

For Office Use Only:

File Number	<u>ANPL2021213</u>	Application Fee	<u>1560.00</u>
Related File Number	<u></u>	Conservation Authority Fee	<u></u>
Pre-consultation Meeting	<u></u>	Well & Septic Info Provided	<u></u>
Application Submitted	<u>June 3, 2021</u>	Planner	<u>N. Goodbrand</u>
Complete Application	<u>July 9, 2021</u>	Public Notice Sign	<u></u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.
6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐
If yes, identify and provide details of the building:
8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?
☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

2. Please outline the relief requested (assistance is available):

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

SKETCH PREPARED FOR BUILDING
PERMIT APPLICATION

FOR: TYLER SMITH
2368 HIGHWAY #24 SOUTH
SIMCOE

PIN 50209-0394 (LT)

SCALE: 1 : 200

2 0 8 METRES

JEWITT AND DIXON LTD.

SITE B.M.#1

TOP OF FOUNDATION
OF EXISTING WORKSHOP
ELEV = 221.852
(GEODETIC)

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
FINISHED FLOOR ELEVATION	SHOWN	FF	
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	△
HYDRO POLE	SHOWN	HP	⊙
GAS METER	SHOWN	GM	⊙
MANHOLE	SHOWN	MH	⊙

DRY WELL

DRY WELL TO BE CONSTRUCTED
1.2m L X 1.2m W X 1.2m DEEP
FILLED WITH CLEAR 3/4" GRAVEL
WRAPPED IN TERRAFIX 270R
GEOTEXTILE (c/w 600mm OVERLAP)
TOP WITH TOP SOIL AND SOD

NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN 176.50 AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - SITE BENCHMARK HAVING A GEODETIC ELEVATION OF 1 meters
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (9) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (10) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 30th DAY OF SEPTEMBER, 2020

PROPERTY DESCRIPTION:
PART OF LOT 1
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF WOODHOUSE
COUNTY OF NORFOLK

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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NOVEMBER 10, 2020

KIM HUSTED, O.L.S.
THIS COPY IS NOT VALID UNLESS
EMBOSSED WITH THE SURVEYOR'S SEAL.

JEWITT AND DIXON LTD.

ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

F.W.	-	J.D.
BOOK	-	LL
CALC.	-	J.L.M.
PLAN	-	J.L.M.
CHECK	-	K.H.
CLIENT	-	SMITH
PROJECT No.	-	20-2718

20-2718-GP



Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

OFFICE USE ONLY		FILE NO.:		DATE RECEIVED:	
PROPERTY INFORMATION		Municipal Address: <u>2366 Norfolk Hwy 24 East, Simcoe</u>			
Owner: <u>Tyler Smith</u>		Lot:		Concession:	
Lot Area:		Lot Frontage:		Assessment Roll No.	
PURPOSE OF EVALUATION		<input type="checkbox"/> Consent <input type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other <u>Addition</u>			
BUILDING INFORMATION		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural			
Building Area: <u>1600 sq ft</u>		No. of Bedrooms: <u>5</u>		No. of Fixture Units: <u>16</u>	
		Is the building currently occupied? <u>Yes</u> / No If No, how long?			
EVALUATOR'S INFORMATION		Evaluator's Name: <u>Don Aurney</u>		Company Name: <u>Clear Lines</u>	
Address: <u>98 Hollcrest Rd Simcoe</u>		Postal Code: <u>N3Y 4K6</u>		Phone: <u>519 426 8554</u>	
Email: <u>deawney@gmail.com</u>		BCIN # <u>113930 / 1164392</u>			
SITE EVALUATION		Ground Cover (trees, bushes, grass, impermeable surface): <u>grass</u>		Soil Type: <u>Sand</u>	
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry		Depth of Water Table: <u>25 ft</u>	
Surface Discharge Observed: Yes <u>No</u>		Odour Detected: Yes <u>No</u>		Current Weather (at time of evaluation): <u>6°C dry</u>	
SYSTEM EVALUATION		Class of System:			
		<input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)			
Tank:		Size: <u>800 + 600</u>		Pump: Yes <u>No</u>	
<input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other		No. of Tile Runs: <u>8</u>		Total Length of Tile: <u>400'</u>	
Distribution System: Area: <input checked="" type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		Distance Between Tile Runs: <u>6 ft</u>			
Tile Material: <input type="checkbox"/> PVC <input checked="" type="checkbox"/> Clay <input type="checkbox"/> Other		Ends: <u>?</u>		Cover: <input type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded	
Setbacks:		Tank		Distribution Pipe	
Distance to Buildings & Structures (ft)		<u>5 ft</u>		<u>~20 ft</u>	
Distance to Bodies of Water (ft)		<u>>100 ft</u>		<u>>>100'</u>	
Distance to Nearest Well (ft)		<u>>50 ft</u>		<u>>50 ft</u>	
Distance to Proposed Property Lines		Front <u>>>10'</u> Rear <u>>>10'</u> Side <u>>>10'</u> Side <u>>>10'</u>		Front <u>>>10'</u> Rear <u>>>10'</u> Side <u>10'</u> Side <u>>>10'</u>	

OVERALL SYSTEM RATING	<input checked="" type="checkbox"/> System Working Properly / No Work Required <input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required <u>Note:</u> Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-4377 for more information.
	Additional Comments:

VERIFICATION	<p><u>OWNER:</u> The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.</p> <p>I, _____ (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> _____ Owner Signature </div> <div style="width: 45%;"> _____ Date </div> </div>
<u>EVALUATOR:</u>	<p>1. I, <u>Don Awohey</u> declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> _____ Evaluator Signature </div> <div style="width: 45%;"> _____ Date <u>April 29, 2021</u> </div> </div>

BUILDING DIVISION COMMENTS	Comments: _____ _____ I, _____ have reviewed the information contained in this form as submitted.
	<div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> _____ Chief Building Official or designate </div> <div style="width: 45%;"> _____ Date </div> </div>

2366. Hwy 24 E, Simcoe

N

property line

60000

50

6' concrete

property line

2366 Norfolk County
Hwy 24, Simcoe, ON...
6 minute home

Google

PROPERTY DESCRIPTION: PART LOT 1 CONCESSION 2 WOODHOUSE, PARTS 1 & 2 PLAN 37R4159; NORFOLK COUNTY

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

CONSOLIDATION FROM 50209-0393, 50209-0394

PIN CREATION DATE:

2021/05/17

OWNERS' NAMES

SMITH, TYLER VINCENT ALEXANDER
SMITH, BEVERLY AMBER

CAPACITY SHARE

JTEN
JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2021/05/17 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 2007/08/20 **						
37R4159	1988/08/12	PLAN REFERENCE				C
NR546628	2000/05/11	DEPOSIT				C
NK104669	2017/10/27	TRANSFER	\$108,070	SCHENN, HILDA STEWART, ROSEMARIE ELIZABETH	SMITH, TYLER VINCENT ALEXANDER SMITH, BEVERLY AMBER	C
REMARKS: PLANNING ACT STATEMENTS.						
NK104670	2017/10/27	TRANSFER	\$291,930	SCHENN, HILDA	SMITH, TYLER VINCENT ALEXANDER SMITH, BEVERLY AMBER	C
REMARKS: PLANNING ACT STATEMENTS.						
NK136996	2021/01/07	CHARGE	\$412,200	SMITH, TYLER VINCENT ALEXANDER SMITH, BEVERLY AMBER	THE TORONTO-DOMINION BANK	C
NK140029	2021/04/09	APL CONSOLIDATE		SMITH, TYLER VINCENT ALEXANDER SMITH, BEVERLY AMBER		C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

OWNER:

TYLER SMITH
2368 NORFOLK COUNTY HWY 24 S
SIMCOE, ONTARIO, N3Y 4K2
TEL: 1-519-429-2564
EMAIL: TYLERSMITH1990@HOMTAIL.CA

DRAWING LIST:

