

For Office Use Only:

File Number

Related File Number

Pre-consultation Meeting

Application Submitted

Complete Application

ANPL 2021186May 12 / June 14June 25 / 21

Application Fee

Conservation Authority Fee

Well & Septic Info Provided

Planner

Public Notice Sign

PaidN/AN. GOODBRAND**Check the type of planning application(s) you are submitting.**☐

Consent/Severance/Boundary Adjustment

☐

Surplus Farm Dwelling Severance and Zoning By-law Amendment

☒

Minor Variance

☐

Easement/Right-of-Way

Property Assessment Roll Number: 336-050-64700**A. Applicant Information****Name of Owner**Colin Robinson

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

2166 Blueline Road

Town and Postal Code

Waterford, ON, N0E 1Y0

Phone Number

Cell Number

226-791-2387

Email

colinr@faprecast.ca**Name of Applicant**Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent David McPherson
Address 8 Culver Lane
Town and Postal Code Simcoe, ON, N3Y 5C8
Phone Number 519-426-7295
Cell Number 519-427p6483
Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: 2166 Blueline Road, Waterford, ON
Present Official Plan Designation(s): Agricultural
Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:
Residential, Single Family Dwelling

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

All existing buildings are shown on the attached sketch prepared by Jewitt & Dixon

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed detached 25' x 40' garage having a height of 5.18m and a usable floor area of 86.95 sq.m.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
100 plus years

9. Existing use of abutting properties:

Residential to the north, Agricultural to the East and West

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information	Existing	Proposed
Please indicate unit of measurement, for example: m, m ² or %		
Lot frontage	275m	
Lot depth	35.9m	
Lot width	35.9m	
Lot area		
Lot coverage		
Front yard		266.97m
Rear yard		1.25m
Left Interior side yard		21.71m
Right Interior side yard		2.0m
Exterior side yard (corner lot)		both left & right are exterior side yards

2. Please outline the relief requested (assistance is available):

Requesting relief of 11m from the required 13m exterior side yard in order to construct proposed garage with a 2m exterior side yard

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

Property is a very narrow, pie shaped lot

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐Yes ☒No ☐Unknown
If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐Yes ☒No ☐Unknown

3. Provide the information you used to determine the answers to the above questions:
History of property provided by previous owner indicates a residence here since the mid 1800's

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☒ Individual wells

- ☐ Communal wells
☐ Other (describe below)
-

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)
-

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
- ☒ Open ditches
-

2. Existing or proposed access to subject lands

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

Old Highway 24 and Blueline Road

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Please see attached brief detailing the premise of the application

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

May 25, 2021


Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Colin Robinson am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

May 25, 2021

Date

Owner

Date

K. Declaration

I, David McPherson of Simcoe, Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:


Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____


A Commissioner, etc.

OWNER'S AUTHORIZATION

I/we Colin Robinson am/are the registered owner(s) of the land that is the subject of this application.

I/we authorize **DAVID MCPHERSON** to make this application on my/our behalf and to act on my/our behalf as my/our authorized agent during the processing of this application.

Moreover, this shall be your good and sufficient authorization for so doing.


OWNER

MAY 18, 2021
DATE

OWNER

DATE

Premise of Minor Variance application at 2166 Blueline Road

The proposal is to construct a new, detached, 25' x 40' garage.

The only deficiency applicable to the proposed garage is the exterior side yard setback adjacent to Old Highway 24. A setback of 13m is required whereas a 2m setback is proposed, leaving a deficiency of 11m.

The usable floor area conforms and the height conforms. Further, the sum of all accessory buildings, existing and proposed conforms.

Architectural drawings of the proposed garage are attached. A dimensioned Site Plan is attached along with a Lot Grading Plan prepared by Jewitt & Dixon.

The subject property is zoned Agricultural in the Norfolk County Zoning Bylaw and the Norfolk County Official Plan designation is also Agricultural.

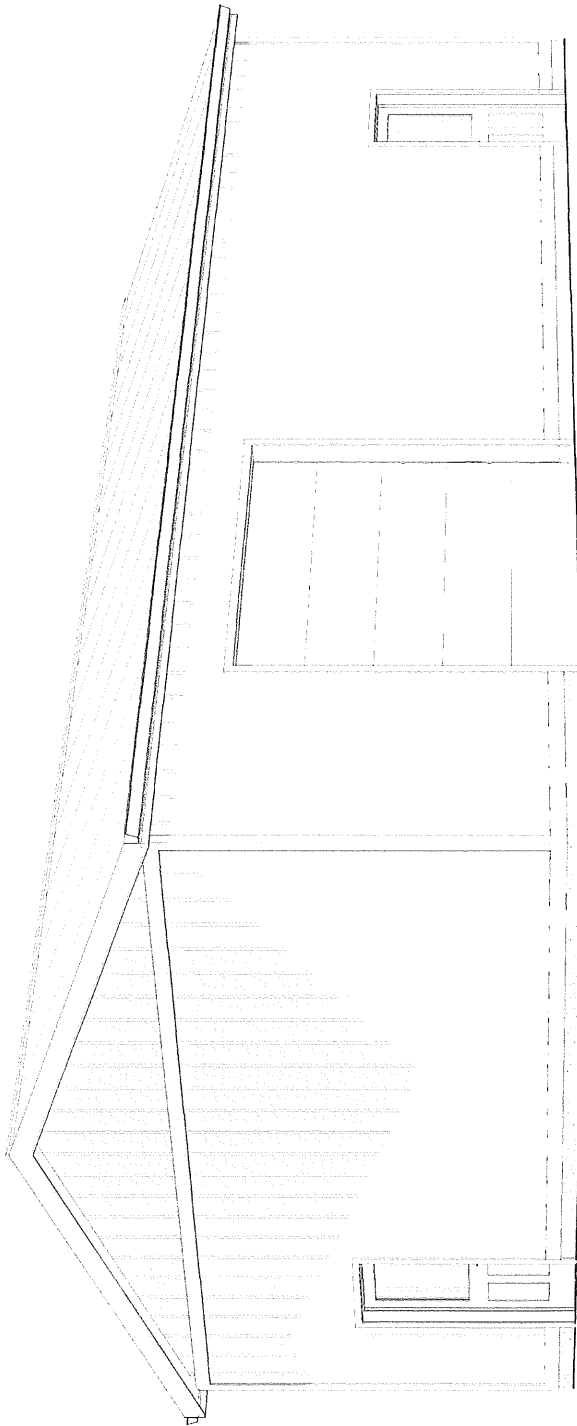
There are six residential properties to the north of this lot, all of which are likewise zoned Agricultural. There are Agricultural uses and buildings to both the east and west of this lot.

