THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE SHALL BE NOT LESS THAN 15 MPA (2200 PSI) AFTER 28 DAYS GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK INCLUDING FOOTING SHALL BE NOT LESS THAN 32 MPA (4650 PSI) CONCRETE WITH 5 TO 8 PERCENT AIR-ENTRAINMENT AS PER SENTENCE 9.3.1.6.(1). PROVIDE BOND-BREAKING MATERIAL BETWEEN CONCRETE FLOOR SLAB AND FOOTINGS AS PER SENTENCE 9.16.4.4.(1) WHERE DAMPPROOFING IS NOT PROVIDED THE CONCRETE USED FOR FLOORS-ON-GROUND SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 25 MPA (3600 PSI) AFTER 28 DAYS AS PER SENTENCE 9.16.4.5.(1). CONCRETE SLABS IN ATTACHED OR BUILT-IN GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR AS PER SENTENCE 9.35.2.2.(1).

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

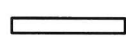
JOHN BARNHART  41773

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.

THE BUILDING PERMIT GUY 103362
FIRM NAME BCIN

ALL CODE REFERENCES REFER
TO O.B.C. 2012 DIVISION 'B'

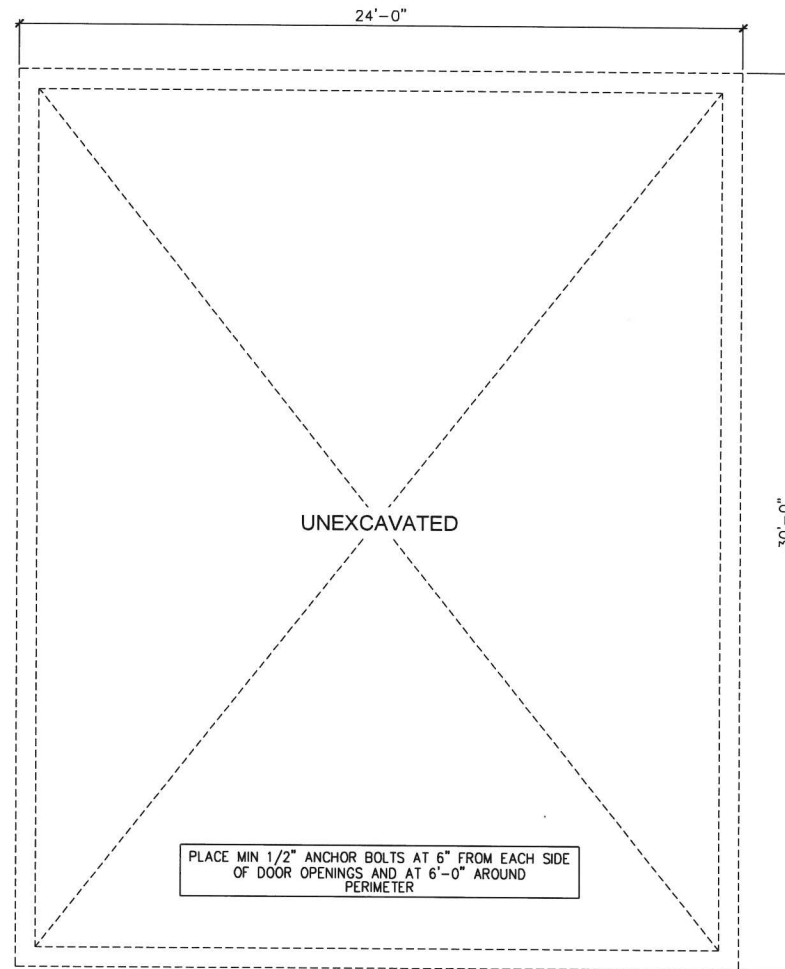
DRAWING LEGEND

 2X6 STUD WALL
WITH HORIZONTAL WOOD SIDING
W/2 ROWS HORIZ.
BLOCKING

ESA TO PROVIDE FINAL APPROVAL ON ALL ELECTRICAL

NEW DETACHED GARAGE

217 MECHNIC ST. W. WATERFORD, ON



GARAGE FOUNDATION PLAN

8" CONCRETE FND. ON
6"x18" FTG, MIN 48"
DEEP

A-1

SCALE: 1/4" = 1'-0"
23/03/2021



BUILDING STRUCTURE:
UNLESS NOTED OTHERWISE LUMBER AND WOOD PRODUCTS SHALL CONFORM TO SUBSECTION 9.3.2.
BUILT-UP WOOD COLUMNS SHALL CONFORM TO SENTENCE 9.17.4.2(2).
ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED SO AS TO PROVIDE THE
NECESSARY STRENGTH AND RIGIDITY. SEE ARTICLE 9.23.2.1.

