

For Office Use Only:

File Number	ANPL2022036	Application Fee	1560.00 - paid
Related File Number	N/A	Conservation Authority Fee	N/A
Pre-consultation Meeting	N/A	Well & Septic Info Provided	N/A
Application Submitted	October 19, 2021	Planner	Hanne Yager
Complete Application	January 31, 2022	Public Notice Sign	-

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 331049502030500000

A. Applicant Information

Name of Owner Brian Albrecht

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 293 Townline Street

Town and Postal Code St. Williams N0E 1P0

Phone Number 519-591-6486

Cell Number

Email brianalbrecht@rogers.com

Name of Applicant Tabatha Atkinson - CDN Buildings

Address 523 James Street

Town and Postal Code Delhi N4S 2Z2

Phone Number 519-582-8222

Cell Number 519-429-1533

Email ta@cdnbuildings.com

Name of Agent	Tabatha Atkinson - CDN Buildings
Address	523 James Street
Town and Postal Code	Delhi N4S 2Z2
Phone Number	519-582-8222
Cell Number	519-429-1533
Email	ta@cdnbuildings.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner
 ☐ Agent
 ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: 293 Townline St, St. Williams, ON N0E 1P0

Present Official Plan Designation(s):

Present Zoning: CR - Commerical Rural

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes
 ☐ No
 If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

1 30x40x16' Steel accessory building

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Please see site plan

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
Residential

9. Existing use of abutting properties:
Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	<u>205'-0"</u>	<u>205'-0"</u>
Lot depth	<u>408'-11 11/16"</u>	<u>408'- 11 11/16"</u>
Lot width	<u>261'-5 5/8"</u>	<u>261'-5 5/8"</u>
Lot area	<u>97923SF</u>	<u>97923SF</u>
Lot coverage	<u>4%</u>	<u>5%</u>
Front yard	<u>39'-8 1/2"</u>	<u>39'-8 1/2"</u>
Rear yard	<u>30'-11 1/4"</u>	<u>30'-11 1/4"</u>
Left Interior side yard	<u>39'-8 1/2"</u>	<u>63'-2 9/16"</u>
Right Interior side yard	<u>0'-0"</u>	<u>0'-0"</u>
Exterior side yard (corner lot)	<u>0'-0"</u>	<u>0'-0"</u>

2. Please outline the relief requested (assistance is available):

Requesting relief from zoning bylaw section 3.2-G

Proposed UFA: 155 SQ.M

Max UFA: 100 SQ. M

Proposed height: 6.6M

Max Height: 6M



3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Home owner is proposing 30x40x16 steel accessory building to store vehicles and personal items to protect from weather. structure to be proposed as accessory to the existing residential home

4. Description of land intended to be severed in metric units:

Frontage:	<u>N/A</u>
Depth:	<u>N/A</u>
Width:	<u>N/A</u>
Lot Area:	<u>N/A</u>
Present Use:	<u>N/A</u>
Proposed Use:	<u>N/A</u>

Proposed final lot size (if boundary adjustment): N/A

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: N/A

Description of land intended to be retained in metric units:

Frontage: N/A
Depth: N/A
Width: N/A
Lot Area: N/A
Present Use: N/A
Proposed Use: N/A
Buildings on retained land: N/A

5. Description of proposed right-of-way/easement in metric units:

Frontage: N/A
Depth: N/A
Width: N/A
Area: N/A
Proposed Use: N/A

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: N/A
Roll Number: 331049502030500000
Total Acreage: N/A
Workable Acreage: N/A
Existing Farm Type: (for example: corn, orchard, livestock) N/A
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built N/A

Owners Name: Brian Albrecht
Roll Number: 331049502030500000
Total Acreage: 2.24
Workable Acreage: 2.24
Existing Farm Type: (for example: corn, orchard, livestock) No
Dwelling Present?: ☒ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☒ Unknown
If yes, specify the uses (for example: gas station, or petroleum storage): _____
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☒ Unknown
3. Provide the information you used to determine the answers to the above questions:
Answers unknown

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy


1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

USABLE FLOOR AREA EXCEEDS MAXIMUM USABLE AREA LIMIT FROM NORFOLK COUNTY'S ZONING BYLAW FR LOTS ZONED AS CR. OVERALL HEIGHT EXCEEDS LIMIT FROM NORFOLK COUNTY BYLAW 

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

THE PROPOSED AREA FOR THE ADDITION IS IN AN AREA WITH UNDISTURBED SOIL WITH NO LANDSCAPING (TREES, BUSHES ETC.) TREES ARE VERY FAR AWAY 

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

THERE IS A POND APPROX 160' FROM THE PROPOSED BUILDING LOCATION

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☒ On the subject lands or ☐ within 500 meters – distance 301' 11 1/16"

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)
-

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)
-

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
- ☒ Open ditches
-

2. Existing or proposed access to subject lands

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Home owner is proposing a 30'-0"W x 40'-0"L x 16'H Steel accessory building
Max. usable floor area for accessory buildings in Zoning ByLaw for CR zoned lots is 100sqm. They're also proposing overall height of 21'6" and Bylaw for CR zoned lots is 19'8".

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

[Signature]

Owner/Applicant/Agent Signature

Oct 14/21

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Brian + Mary Albrecht am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Brian + Mary Albrecht to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

[Signature]

Owner

[Signature]

Owner

Oct 14/21

Date

Oct 14/21

Date



K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

CDNBUILDINGS

523 James St. Unit # 3 Delhi, ON N4B 2C2

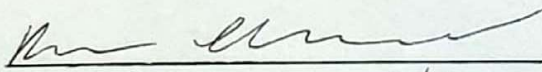
Ph: 519-582-8222 Fax: 519-582-2098

www.cdnbuildings.com

OWNERS AUTHORIZATION:

ADDRESS: 293 Townline Street
St. William's, Ont
NOE - 1PO

I/We, Brian Albrecht, the owner(s) of the above mentioned property/address that is subject to this application, do hereby authorize and appoint **CDN Buildings** as my/our Agent to make this application on my/our behalf and to conduct all communications on my/our behalf respecting the same.

OWNER'S SIGNATURE: 

OWNER'S NAME (Please Print): Brian Albrecht

DATE: July 6, 2021

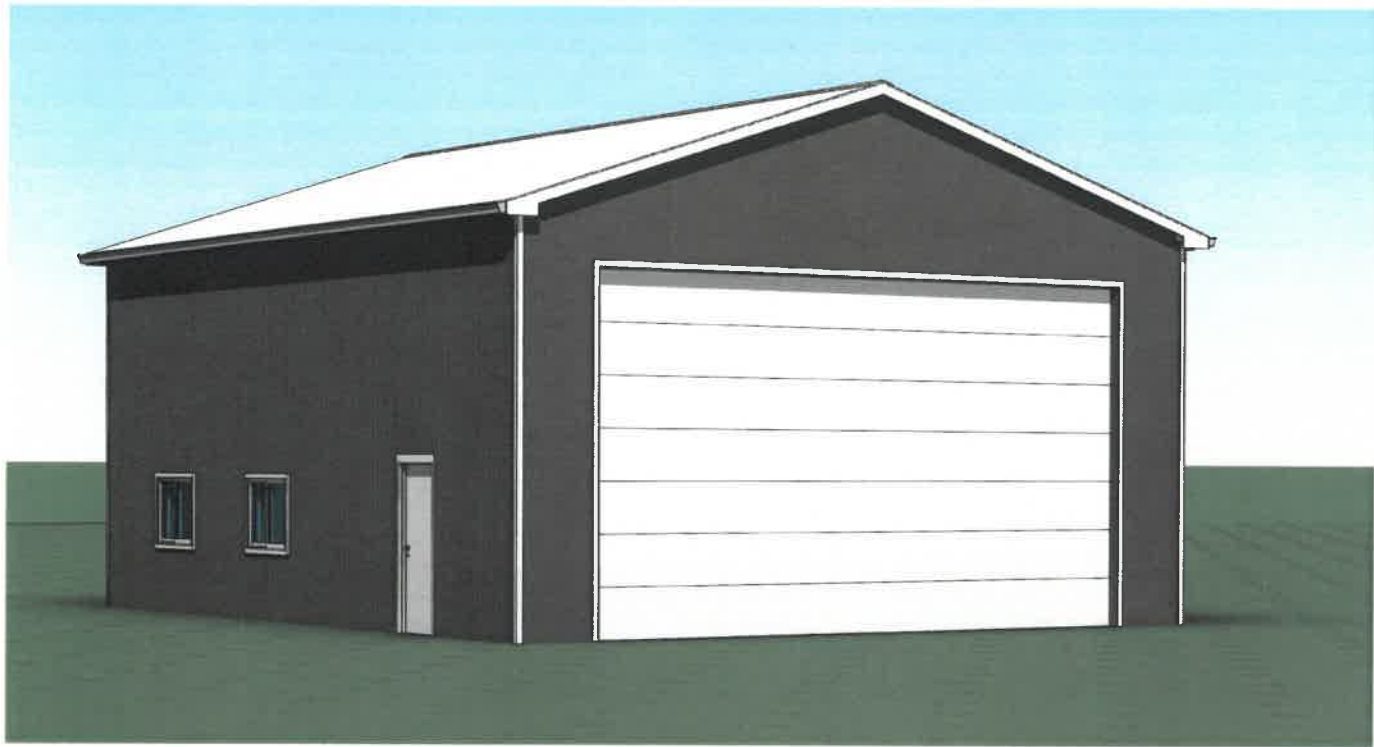
Please note: We will require a variance to keep an existing block building which is 20 x 24. if we don't have a choice we will take it down.

ALBRECHT, BRIAN

ADDRESS: 293 TOWNLINE ST,
ST WILLIAMS, ON
N0E 1P0

CONTACT: BRIAN ALBRECHT
PHONE: (519) 591-6486
EMAIL: BRIANALBRECHT@ROGERS.COM

30'-0"W x 40'-0"L x 16'-0"H (4/12 PITCH) CLEAR SPAN STEEL ACCESSORY BUILDING



CDNBUILDINGS

523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2 Website: www.cdnbuildings.com

COLOURS:
WALLS: CHARCOAL QC 8317
ROOF: WHITE WHITE QC 8317
TRIM: WHITE WHITE QC 8317
DOORS: WHITE WHITE QC 8317
WINDOWS: WHITE WHITE QC 8317

INDEX OF DRAWINGS

Sheet #	Sheet Name
01	Site Plan
A0	Isometric Models
A1	Floor Plan
A2	Section 'A'
A3	Elevations - East
A4	Elevations - West
A5	Elevations - South
A6	Elevations - North
S0	Structural Model
S1	Foundation Plan
S2	Foundation Details
S3	Post Plan
S4	Structural Elevations - East
S5	Structural Elevations - West
S6	Structural Elevations - South
S7	Structural Elevations - North
S8	Truss & Bracing Location
S9	Truss Detail
S10	Typical Truss Weld Details 1
S11	Typical Truss Weld Details 2
S12	Typical Truss Weld Details 3
S13	Post Bracing Detail
S14	Roof Bracing Detail
S15	Connection Details
S16	Eaves/Wall Details
S17	Material Specification
SN1	Structural Notes 1
SN2	Structural Notes 2



PROJECT NUMBER : 21-706

GENERAL NOTES
THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE 2020 ONTARIO BUILDING CODE AND ALL UP TO
DATE AMENDMENTS.
LOADS: a) SNOW S_s = 1.3 kPa (DEAD LOAD = 0.4 kPa)
 S_r = 0.4 kPa
 C_s = 0.8
 C_r = 0.92
 I_s = 0.9
 S = 1.22 kPa / 25.6 psf
 b) WIND q_{so} = 0.47 kPa
 P = 0.86 kPa



LOT INFO

SITE ADDRESS: 293 TOWNLINE ST.
ST. WILLIAMS ON
N0E 1P0

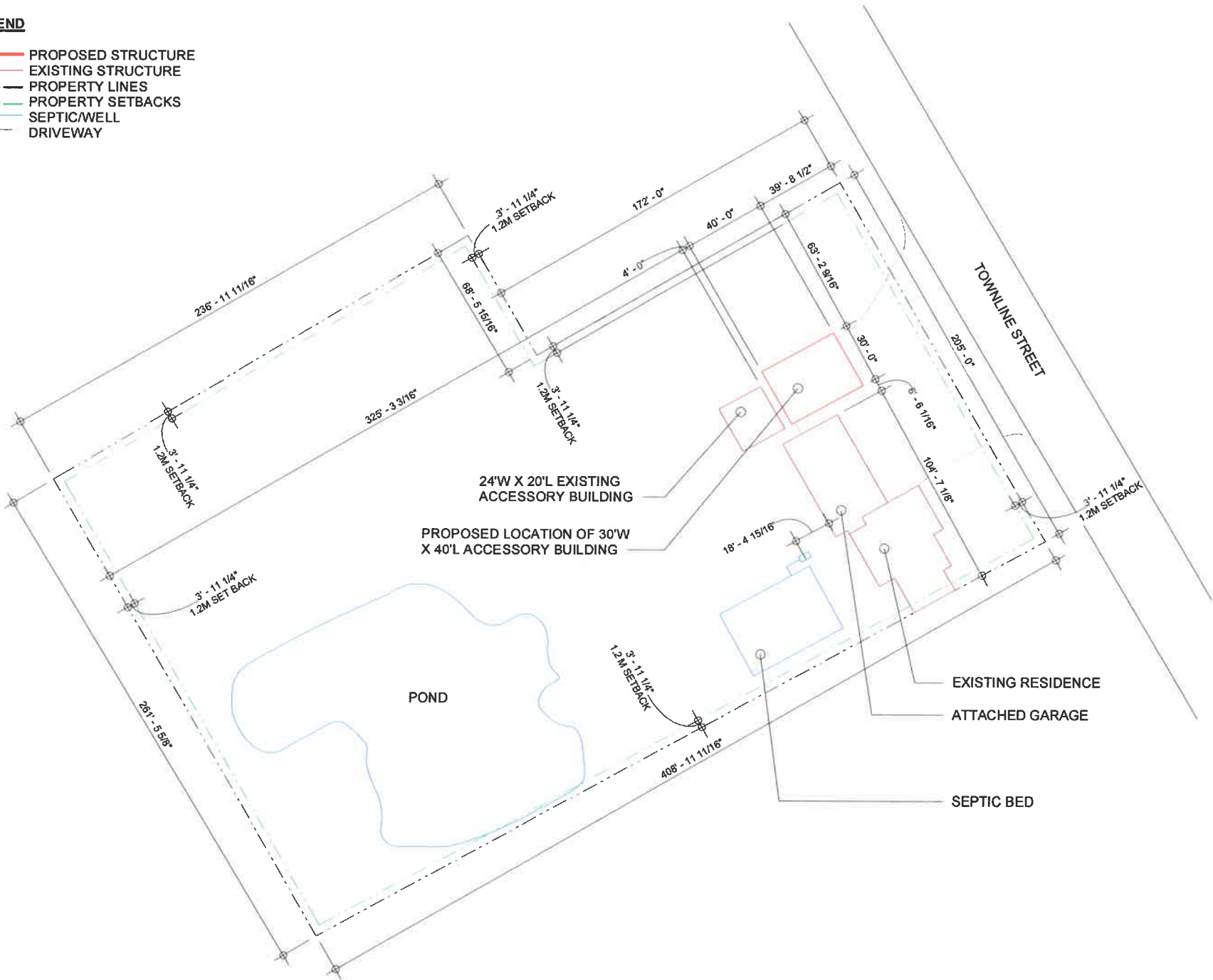
TOWNSHIP/CITY: NORFOLK COUNTY
ZONING: CR (RURAL COMMERCIAL ZONE)
ROLL #: 3310495020305000000
BUILDING USE: ACCESSORY BUILDING

LEGEND

- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPERTY LINES
- PROPERTY SETBACKS
- SEPTIC/WELL
- DRIVEWAY

ZONING - PART 3.2

PROVISIONS		PROPOSED
FRONT YARD SETBACK	NOT PERMITTED	12M
REAR YARD SETBACK	1.2M	100.4M
MINIMUM INTERIOR SIDE YARD SETBACK	1.2M	19.5M
MINIMUM EXTERIOR SIDE YARD SETBACK	NOT PERMITTED	M
MINIMUM CORNER SIDE YARD SETBACK	N/A	M
MAXIMUM HEIGHT	6M	6.6M
LOT SF = 97923 SF		
EXISTING RESIDENCE = 1826 SF		
EXISTING ACCESSORY BUILDINGS = 2080 SF		
PROPOSED BUILDINGS = 1200 SF		
MAXIMUM COVERAGE	10%	5.2%



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N4B 2C2

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Fax: (519) 582-2098

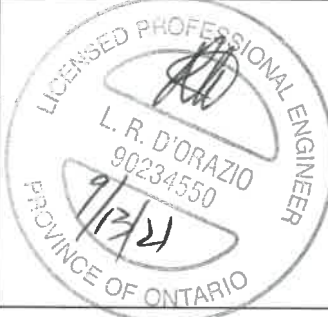
Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Site Plan

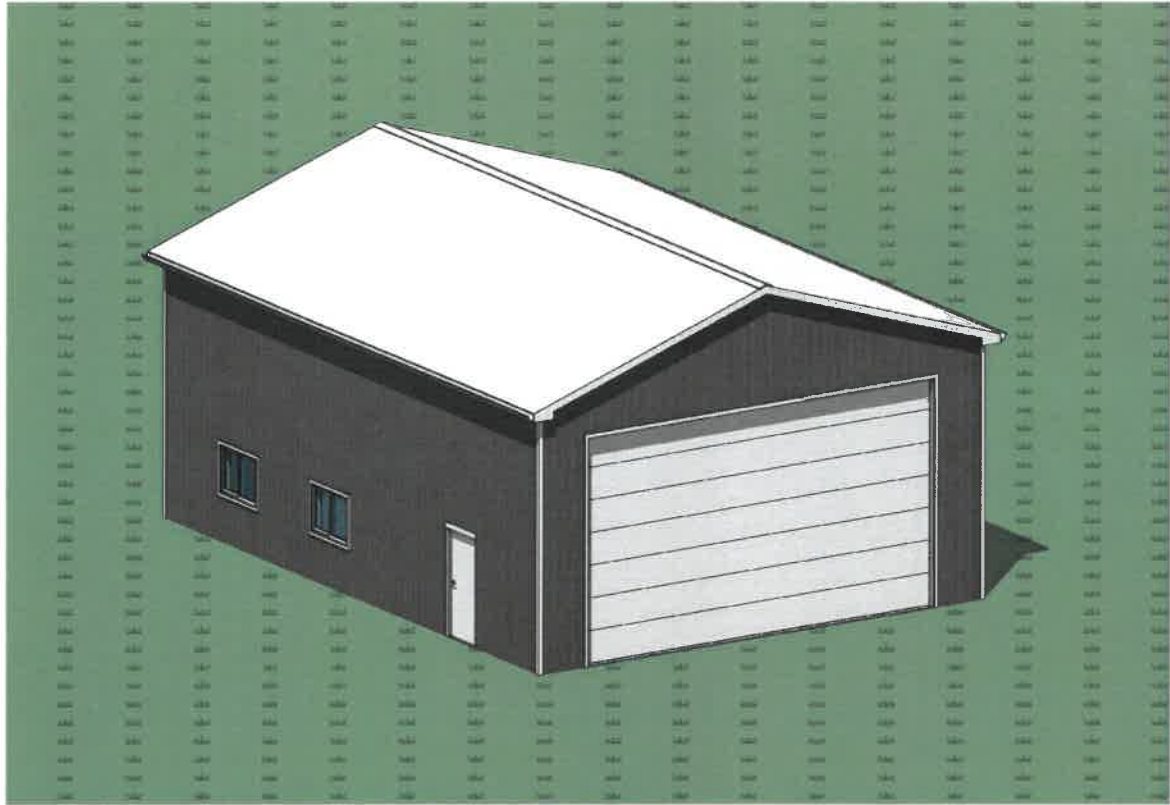
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0