The requested variance is minor in nature, the proposed garage sits well behind the existing treeline adjacent the roadway. There is no impact on adjacent properties and the proposed garage creates no adverse visual impact on the streetscape. Standing along the proposed 2m setback line, there is no impact on sight lines along the roadway. The proposed garage is compatible with the existing neighbourhood. The proposed garage is a permitted use in the Agricultural zone. Single family dwellings and their associated accessory buildings are permitted in this zone by both the Norfolk County Zoning Bylaw and the Norfolk County Official Plan.


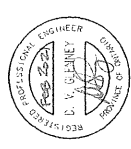

The proposed garage fits into and maintains the general character of the neighbouring properties and the requested variance maintains the general intent and purpose of the County's zoning bylaw.


COLIN ROBINSON STORAGE BUILDING

2166 BLUELINE RD.
WATERFORD, ON.
NOE 1YO



SHEET LIST	
SHEET NUMBER	SHEET NAME
1	TITLE
2	ELEVATIONS
3	FOUNDATION & FLOOR PLAN
4	SECTIONS & DETAILS


 KLS ENGINEERING 1333 HIGHWAY #3 DUNNVILLE, ONTARIO N1A 2W7 Phone: (905) 774-4307 fax: (905) 774-1166	THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ISSUED. COPYRIGHT 2021 	 BRAEMAR Building Systems	<table><tr><td>ISSUED FOR PERMIT</td><td>1</td><td>FEB. 2021</td><td>BY</td></tr><tr><td>FRANTS</td><td>NO.</td><td>DATE</td><td>BY</td></tr><tr><td>ISSUED FOR PERMIT</td><td>1</td><td>FEB. 2021</td><td>BY</td></tr></table>	ISSUED FOR PERMIT	1	FEB. 2021	BY	FRANTS	NO.	DATE	BY	ISSUED FOR PERMIT	1	FEB. 2021	BY	COLIN ROBINSON STORAGE BUILDING 2166 BLUELINE RD. WATERFORD, ON. NOE 1YO	<table><tr><td>TITLE</td></tr></table>	TITLE	<table><tr><td>SCALE</td><td>B9-21-80</td></tr></table>	SCALE	B9-21-80	<table><tr><td colspan="2">DRAWING NUMBER</td></tr><tr><td>DESIGN BY W. DYKSTRA</td><td>S-1</td></tr><tr><td>DATE FEB 25 / 2021</td><td></td></tr><tr><td>SHEET 1 OF 4</td><td></td></tr></table>	DRAWING NUMBER		DESIGN BY W. DYKSTRA	S-1	DATE FEB 25 / 2021		SHEET 1 OF 4	
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SHEET 1 OF 4																														




KLS ENGINEERING
 1333 HIGHWAY #3
 DUNKVILLE, ONTARIO
 N1A 2W7
 phone: (905) 774-4307
 fax: (905) 774-1168

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ISSUED FOR PERMIT	NO.	PER. 24/21	BB.
FRNITS		DATE	BY
ISSUED/REVISIONS			



1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4300
fax: (905) 774-1688

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FRONTIS	NO.	DATE	BY
1891 REVISIONS			