ELECTRICAL FACILITIES SHALL CONFORM TO SECTION 9.34.
ELECTRICAL OUTLETS IN DWELING UNITS TO CONFORM TO ARTICLE 9.34.2.2.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION, BY FASTENING THE SILL PLATE WITH 12.7MM DIA. (1/2 IN. DIA.) ANCHOR BOLTS MAX. 2.4M (7FT.10IN.) O/C AND EMBEDDED MINIMUM 100MM (4IN.) IN FOUNDATION. SEE ARTICLE 9.23.6.1.

PROVIDE ADEQUATE LEVEL BEARING FOR ALL BEAMS AT THE END SUPPORTS AS PER ARTICLE 9.23.8.1.
POSTS SUPPORTING BEAMS SHALL BE PROVIDED WITH CONTINUOUS SOLID SUPPORT TO THE TOP OF
FOUNDATION WALL OR FOOTING.

NAILING/BOLTING PATTERNS FOR BUILT-UP WOOD BEAMS SHALL CONFORM TO SENTENCES 9.23.9.2 (3), (4), (5).

PROVIDE JOIST TWISTING RESTRAINT AS PER ARTICLE 9.23.9.3

THE SIZE AND SPACING OF WALL STUDS SHALL CONFORM TO TABLE 9.23.10.1. STUDS FOR WALLS NOT LISTED IN TABLE 9.23.10.1 AND SUPPORTING ROOF LOADS SHALL CONFORM TO TABLES A-30 TO A-33 PROVIDE CONTINUITY OF STUDS AS PER ARTICLE 9.23.10.4. ROOF SHEATHING SHALL CONFORM TO SUBSECTION 9.23.15, AND WALL SHEATHING SHALL CONFORM TO SUBSECTION 9.23.16.

SHEATHING MEMBRANE SHALL CONFORM TO CAN/CGSB-51.32-M, "SHEATHING MEMBRANE BREATHER TYPE" AS PER ARTICLE 9.27.3.2.

INSTALLATION OF ROOF TRUSSES AND/OR ENGINEERED FLOOR FRAMING SYSTEMS SHALL CONFORM TO THE MANUFACTURERS CERTIFIED SPECIFICATIONS AND THE OBC.

ALL CONVENTIONAL ROOF FRAMING MEMBERS THAT MEET OR CROSS OVER TRUSSES SHALL DISTRIBUTE THE ROOF LOADS UNIFORMLY TO THE ROOF BELOW AND SHALL BE SPACED AT MAXIMUM 600MM (24 IN.) O/C. PROVIDE EAVES PROTECTION ON SHINGLE, SHAKE OR TILE ROOFS AS PER SUBSECTION 9.26.5.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

JOHN BARNHART *JB* 41773

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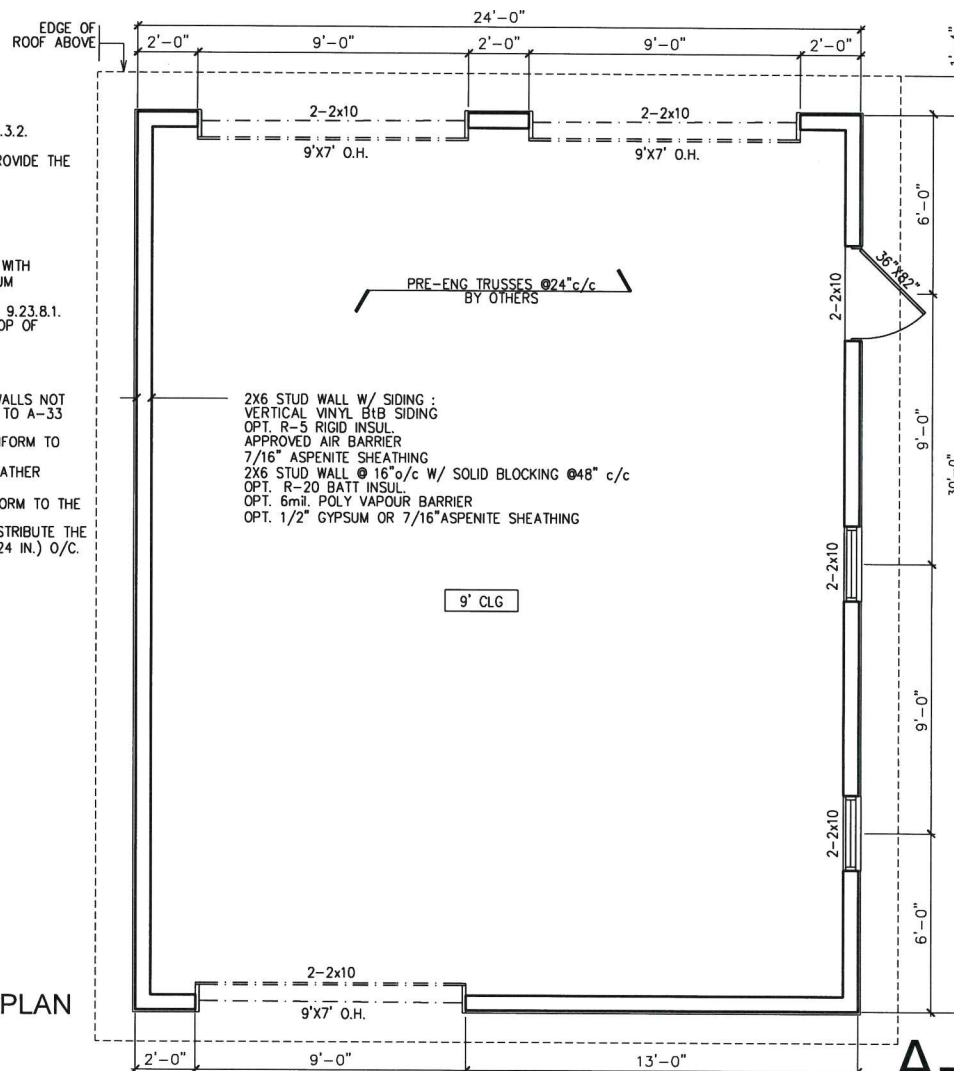
THE BUILDING PERMIT GUY	103362
FIRM NAME	BCIN