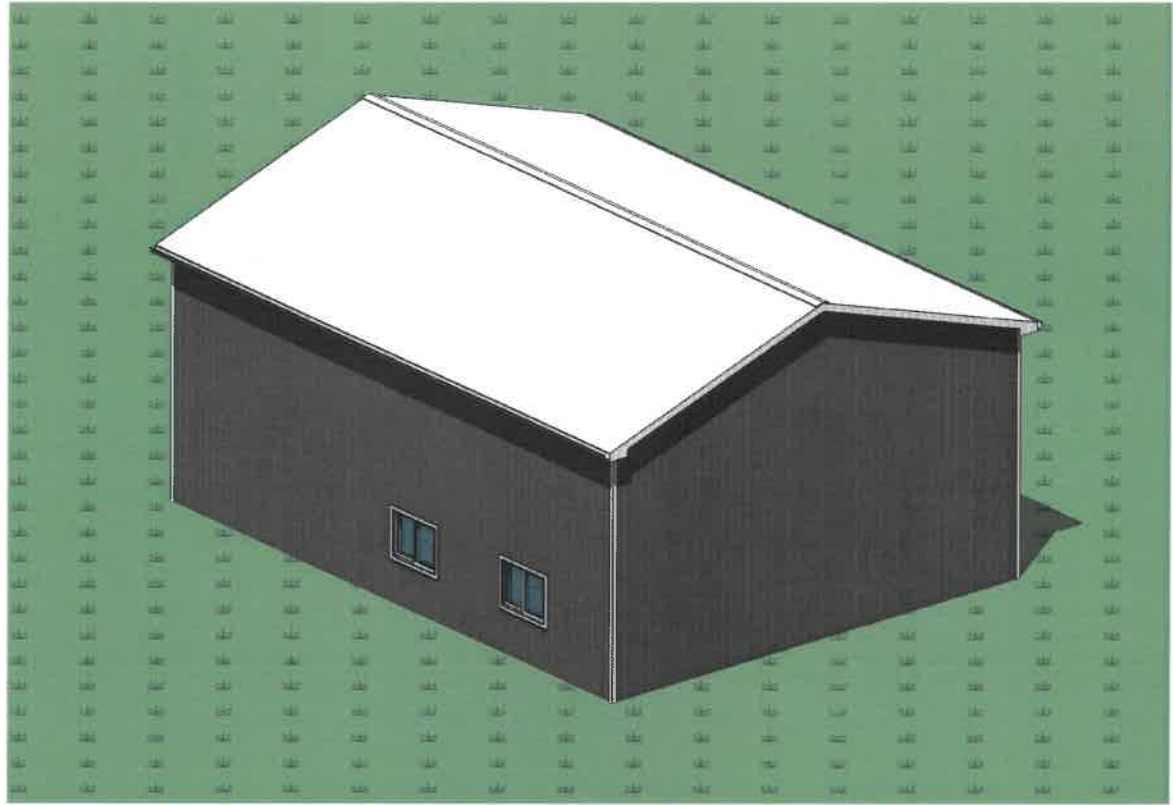


01

Project number	21-706
Date	2021/09/07
Drawn by	JK
Checked by	LDO
Scale	1" = 60'-0"



1
A0 Front View



2
A0 Rear View

CDNBUILDINGS

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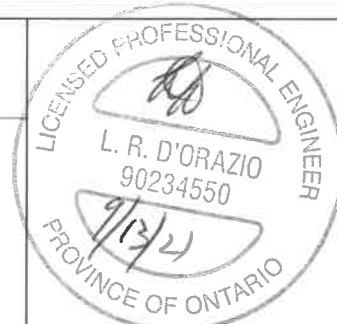
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Isometric Models

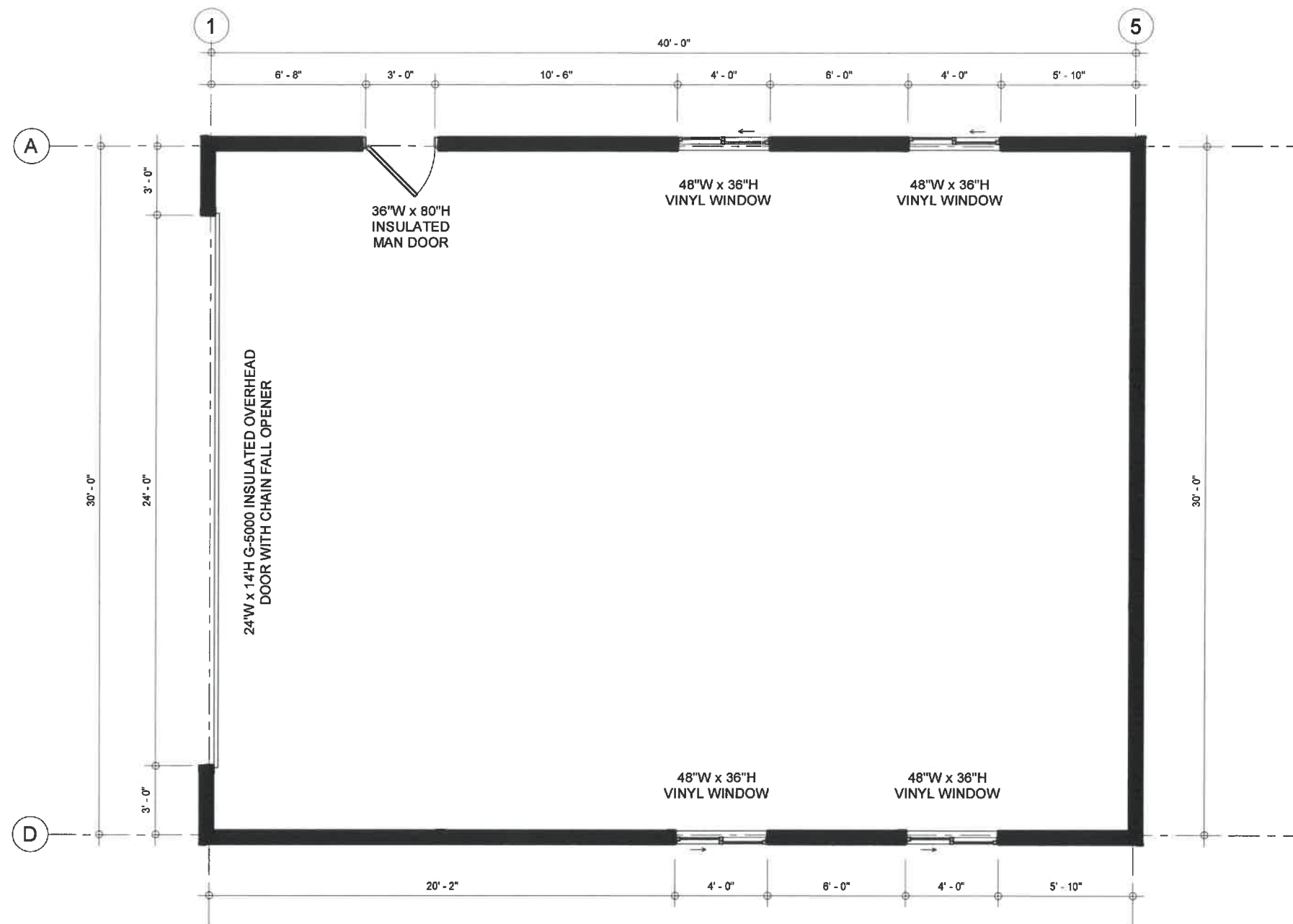
ALBRECHT, BRIAN

293 TOWNLINE ST.
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A0

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Scale	



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Floor Plan

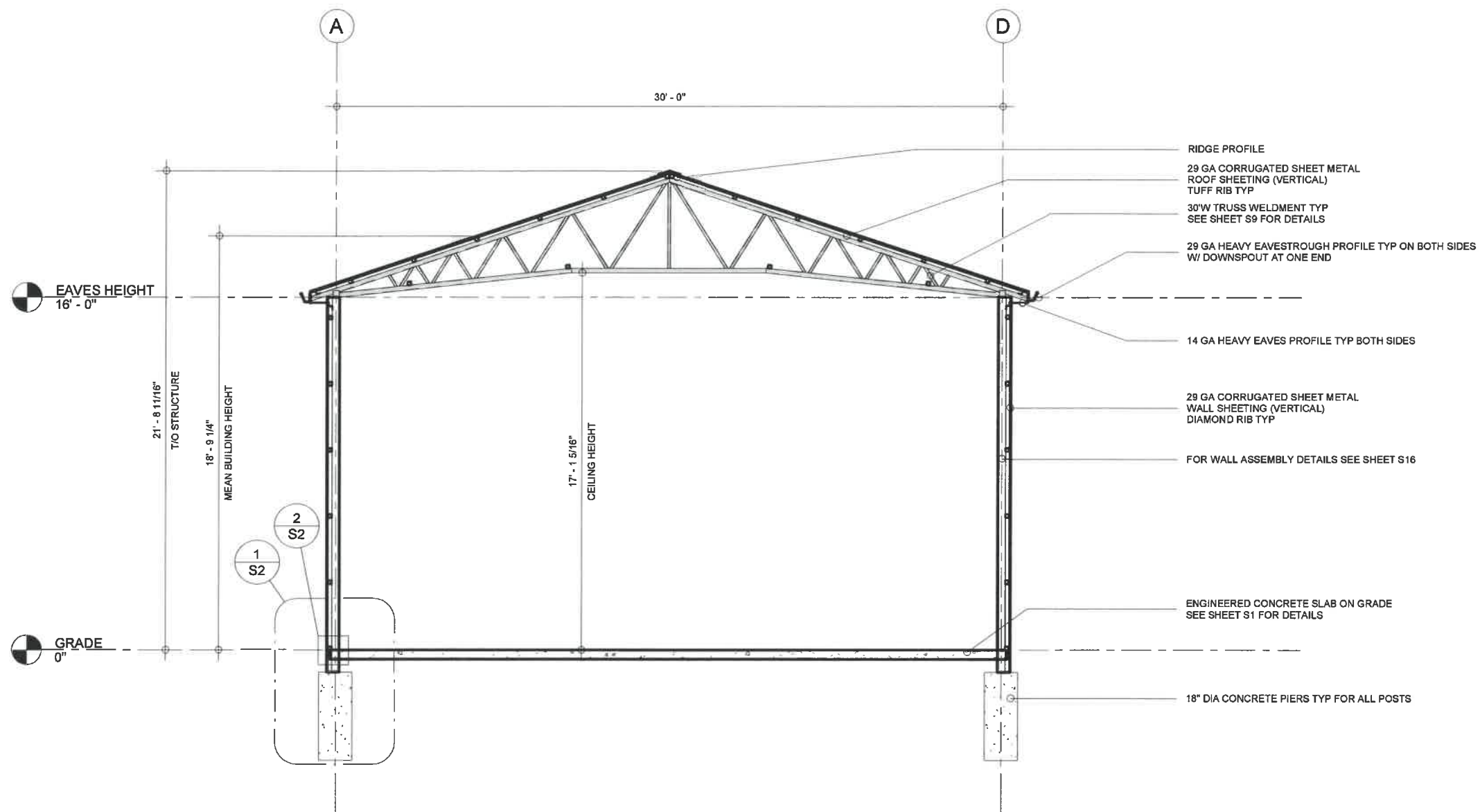
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0



A1

Project number	21-706
Date	2021/09/07
Drawn by	JK
Checked by	LDO
Scale	3/16" = 1'-0"



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N4B 2C2

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Section 'A'

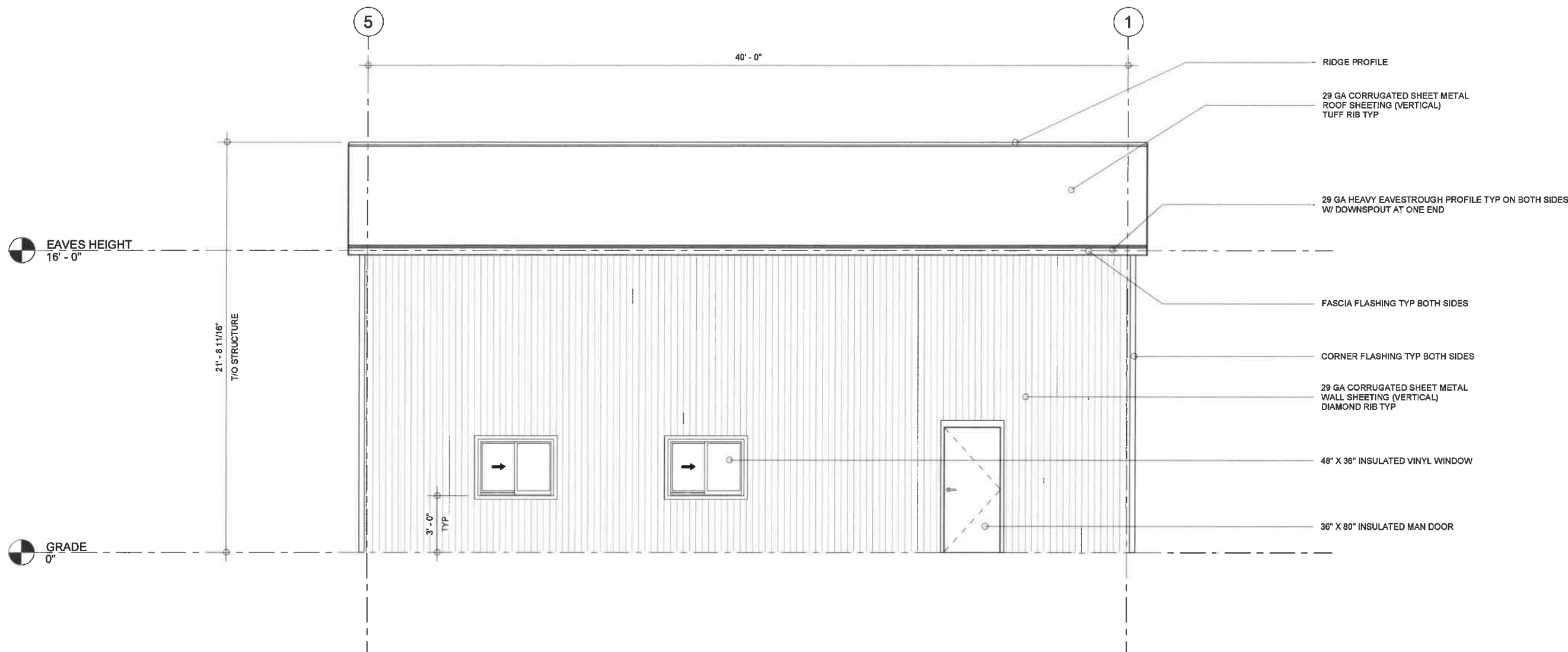
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0



A2

Project number	21-706
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Scale	3/16" = 1'-0"





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Elevations - East

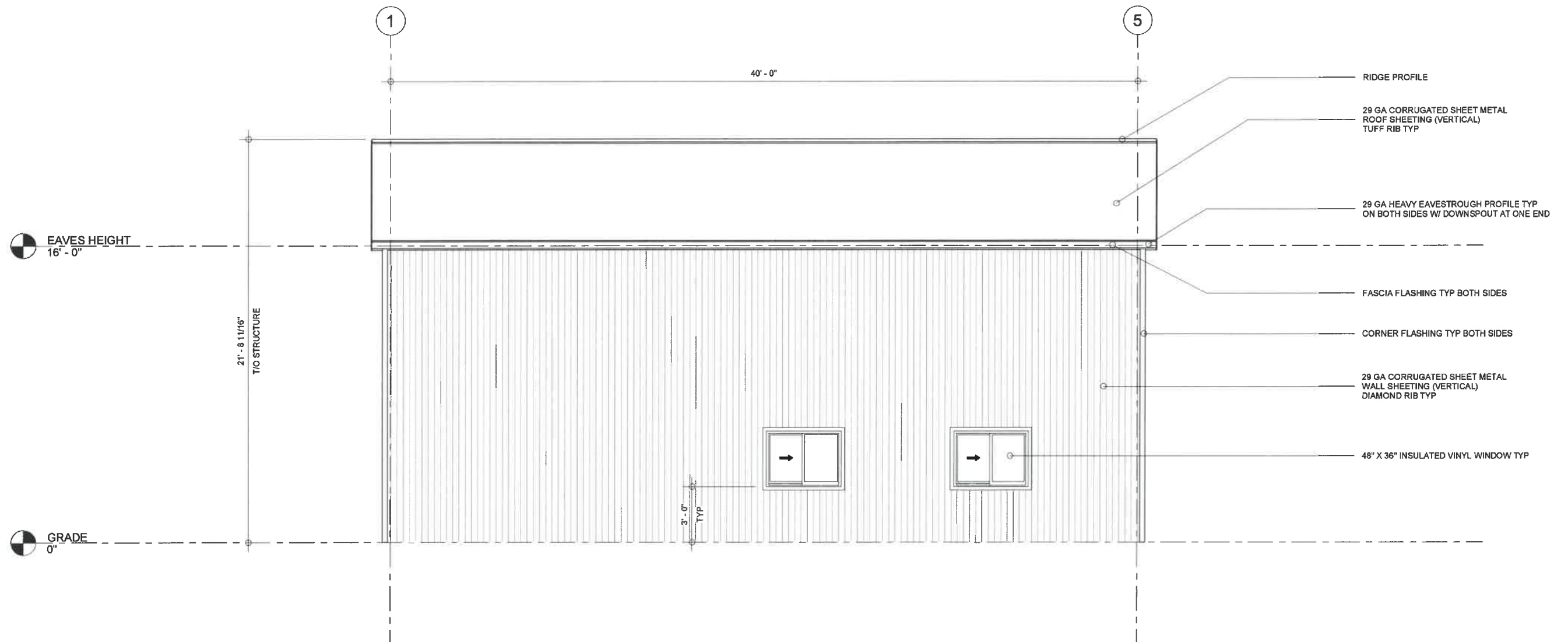
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0



A3

Project number	21-706
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Drawn by	JK
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Scale	3/16" = 1'-0"



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Elevations - West

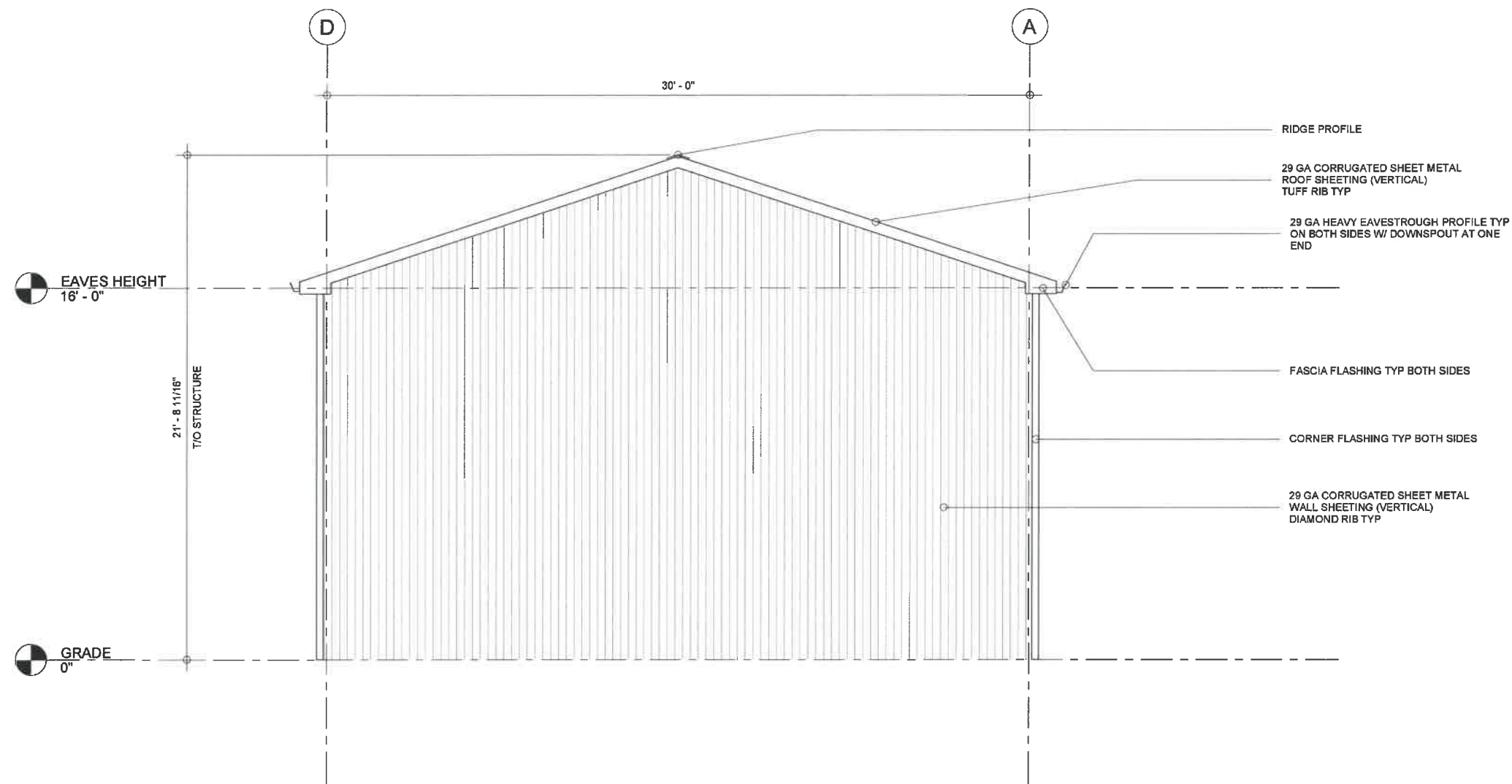
ALBRECHT, BRIAN

293 TOWNLINE ST.
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N0E 1P0



A4

Project number	21-706
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Scale	3/16" = 1'-0"



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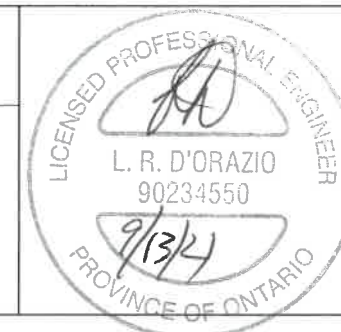
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4	As Built Drawings	-