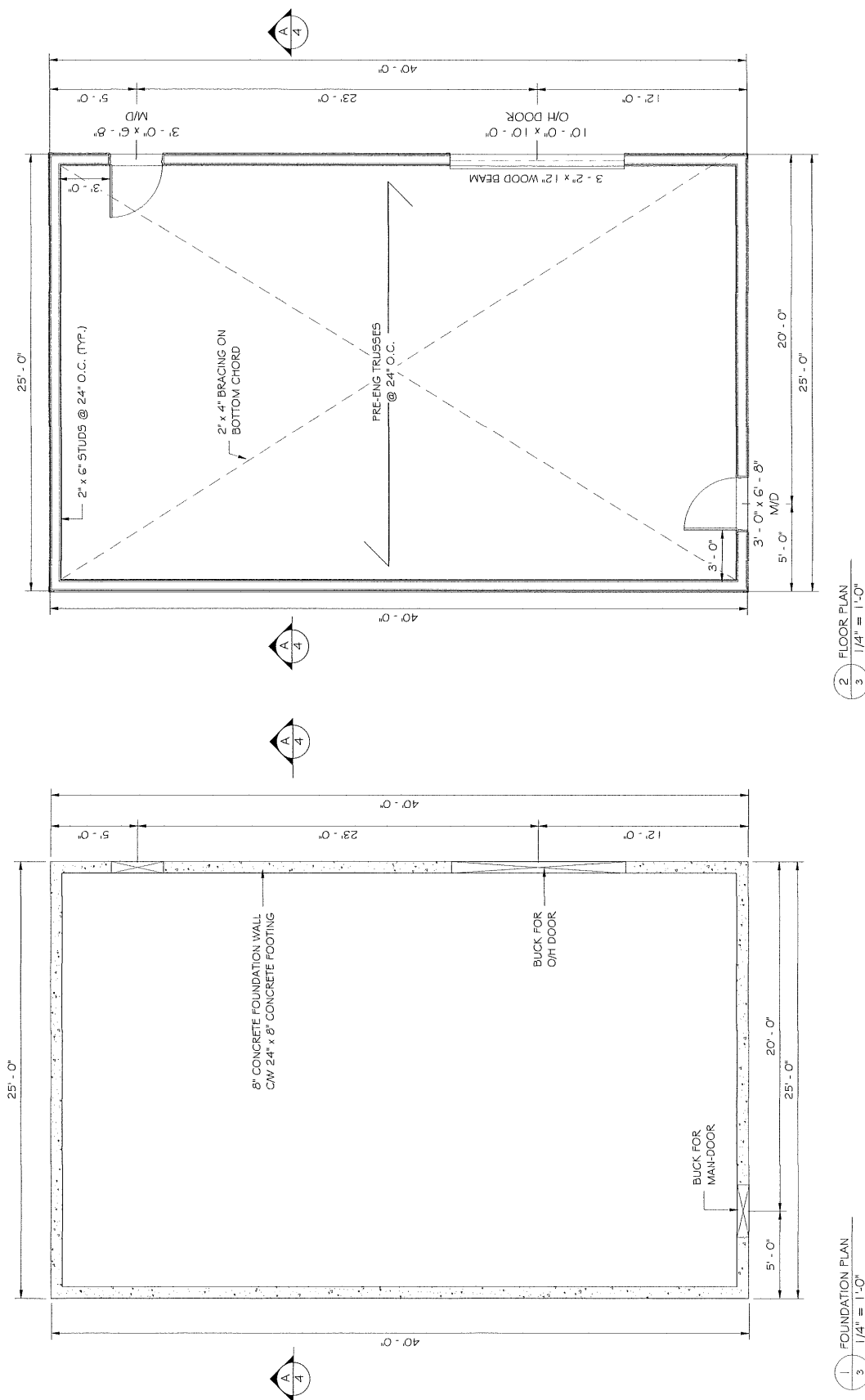
COLIN ROBINSON
STORAGE BUILDING
2166 BLUELINE RD.
WATERFORD, ON.
NOE 1YO

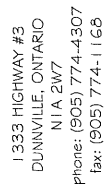
FOUNDATION & FLOOR PLAN

1/4" = 1'-0"

DR. Aikawa's Full R.
Specialty: Respiratory Diseases (Otolaryngology) - Otorhinolaryngological Surgery

DRAWING NUMBER S-3	DRAWN BY W. DYKSTRA
DATE FEB 25 / 2021	SHEET 3 OF 4





THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ISSUED.



ISSUED FOR PERMIT	1	FEB. 26/21	BB
PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			

COLIN ROBINSON
STORAGE BUILDING

2166 BLUELINE RD.
WATERFORD, ON.
NOE 1 YO

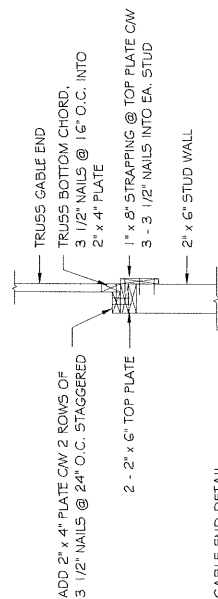
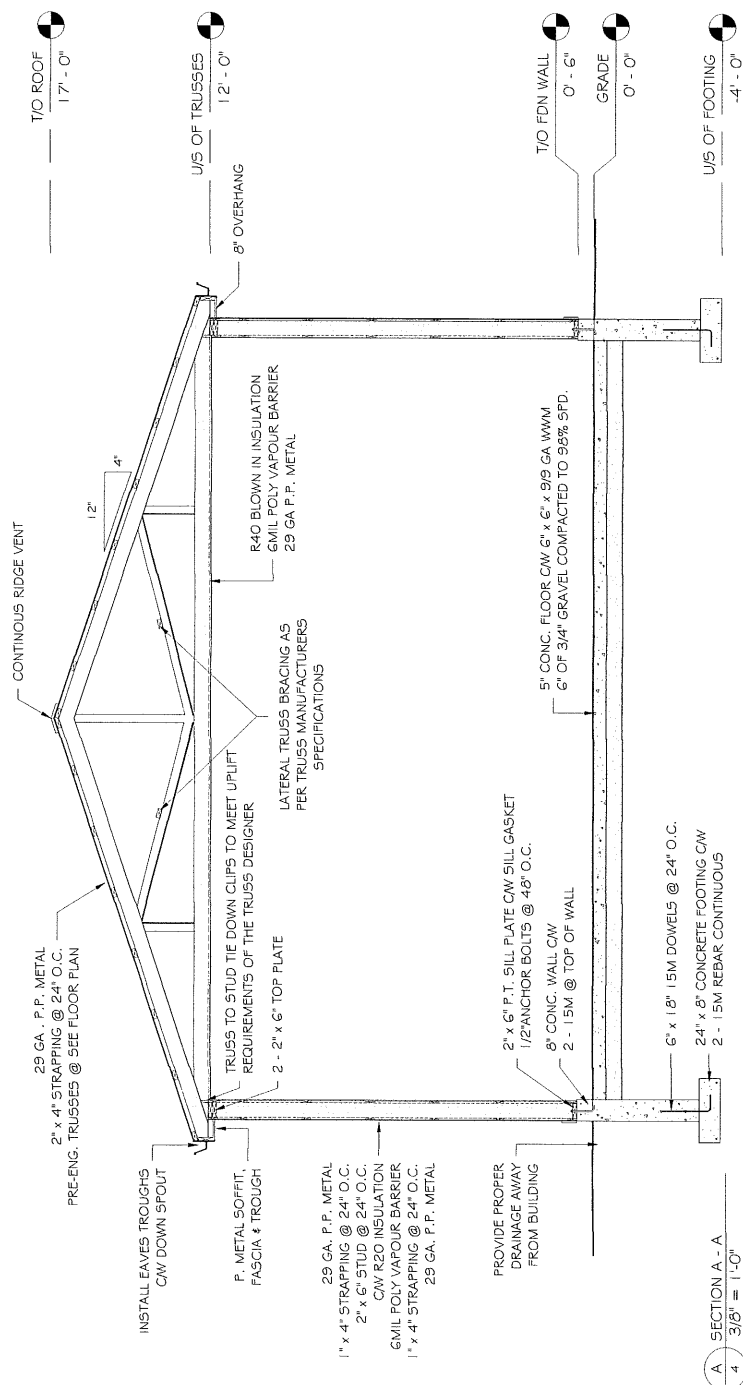
FRAMING

SECTIONS & DETAILS

SCALE
As indicated

RAMING, P. L.
 1983. *Journal of the American Water Resources Association*, 19: 1001-1010.