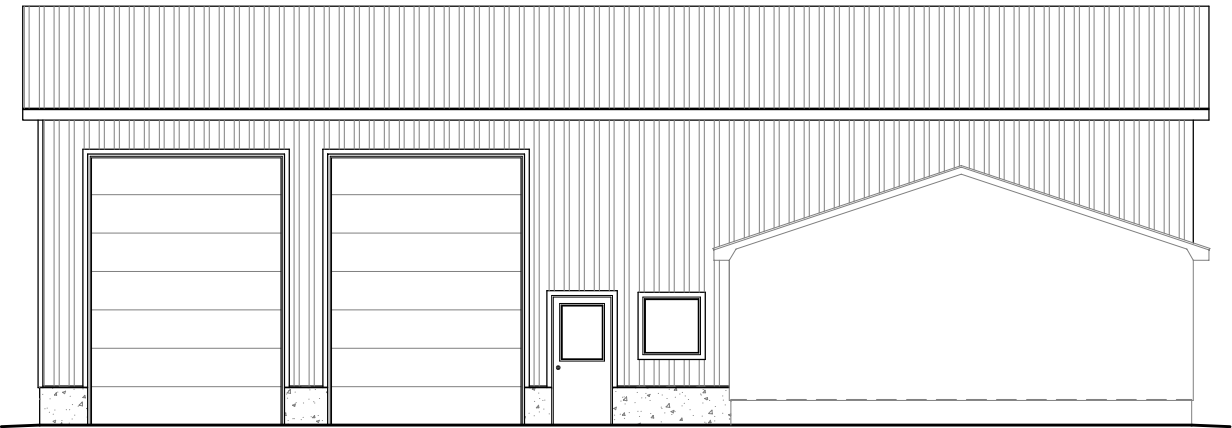
- S-0 - GENERAL NOTES & SECTIONS
- S-1 - FOOTING AND FOUNDATION PLAN & GENERAL DETAILS
- S-2 - FRAMING AND BRACING PLAN & GENERAL DETAILS
- S-3 - ROOF FRAMING AND BRACING PLAN & GENERAL DETAILS
- S-4 - WEST & EAST ELEVATIONS
- S-5 - NORTH & SOUTH ELEVATIONS

GENERAL CONSTRUCTION NOTES

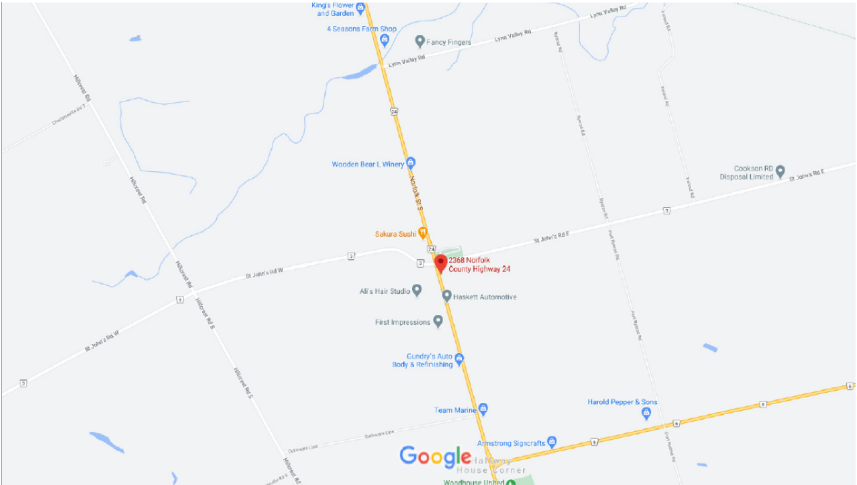
- ALL FOOTINGS TO BEAR DIRECTLY ONTO UNDISTURBED SOIL. THE SOIL BEARING CAPACITY HAS BEEN DESIGNED FOR 2500PSF.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION. THE ENGINEER DOES NOT TAKE RESPONSIBILITY FOR TEMPORARY BRACING DURING CONSTRUCTION.
- ALL TRUSS BRACING TO BE INSTALLED AS PER TRUSS MANUFACTURERS DESIGN & SPECIFICATIONS AND AS PER ENGINEERS DESIGN & SPECIFICATIONS.

60'-0"x30'-0" GARAGE ADDITION

FRONT ELEVATION:



KEY MAP:



SATELLITE MAP:



PROPOSED ADDITION

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

REVISED & REISSUED FOR:

PERMIT & CONSTRUCTION
OCTOBER 20, 2020

GROUND SNOW LOAD	5s 1.3kPa (27.15psf), 5R 0.40kPa (8.35psf)
ROOF DEAD LOAD	0.72kPa (15.04psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING + MECHANICAL/ELECTRICAL ALLOWANCE
WIND LOADS	1/50 - 0.45kPa (9.40psf), 1/10 FOR DEFLECTION - 0.35kPa (7.31psf)

1. THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE LATEST REVISION OF DESIGN DRAWINGS AND SPECIFICATIONS PREPARED BY ALL ENGINEERING AND ARCHITECTURAL DISCIPLINES.
2. NO WORK INCLUDING DESIGN, DETAILING, SHOP DRAWINGS, CONSTRUCTION, AND SHORING SHALL CONFORM TO THE LATEST EDITIONS OF THE OSHA BUILDING CODES, THE OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES ON THESE DRAWINGS TO THE ENGINEER AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.

1. CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS
2. DRAWINGS ARE TO BE READ AND NOT TO BE SEALED.
3. ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT TO ADHERE TO LATEST EDITION OF D.B.C. & LOCAL BY-LAWS.
4. ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH O.B.C., CHARTS TO BE ENGINEERED APPROVED (STRUCTURAL ENGINEER TO REVIEW, CALCULATE LOADS AND STRESSES, STAMP, AND APPROVE).
5. ALL TO BEAR ON UNDISTURBED SOIL. ALL EXTERIOR FOUNDATION WALL FOOTINGS TO EXTEND DOWN BELOW LOCAL FROST LEVELS 148" MINIMUM BELOW FINISHED GRADE.
6. REFER TO PLANS, CROSS SECTIONS, AND DETAILS FOR ALL TYPICAL CONSTRUCTION DETAILS AND NOTES.
7. 1 1/2" MINIMUM REBAR COVERAGE.

1. ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT HAS BEEN ASSUMED AT 2500 psf (120 kPa).
2. THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT.
3. THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
4. ALL EXTERIOR FOOTINGS SHALL BE POURED ON UNDISTURBED NATIVE SOIL (OR APPROVED ENGINEERING FILL AT A MINIMUM DEPTH OF 4'-0" (1.20m) BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
5. EXCAVATIONS SHALL CONFORM TO THE LATEST EDITIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
6. WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY UNLESS SHOWN ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER. PIT WALLS SHALL NOT BE BACKFILLED UNLESS GRADED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.O. UNLESS OTHERWISE NOTED.
7. WALLS AND PIERS SHALL BE CENTRED ON FOOTINGS WITHIN THE MIDDLE THIRD OF THE FOOTING.

1. ALL CONCRETE SHALL CONFORM TO CAN/CSA-A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" WITH A MAXIMUM AGGREGATE SIZE OF 3/4" (19mm), TYPE 1 NORMAL PORTLAND CEMENT (UNLESS OTHERWISE NOTED), AND A COMPRESSIVE STRENGTH AT 28 DAYS.
2. SUPPLY AND PLACE CONCRETE AS FOLLOWS:
 - FOOTINGS - 25 MPa, MAX. W/C RATIO OF 0.50, AIR CONTENT \geq 1 %
 - FOUNDATION WALLS - 25 MPa, MAX. W/C RATIO OF 0.50, AIR CONTENT \geq 1 %
 - SLABS ON GRADE - 25 MPa, MAX. W/C RATIO OF 0.50, NO AIR CONTENT REQUIRED
3. ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30-18 (LATEST EDITION) WITH A YIELD STRENGTH OF 400 MPa FOR DEFORMED BARS OR 360 MPa FOR WELDED WIRE.
4. MINIMUM CORNER REINFORCING SHALL BE 2x2x2' (600mmx600mm) L-BARS.
5. MINIMUM COVER FOR REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER SHALL BE 2" (50mm) FOR 200' (60m) OR LARGER SPANS, 1 1/2" (38mm) FOR 100' (30m) OR SMALLER SPANS, 1" (25mm) FOR REINFORCING IN FOOTINGS AND UNEXPOSED CONCRETE AGAINST EARTH, 1" (25mm) FOR SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER, 1 1/2" (38mm) FOR REINFORCING IN BEAMS, AND 2" (50mm) FOR MAIN PIER STEEL.
6. CONDUCITS OR PIPES IN SLABS SHALL NOT EXCEED 1/3 OF THE SLAB THICKNESS IN DIAMETER AND SHALL HAVE A MINIMUM COVER OF 1" (25mm).
7. CONTROL JOINTS SHALL BE INSTALLED AS SHOWN OR AS NOTED ON DRAWINGS WITH A MAXIMUM SPACING OF 300' (90m) OR 1/3 OF THE MAXIMUM SLAB POOR LENGTH OF 1200' (360m), OR AT SLAB CUTS SHALL BE A MINIMUM OF 1/3 OF THE SLAB DEPTH AND SHALL BE CUT WITHIN 24 HOURS OF THE POOR.

1. STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CAN/CSA D86-01 "ENGINEERING DESIGN IN WOOD" AND THE WOOD DESIGN MANUAL (CANADIAN WOOD COUNCIL LATEST EDITIONS).
2. WOOD TRUSSES SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO). THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. WOOD STUDS, JOISTS, NAILERS, BLOCKING, BUILT-UP BEAMS, AND COLLARS SHALL BE S.P.F. NO. 2 (CONSTRUCTION GRADE) OR BETTER. THE CONTRACTOR SHALL CONFORM TO CAN/CSA D241-1978 "SOFT WOOD LUMBER" AND CONFORM TO THE NATIONAL LUMBER GRADES AUTHORITY STANDARD GRADING RULES FOR CANADIAN LUMBER, WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2006 - SECTION 9.2.3.
4. PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD D121-191978 "DOUGLAS FIR PLYWOOD" AND D151-1978 "CANADIAN SOFT WOOD PLYWOOD".
5. WAFERBOARD AND C.S.S. SHALL CONFORM TO CSA STANDARD CAN3-437-1.M85 "WAFERBOARD AND STRANDBOARD".
6. FASTENING DEVICES (NAILS) SHALL CONFORM TO CSA STANDARD B11-1974 "WIRE NAILS, SPIKES, AND STAPLES".
7. TRUSS CHORDS, JOIST HANGERS, ETC. SHALL CONFORM TO "ACCEPTANCE CRITERIA FOR JOIST HANGERS AND SIMILAR DEVICES" (THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS) AND SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL.

Diagram illustrating the bracing requirements for a roof truss assembly:

- PROVIDE DIAGONAL BRACING ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. PROVIDE DIAGONAL BRACING TO GABLE END ASSEMBLY.
- PERMANENT LATERAL BRACING FOR WEB MEMBERS, AS SPECIFIED BY TRUSS DESIGNER.
- METAL OR PLYWOOD DIAPHRAGM ROOF DECK WITH STITCH SCREWS AT JOINTS/LAPS.
- 2x4 STRAPPING AT SPACING NOTED ON STRUCTURAL DRAWINGS
- LATERAL BRACING ON BOTTOM CHORD (OR CEILING STRAPPING) AS SPECIFIED BY THE TRUSS SUPPLIER

2x6 STRUT x 5'-0" LONG
AT TOP AND BOTTOM WITH
THREE 3 1/2" NAILS AT EACH
TRUSS WEB MEMBER.

ANCHOR 2x4 DIAGONAL BRACE
TO LATERAL WITH THREE 3 1/2" NAILS
AT INTERSECTION WITH TRUSS WEB.

STRAPPING OR SHEATHING
ON ROOF DECK.

TRUSS TOP CHORD

TRUSS WEB MEMBER

2x4 LATERAL BRACE
EQUALLY BRACED

TRUSS BOTTOM CHORD

BUTT 2x4 LATERALS AT ALL SPLICE LOCATIONS.
ENSURE BUTT JOINT IS TIGHT AND CENTRED ON
TRUSS WEB MEMBER. BUTT JOINT IS NOT TO BE
LOCATED FAST DIAGONAL MEMBER OR SPLICE WITH
2x4 BLOCKING USING TWO SPIKES FOR EACH END.

ANCHOR DIAGONAL BRACE
TO STRUT AT BOTH ENDS
WITH FIVE 3 1/2" NAILS.

2x6 STRUT x 5'-0" LONG
AT TOP AND BOTTOM WITH
THREE 3 1/2" NAILS AT EACH
TRUSS WEB MEMBER.

PROVIDE 2x4 DIAGONAL "X" BRACING AT BOTH ENDS OF TRUSS ARRANGEMENT AND AT 50 FT INTERVALS MAXIMUM.

DOUBLE ROW OF 2x4 LATERAL BRACINGS.

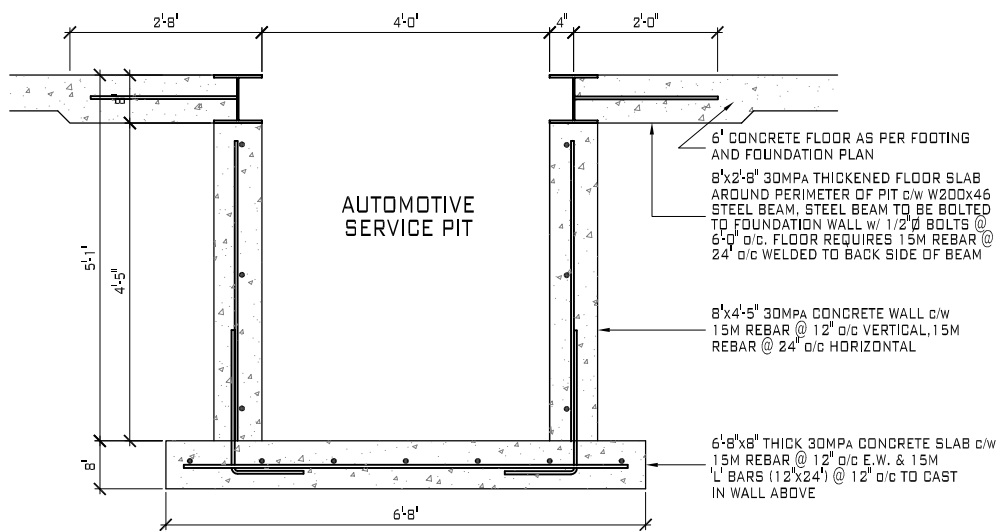
12' MAX.

PROVIDE 2x4 DIAGONAL, 1" X' BRACING AT BOTH ENDS OF TRUSS ARRANGEMENT AND CONTINUOUSLY ALONG LATERAL BRACING.

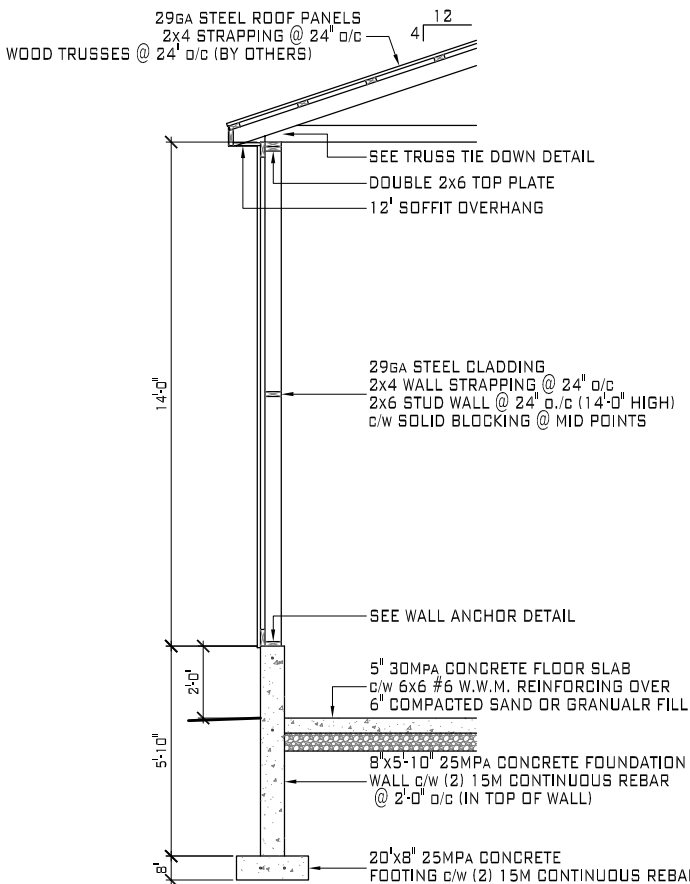
TRIPLE ROW OF 2x4 LATERAL BRACING.

12' max.