ALL CODE REFERENCES REFER
TO O.B.C. 2012 DIVISION 'B'

2X6 STUD WALL
WITH HORIZONTAL WOOD SIDING
W/2 ROWS HORIZ.
BLOCKING

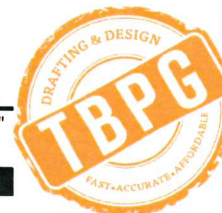
NEW DETACHED GARAGE

217 MECHNIC ST. W. WATERFORD, ON



A-2

SCALE: 1/4" = 1'-0"
23/03/2021

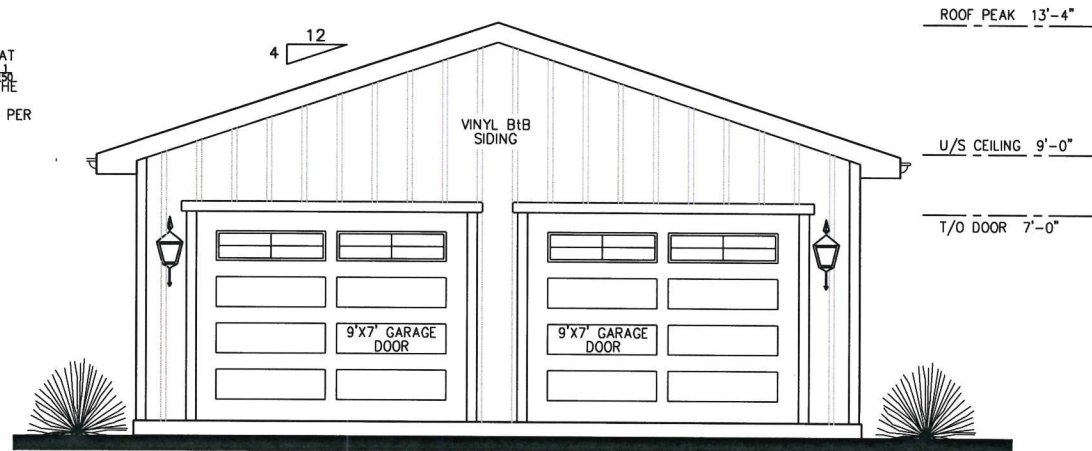


GENERAL NOTES

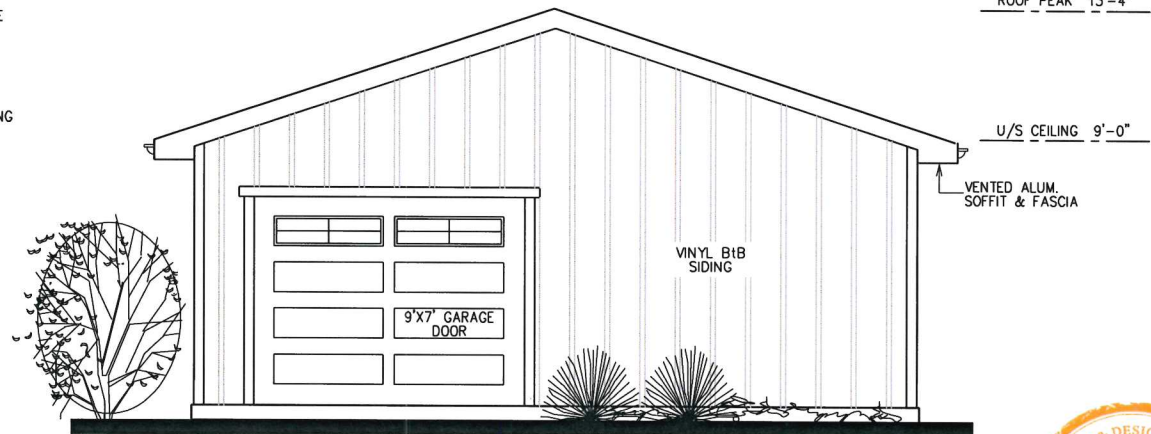
ROOFS, ROOF SPACES, VENTILATION AND DRAINAGE:
 THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300
 OF THE INSULATED CEILING AREA. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT
 ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1
 OF THE INSULATED CEILING AREA. NOT LESS THAN 25% OF THE VENTS SHALL BE LOCATED NEAR THE
 ROOF RIDGE. SEE ARTICLES 9.19.1.1 AND 9.19.1.2.
 PROVIDE A NATURAL VENTILATION AREA OF 0.1M2 PER 50M2 OF UNHEATED CRAWL SPACE AREA AS PER
 SENTENCE 9.18.3.1.(2).
 ATTIC ACCESS HATCH SHALL BE MINIMUM 0.32M2 (3.4FT2) IN AREA WITH NO DIMENSION LESS THAN
 545MM (21 1/2 IN) AS PER ARTICLE 9.19.2.1.
 ROOF DRAINS, DOWN SPOUTS (ROOF GUTTERS) SHALL CONFORM TO SUBSECTION 9.26.18 (ALSO SEE
 DEFINITIONS IN ARTICLE 1.4.1.2. OF DIVISION A).
 SURFACE AND SUBSURFACE DRAINAGE SHALL CONFORM TO SECTION 9.14.
 DRAINAGE TILES OR PIPES SHALL BE INSTALLED AS PER ARTICLE 9.14.3.3.

NOTES:
 ALL TOP SOIL SOFT ORGANIC OR OTHERWISE COMPRESSIBLE MATERIAL MUST BE REMOVED
 FROM THE GROUND SURFACE, THE SLAB IS TO BE PLACED ON A MINIMUM 6" OF GRANULAR
 'A' OR CRUSHED STONE COMPACTED TO MINIMUM 98% OF ITS MAXIMUM STANDARD PROCTOR
 DRY DENSITY TO PROVIDE UNIFORM
 SUPPORT FOR THE SLAB, NO SOFT SPOTS PERMITTED CONCRETE SHALL BE IN ACCORDANCE