Elevations - South

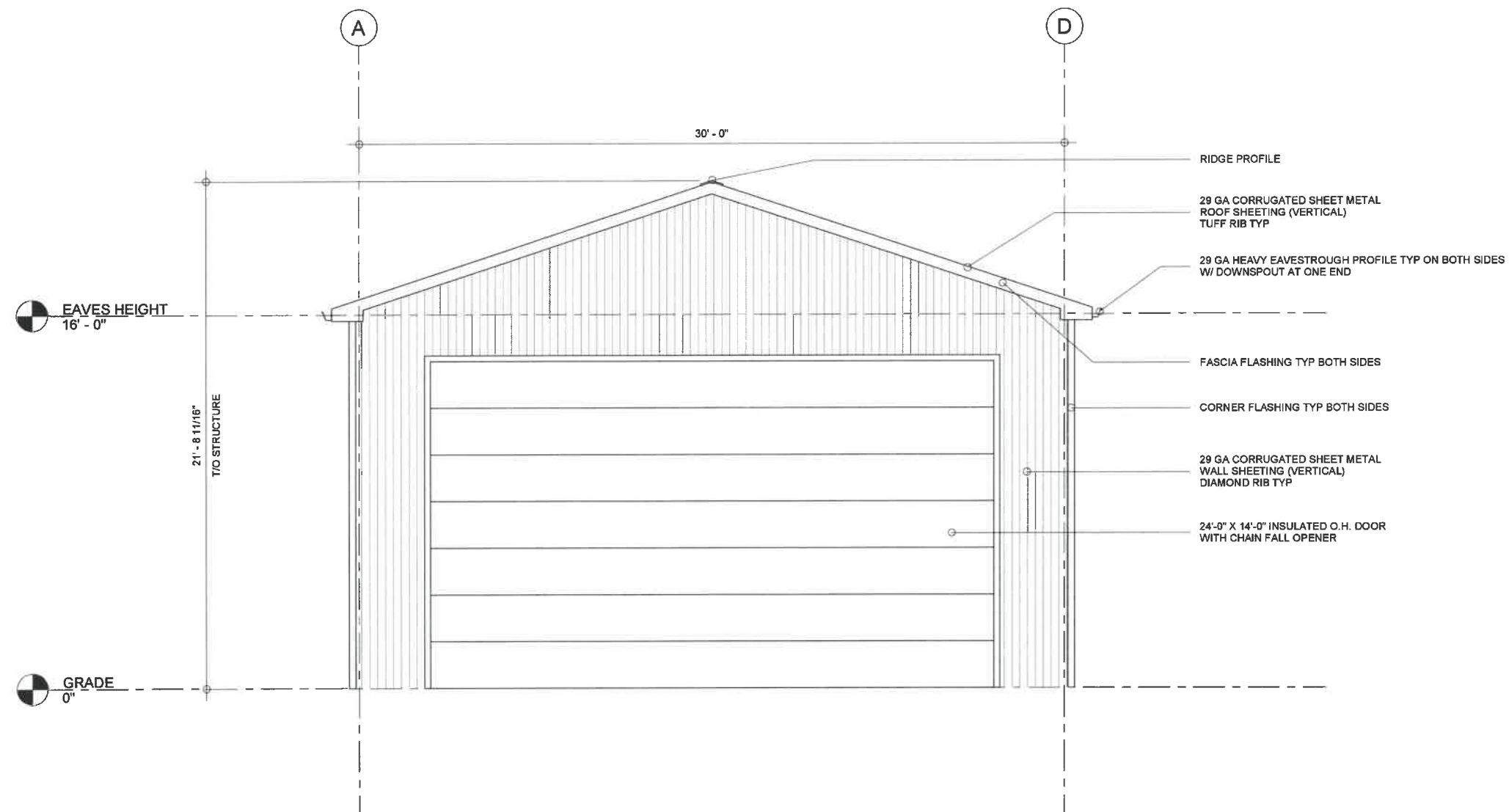
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0



A5

Project number	21-706
Date	2021/09/07
Drawn by	JK
Checked by	LDO
Scale	3/16" = 1'-0"



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No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Elevations - North

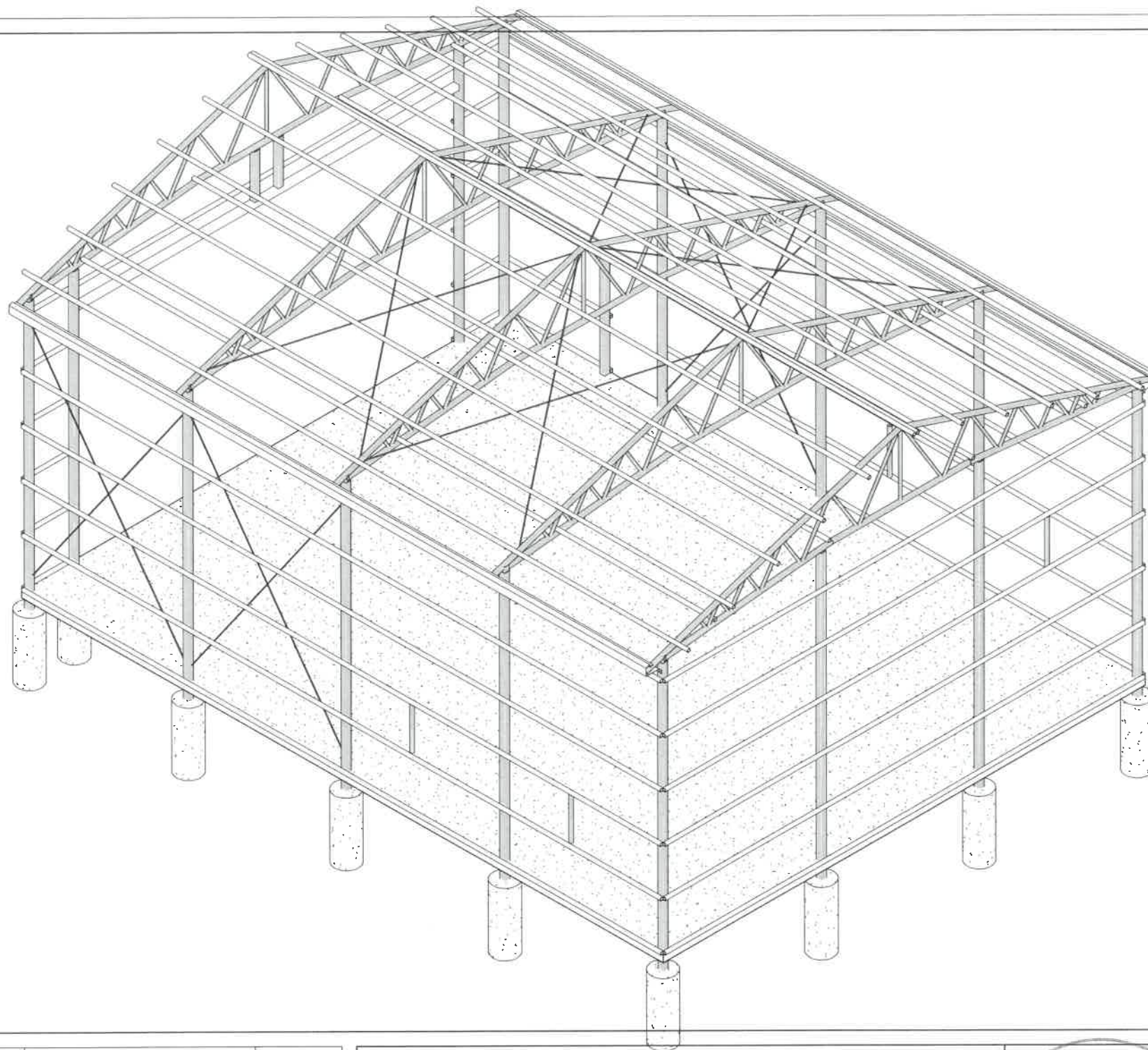
ALBRECHT, BRIAN

293 TOWNLINE ST.
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N0E 1P0



A6

Project number	21-706
Date	2021/09/07
Drawn by	JK
Checked by	LDO
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3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Model

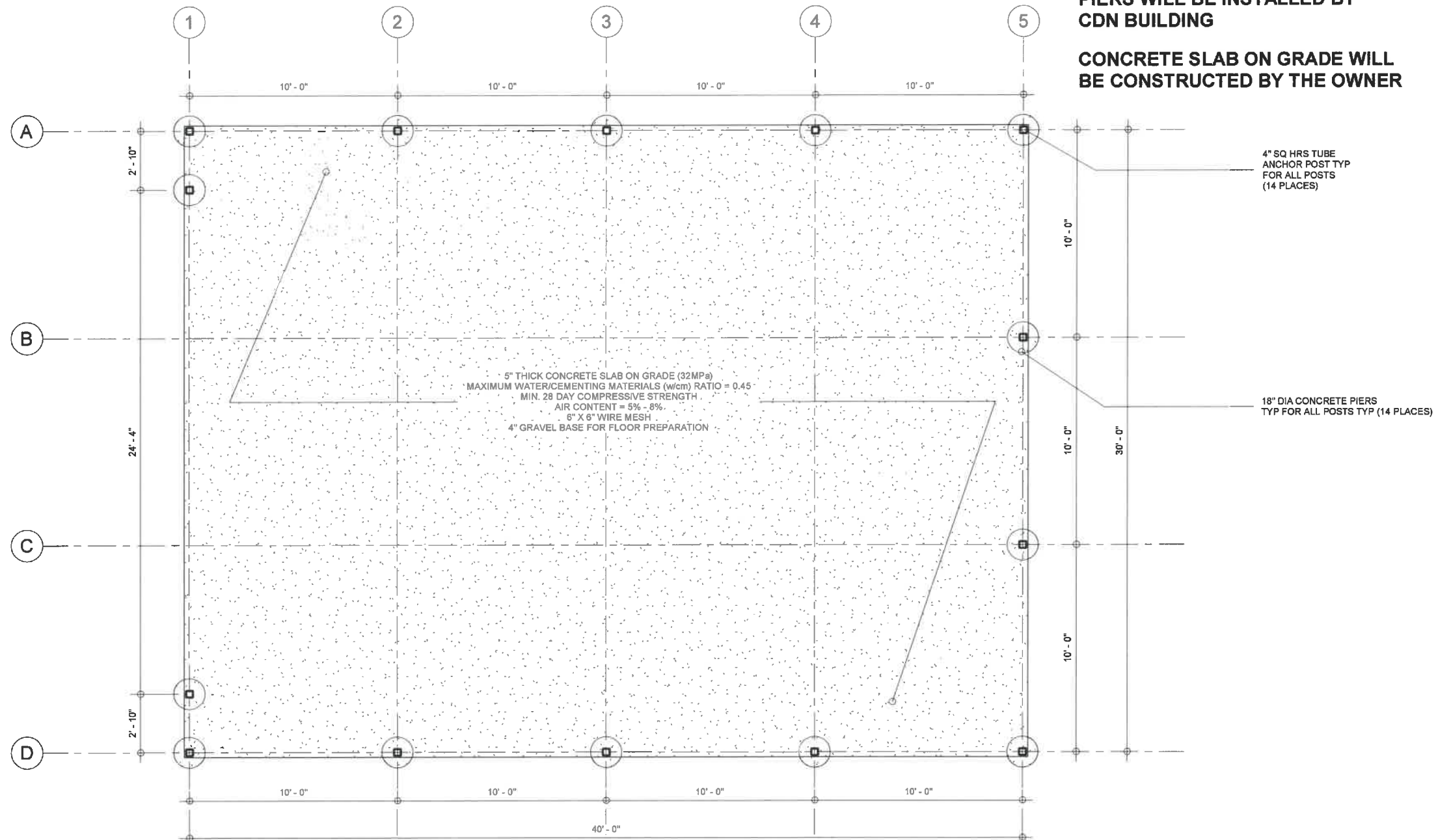
ALBRECHT, BRIAN

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S0

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	



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4	As Built Drawings	-

Foundation Plan

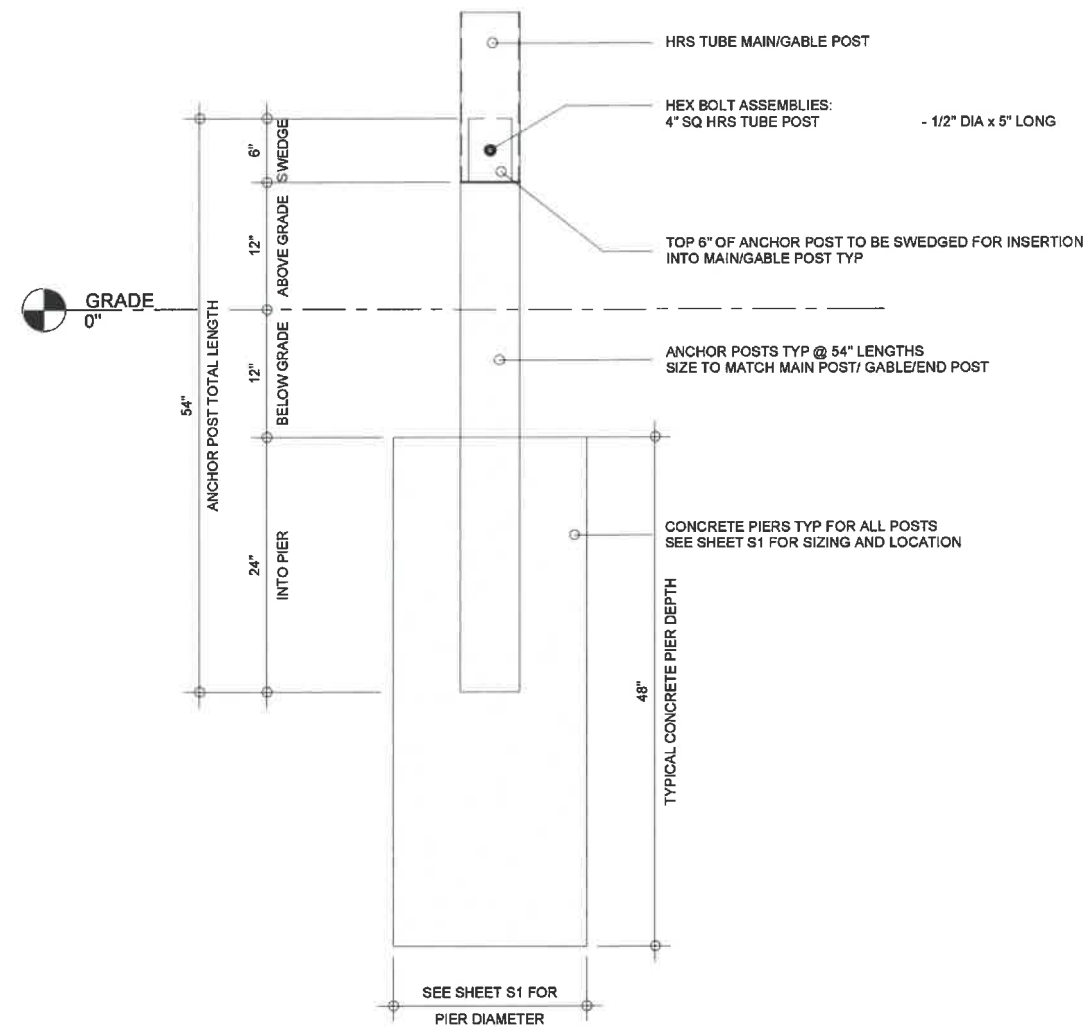
ALBRECHT, BRIAN

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N0E 1P0

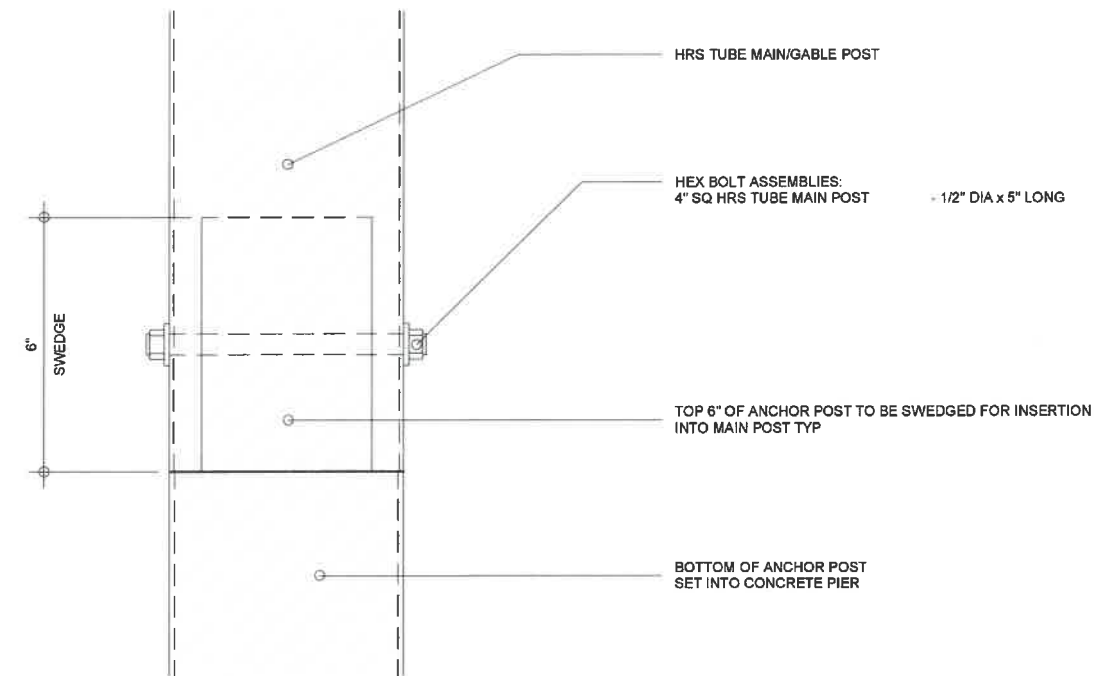


S1

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"



1
S2
Typical Concrete Pier Detail
3/4" = 1'-0"



2
S2
Typical Anchor Post to Main Post Connection
3" = 1'-0"

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3	Issued for Review/Permit	-
4	As Built Drawings	-

Foundation Details

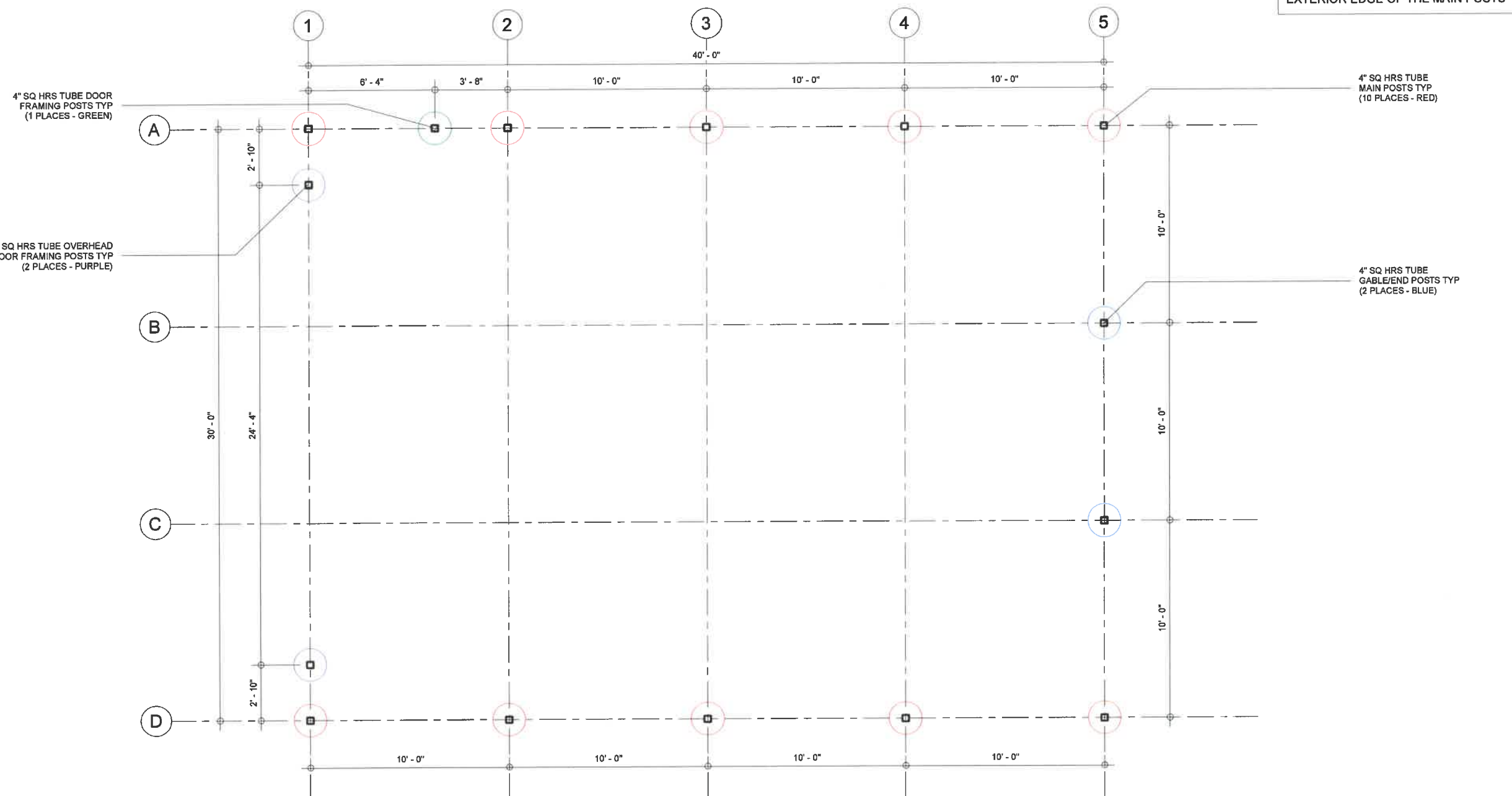
ALBRECHT, BRIAN

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N0E 1P0



S2

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	As indicated



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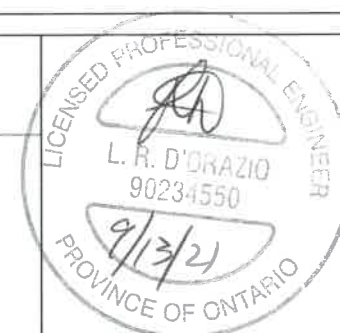
Office: (519) 582-8222
Fax: (519) 582-2098