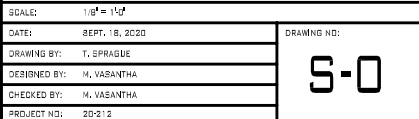
TRUSS BRACING AS DETAILED ON THIS SHEET IS RECOMMENDED AS A GUIDELINE ONLY AND ARE NOT INTENDED TO REPLACE



- PROPOSED CONCRETE PIT TO BE 16'-0" LONG AND CENTERED IN OVERHEAD DOOR(S)
- MINIMUM CONCRETE STRENGTH (28 DAY) - 30MPA (4500 PSI) C/W 6% AIR ENTRAINMENT
- MINIMUM STEEL STRENGTH - 400MPA (60ksi)
- MINIMUM SOIL BEARING CAPACITY REQUIRED - 2500psf
- SERVICE PIT VENTILATION AND DRAINAGE TO BE DESIGNED BY OTHERS



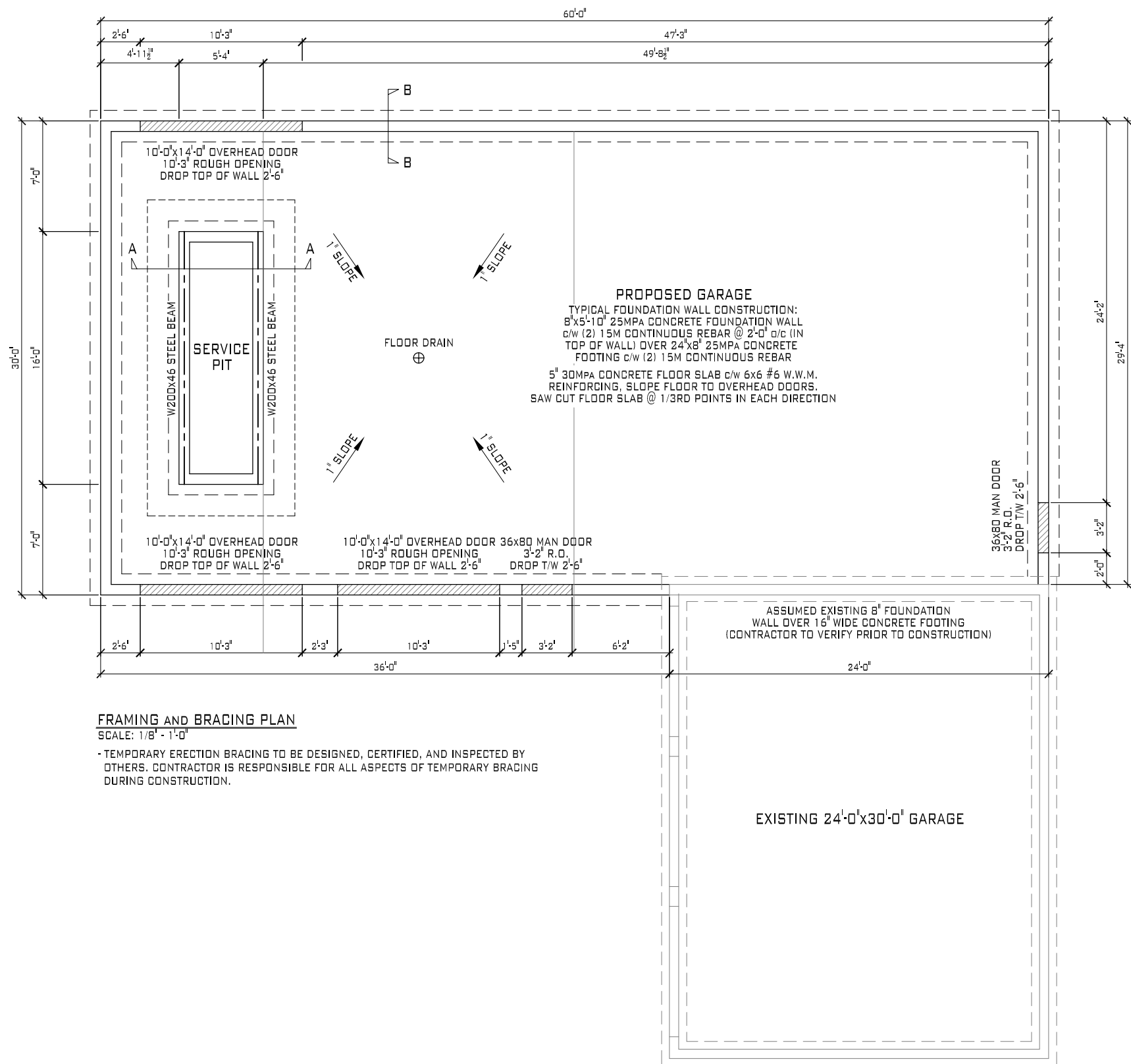
SCALE: 3/16" = 1'-0"



S-0



DOOR CUT OVERPOUR DETAIL
SCALE: NOT TO SCALE



FRAMING AND BRACING PLAN
SCALE: 1/8" = 1'-0"

- TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.



CONSTRUCTION NORTH

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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

[illegible]

CONSTRUCTED BY:

DESIGNED BY:

girard
ENGINEERING
2478153 ONTARIO INC.
OTTERVILLE - WOODSTOCK
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED IN RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

DESIGNED FOR:

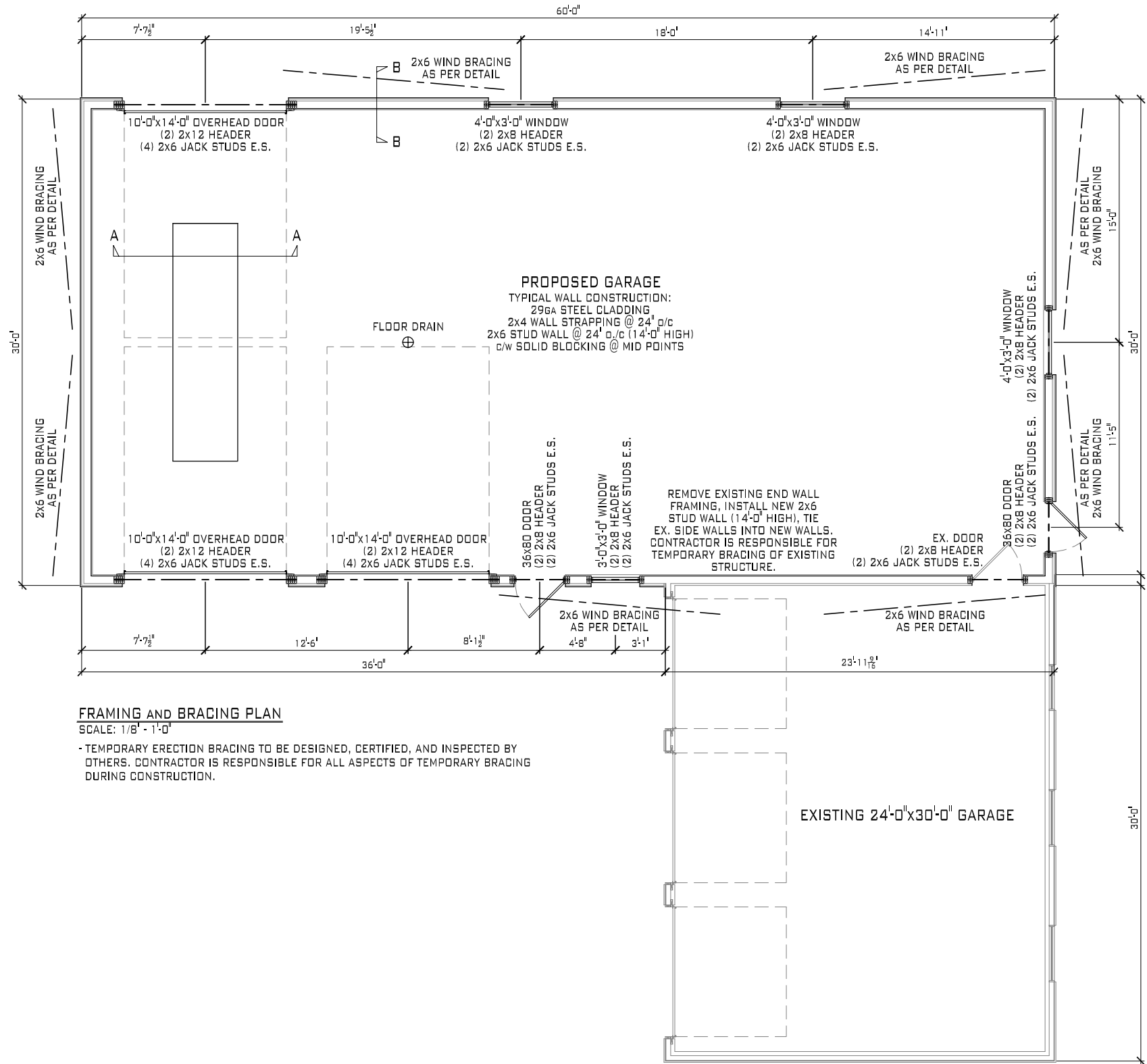
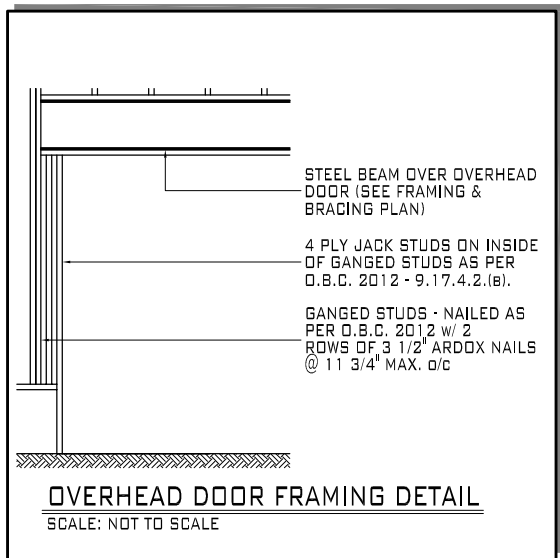
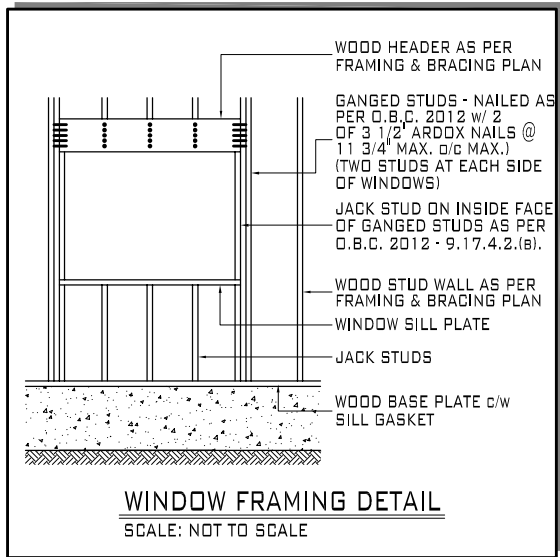
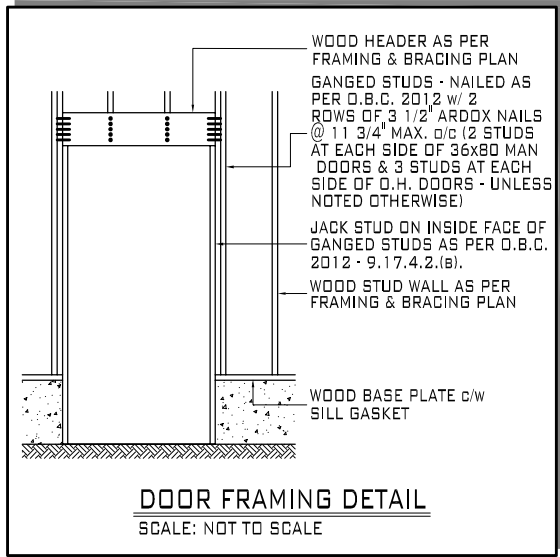
TYLER SMITH
2368 NORFOLK COUNTY HWY 24 S
SIMCOE, ONTARIO, N3Y 4K2
TEL: 1-519-429-2564
EMAIL: TYLERSMITH1990@HOMTAIL.CA