 TO THE LATEST EDITION OF CSA A32.1 AND A23.3, ALL FORM WORK TO BE IN ACCORDANCE
 TO CSA A23.1. CONCRETE SHALL BE MINIMUM 25MPA WITH 5% TO 8% AIR ENTRAINED FOR
 COLD WEATHER
 REQUIREMENTS, SLUMP TO BE 3" MIN AND 4" MAX REINFORCING STEEL TO BE PROPERLY
 SUPPORTED IN FORMS OR WITH CHAIRS WITH COVER AS REQUIRED, STEEL SHALL BE 400 MPA
 YIELD STRENGTH,
 WIRE MESH TO BE 460 MPA YIELD STRENGTH, PROVIDE A MINIMUM OF 3" CLR COVER FROM
 EARTH, STEEL REINFORCING BARS OR WIRE MESH FOR SLAB TO BE PROVIDED AT A MAXIMUM
 DEPTH OF 1/3 DEPTH FROM TOP OF SLAB LAP ALL JOINTS IN BARS MINIMUM 24". WET
 SETTING OF ANCHOR
 BOLTS IS PERMITTED BUT NOT RECOMMENDED, PLACE CAREFULLY TO ENSURE NO VOIDS ARE
 CREATED. COLD WEATHER CONSTRUCTION FOR TEMPERATURES LISTED OR PREDICTED WITHIN
 24HRS OF INSTALLATION - BELOW
 40°F - POUR CONCRETE AT A TEMPERATURE OF 60°F, TARP WITH POLYETHYLENE DROP
 SHEETS FOR 3 DAYS AFTER PLACEMENT - BELOW FREEZING - POUR CONCRETE AT A
 TEMPERATURE
 OF 60°, TARP AS ABOVE AND PACK WITH 3" MIN STRAW AND PROVIDE HEAT ALL WORK TO
 CONFORM TO CSA A23.3 AND O.B.C. MOST RECENT EDITIONS AND AMENDMENTS THE BUILDING
 PERMIT GUY IS NOT RESPONSIBLE OR LIABLE AS A RESULT OF POOR WORKMANSHIP OR
 DEVIATIONS OF THIS DETAIL.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
 DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
 OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS
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 JOHN BARNHART 41773
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 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN



FRONT ELEVATION



REAR ELEVATION

NEW DETACHED GARAGE

217 MECHNIC ST. W. WATERFORD, ON

A-3

SCALE: 1/4" = 1'-0"
 23/03/2021



TYPICAL ROOF:
 ASPHALT SHINGLES
 1/2" PLYWOOD SHEATHING C/W H CLIPS
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 OPT. R-60 BATT INSULATION
 OPT. 6 MIL. POLY VAPOR BARRIER
 OPT. 5/8" DRYWALL

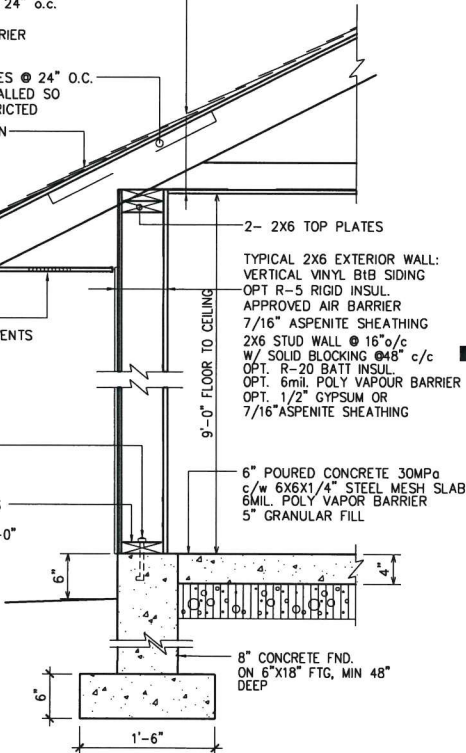
CONTINUOUS AIR VENT BAFFLES @ 24" O.C.
 END AT RIDGE - TO BE INSTALLED SO
 THAT AIR FLOW IS NOT RESTRICTED
 CONTINUOUS EAVE PROTECTION
 (2 COURSES)