DATE	FEB 18 / 2021
DRAWN BY	W. DYKSTRA
DRAWING NUMBER	S-4



2 GABLE END DETAIL
4 $3/4" \equiv 1'-0"$

NR220004

ALL'CE FOR ROAD BETN CONG. VIII & IX

North west angle of
Lot 7 Con. IX

PLAN OF SURVEY

OF PART OF

LOT 7 - CONCESSION IX
TOWNSHIP OF TOWNSEND

IN THE

COUNTY OF NORFOLK

SCALE: 1" = 100 FT.

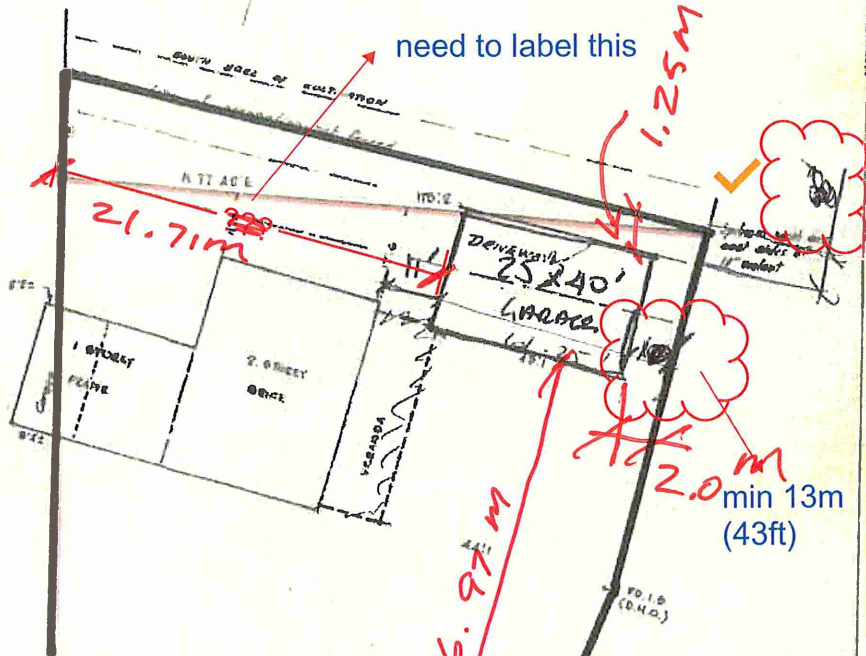
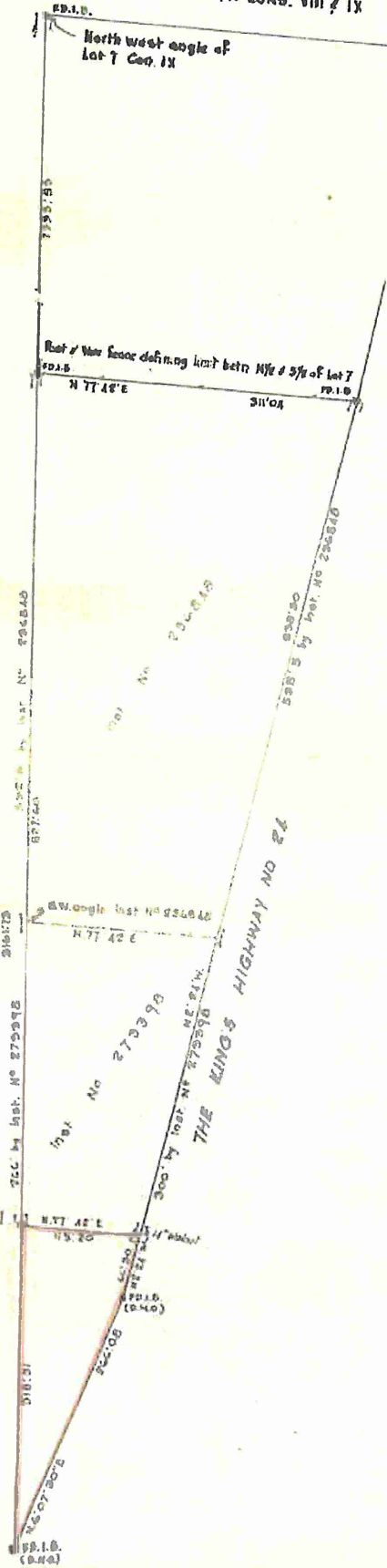
1" = 40' STANDARD IRON BAR SHOWN

Bearings are assumed and are referred to the west limit of
Lot 1, Con. IX, Twp of Townsend N15 40'W

zoned AGR

- detached shop proposed
- front lot line and exterior lot
line both require a 13m setback
from PL
- interior side lot line requires
1.2m setback

ALLOWANCE FOR ROAD BETN LOTS 6 & 7 N15 31' 30" W.