60'-0"x30'-0" SHOP ADDITION

FOOTING AND FOUNDATION
PLAN & GENERAL DETAILS

SCALE: 1/8" = 1'-0"	DRAWING NO: S-1
DATE: SEPT. 18, 2020	
DRAWING BY: T. SPRAGUE	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 20-212	

S-



FRAMING AND BRACING PLAN
SCALE: 1/8" = 1'-0"

- TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.



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NO.	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TR	SEPT. 21, 2020
2	ISSUED FOR PERMIT & CONSTRUCTION	TR	OCT. 7, 2020
3	REVISED AS PER CLIENTS REQUEST - ISSUED FOR PERMIT	TR	OCT. 20, 2020

CONSTRUCTED BY:

DESIGNED BY:

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ENGINEERING
2478153 ONTARIO INC.
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DESIGNED FOR:

TYLER SMITH
2368 NORFOLK COUNTY HWY 24 S
SIMCOE, ONTARIO, N3Y 4K2
TEL: 1-519-429-2564
EMAIL: TYLERSMITH1990@HOMTAIL.CA

60'-0"x30'-0" SHOP ADDITION

FRAMING AND BRACING PLAN
& GENERAL DETAILS

SCALE:	1/8" = 1'-0"	DRAWING NO:
DATE:	SEPT. 18, 2020	
DRAWING BY:	T. SPRAGUE	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	20-212	

S-2

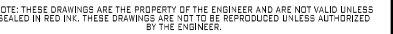


THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

INSTRUCTED BY:

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SIGNED FOR:

8 NORFOLK COUNTY HWY 24 S
MCOE, ONTARIO, N3Y 4K2
TEL: 1-519-429-2564
MAIL: TYLERSMITH1990@HOMTAIL.CA

ROOF FRAMING AND BRACING PLAN & GENERAL DETAILS

S-3

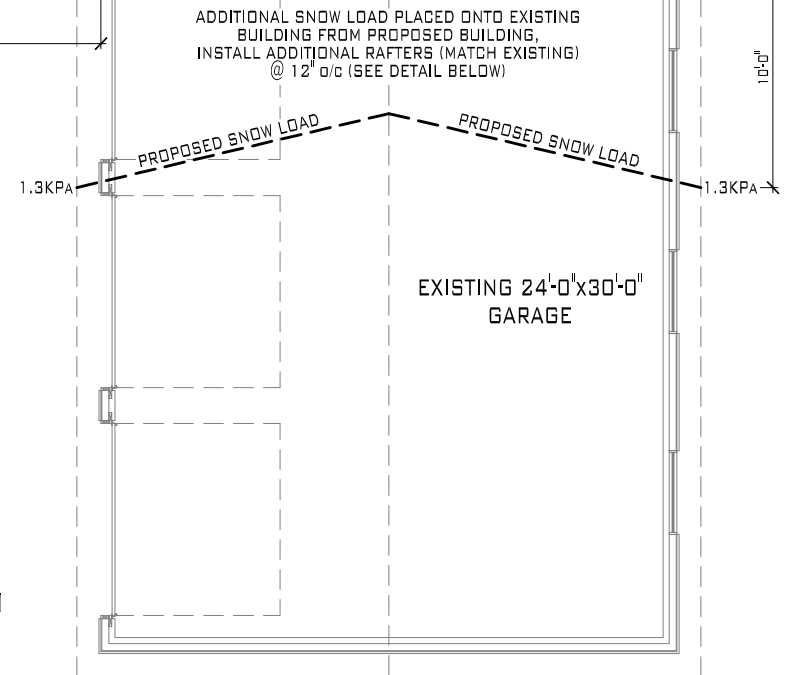


SCALE: 1/8" = 1'-0"

INSTALL ADDITIONAL TRUSSES (AS PER BELOW) BETWEEN EXISTING TRUSSES
N 1ST 10'-0" OF EXISTING BUILDING (ADDITIONAL SNOW LOADED AREA), ENSURE
L TRUSSES HAVE KING POST IN ADDITIONAL LOADED AREA AS PER DETAIL BELOW



SCALE: 3/16" = 1'-0"





CONSTRUCTION NORTH

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NO.	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	SEPT. 21, 2020
2	ISSUED FOR PERMIT & CONSTRUCTION	TS	OCT. 7, 2020
3	REVISED AS PER CLIENT'S REQUEST - ISSUED FOR PERMIT	TS	OCT. 20, 2020

CONSTRUCTED BY:

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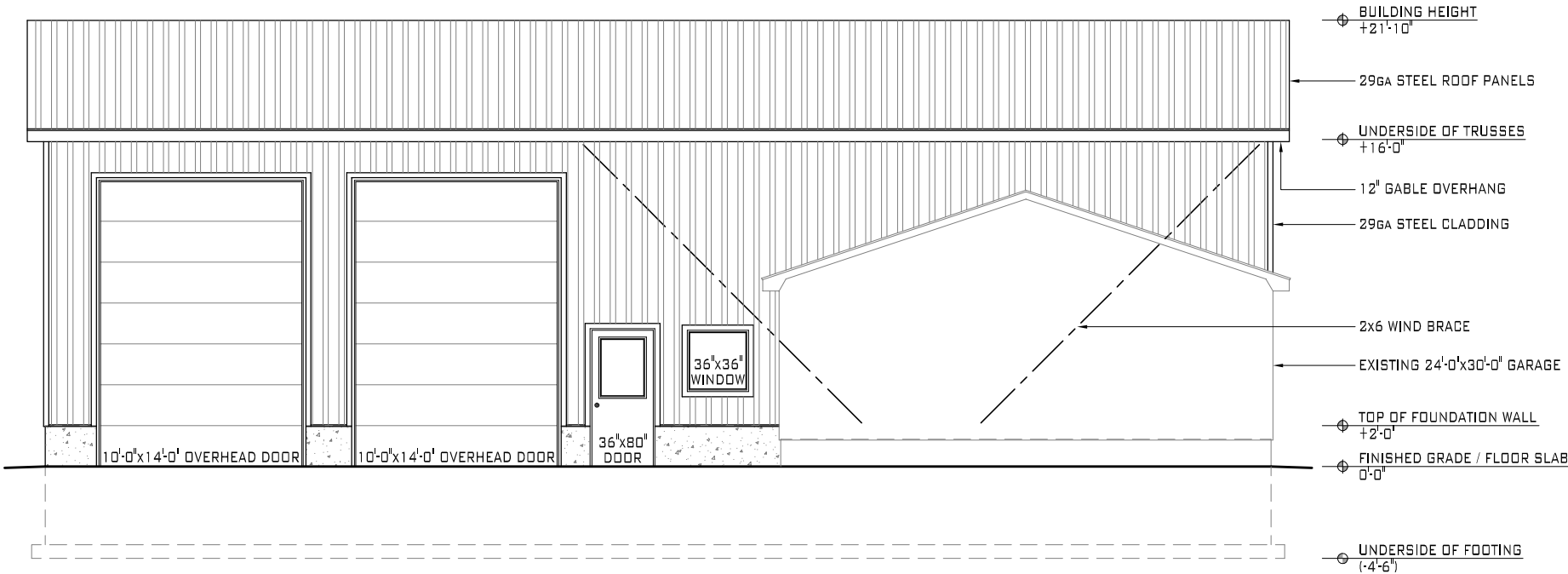
DESIGNED FOR:

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TEL: 1-519-429-2564
EMAIL: TYLERSMITH1990@HOTMAIL.CA

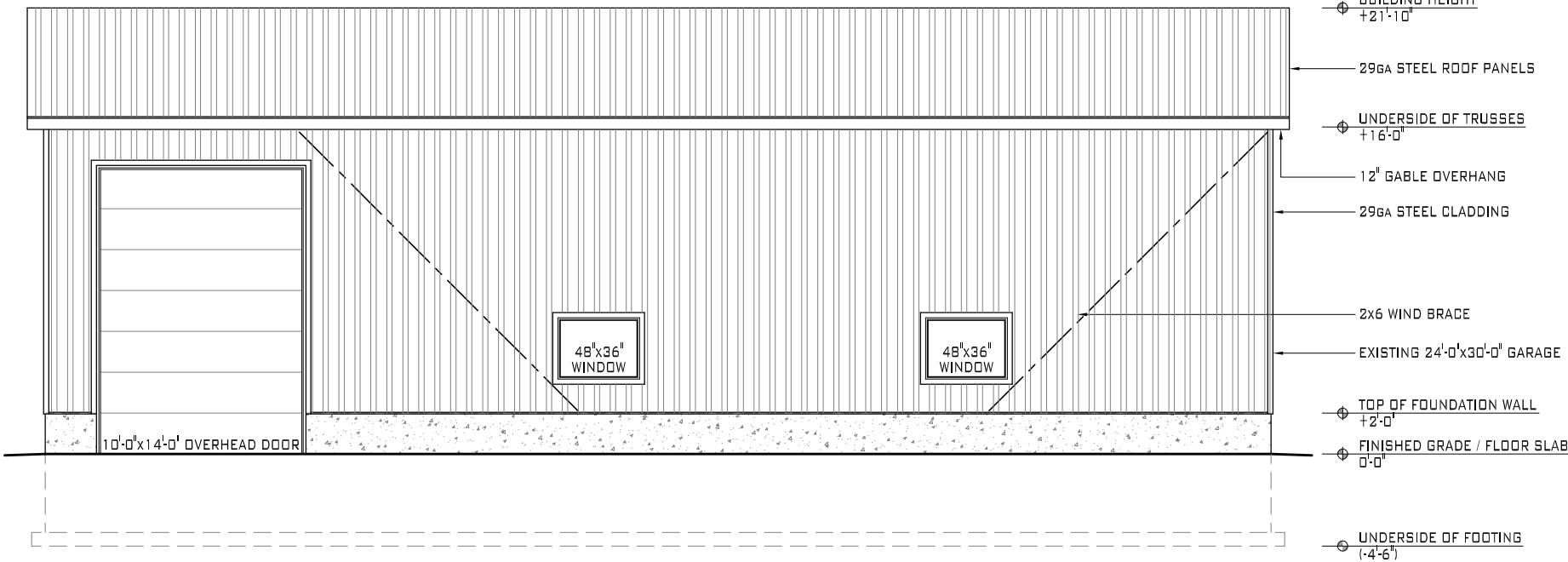
60'-0"x30'-0" SHOP ADDITION

WEST & EAST ELEVATIONS

SCALE: 1/8" = 1'-0"	DRAWING NO:
DATE: SEPT. 18, 2020	S-4
DRAWING BY: T. SPRAGUE	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 20-212	



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



CONSTRUCTION NORTH

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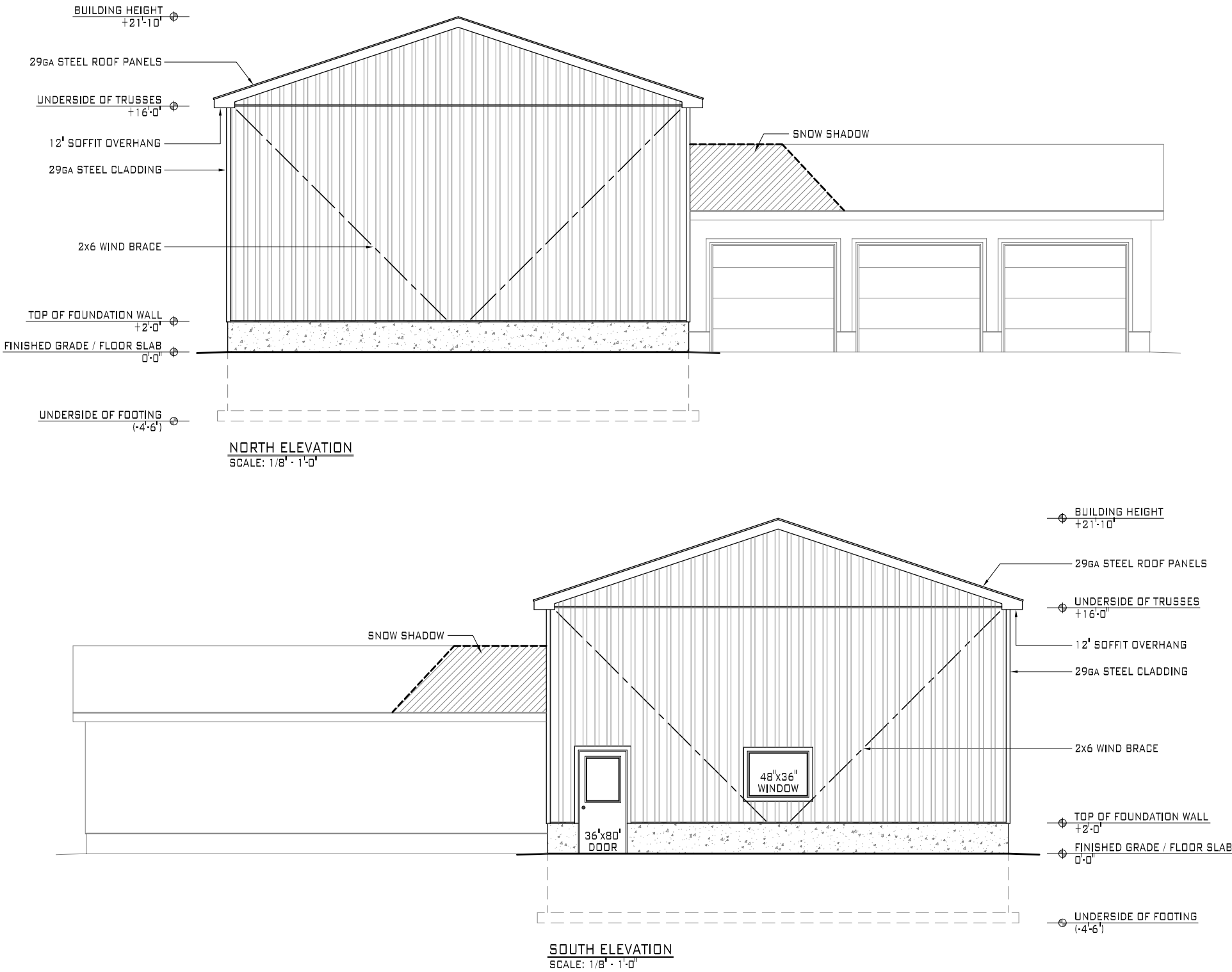
DESIGNED FOR:

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SIMCOE, ONTARIO, N3Y 4K2
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EMAIL: TYLERSMITH1990@HOTMAIL.CA

60'-0"x30'-0" SHOP ADDITION

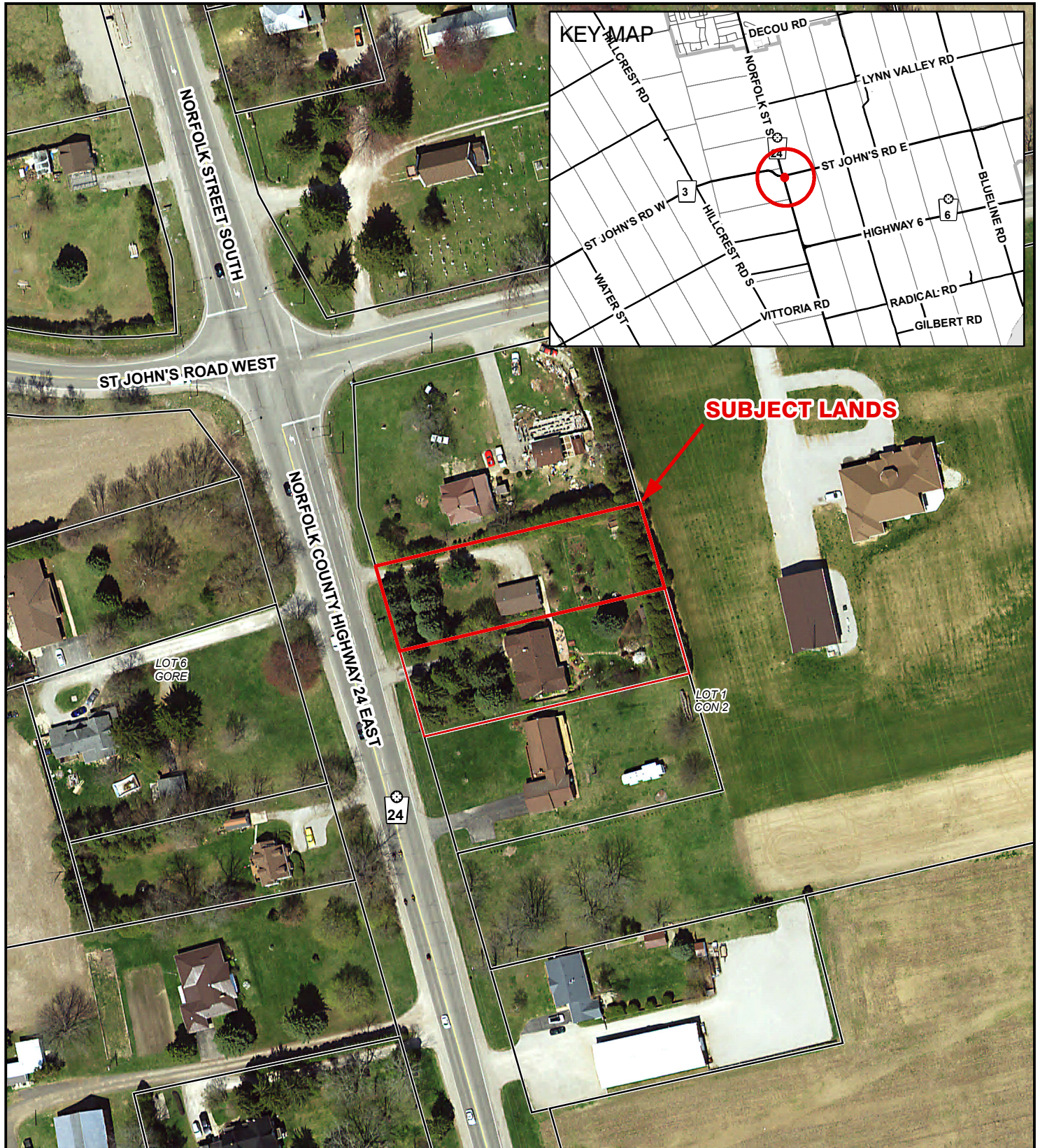
NORTH & SOUTH ELEVATIONS

SCALE: 1/8" = 1'-0"	DRAWING NO:
DATE: SEPT. 18, 2020	S-5
DRAWING BY: T. SPRAGUE	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 20-212	



CONTEXT MAP

Geographic Township of WOODHOUSE

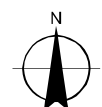


Legend

Subject Lands

2015 Air Photo

2021-07-12



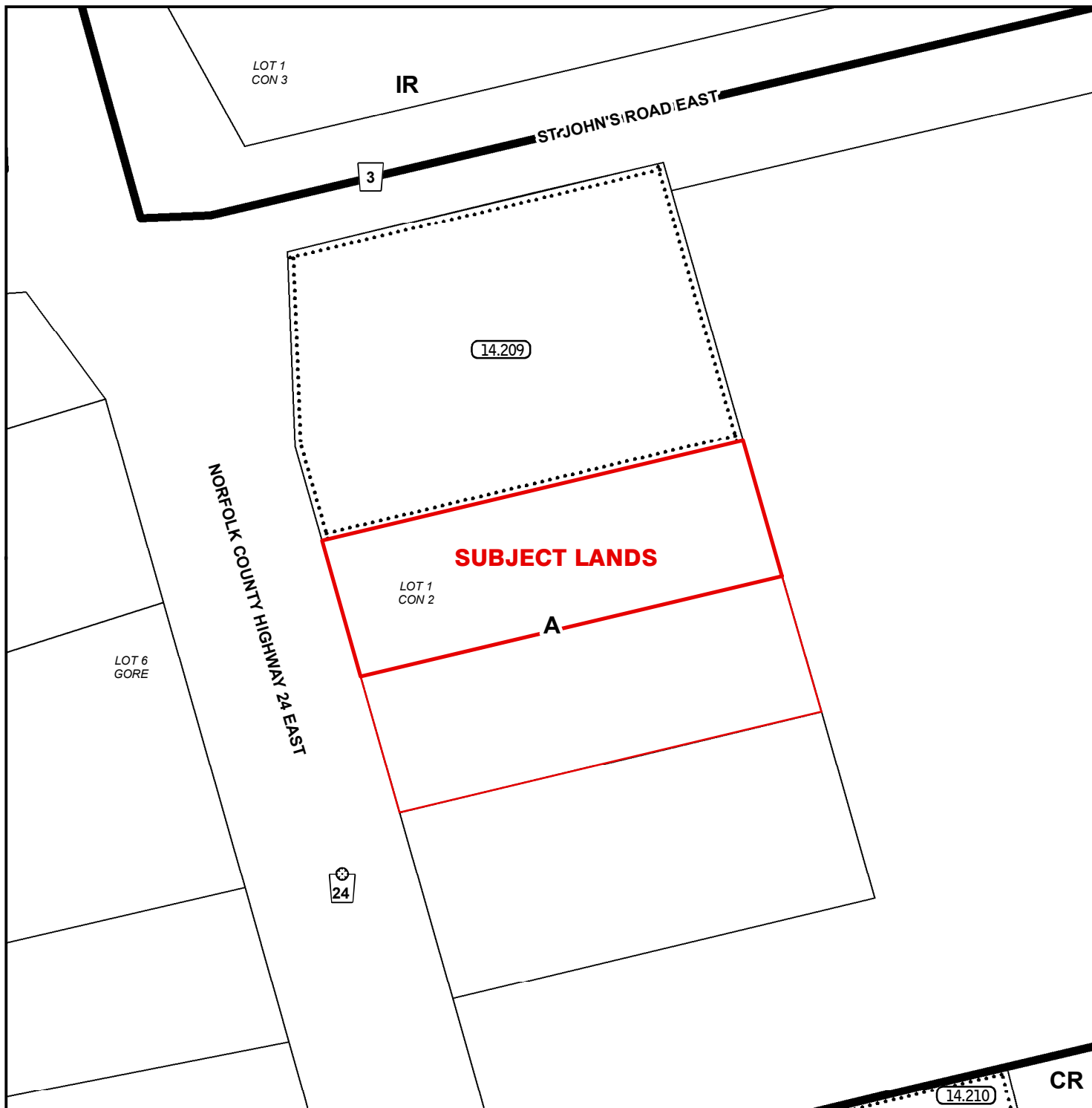
10 5 0 10 20 30 40 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of WOODHOUSE