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Post Plan

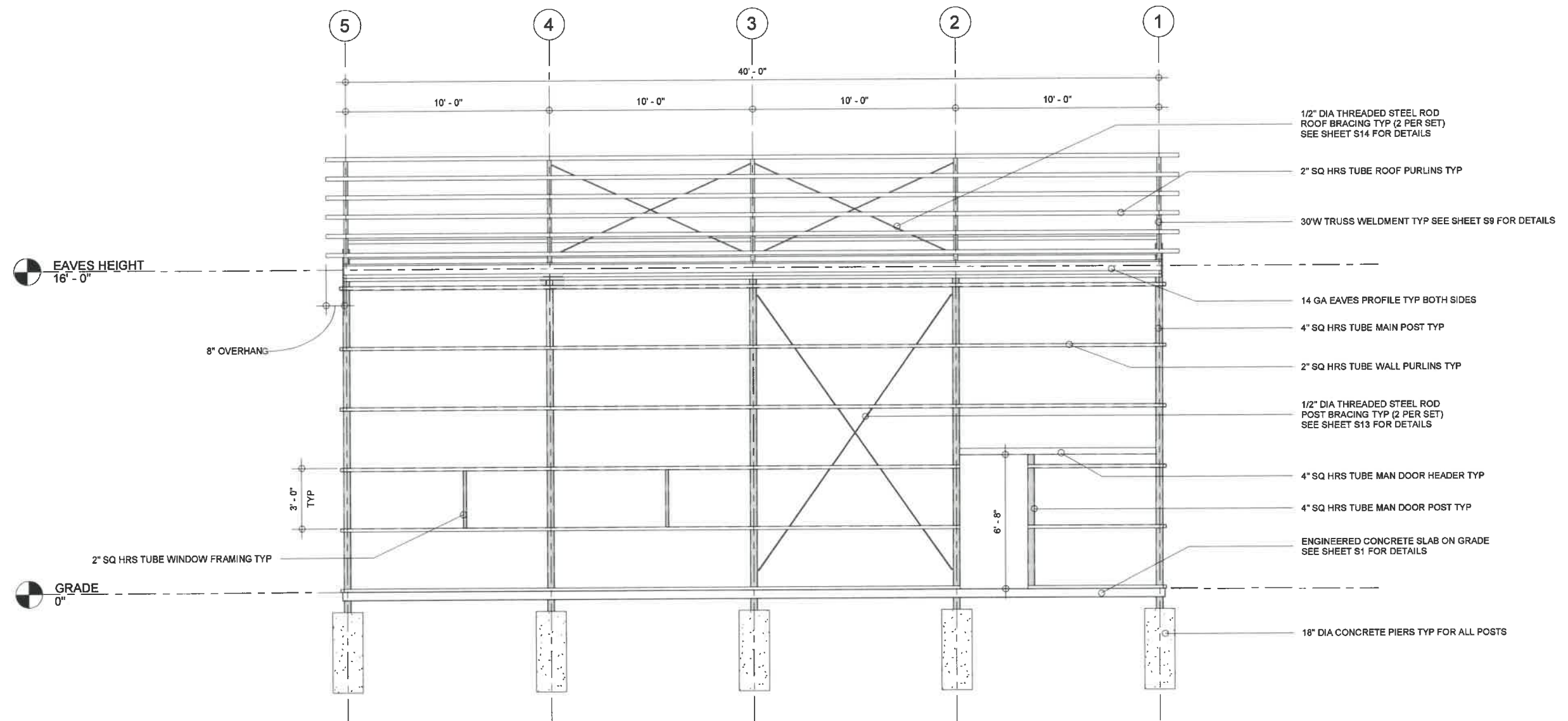
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
NOE 1P0



S3

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"



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No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Elevations - East

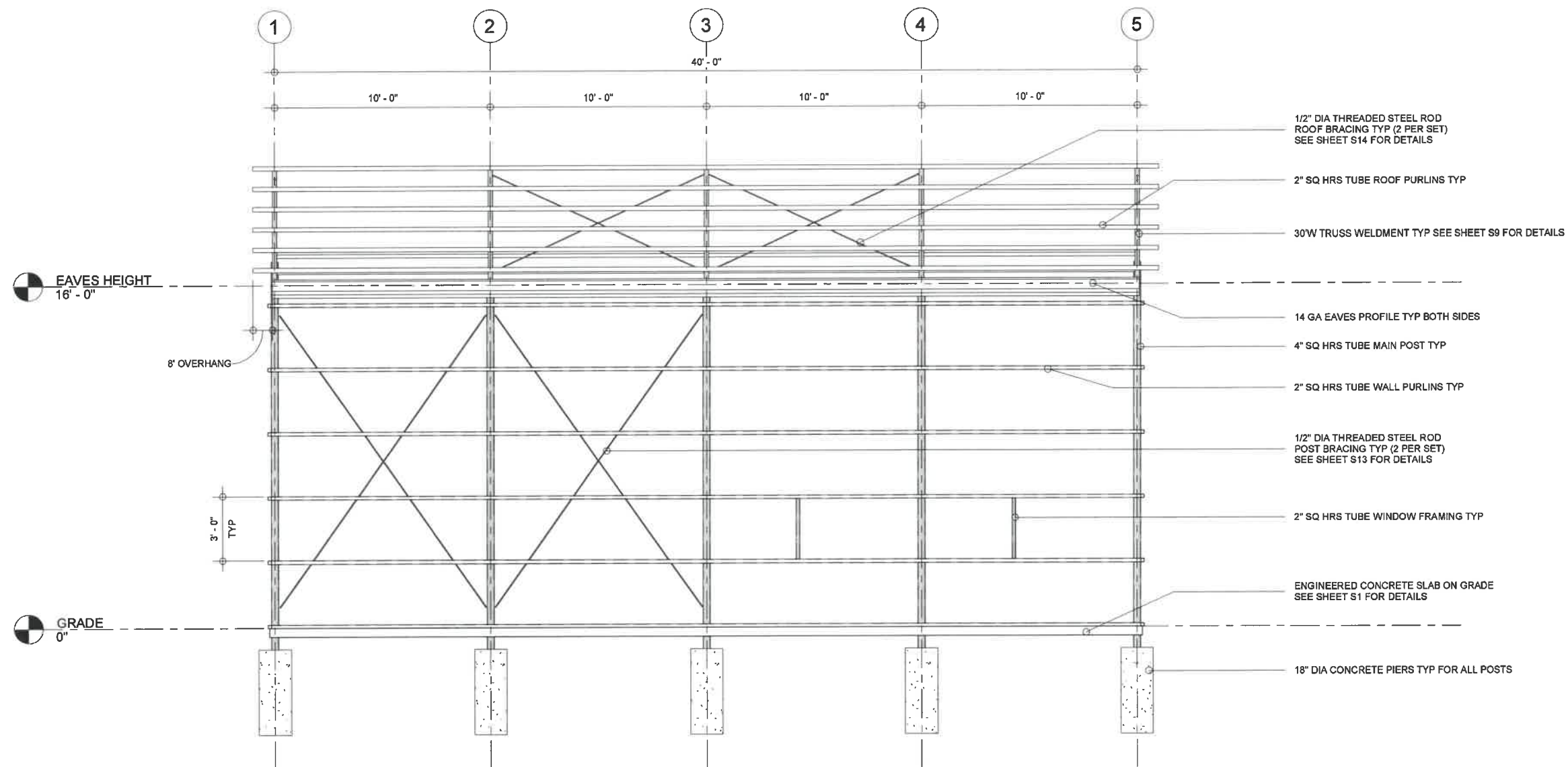
ALBRECHT, BRIAN

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ST WILLIAMS ON
N0E 1P0



S4

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"



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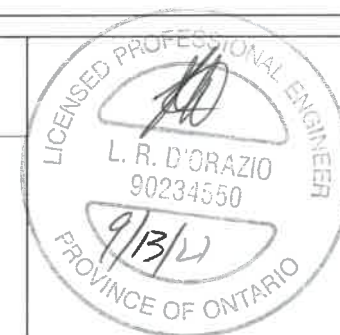
Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Elevations - West

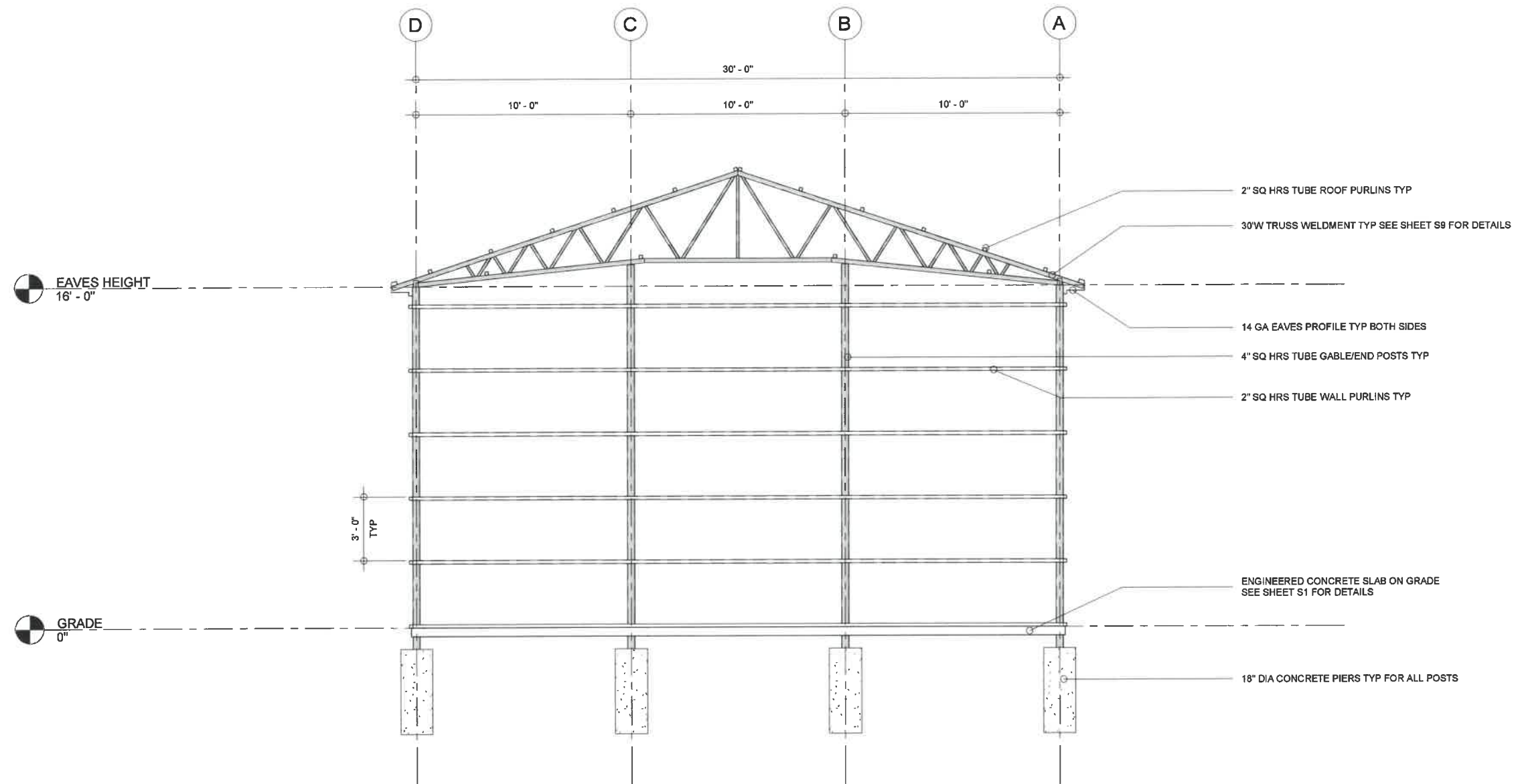
ALBRECHT, BRIAN

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ST WILLIAMS ON
N0E 1P0



S5

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"



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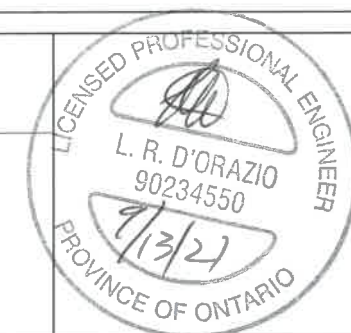
Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Elevations - South

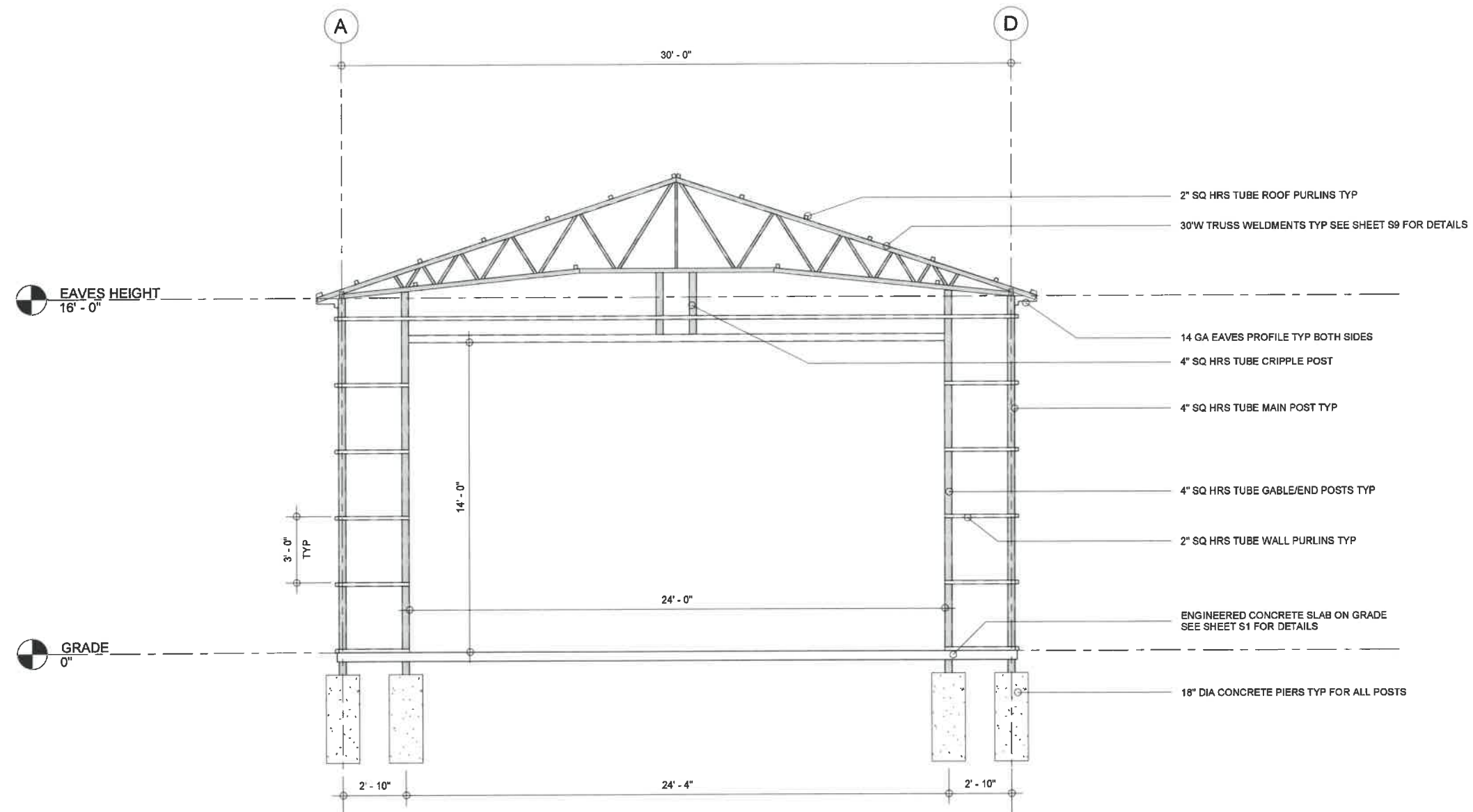
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ST WILLIAMS ON
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S6

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"



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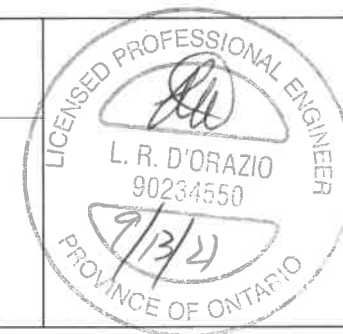
Website: www.cdnbuildings.com

No.	Description	Date
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3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Elevations - North

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ST WILLIAMS ON
N0E 1P0

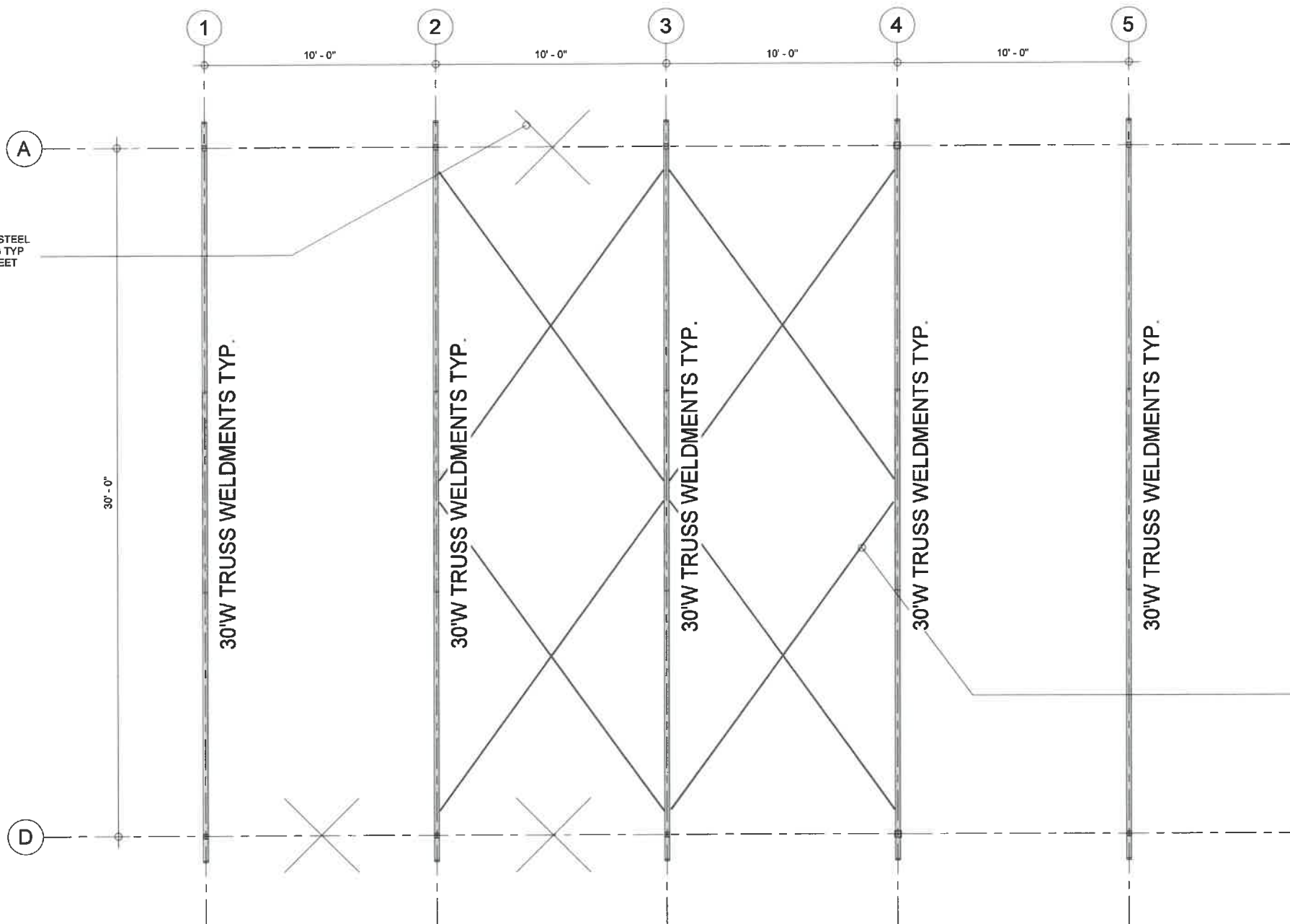


S7

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"



1/2" DIA THREADED STEEL
ROD POST BRACING TYP
(2 PER SET) SEE SHEET
S13 FOR DETAILS



1/2" DIA THREADED STEEL
ROD ROOF BRACING TYP
(2 PER SET) SEE SHEET
S14 FOR DETAILS



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No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Truss & Bracing Location

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293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0