PRE-FINISHED
 ALUMINUM GUTTER &
 EAVE FLASHING

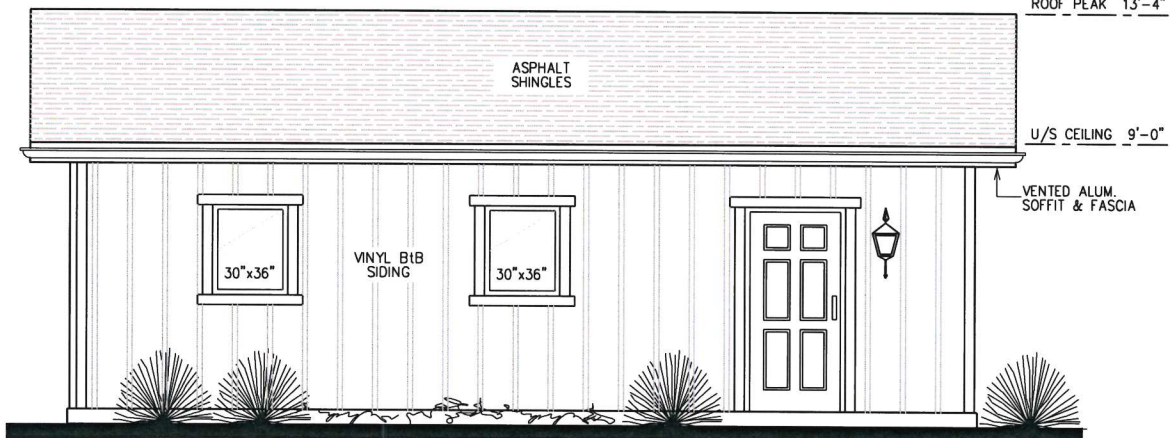
2X6 FASCIA
 PRE-FINISHED ALUMINUM
 SOFFIT W/EQUALLY SPACED VENTS

PRESSURE TREATED SILL
 OR FOUNDATION GRADE SILL

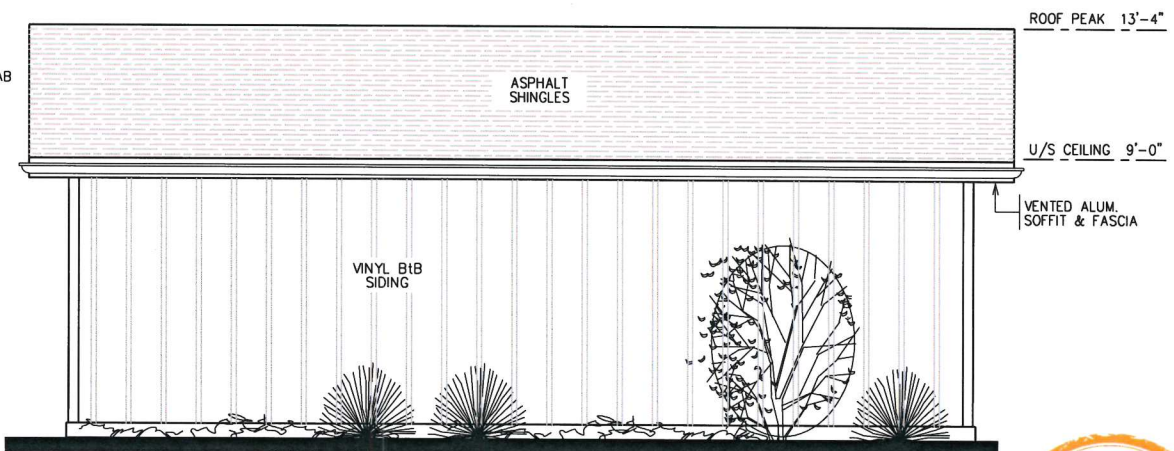
PLACE MIN 1/2" ANCHOR BOLTS
 AT 6" FROM EACH SIDE
 OF DOOR OPENINGS AND AT 6'-0"
 AROUND PERIMETER



2X6 GARAGE WALL
 W/ BtB



LEFT ELEVATION



RIGHT ELEVATION

NEW DETACHED GARAGE

217 MECHNIC ST. W. WATERFORD, ON

A-4

SCALE: 1/4" = 1'-0"
 23/03/2021





Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 217 Mechanic Street W

Legal Description:

Roll Number: 33501005100

Application #:

Information Origins: drawings provided, no site sketch

Urban Residential Type 1 Zone (R1)		Zoning	R1-A		
Main Building		REQUIRED	PROPOSED	DEFICIENCY	UNITS
5.1.2	a) lot area		1011.00		sqm
Accessory Structure		REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1	a) building height	5.00	4.06		m
	b) minimum front yard	6.00	35.00		m
	c) minimum exterior side yard	6.00		N/A	m
	d) minimum interior side yard	1.20	1.20		m
	e) minimum rear yard	1.20	23.00		m
	f) through lot distance to street line	6.00		N/A	m
	g) Lot coverage (Note:Proposed Area)				m.sq
	i) lot coverage	10.00	6.00		%
	ii) usable floor area	55.00	62.00	7.00	m.sq

Comments

No site sketch provided. If other accessory buildings are on the property they will need to be added into useable floor area.



Zoning Deficiency

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PROPERTY INFORMATION

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Information Origins: drawings provided, no site sketch

Urban Residential Type 1 Zone (R1)

Parking	Zoning		DEFICIENCY	UNITS
	REQUIRED	R1-A PROPOSED		
4.1 number of parking spaces	2	2.00		
Comments				

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Lambrecht

I have read and understand the above.

Signature of owner or authorized agent

date

10-May-21

Signature of Zoning Administrator

date

AS PER: Fritz R. Enzlin. CBCO,
CRBO - Chief Building Official
Manager, Building & Bylaw
Division, Norfolk County

MAP NORFOLK - Community Web Map



Premise of Minor Variance application at 217 Mechanic St.W.

The proposal is to construct a 24' x 30' detached garage in the rear yard of the property.

The "existing" shed in the rear yard is in total disrepair, is falling down and is beyond rehabilitation. It will be removed from the property prior to application for a building permit for the new garage.

The only deficiency applicable to the proposed garage is a slight increase of 7 sq.m. in the allowable usable floor area maximum of 55 sq.m. The building height conforms and the lot coverage conforms. Proposed building height is 4m whereas 5m is permitted and proposed lot coverage is 6.6% whereas 10% is the maximum permitted.

The garage is sized to accommodate the owners full size, 4 door, full box, pick up truck with enough room to walk around front and back of it whilst within the garage.

Architectural drawings of the proposed garage are attached.

The subject property is designated Urban Residential in the Norfolk County Official Plan. Permitted uses include single detached dwellings and related residential accessory structures, which is proposed in this application.

Norfolk County Zoning Bylaw 1-Z-2014 zones this property Urban Residential Type 1-A (R1-A). Within this zone a single detached dwelling is permitted. Accessory buildings are regulated by subsection 3.2..1 "Accessory uses to Residential uses". Article 3.2.1 (g) states that accessory buildings cannot occupy more than 10% of the lot area and in a R1-A zone, cannot exceed 55 sq.m. in usable floor area. Article 2.165(e) defines "usable floor area" of a residential detached garage as being measured from the inside face of exterior walls. In this case the usable floor area is 62 sq.m., exceeding the maximum permitted by a moderate 7 sq.m.