ENLARGEMENT
Scale 1" = 20' R

A. J. A. J.
Ontario Land Surveyor
McDOWELL & JEWITT
PO KENT STREET SOUTH, SIMCOE
Dated Nov. 2, 1961



Zoning Deficiency

Simcoe: St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: t St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 2166 Blue Line Road

Legal Description:

Roll Number: 336050647000

Application #:

Information Origins: site plan and drawings from owner

Agricultural Zone (A)

Main Building	REQUIRED	PROPOSED	DEFICIENCY	UNITS
12.1 a) minimum lot area				
existing lot area		1781.00		m.sq
Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) building height	8.00	5.18		m
b) minimum front yard	13.00	21.71		m
c) minimum exterior side yard	13.00	2.00	11.00	m
d) minimum interior side yard				
	Right	1.20		m
	Left	1.20		m
e) minimum rear yard	1.20		N/A	m
f) through lot distance to street line	6.00		N/A	m
g) Lot coverage (Note: Proposed Area)				
i) lot coverage	10.00	5.00	N/A	%
ii) usable floor area	200.00	93.00	N/A	m.sq
3.36 Surplus Farm Dwelling Severance				
	200.00		N/A	m.sq
b) existing accessory buildings/structures				

Comments

relief of exterior side yard along Old Hwy 24, for a detached accessory structure.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Lambrecht

I have read and understand the above.

Signature of owner or authorized agent

Roxanne Lambrecht

Signature of Zoning Administrator

date

28-Jun-21

date

AS PER: Fritz R. Enzlin. CBCO,
CRBO - Chief Building Official
Manager, Building & Bylaw
Division, Norfolk County



Zoning Deficiency

Simcoe: St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: t St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 2166 Blue Line Road

Legal Description:

Roll Number: 336050647000

Application #:

Information Origins: site plan and drawings from owner

Agricultural Zone (A)

SKETCH PREPARED FOR BUILDING
PERMIT APPLICATION

FOR: COLIN ROBINSON
2166 BLUELINE ROAD
WATERFORD

PIN 50283 - 0242 (LT)

SCALE: 1 : 250

JEWITT AND DIXON LTD.

SITE B.M.#1
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 245.614
(GEODETIC)

LEGEND	SHOWN	BOX
RECEIVED	SHOWN	BM
BENCH MARK	SHOWN	CB
CATCH BASIN	SHOWN	TOF
TOP OF FOUNDATION	SHOWN	O/H
OVERHEAD HYDRO LINE	SHOWN	WV
WATER VALVE	SHOWN	HP
HYDRO POLE	SHOWN	GM
GAS METER	SHOWN	TBR
TO BE REMOVED		

NOTES

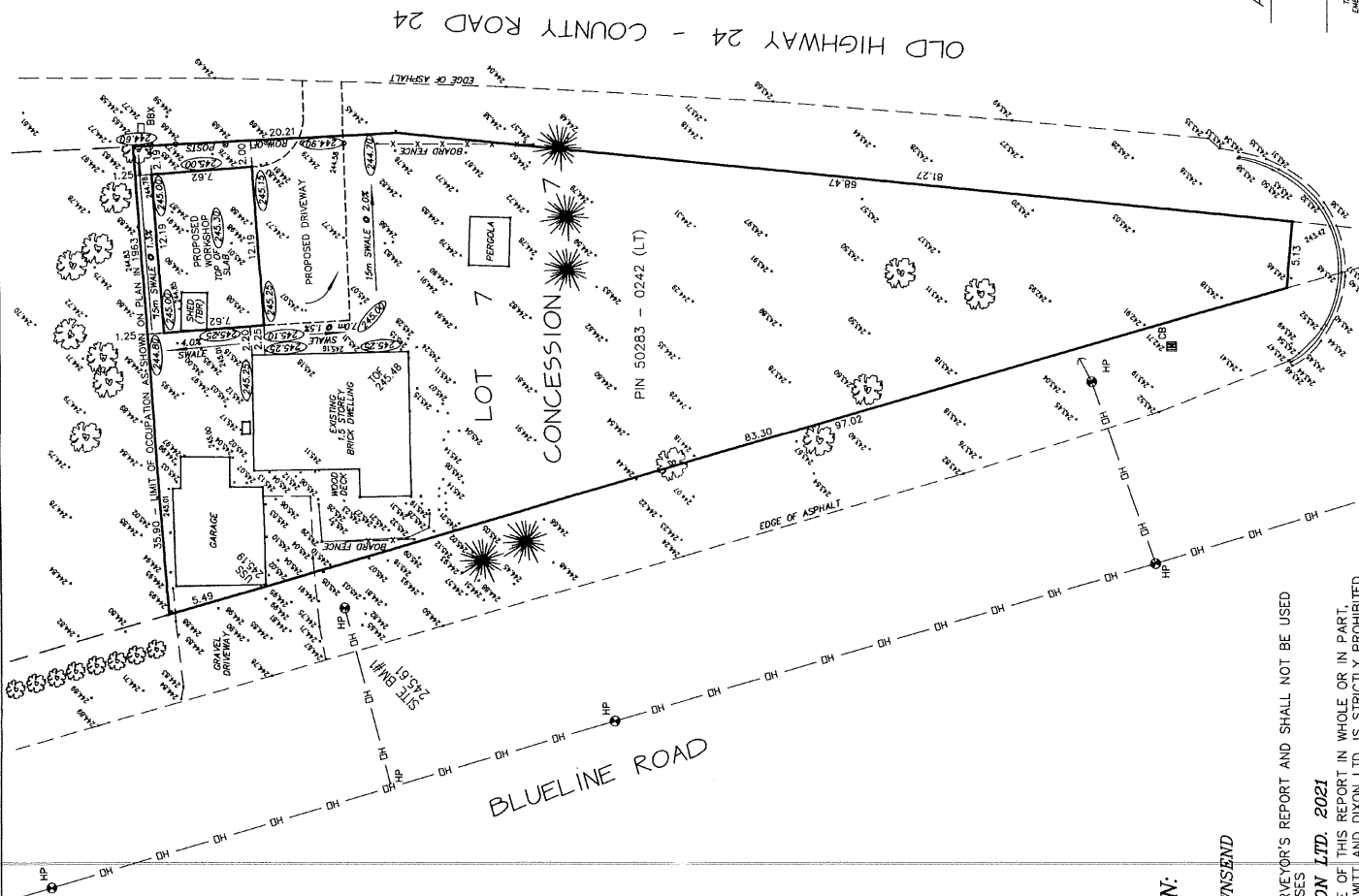
- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY FIELD SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN ~~44.20~~ AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - SITE BENCHMARK SPIKE IN FACE OF WOOD HYDRO POLE HAVING A GEODETIC ELEVATION OF 245.61 meters
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (9) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (10) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 30TH DAY OF MARCH, 2021