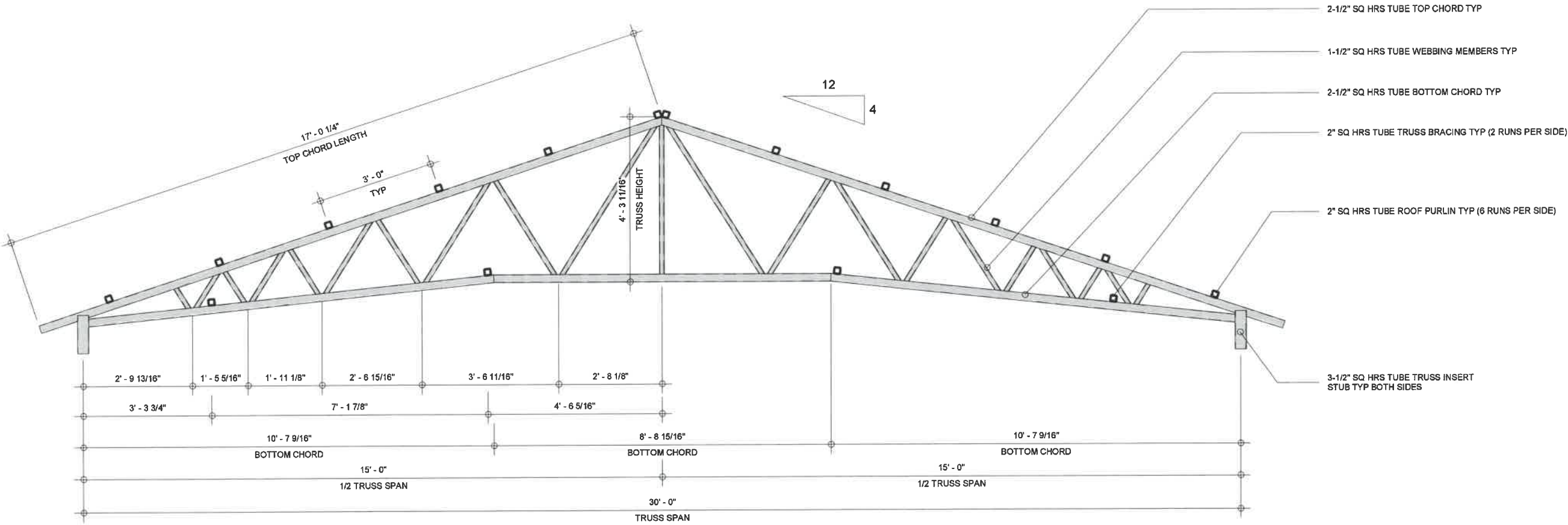


S8

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/16" = 1'-0"

LOADS: a) SNOW Ss = 1.3 kPa (DEAD LOAD = 0.4 kPa)
 Sr = 0.4 kPa
 Cb = 0.8
 Cs = 0.92
 Ia = 0.9
 S = 1.22 kPa / 25.6 psf

b) WIND q50 = 0.47 kPa
 P = 0.86 kPa



FLARE-V WELD REFER TO PAGE S10-S12 FOR WELD DETAILS



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4	As Built Drawings	-

Truss Detail

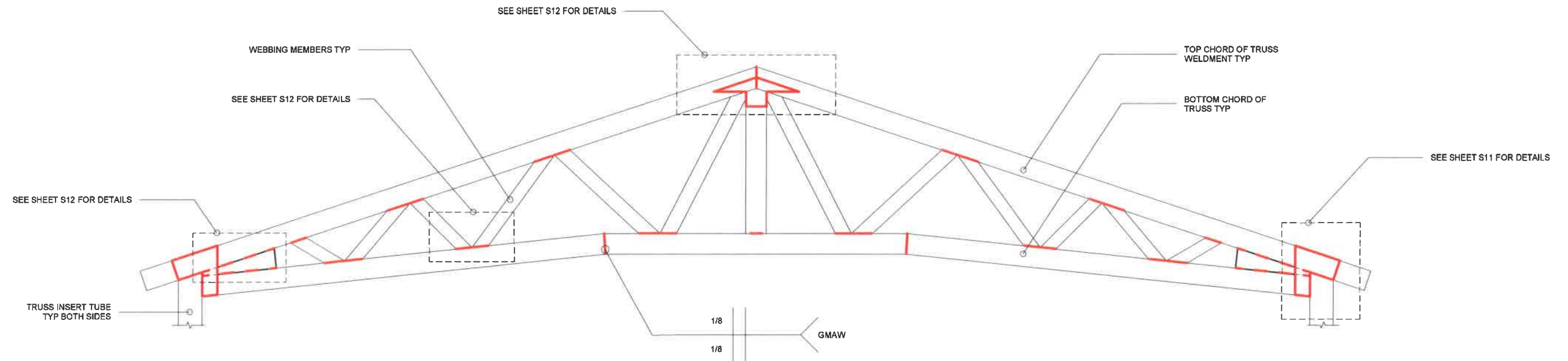
ALBRECHT, BRIAN

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ST WILLIAMS ON
N0E 1P0



S9

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3/8" = 1'-0"



**TYPICAL WEBBING MEMBER
WELDING DETAIL**



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4	As Built Drawings	-

Typical Truss Weld Details 1

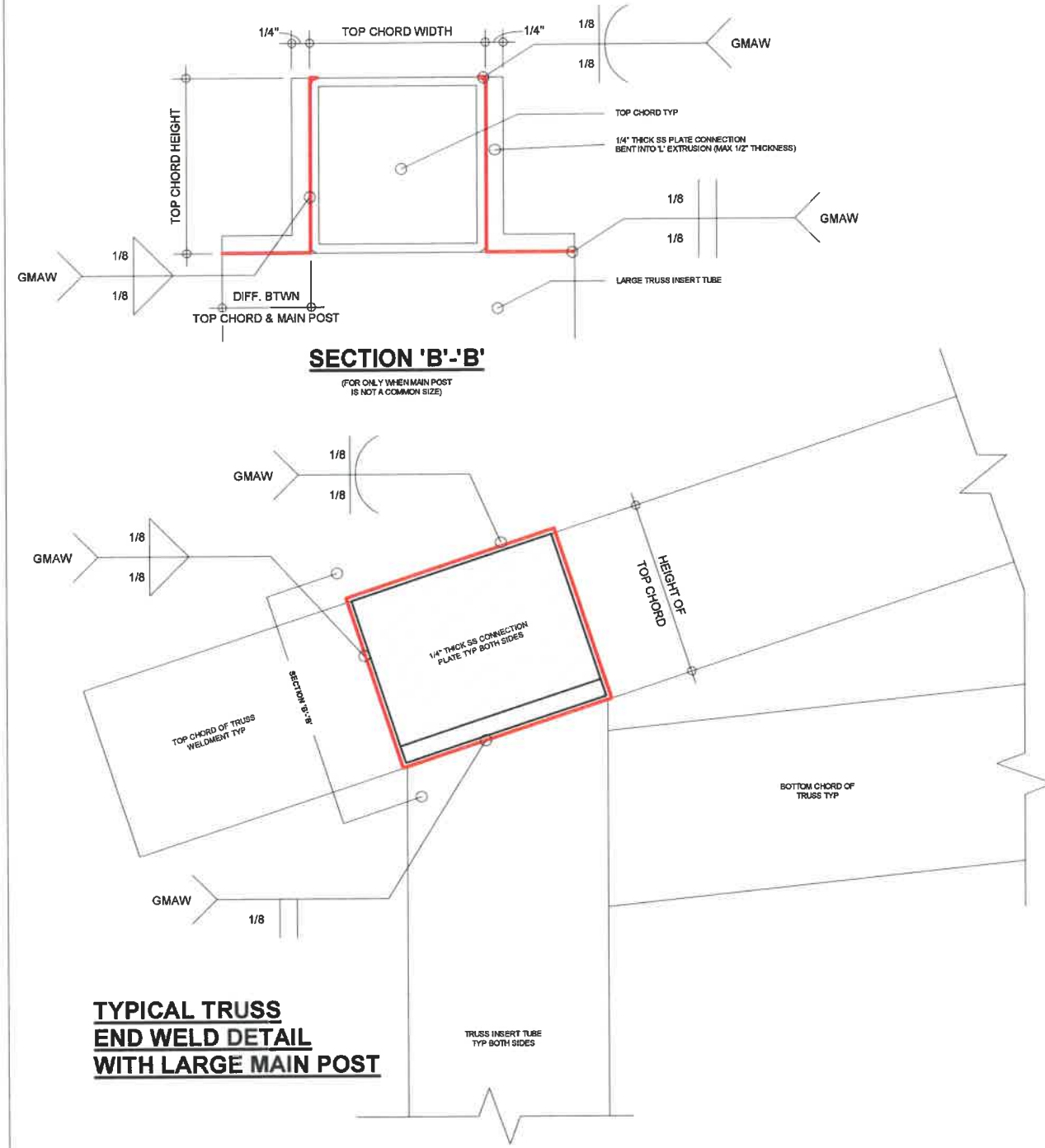
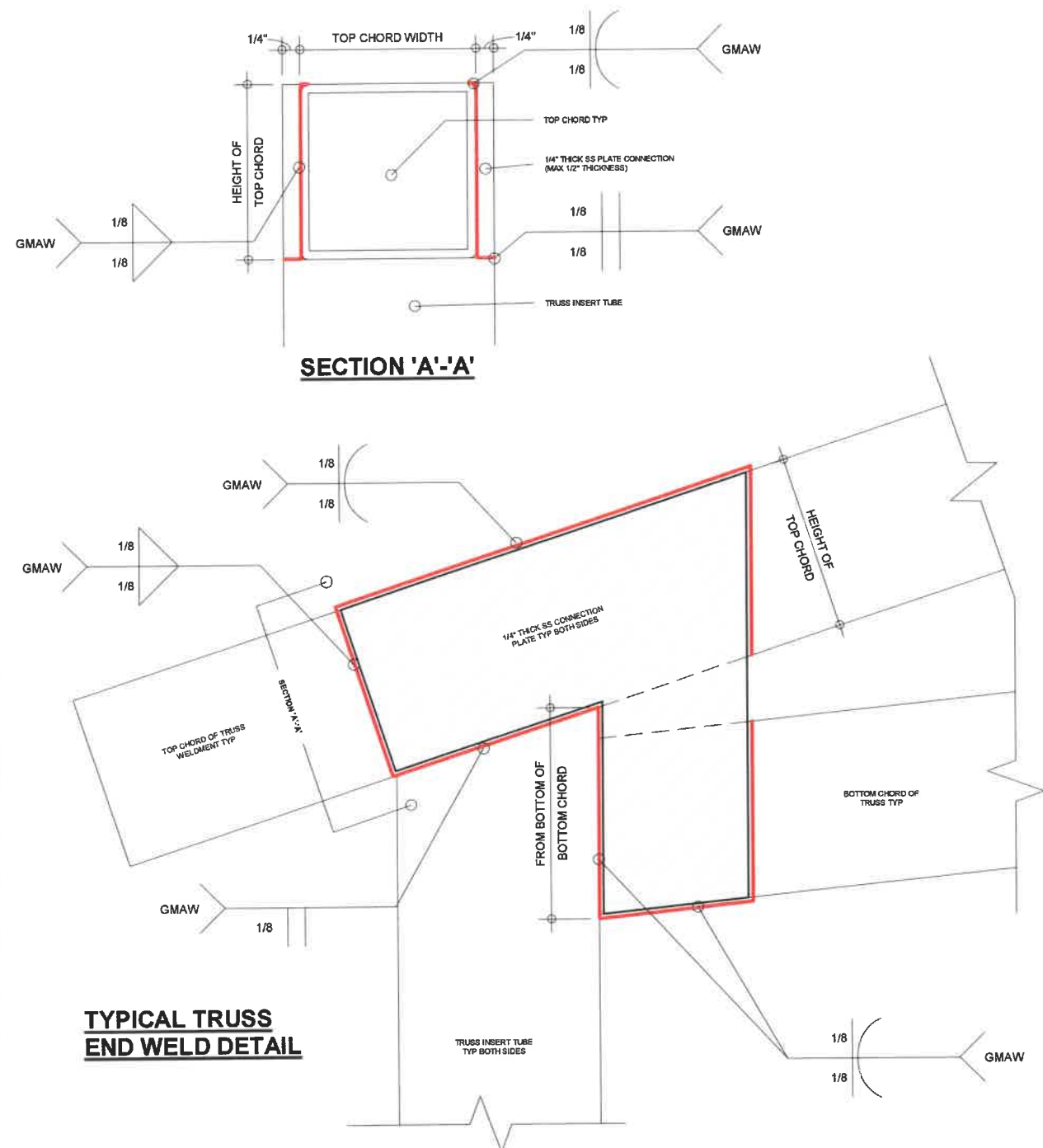
ALBRECHT, BRIAN

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S10

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	1" = 1'-0"



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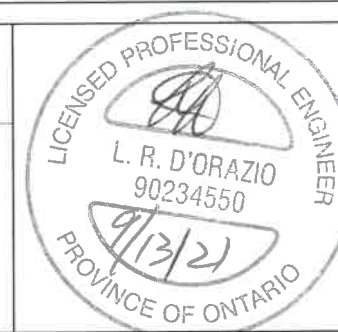
Office: (519) 582-8222
Fax: (519) 582-2098
Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
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3	Issued for Review/Permit	-
4	As Built Drawings	-

Typical Truss Weld Details 2

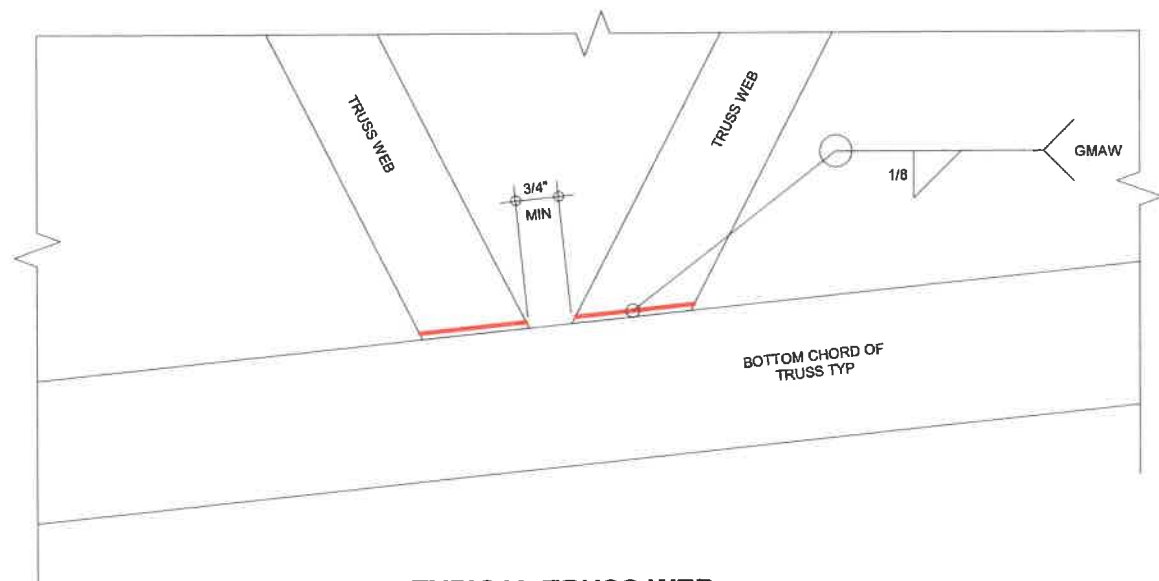
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0

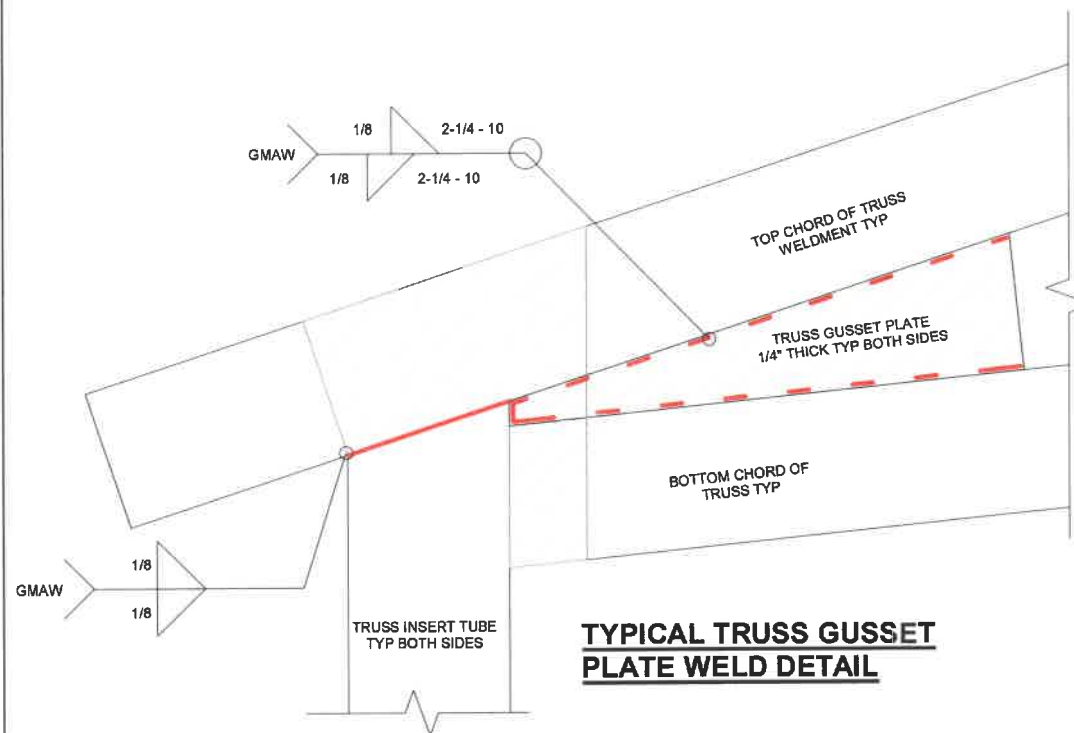


S11

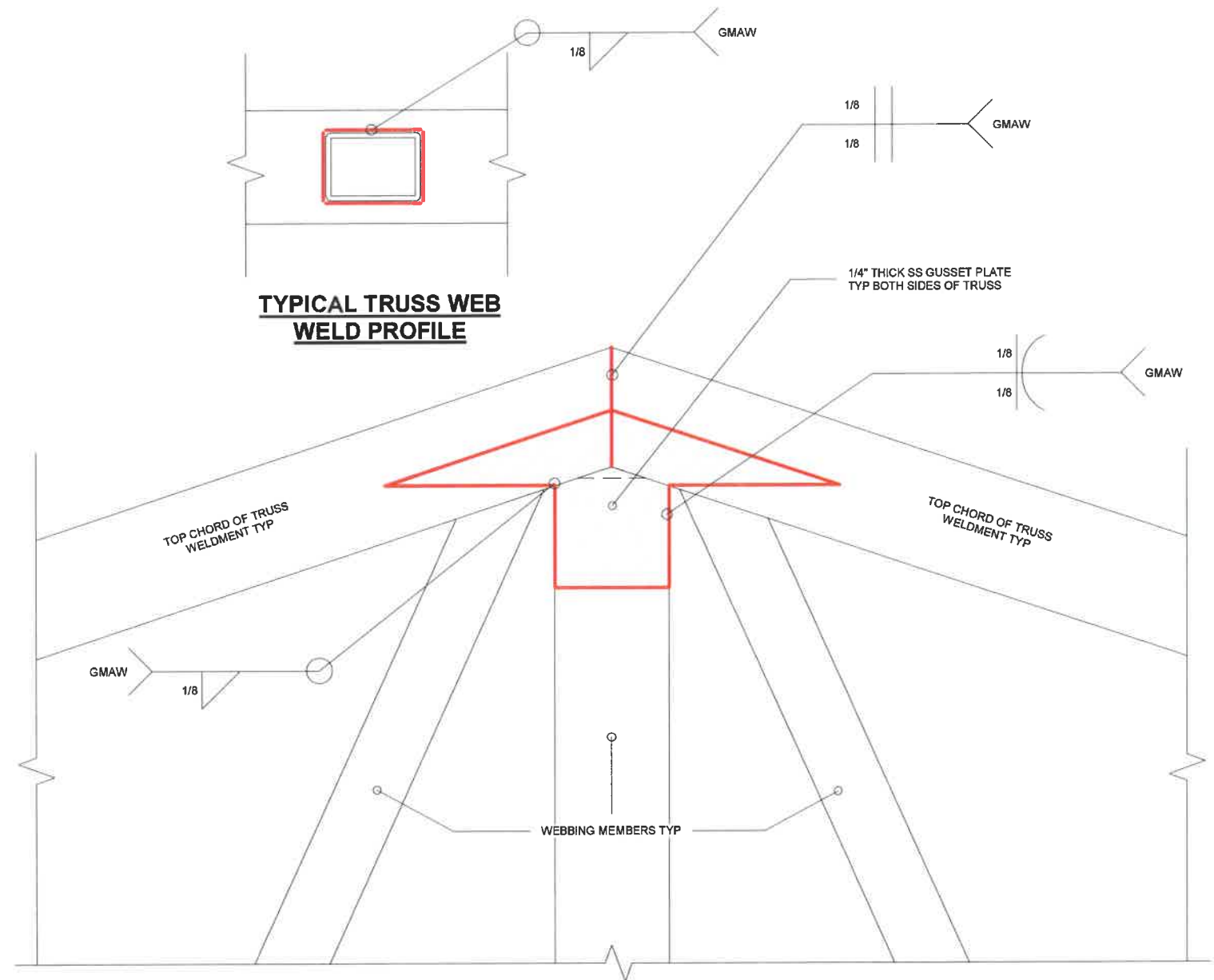
Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	6" = 1'-0"