The proposed increased usable floor area of only 7 sq.m. is minor in nature, is insignificant and has no impact on adjacent properties. It sits behind the dwelling and therefore creates no visual impact on the streetscape.

MAP A
CONTEXT MAP
Urban Area of WATERFORD

ANPL2021133

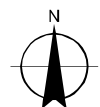


Legend

 Subject Lands

2015 Air Photo

2021-06-09



10 5 0 10 20 30 40
Meters

PROPOSED ZONING BY-LAW AMENDMENT MAP

Urban Area of WATERFORD



2021-06-09

ZONING BY-LAW 1-Z-2014

LEGEND

Subject Lands

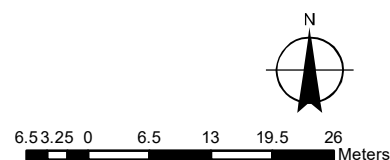
(H) - Holding

R1-A - Residential R1-A Zone

R1-B - Residential R1-B Zone

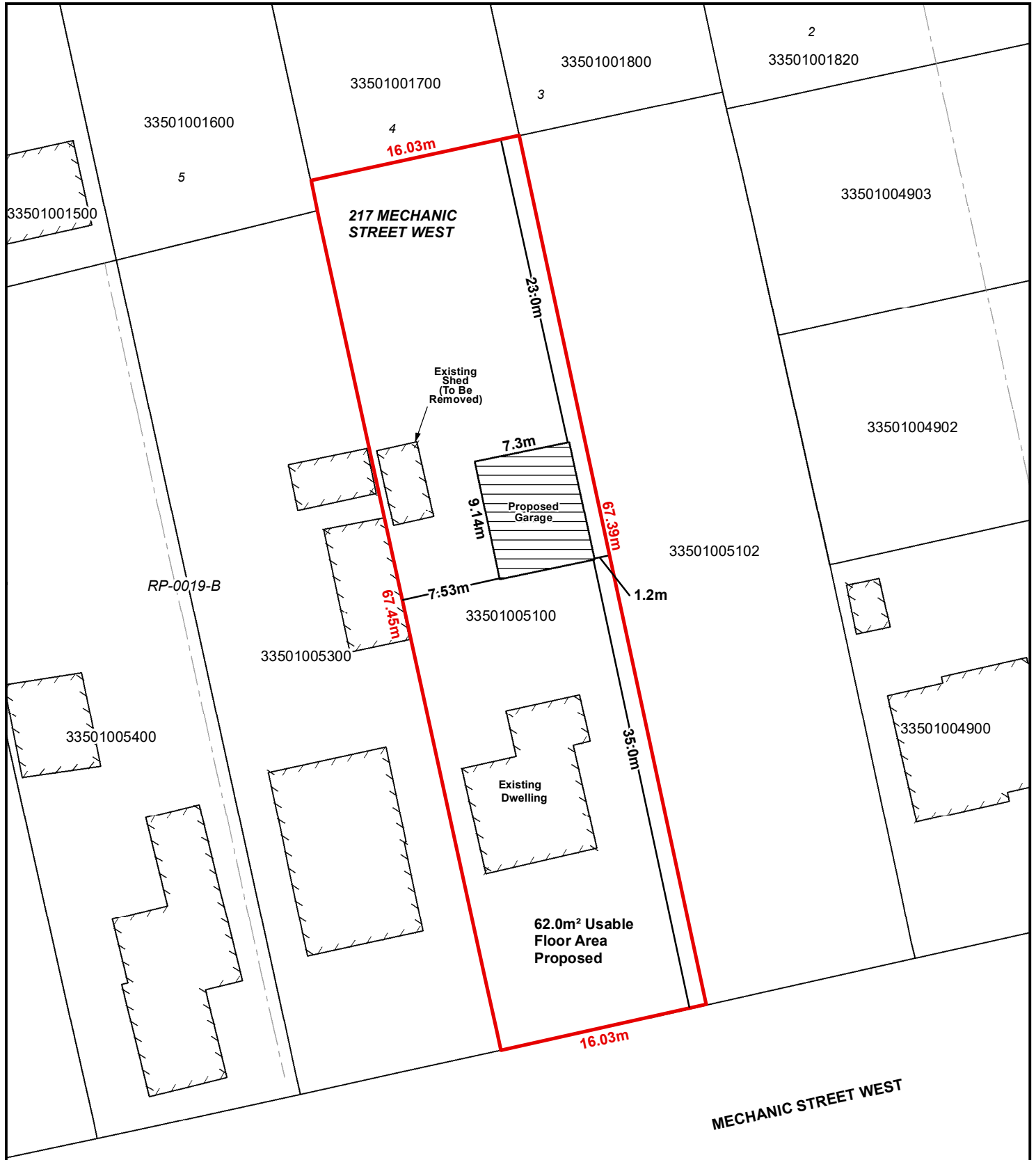
R2 - Residential R2 Zone

R4 - Residential R4 Zone



CONCEPTUAL PLAN

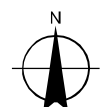
Urban Area of WATERFORD



Legend

Subject Lands

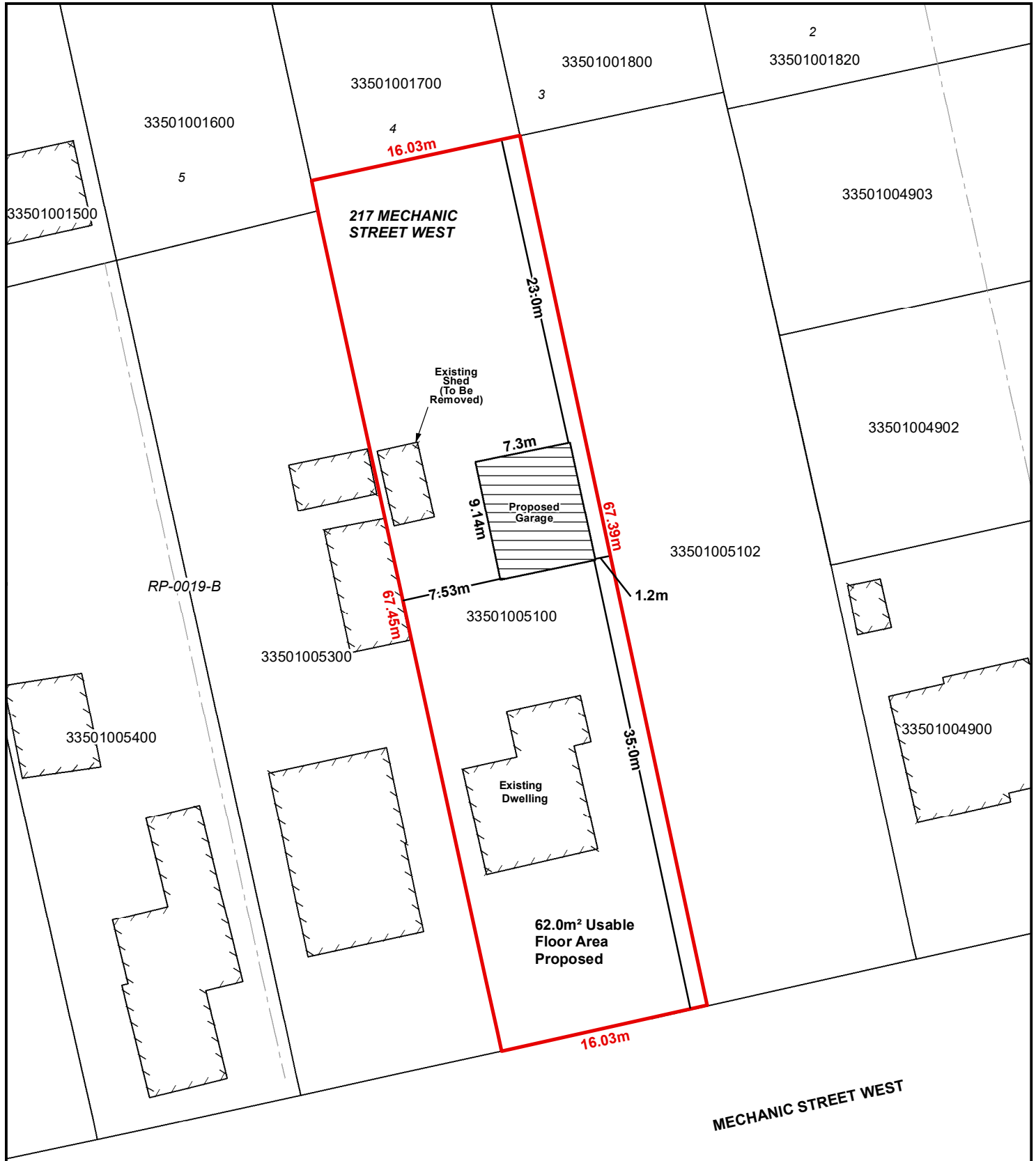
2021-06-09



3 1.5 0 3 6 9 12 Meters

CONCEPTUAL PLAN

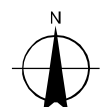
Urban Area of WATERFORD



Legend

Subject Lands

2021-06-09



3 1.5 0 3 6 9 12 Meters