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net
PROJECT NO. - 21-2882

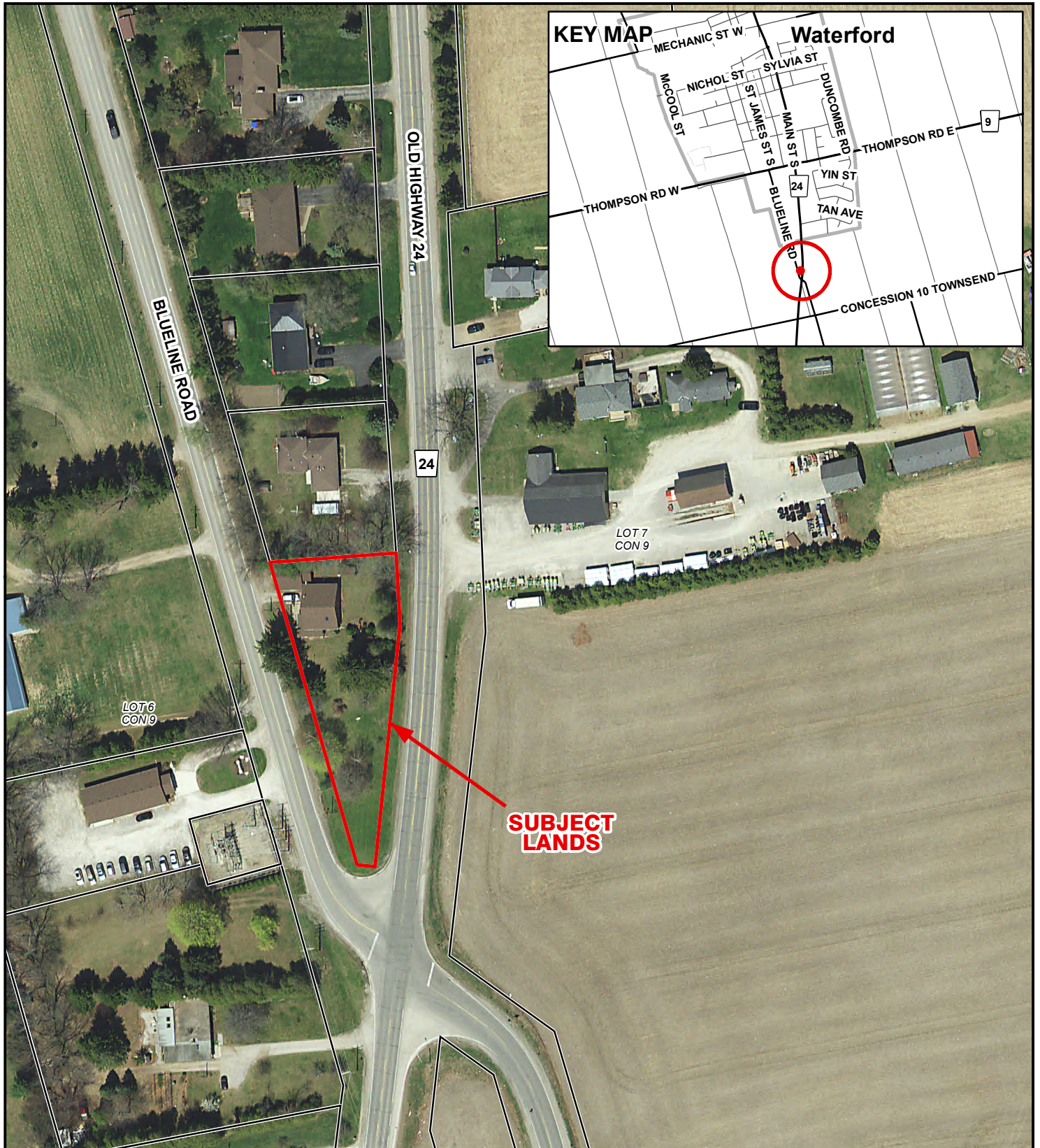
APRIL 16, 2021

[Signature]
KIM HASTED, O.L.S.
THESE SKETCHES
EMBOSSED WITH THE SURVEYOR'S SEAL




MAP A
CONTEXT MAP
Geographic Township of TOWNSEND

ANPL2021186

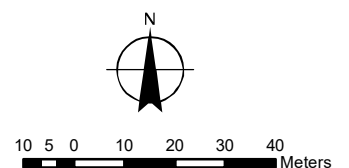


Legend