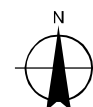
ANPL2021213



LEGEND

- Subject Lands
- Lands Owned

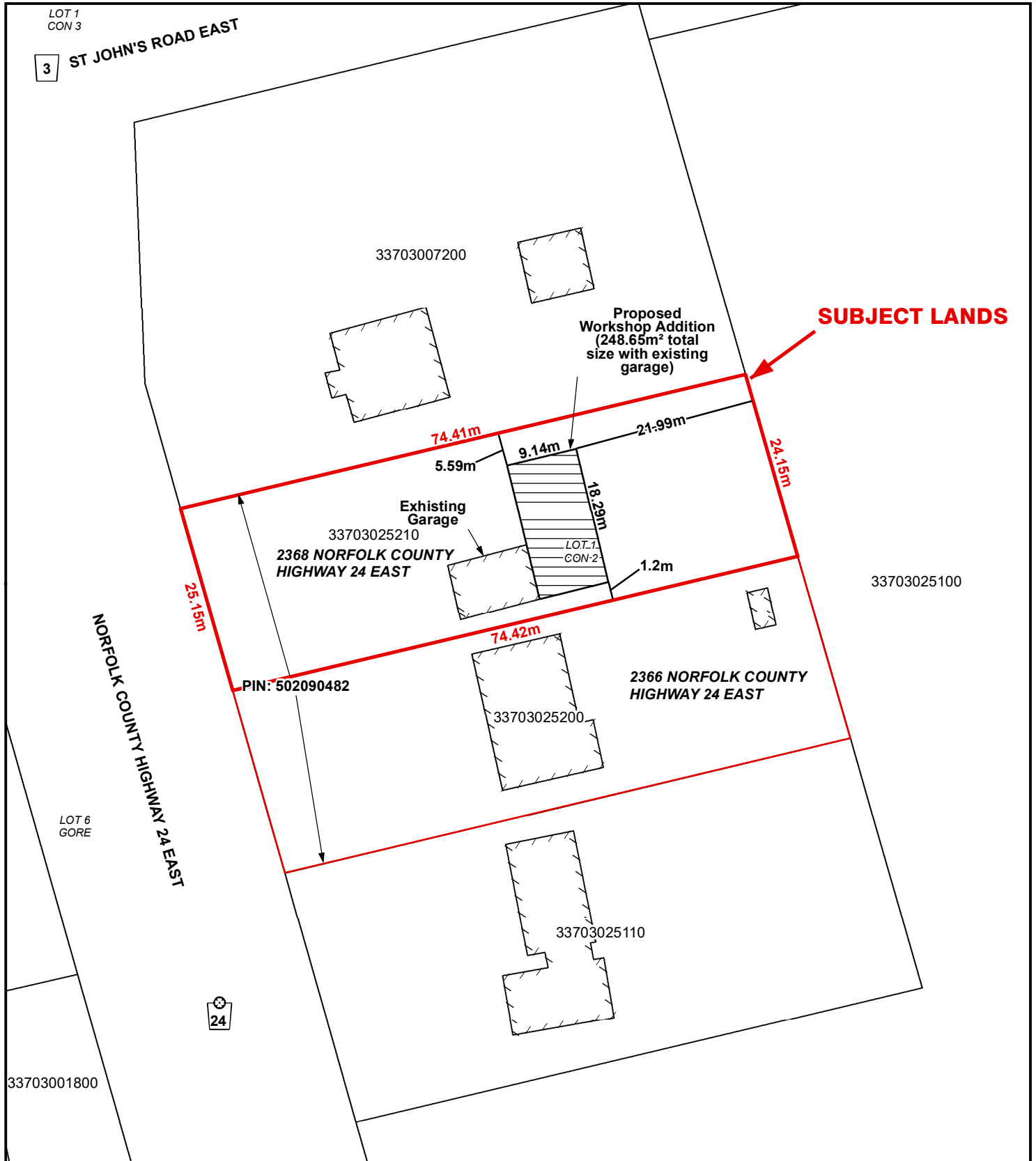
- (H) - Holding
- A - Agricultural Zone
- CR - Rural Commercial Zone
- IR - Rural Institutional Zone



8 4 0 8 16 24 32 Meters

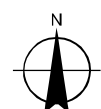
CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



Legend

- Subject Lands
- Lands Owned



2021-07-12

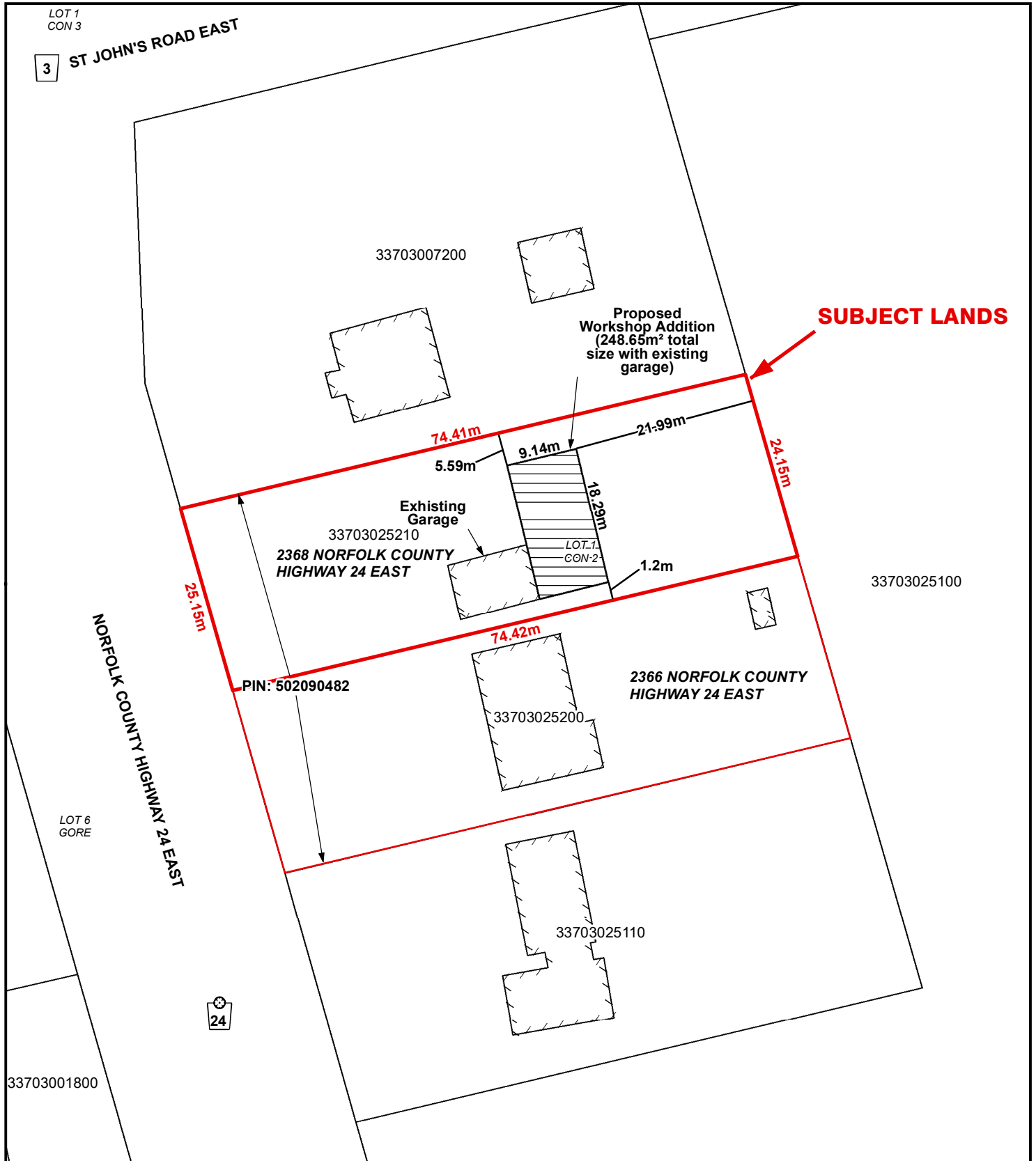
5.5 2.75 0 5.5 11 16.5 22 Meters

LOCATION OF LANDS AFFECTED

ANPL2021213

CONCEPTUAL PLAN

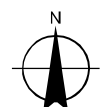
Geographic Township of WOODHOUSE



Legend

- Subject Lands
- Lands Owned

2021-07-12



5.5 2.75 0 5.5 11 16.5 22 Meters