**TYPICAL TRUSS WEB
WELD DETAIL**



**TYPICAL TRUSS GUSSET
PLATE WELD DETAIL**



**TYPICAL TRUSS GUSSET
PLATE WELD DETAIL**

**TYPICAL TRUSS WEB
WELD PROFILE**

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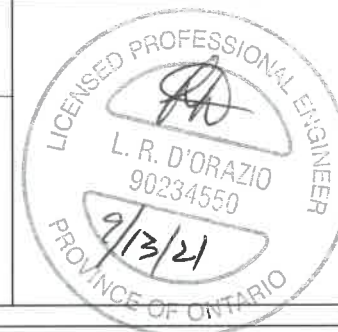
Office: (519) 582-8222
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No.	Description	Date
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4	As Built Drawings	-

Typical Truss Weld Details 3

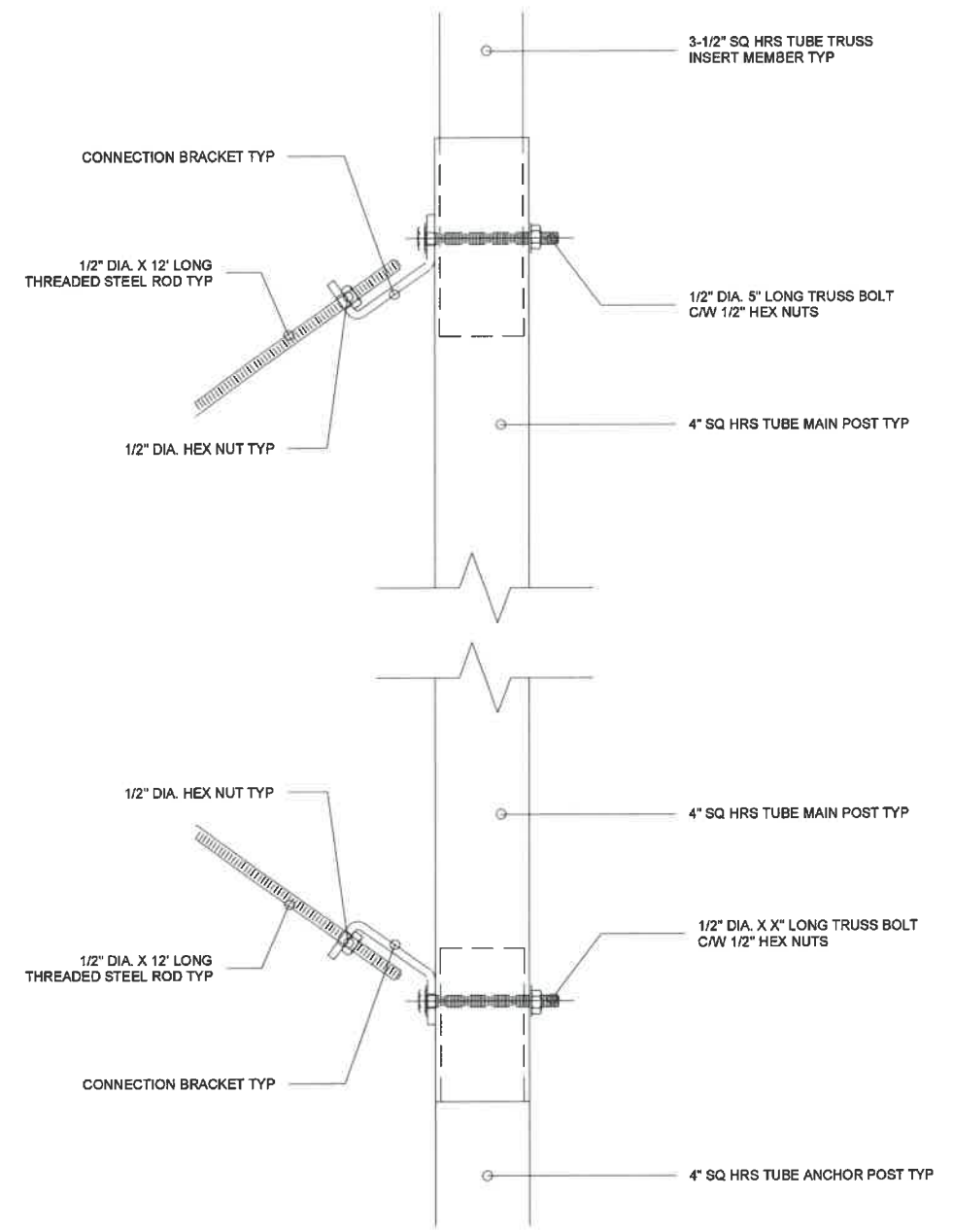
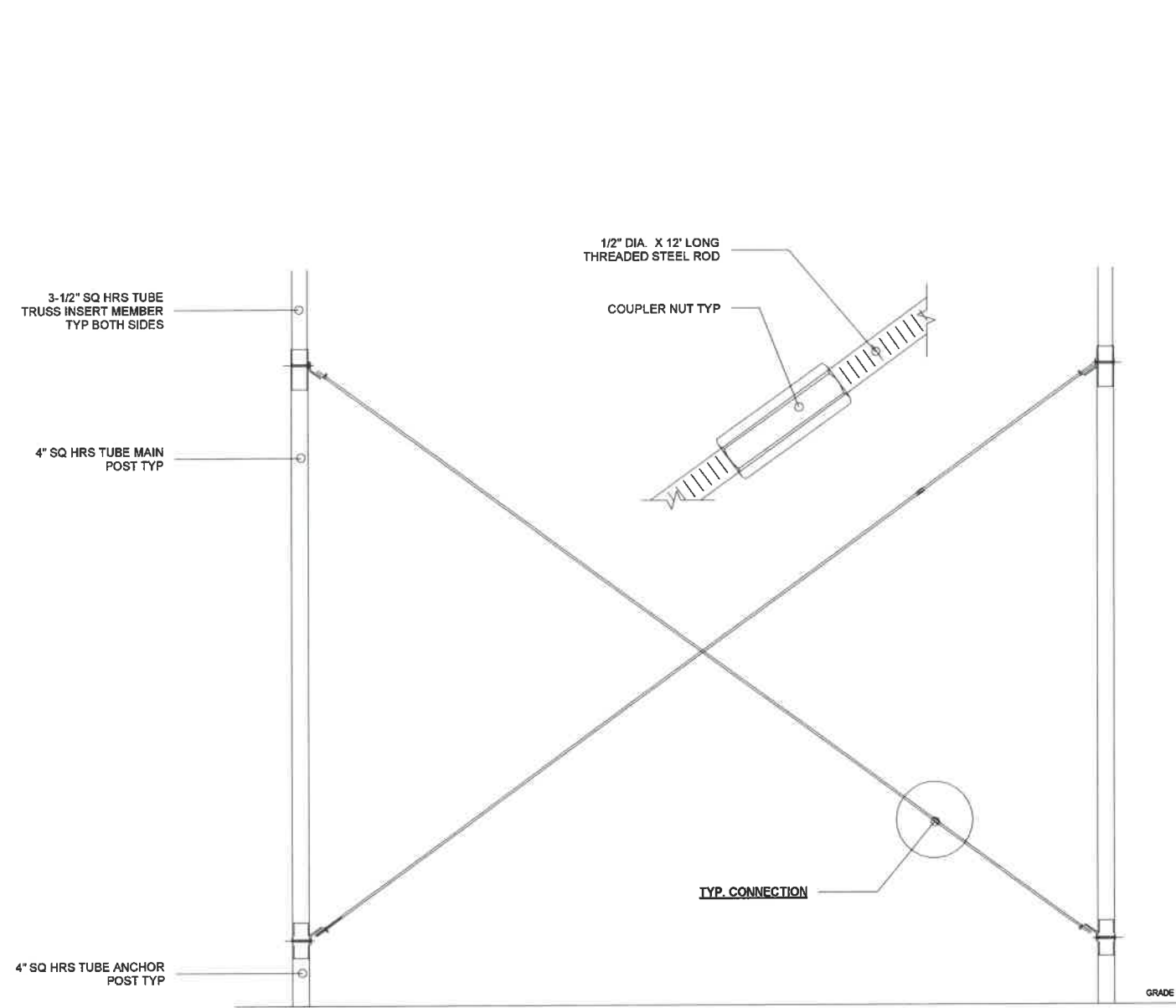
ALBRECHT, BRIAN

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S12

Project number	21-706
Date	2021/09/07
Drawn by	RP
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Scale	1 : 3



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3	Issued for Review/Permit	-
4	As Built Drawings	-

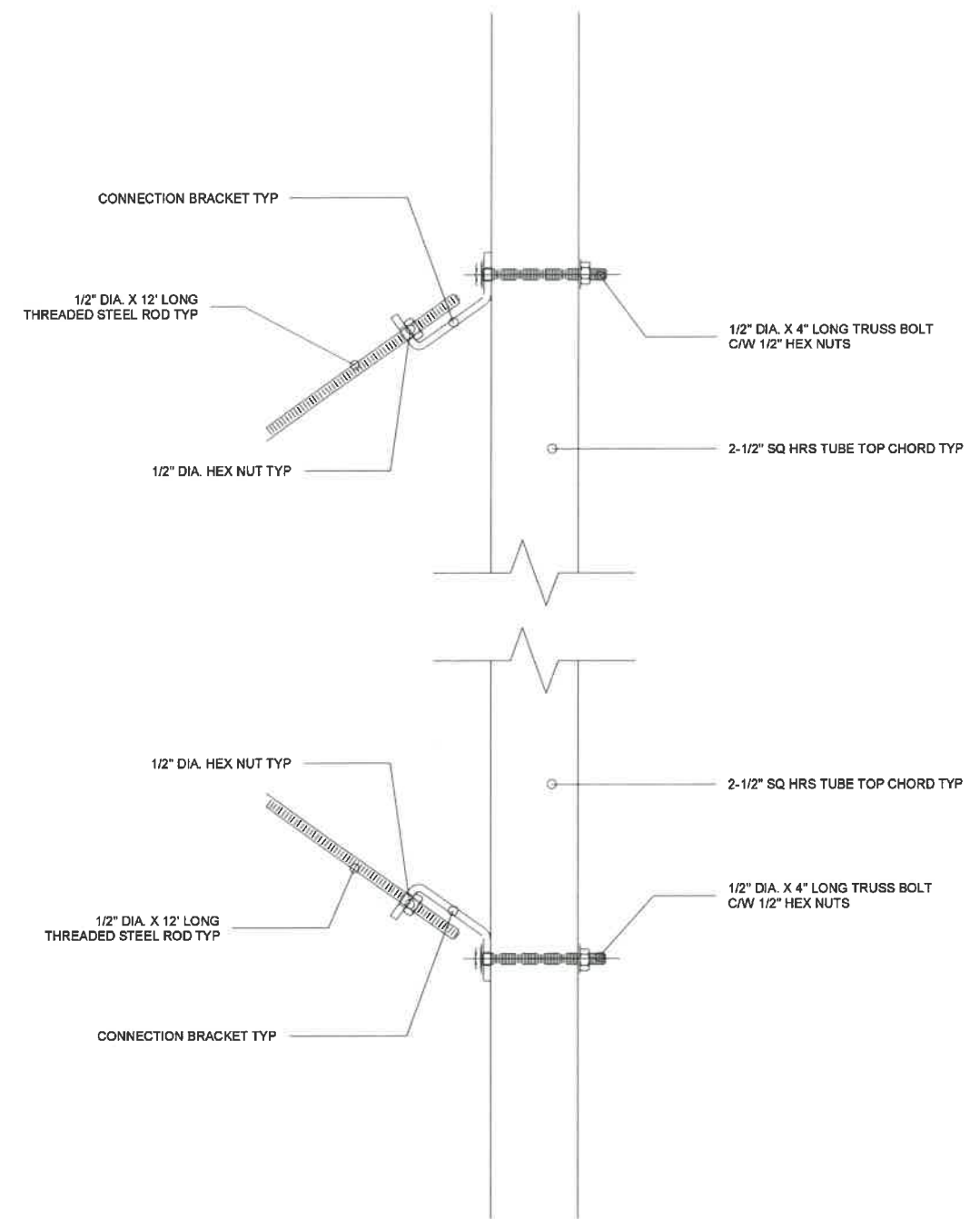
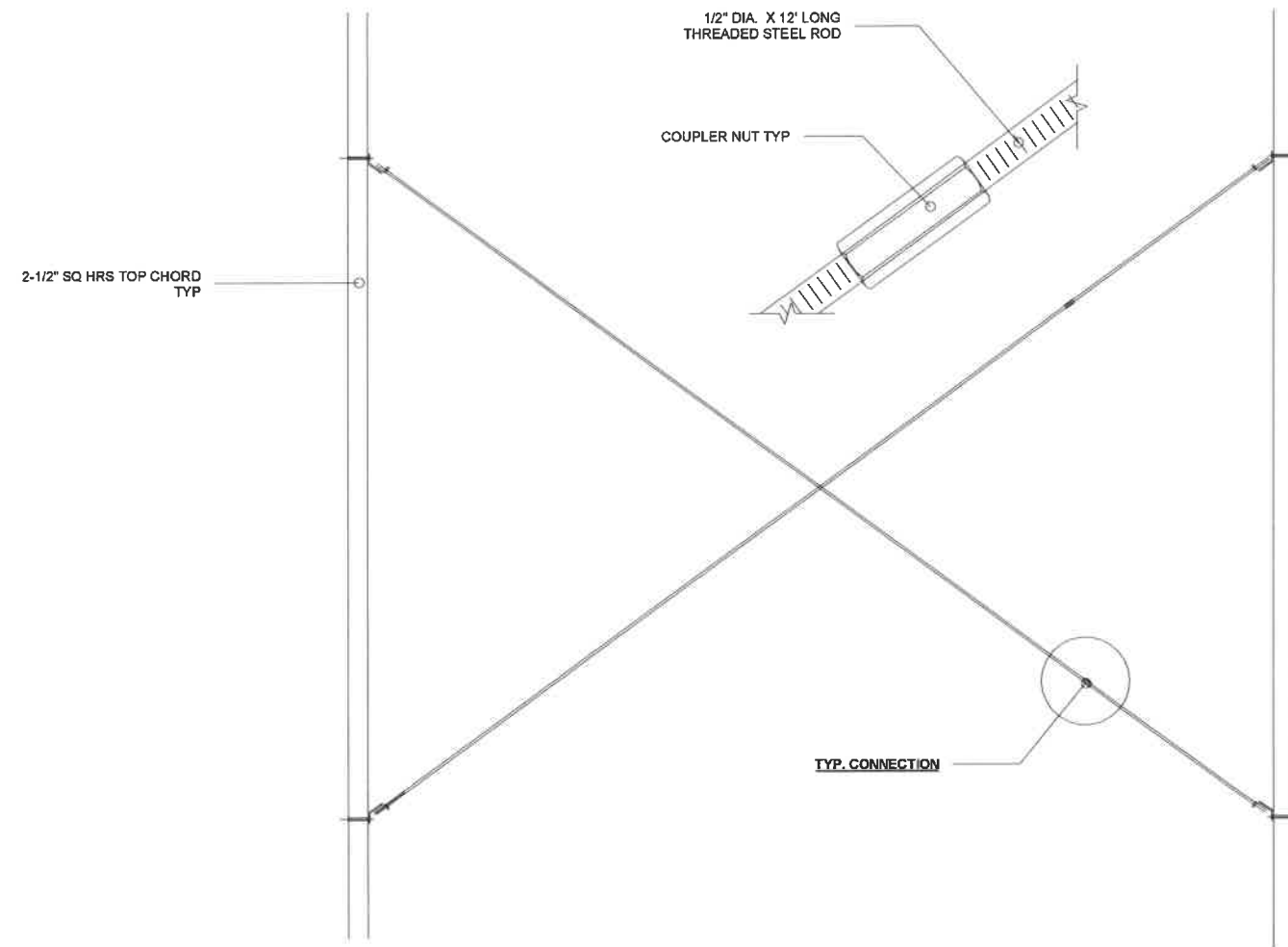
Post Bracing Detail

ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0



S13	
Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	



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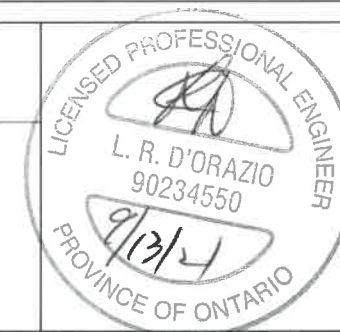
Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Roof Bracing Detail

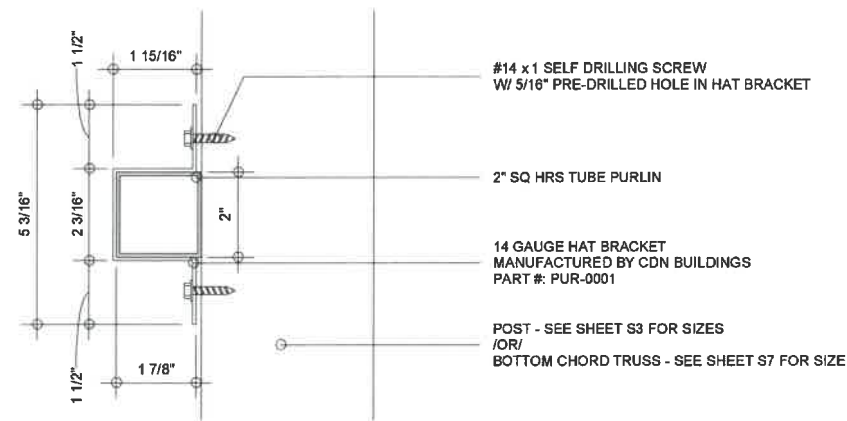
ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0

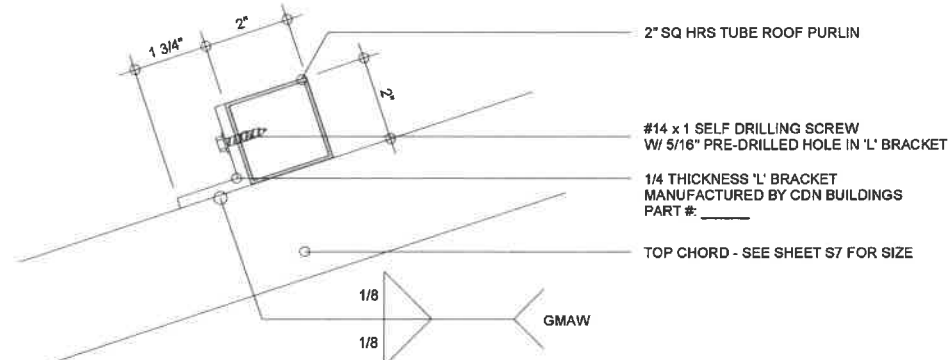


S14

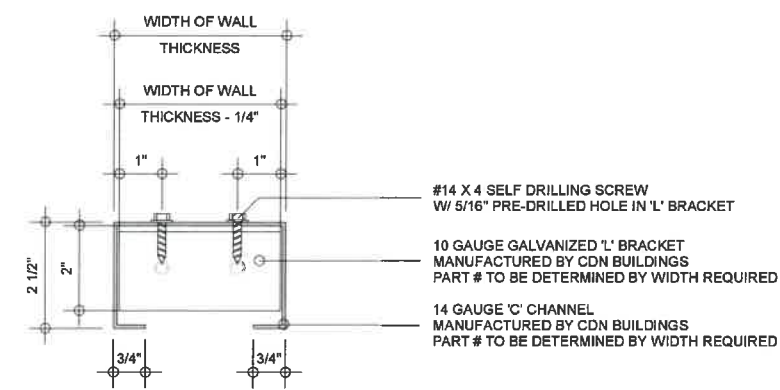
Project number	21-706
Date	2021/09/07
Drawn by	-
Checked by	LDO
Scale	



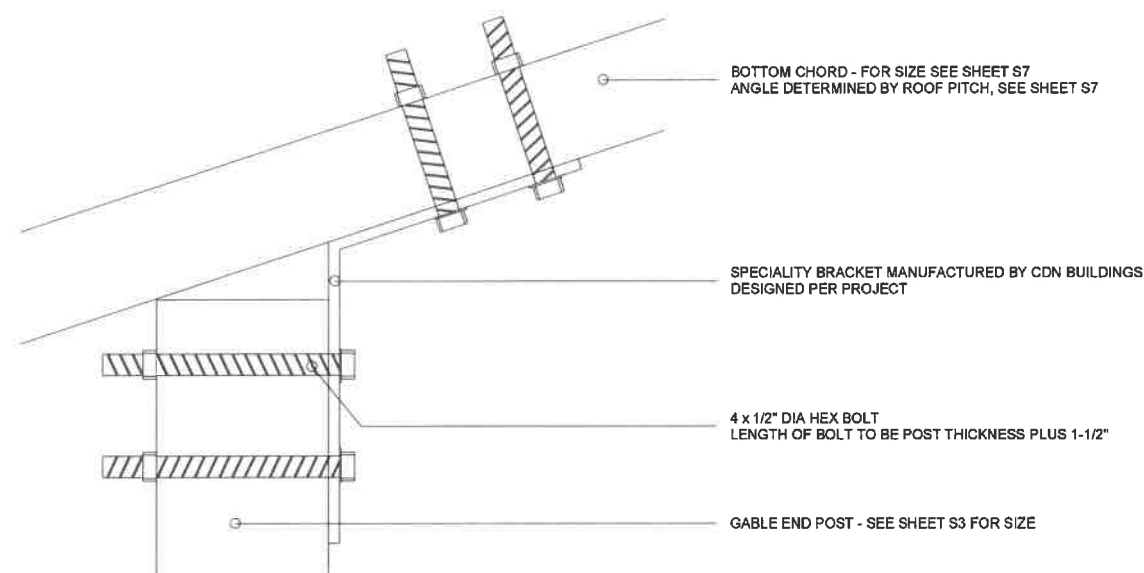
1 2" SQ HRS Connection
3" = 1'-0"