 Subject Lands

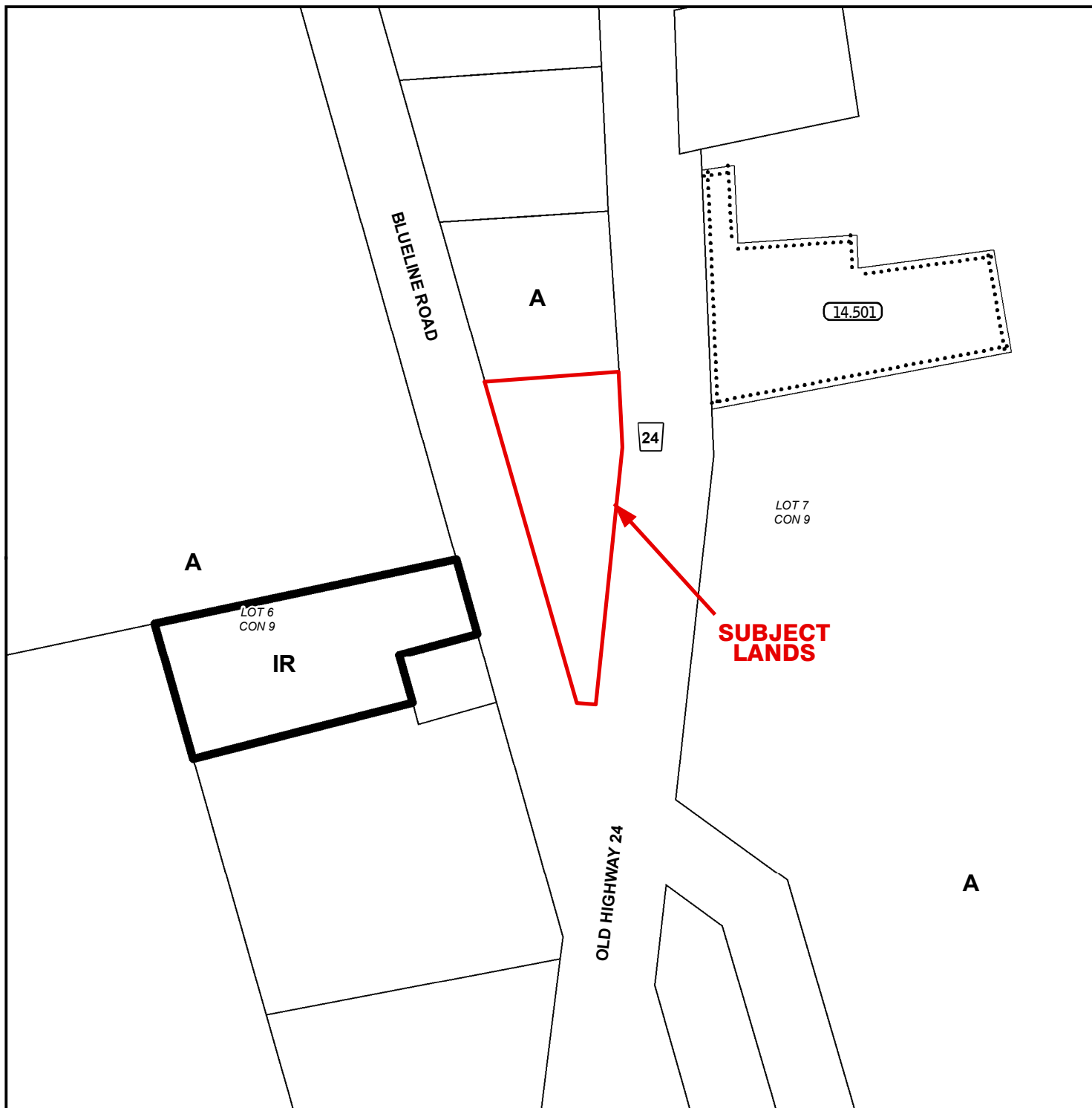
2015 Air Photo

2021-06-30



MAP B
ZONING BY-LAW MAP
Geographic Township of TOWNSEND

ANPL2021186



LEGEND

 Subject Lands

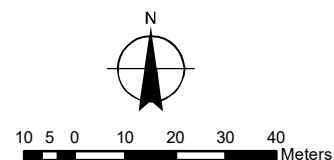
ZONING BY-LAW 1-Z-2014

(H) - Holding

A - Agricultural Zone

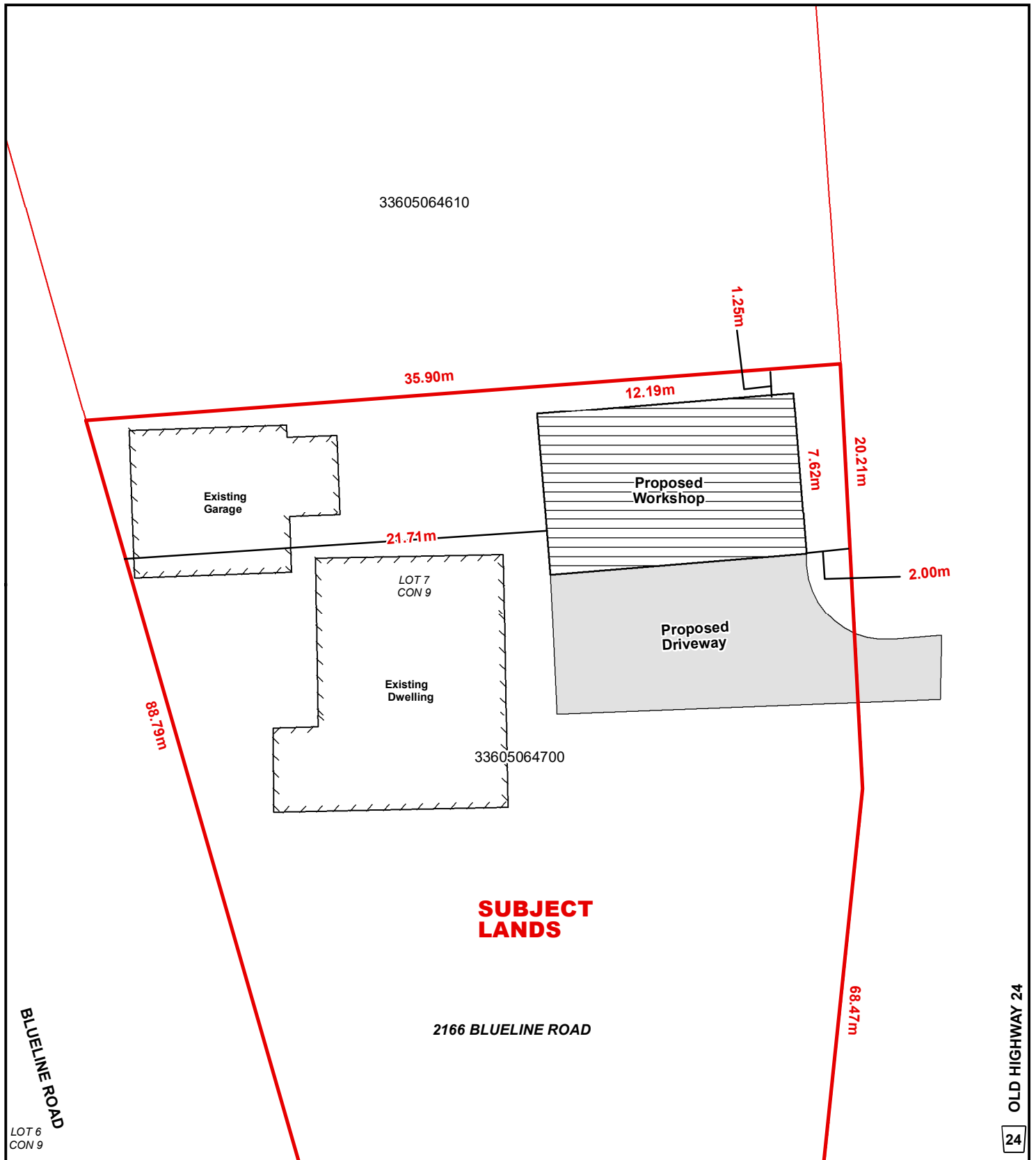