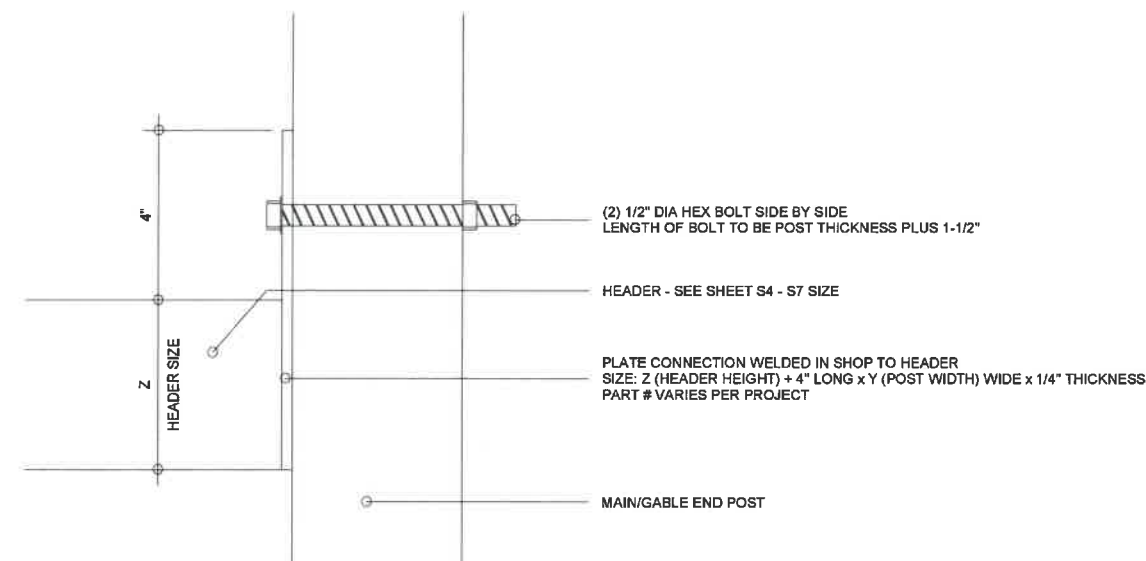
2 2" SQ HRS Roof Connection
3" = 1'-0"



3 'C' Channel Connection
3" = 1'-0"



4 Gable Post Connection
3" = 1'-0"



5 O.H. Header Connection
3" = 1'-0"

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3	Issued for Review/Permit	-
4	As Built Drawings	-

Connection Details

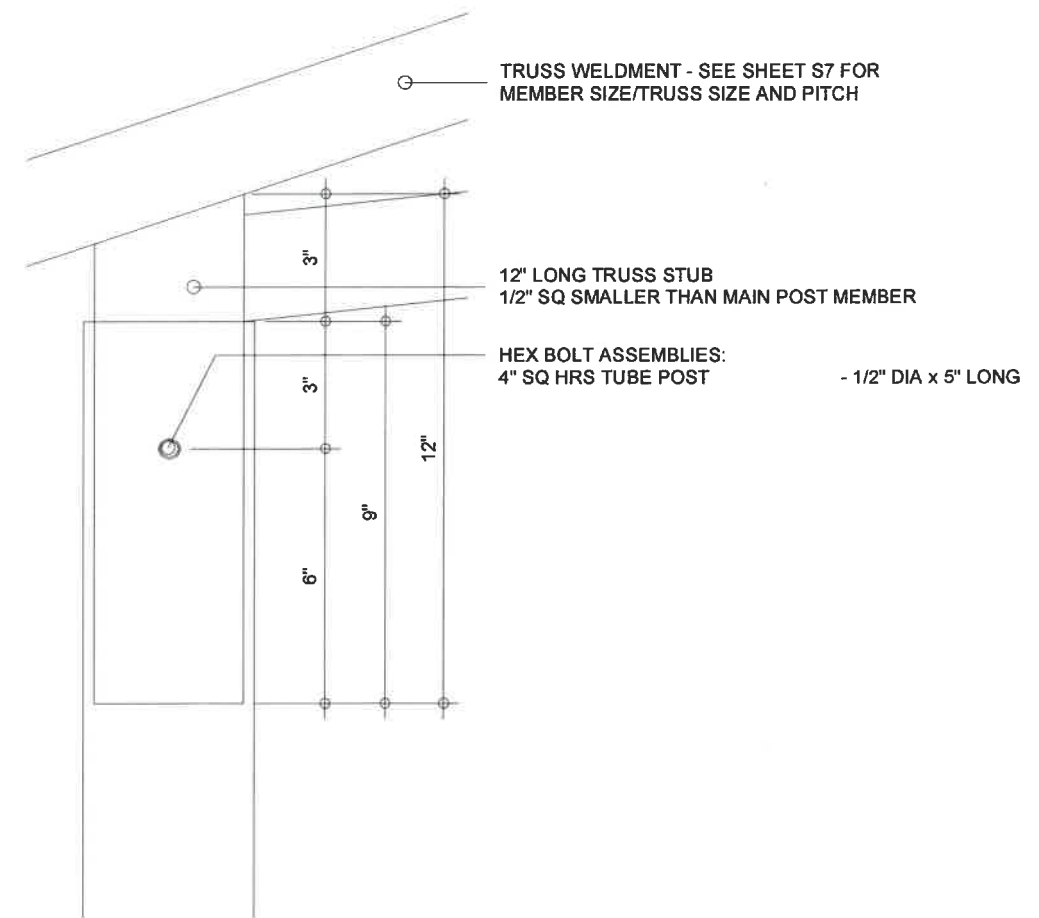
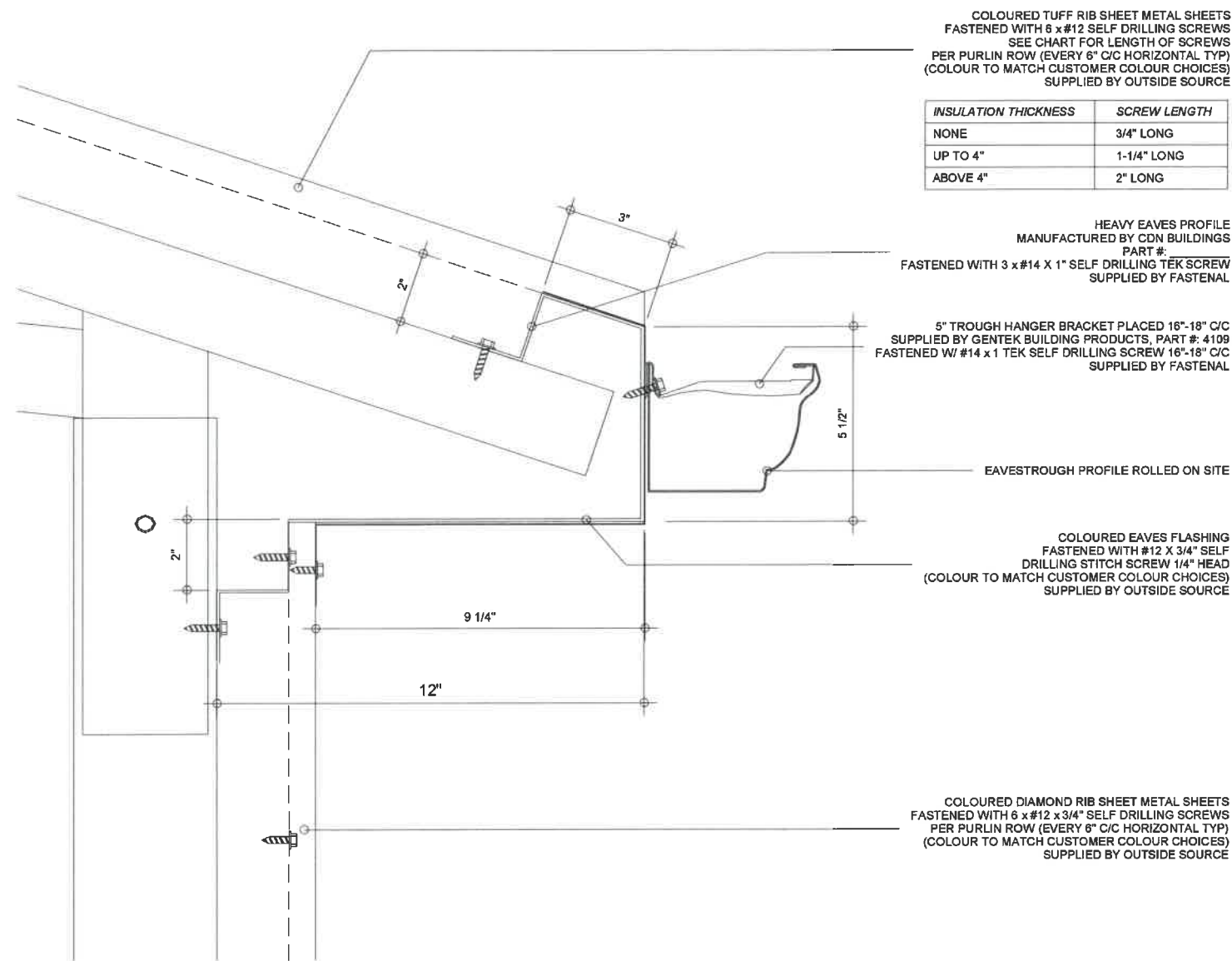
ALBRECHT, BRIAN

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ST WILLIAMS ON
N0E 1P0



S15

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3" = 1'-0"



1 Eaves with 2" SQ HRS Wall Purlins
S16 3" = 1'-0"

2 Truss Stub Connection
S16 3" = 1'-0"

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Eaves/Wall Details

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S16

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	3" = 1'-0"

MATERIAL SPECIFICATION

NO.	ITEM	MATERIAL
1	ANCHOR POSTS (MAIN)	4" SQ HRS TUBE X 0.125" WALL X 54" LONG HDG
2	ANCHOR POSTS (GABLE)	4" SQ HRS TUBE X 0.125" WALL X 54" LONG HDG
3	MAIN POSTS	4" SQ HRS TUBE X 0.125" WALL 16'-0" LONG HDG
4	GABLE/END POSTS	4" SQ HRS TUBE X 0.125" WALL X TO SUIT HDG
5	30'W TRUSS WELDMENTS ON 10'-0" CENTERS TYP OF 5	TOP CHORDS
		2-1/2" SQ HRS TUBE X 0.125" WALL HDG
		BOTTOM CHORDS
		2-1/2" SQ HRS TUBE X 0.125" WALL HDG
		WEBBING MEMBERS
		1-1/2" SQ HRS TUBE X 0.125" WALL HDG
6	ROOF PURLINS	2" SQ HRS TUBE X 0.100" WALL @ 36" C/C
7	WALL PURLINS	2" SQ HRS TUBE X 0.100" WALL @ 36" C/C
8	ROOF BRACING	1/2" DIA. THREADED STEEL RODS @ 12'-0" LENGTHS HDG
9	POST BRACING	1/2" DIA. THREADED STEEL RODS @ 12'-0" LENGTHS HDG
10	ROOF SHEETING	29 GA CORRUGATED SHEET METAL TUFF RIB
11	WALL SHEETING	29 GA CORRUGATED SHEET METAL DIAMOND RIB 36
12	INT. WALL SHEETING	N/A



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2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Material Specification

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S17	
Project number	21-706
Date	2021/09/07
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Checked by	LDO
Scale	

DESIGN RESPONSIBILITY

CDN BUILDINGS ENGINEER IS THE DESIGN PROFESSIONAL OR ENGINEER OF RECORD FOR THE CONSTRUCTION PROJECT. CDN BUILDINGS IS NOT RESPONSIBLE FOR THE DESIGN OF ANY COMPONENT OR MATERIAL NOT SOLD BY IT, OR THEIR INTERFACE AND CONNECTION WITH THE STEEL BUILDINGS SYSTEM, UNLESS SUCH DESIGN RESPONSIBILITY IS SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS. CDN BUILDINGS IS ONLY RESPONSIBLE FOR ENSURING THAT THE COMPONENTS SUPPLIED BY IT ARE DESIGNED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES OR OTHER CRITERIA, ALL AS SPECIFIED BY THE OWNER, THE PROFESSIONAL ENGINEER AND/OR ARCHITECT OF RECORD RETAINED BY THE OWNER, OR THE DESIGN- BUILDER. THE DESIGNER (OF THE STRUCTURE) WHETHER DESIGN-BUILDER, ARCHITECT AND/OR PROFESSIONAL ENGINEER OF RECORD, IS RESPONSIBLE FOR SPECIFYING TO CDN BUILDINGS THE CODE AND STANDARDS TO GOVERN DESIGN, ALL DESIGN LOADS SUCH AS SNOW LOADS (INCLUDING COEFFICIENTS AND DRIFT CONDITIONS), WIND LOADS, COLLATERAL LOADS, SITE CONDITIONS FOR SEISMIC DESIGN, AND ANY OTHER SUPERIMPOSED LOADS WHICH THE STRUCTURE IS REQUIRED TO SUSTAIN. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE PLANS IN ANY WAY. IF ANY ITEM ON THESE PLANS IS ALTERED, THE ALERTING ENGINEER MUST AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERNATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CDN BUILDINGS ASSUMES THAT ALL WINDOWS AND DOORS WILL BE DESIGNED TO WITHSTAND THE WIND LOADS SHOWN AND WILL REMAIN CLOSED DURING PERIOD OF SEVERE WINDS (THIS DOES NOT APPLY TO BUILDINGS DESIGNED AS CATEGORY 3). FOR FURTHER CLARIFICATION OF DESIGN RESPONSIBILITY, REFER TO CSSBI 88 – 06 – BUILDINGS INCORPORATING STEEL BUILDING SYSTEMS: RESPONSIBILITIES OF PARTIES INVOLVED.

FOUNDATION DESIGN

CDN BUILDINGS IS RESPONSIBLE FOR THE DESIGN, MATERIALS, AND WORKMANSHIP OF THE FOUNDATION. ANCHOR BOLT PLANS ARE PREPARED BY CDN BUILDINGS ARE INTENDED TO SHOW ONLY LOCATION, DIAMETER, AND PROJECTION OF THE ANCHOR RODS REQUIRED TO ATTACH THE STEEL BUILDING SYSTEM TO THE FOUNDATION. IT IS THE RESPONSIBILITY OF THE END CUSTOMER AND/OR THEIR DESIGN PROFESSIONAL TO ENSURE THAT ADEQUATE PROVISIONS ARE MADE FOR SPECIFYING BOLT EMBEDMENT, BEARING ANGLES, TIE RODS AND/OR OTHER ASSOCIATED ITEMS EMBEDDED IN THE CONCRETE FOUNDATION, AS WELL AS FOUNDATION DESIGN FOR THE LOADS IMPOSED BY THE STEEL BUILDING SYSTEM, OTHER IMPOSED LOADS, AND THE BEARING CAPACITY OF THE SOIL AND OTHER CONDITIONS OF THE BUILDING SITE. CDN BUILDINGS DOES NOT SPECIFY GROUT REQUIREMENTS – THE IS THE RESPONSIBILITY OF THE FOUNDATION DESIGNER. THE CHAR PROVIDED WITH THE ANCHOR PLANS/DETAILS IS INTENDED TO DEMONSTRATE THAT GROUT SHALL BE TAKEN INTO ACCOUNT WHEN DETERMINING ANCHOR BOLT PROJECTION, IT DOES NOT CONSTITUTE THE SPECIFICATION OF GROUT BY THE CDN ENGINEER.

SERVICE ABILITY

UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, CDN BUILDINGS USES INDUSTRY STANDARD DEFLECTION LIMITS AS SPECIFIED IN CSSI B15B – 15. IN GENERAL, WE DO NOT USE THE RECOMMENDED LIMIT SPECIFIED IN ANNEX D OF CSA S16, WHICH IS A NON – MANDATORY PART OF THIS STANDARD.

SITE INSPECTIONS

CDN BUILDINGS DOES PERFORM GENERAL REVIEW OF CONSTRUCTION (SITE INSPECTIONS) FOR COMPONENTS SUPPLIED BY IT. THIS RESPONSIBILITY IS EXPLICITLY EXCLUDED FROM CDN BUILDINGS SCOPE OF WORK, UNLESS SPECIFIED IN THE CONTRACT DOCUMENTS FOR AN AGREED FEE.

EXISTING BUILDINGS

CDN BUILDINGS DOES NOT INVESTIGATE THE INFLUENCE OF THE STEEL BUILDING SYSTEM ON EXISTING BUILDINGS OR STRUCTURES. THE END CUSTOMER AND/OR THEIR DESIGN PROFESSIONAL MUST ENSURE CONDITIONS AS A RESULT OF THE PRESENCE OF THE STEEL BUILDING SYSTEM.

INDEPENDENT / SELF – SUPPORTING COMPONENTS

MEZZANINES, BLOCK WALLS, OR ANY OTHER COMPONENTS BY OTHERS THAT ARE IDENTIFIED AS INDEPENDENT OR SELF -SUPPORTING, MUST BE DESIGNED BY A PROFESSIONAL ENGINEER. THE ENGINEER MUST ENSURE THAT PROPER ISOLATION FROM THE CDN BUILDING HAS BEEN PROVIDED TO AVOID STRUCTURAL DAMAGE DUE TO DIFFERENTIAL MOVEMENTS, OR INADVERTENTLY APPLYING LOADS TO THE CDN BUILDINGS STRUCTURE. CDN BUILDINGS ACCEPTS NO RESPONSIBILITY FOR THE DESIGN OF ANY INDEPENDENT/SELF – SUPPORTING COMPONENTS.

FIRE CODE COMPLIANCE

IT IS THE RESPONSIBILITY OF THE PROJECT DESIGN PROFESSIONAL AND BUILDER TO COMPLY WITH LOCAL FIRE CODE REGULATIONS INCLUDING CONSIDERATION OF, BUT NOT LIMITED TO, BUILDING USE AND OCCUPANCY, ALL BUILDING CONSTRUCTION MATERIALS, SEPARATION REQUIREMENTS, EGRESS REQUIREMENTS, FIRE PROTECTION SYSTEMS, ETC. THE BUILDER SHALL ADVISE CDN BUILDINGS OF ANY SPECIAL REQUIREMENTS TO BE FURNISHED BY CDN BUILDINGS.

PRELIMINARY DRAWINGS

CDN BUILDINGS ISSUES PRELIMINARY DRAWINGS MARKED AS 'ISSUED FOR INFORMATION' FOR EACH PROJECT. INFORMATION PRESENTED ON PRELIMINARY DRAWINGS MAY DIFFER FROM DRAWINGS/DOCUMENTS PROVIDED BY OTHER FIRMS, AND ALSO FROM PERVIOUS CDN BUILDINGS DRAWINGS/DOCUMENTS. THE DEVIATIONS MAY BE DUE TO INTERPRETATIONS OF THE CONTRACT REQUIREMENTS, OR NECESSARY PROVISIONS FOR STRUCTURAL PERFORMANCE AND MANUFACTURING ABILITY. THE MOST RECENT SET OF DRAWINGS THAT IS SEALED BY A CDN BUILDINGS ENGINEER SHALL TAKE PRECEDENCE OVER ANY PREVIOUS DRAWINGS/DOCUMENTS. THE CUSTOMER SHALL PERFORM A

THOROUGH REVIEW OF ALL ITEMS SHOWN IN EACH DRAWING SET RECEIVED, IN ORDER TO CONFIRM ADHERENCE TO THE CONTRACT REQUIREMENTS. APPROVAL IS REQUIRED IN ORDER TO PROCEED WITH MANUFACTURING. WHEN THE APPROVAL STAMP IS PRESENT, PLEASE SIGN AND DATE EACH DRAWING, AND CLEARLY INDICATE ANY CHANGES REQUIRED. FAILURE TO DO SO IN A TIMELY MANNER MAY RESULT IN PROJECT DELAYS. NOTE THAT CHANGES REQUESTED ON THE DRAWINGS ARE NOT BINDING UNLESS SUBSEQUENTLY ACKNOWLEDGED AND AGREED TO IN WRITING. APPROVAL OF CDN BUILDINGS DRAWINGS CONSTITUTES ACCEPTANCE OF OUR INTERPRETATION, AND FURTHER CONSTITUTES AGREEMENT THAT THE BUILDING AS SHOWN REPRESENTS THE TOTAL OF THE MATERIALS TO BE SUPPLIED. ANY CHANGE REQUESTS THAT OCCUR AFTER APPROVAL MAY RESULT IN ADDITIONAL COSTS AND DELAYS. BUILDER/CUSTOMER MUST SECURE ALL REQUIRE APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCIES AS REQUIRED.