IR - Rural Institutional Zone

2021-06-30



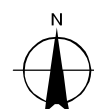
CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

Subject Lands

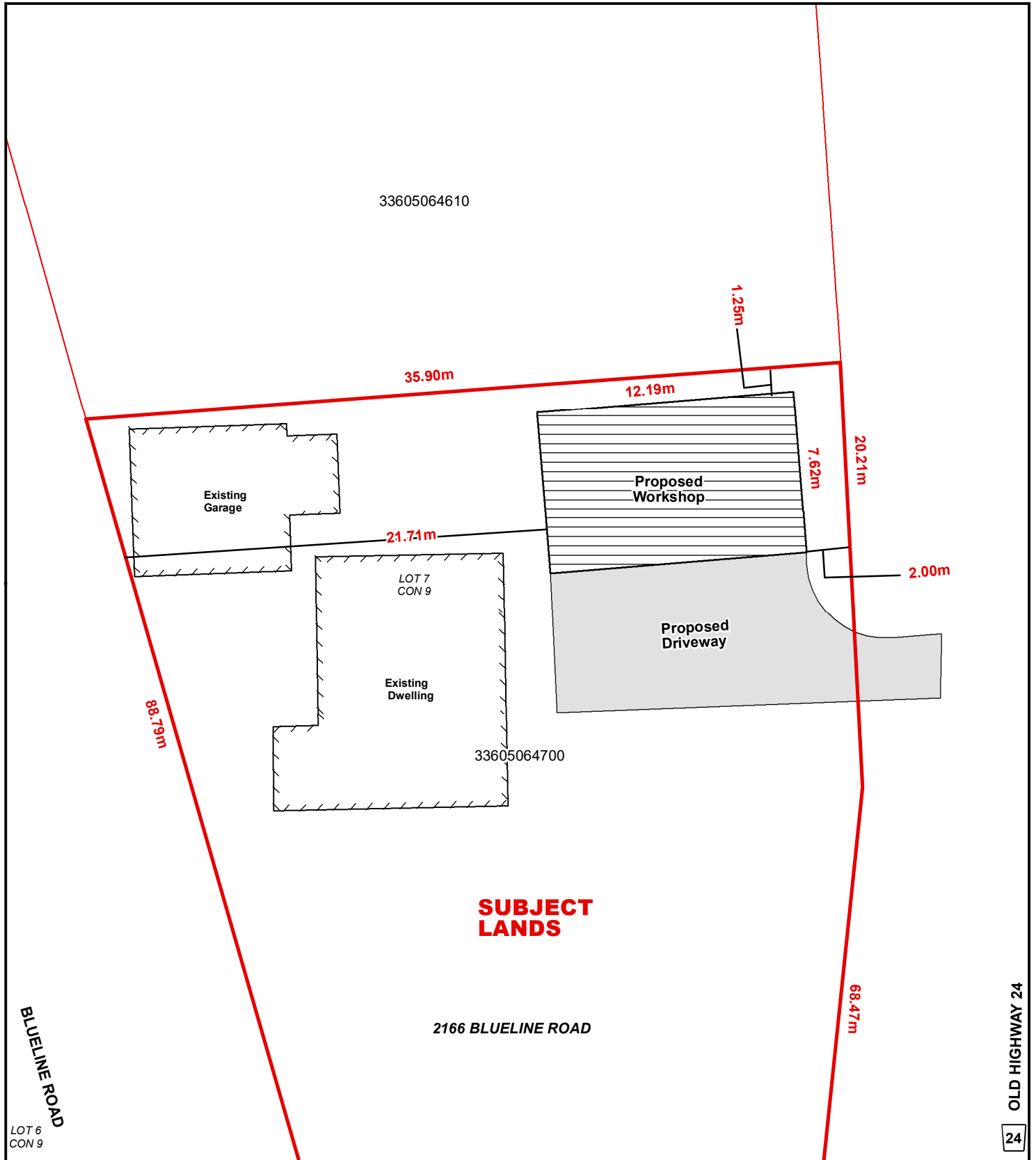


2021-06-30

2 1 0 2 4 6 8 Meters

CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

Subject Lands



2021-06-30

2 1 0 2 4 6 8 Meters