BOLT TIGHTENING

PROPER INSTALLATION AND INSPECTION OF ALL FASTENERS IS THE RESPONSIBILITY OF THE ERECTOR. ALL HIGH STRENGTH (A325, A490) BOLTS AND NUTS MUST BE TIGHTENED BY THE 'TURN – OF – NUT' METHOD AS SPECIFIED IN THE 'INSTALLATION AND INSPECTION OF BOLTED JOINTS' CLAUSE OF CSA S16. INSPECTION OF HIGH STRENGTH BOLTED JOINTS BY OTHER THAN THE ERECTOR MUST BE SPECIFIED IN THE CONTRACT DOCUMENTS, AND THE ERECTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION AND INSPECTION PROCEDURES ARE COMPATIBLE PRIOR TO THE START OF THE ERECTION.

TABLE 8: NUT ROTATION FROM SNUG-TIGHT CONDITION

BOLT LENGTH** UP TO AND INCLUDING 4 BOLT DIAMETERS	TURN 1/3
OVER 4 DIAMETERS AND NOT EXCEEDING 8 DIAMETERS OR 8 INCHES	1/2
EXCEEDING 8 DIAMETERS OR 8 INCHES ** BOLT LENGTH IS MEASURED FROM THE UNDERSIDE OF THE HEAD TO THE EXTREME END OF POINT	2/3

ERECTION – GENERAL

CDN BUILDINGS IS RESPONSIBLE FOR THE ERECTION OF THE STEEL BUILDING SYSTEM, THE SUPPLY OF ANY TOOLS OR EQUIPMENT, SUPERVISION FOR THE ERECTION OF THE STRUCTURE, OR ANY OTHER FIELD WORK. FIELD ERECTION OF A STEEL BUILDING, AS IN ALL CONSTRUCTION PROJECTS. INVOLVES HAZARDS TO PERSONS WITHIN THE AREA OF THE CONSTRUCTION AND RISK OF DAMAGE TO THE PROPERTY ITSELF. CDN BUILDINGS DOES NOT FURNISH A GENERAL ERECTION MANUAL, HOWEVER FIELD ERECTION PROCEDURES CAN VARY BECAUSE OF MANY ITEMS INCLUDING LOCAL CONDITIONS, EQUIPMENT AVAILABILITY, THE TYPE OF BUILDING BEING ERECTED AND THE EXPERTISE OF THE PARTICULAR ERECTOR. THE ERECTOR, BY ENTERING INTO A CONTRACT TO ERECT THE BUILDING, HOLD ITSELF OUT AS SKILLED IN THE ERECTION OF STEEL BUILDING SYSTEMS, AND IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, PROVINCIAL, AND FEDERAL CONSTRUCTION AND SAFETY REGULATIONS AS WELL AS ANY APPLICABLE REQUIREMENTS MUNICIPAL, PROVINCIAL, FEDERAL, AND INTERNATIONAL UNION RULES OR PRACTICES. THE ERECTION DRAWINGS FURNISHED BY CDN BUILDINGS ARE NOT INTENDED TO SPECIFY ANY PARTICULAR METHOD OF ERECTION TO BE FOLLOWED BY THE ERECTOR. THE ERECTOR IS ALSO RESPONSIBLE FOR SUPPLYING ANY SAFETY DEVICES SUCH AS FALL ARREST SYSTEMS, MAN – LIFTS, AND ANCHOR POINTS ETC. WHICH MAY BE REQUIRED TO SAFELY ERECT THE STEEL BUILDING SYSTEM. CDN BUILDINGS EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR ANY INJURY TO PERSONS IN THE COURSE OF ERECTION OR DAMAGE TO THE PRODUCT ITSELF. ONLY EXPERIENCED PERSONS WHO ARE SKILLED AND QUALIFIED IN THE ERECTION OF STEEL BUILDINGS SHOULD BE PERMITTED TO FIELD – ERECT A BUILDING DUE TO THE HAZARDS OF THIS CONSTRUCTION ACTIVITY. ALL ERECTION EQUIPMENT AND DETAILED ERECTING PROCEDURES WILL BE DETERMINED BY AND INDEPENDENT QUALIFIED PROFESSIONAL ENGINEER RETAINED BY THE BUILDER AS REQUIRED.

ERECTION TOLERANCES

ERECTION TOLERANCES ARE THOSE SET FORTH IN THE 'DESIGN OF STEEL STRUCTURES" (CSA S16 LATEST EDITION)

TEMPORARY BRACING DURING CONSTRUCTION

THE ERECTOR SHALL FURNISH TEMPORARY GUYS AND BRACING WHERE NEEDED FOR SQUARING, PLUMBING, AND SECURING THE STRUCTURAL FRAMING AGAINST LOADS, SUCH AS WIND LOADS ACTING ON THE EXPOSED FRAMING, AS WELL AS LOADS DUE TO ERECTION EQUIPMENT AND OPERATION. THESE CONSTRUCTION LOADS CAN BE SIGNIFICANTLY HIGHER THAN LOADS WHICH WILL BE APPLIED ONCE THE BUILDING IS COMPLETED ERECTED, AND ACCORDINGLY, BRACING FURNISHED BY CDN BUILDINGS FOR THE STEEL BUILDING SYSTEM CANNOT BE ASSUMED TO BE ADEQUATE DURING ERECTION. COLUMN BASE PLATES ARE TYPICALLY 'PIN' CONNECTIONS, AND IT IS THEREFORE EXTREMELY DANGEROUS TO LEAVE ANY COLUMN AS 'FREE STANDING' (NO LATERAL SUPPORT AT THE TOP) FOR ANY LENGTH OF TIME, SPECIAL CARE MUST BE TAKEN WHEN COLUMNS ARE GROUTED, AS THEY TEND TO BE UNSTABLE UNTIL THE GROUT IS IN PLACE. TEMPORARY SUPPORTS SUCH AS TEMPORARY GUYS, BRACING, FALSEWORK, CRIBBLING OR OTHER ELEMENTS REQUIRE FOR THE ERECTIONS OPERATION SHALL BE DETERMINED AND FURNISHED AND INSTALLED BY THE ERECTOR.

FABRICATION/DRAWING ERRORS

THE BUILDER/CUSTOMER IS RESPONSIBLE FOR CONTACTING CDN BUILDINGS MANAGEMENT TEAM TO ADVISE CDN BUILDINGS OF FABRICATION/DRAWING PROBLEMS AND CORRESPONDING FIELD CORRECTION COST ESTIMATES. CDN BUILDINGS WILL THEN BE RESPONSIBLE FOR PROVIDING THE BUILDER WITH WRITTEN APPROVAL TO PROCEED WITH APPROPRIATE FIELD CORRECTIONS. THIS WILL BE DONE IN A TIMELY MANNER. NOTE: IF THE BUILDER PROCEEDS WITH CORRECTIVE WORK WITHOUT CDN BUILDINGS APPROVAL, THEY ARE DOING SO AT THEIR OWN RISK AND COST. CDN BUILDINGS WILL ONLY BE RESPONSIBLE FOR CLAIMS WHERE THE BUILDER/CUSTOMER DOCUMENTS THE PROBLEM, IT'S CORRECTION, AND REASONABLE COSTS FOR THE REPAIR AND SUBMITS SAME FOR PAYMENT WITHIN 15 DAYS OF THE OCCURRENCE.

DRAWING DISCREPANCIES

IN THE CASE OF DISCREPANCIES BETWEEN CDN BUILDINGS DRAWINGS AND DETAILS VERSUS THE PLANS FOR OTHER TRADES, THE CDN BUILDINGS PLANS GOVERN (CISC CODE OF STANDARD PRACTICE)

CORRECTION OF ERRORS AND REPAIRS

THE CORRECTION OF MINOR MISALIGNMENTS BY THE USE OF DRIFT PINS TO DRAW THE COMPONENTS INTO LINE, SHIMMING, MODERATE AMOUNTS OF REAMING, CHIPPING, WELDING, OR CUTTING AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM. (CISC CODE OF STANDARD PRACTICE)

FIELD WELDING

ALL FIELD WELDING SHALL BE DONE AT THE DIRECTION OF A DESIGN PROFESSIONAL AND DONE IN ACCORDANCE WITH CWB REQUIREMENTS BY WELDERS QUALIFIED TO PERFORM THE APPLICABLE WELDING PROCEDURE. USE MINIMUM 70ksi ELECTRODES. FIELD INSPECTION IS NOT BY CDN BUILDINGS.

DELIVERIES AND SHORTAGES

- A. UNLESS OTHERWISE SPECIFIED, TERMS SHALL BE F.O.B. CDN BUILDINGS POINT OF MANUFACTURE. IF TRANSPORTATION CHARGES ARE INCORPORATED IN THE PRICE QUOTED, SUCH CHARGES ARE FREIGHT PREPAID UNLESS OTHERWISE SPECIFIED.
- B. DELIVERY SHALL BE DEEMED TO OCCUR WHEN THE GOODS ARE SHIPPED FROM THE POINT OF MANUFACTURE.
- C. CDN BUILDINGS IS AUTHORIZED TO SHIP INSTALLMENTS. IF FOR ANY REASON THE DELIVERY IS DELAYED BY THE PURCHASER, STORAGE OR DEMURRAGE COSTS WILL BE BORNE BY THE PURCHASER. DELIVERY DATES ARE APPROXIMATE ONLY, AND ANY ESTIMATED DELIVERY SCHEDULE, IF STATED, SHALL BE DETERMINED FROM THE DATE CDN BUILDINGS RECEIVED COMPLETE AND SATISFACTORY INFORMATION NECESSARY TO MANUFACTURE THE GOODS. CDN BUILDINGS SHALL NOT, HOWEVER, BE LIABLE FOR ANY DELAY IN DELIVERY CAUSED BY CONDITIONS BEYOND CDN BUILDINGS REASONABLE CONTROL. IN ADDITION, THERE MAY BE DELAYS IN DELIVERY OF GOODS NOT NORMALLY CARRIED BY CDN BUILDINGS. ANY SUCH CAUSES OF DELAY EVEN THOUGH EXISTING ON THE DATE OF ORDER OR ON THE DATE OF STARTING OF MANUFACTURE SHALL EXTEND THE TIME OF CDN BUILDINGS PERFORMANCE BY THE LENGTH OF DELAYS OCCASIONED THEREBY, INCLUDING DELAYS REASONABLY INCIDENT TO THE RESUMPTION OF NORMAL PROCEDURES.
- E. UNDER NO CIRCUMSTANCES SHALL CDN BUILDINGS BE LIABLE FOR ANY INDIRECT OF CONSEQUENTIAL DAMAGES WHATSOEVER.
- F. CDN BUILDINGS WILL ENDEAVOR TO DELIVER THE GOODS ON THE REQUIRED DELIVERY DATE. THE CDN BUILDINGS TRUCK IS NOT CONSIDERED LATE IF DELIVERIES ARE WITHIN ONE HOUR OF THE SCHEDULED DELIVERY DATE. IF THE SHIPMENT IS BY CONTRACT CARRIER (FOB DESTINATION) IT IS THE RESPONSIBILITY OF THE CUSTOMER TO FILE CLAIMS WITH THE CARRIER. CDN BUILDINGS CANNOT ASSUME AND LIABILITY FOR THE CLAIM.
- G. IN THE EVENT THAT ANY SERVICES ARE TO BE PERFORMED BY CDN BUILDINGS SHALL BE DELAYED BY MORE THAN THIRTY (30) DAYS ON ACCOUNT FACTORS BEYOND CDN BUILDINGS CONTROL, THEN UPON NOTICE FROM CDN BUILDINGS, PURCHASER SHALL PAY CDN BUILDINGS THE COST OF ALL WORK, SERVICES AND MATERIALS TO THE DATE OF SUCH NOTICE.
- H. THE PURCHASER SHALL BE RESPONSIBLE TO INSPECT ALL GOODS RECEIVED PURSUANT HERETO. IF THE PURCHASER IS OF THE VIEW THAT PART OF THE GOODS ARE DAMAGED PREVENTING USE OF SAME, SUCH GOODS SHALL BE NOTED AS DAMAGED AND THE CDN BUILDINGS PROJECT MANAGEMENT TEAM SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE WHAT RECTIFICATION IN CDN BUILDINGS SOLE ABSOLUTE DISCRETION IS NECESSARY. CDN BUILDINGS SHALL NOT ACCEPT CLAIMS FOR DAMAGE AFTER LOADING AT THE CDN BUILDINGS PLANT OR CAUSED DURING TRANSIT, UNLOADING OR HANDLING AT THE JOBSITE. FURTHER, CDN BUILDINGS SHALL NOT ACCEPT CLAIMS FOR VIABLE SHORTAGES UNLESS CDN BUILDINGS IS NOTIFIED WITHIN 48 HOURS OF TAKING DELIVERY AND ONE COPY OF THE PACKING LIST, WITH SHORTAGES PROPERLY NOTED, IS RETURNED TO CDN BUILDINGS WITHIN THE SAID 48 HOURS. CDN BUILDINGS SHALL NOT ACCEPT CLAIMS FOR SHORTAGES THAT ARE NOT VISIBLE UNLESS CDN BUILDINGS WITHIN FIFTEEN (15) DAYS OF TAKING THE DELIVERY AND ONE COPY OF THE PACKING LIST, WITH STORAGES PROPERLY NOTED, IS RETURNED TO CDN BUILDINGS WITHIN THE SAID FIFTEEN (15) DAYS. CDN BUILDINGS SHALL NOT BE RESPONSIBLE FOR ANY COST, EXPENSE, OR DAMAGE OF ANY KIND ARISING FROM THE USE OF DAMAGED OR OTHERWISE DEFECTIVE GOODS. CDN BUILDINGS WILL NOT ACCEPT THE COST OF EQUIPMENT (RENTAL OR DEPRECIATION), SMALL TOOLS, SUPERVISION, OVERHEAD OR PROFIT SUBJECT TO ANY CLAIM. ANY CLAIM MUST BE APPROVED BY THE CDN BUILDINGS PROJECT MANAGEMENT TEAM.

INVOICE PAYMENT

BY ACCEPTANCE OF THE MATERIALS OR SERVICES, THE BUILDER AND/OR CUSTOMER AGREES TO CDN BUILDINGS TERMS & CONDITIONS. AT NO TIME IS IT ACCEPTABLE TO DEDUCT A BACK CHARGE OR SHORTAGE FROM AN INVOICE. EACH CLAIM WILL BE ADJUDICATED ON ITS ON MERIT AND SETTLED ACCORDINGLY.



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No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Notes 1

ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
NOE 1P0



SN1

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	

MATERIAL SPECIFICATIONS		
PART	MATERIAL	FINISH
WIDE FLANGE, ANGLE, CHANNEL	G40.21 350W, ASTM A992 GR50	GALVANIZED
HSS	G40.21 350W, CLASS B OR C	GALVANIZED
PLATE/FLATBAR	G40.21 380W, ASTM A653 SS GR55, ASTM A653 HSLAS GR55 CLASS 1 OR 2	GALVANIZED
WEB PLATE	G40.21 380W, ASTM A653 SS GR55, ASTM A653 HSLAS GR55 CLASS 1 OR 2	GALVANIZED
COLD FORMED ZEE & CEE	G40.21 380W, ASTM A653 SS GR55, ASTM A653 HSLAS GR55 CLASS 1 OR 2	GALVANIZED
COLD FORMED NOTCHED ZEE & HAT/CHAIR	G40.21 380W, ASTM A653 SS GR55, ASTM A653 HSLAS GR55 CLASS 1 OR 2	Z275(G90) PRE-GALV
STAND-OFF, PURLIN STABILIZER, FLANGE BRACE	ASTM A101 SS GR55, ASTM A101 HSLAS GR55 CLASS 1 OR 2	GALVANIZED
ROD BRACING	G40.21 350W, ASTM A529 GR50, ASTM A572 GR50	GALVANIZED
CABLE BRACING	ASTM A475 EHS 7 WIRE	CLASS A ZINC COATING
HIGH STRENGTH BOLTS < 1-1/2"	ASTM A325 type 1, ASTM A490 type 1	GALVANIZED
HIGH STRENGTH BOLTS > 1-1/2"	ASTM A354, GRADE BD	GALVANIZED
SECONDARY STRUCTURAL MEMBER BOLTS	SAE J529, GRADE 8.2	JS500
ANCHOR RODS	G40.21 350W, ASTM A529 GR50,ASTM A572 GR50	GALVANIZED
EYE BOLTS	1030 CARBON STEEL	HOT DIP GALVANIZED
HILLSIDE/SLOPED WASHER	A47	GALVANIZED A153
BRACER HILLSIDE WASHER	ASTM A536 GR65	GREY ENAMEL
RTL PANEL	ASTM A792 SS GR50 CLASS 1 OR 4	AZ50 / AZM150 FOR PAINTED GALVALUME
HEX BOLT ASSEMBLIES	GRADE 5 STEEL	GALVANIZED
SELF TAPPING SCREWS (TEK 3)	GRADE 2 STEEL	AZ55 / AZM165 FOR BARE GALVALUME
DIAMOND RIB 36 SHEET METAL PANEL	26 - 29 GA STRUCTURAL GRADE 80 STEEL ASTM 972	ZINC COAT
TUFF RIB SHEET METAL PANEL	26 - 29 GA STRUCTURAL GRADE 80 STEEL ASTM 972	SMP STEEL-PAINT SYSTEM
		SMP STEEL-PAINT SYSTEM

STEEL FINISH

ALL STRUCTURAL MEMBERS OF THE STEEL BUILDING SYSTEM TO BE HOT DIP GALVANIZED TO ASTM A123 AND FASTENERS TO ASTM A153.

COLD FORMED ZEE/CEE MEMBER SIZES

DESIGN EXAMPLES: 08Z16; WHERE 08=SECTION DEPTH, Z=ZEE SECTION 16=16GA
10C12; WHERE 10=SECTION DEPTH, C=CEE SECTION, 12=12GA

PART	DEPTH	FLANGE WIDTH	LIP LENGTH	LIP ANGLE
06Z	6(152)	2.50(64)	0.95(24)	45
08Z	8(203)	2.80(71)	1.08(27)	45
09Z	09(229)	2.88(73)	1.08(27)	45
10Z	10(254)	3.02(77)	1.18(30)	45
12Z	12(305)	3.14(80)	1.18(30)	45
14Z	14(356)	3.14(80)	1.18(30)	45
06C	6(152)	2.26(57)	0.94(24)	90
08C	8(203)	2.94(75)	0.94(24)	90
09C	09(229)	3.08(78)	0.94(24)	90
10C	10(254)	3.26(83)	0.94(24)	90
12C	12(305)	3.38(86)	0.94(24)	90
14C	14(356)	3.50(80)	0.94(24)	90

DAMAGE TO MATERIAL FINISHES

MINOR ABRASIONS TO GALVANIZED FINISH, CAUSED BY HANDLING, LOADING, SHIPPING, UNLOADING AND ERECTION; ARE UNAVOIDABLE, AND ARE NOT SUBJECT TO CLAIM, TOUCH UP OF THESE MINOR ABRASIONS IS THE RESPONSIBILITY OF THE ERECTOR AND/OR THE END CUSTOMER.

GENERAL NOTES

1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A CDN BUILDINGS ENGINEERS SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
2. FOUNDATION DESIGN AND CONSTRUCTION IS NOT THE RESPONSIBILITY OF CDN BUILDINGS.
3. THE EMBEDMENT OF THE ANCHOR BOLTS IN THE CONCRETE IS THE RESPONSIBILITY OF THE FOUNDATION DESIGNER. THE FRAME REACTIONS LISTED ARE THE MINIMUM LOADS TO BE DEVELOPED
4. THE BUILDING REACTION DATA REPORTS THE LOAD WHICH THIS BUILDING PLACES ON THE FOUNDATIONS
5. THE ENDWALL WIND LOAD REACTIONS INCLUDE REACTION FROM ENDWALL BRACING
6. COLUMN BASE PLATES ARE DESIGNED ASSUMING A MINIMUM SPECIFIED COMPRESSIVE STRENGTH (fc') OF CONCRETE OD 2,900 P.S.1 (20MPA) AT 28 DAYS.
7. ANCHOR BOLT DIAMETER, QUANTITY AND PLACEMENT SHOULD BE AS SHOWN
8. ANCHOR BOLTS ARE TO BE ASTM A307 OR EQUAL
9. ALL REACTIONS ARE IN KIPS OR KIP-FEET
10. MAXIMUM FRAME REACTIONS INCLUDE WIND AND SEISMIC REACTION FROM SIDEWALL BRACING.
11. SEISMIC REACTION HAVE NOT BEEN AMPLIFIED BY Rd, Ro
12. FOUNDATION IS DESIGNED WITH THE ASSUMPTION THAT THE SOIL BEARING CAPACITY IS 3000 psf.
13. GEOTECHNICAL SOIL REPORT TO OTHERWISE STATE SOIL BEARING CAPACITY.

BASE LOAD DEFINITIONS FOR RIGID FRAMES

DEAD – SELFWEIGHT OF THE BUILDING SYSTEM.
COLLATERAL – MECHANICAL, ELECTRICAL, CEILINGS, SPRINKLER, ETC.
ROOF_LIVE – MINIMUM ROOF LIVE LOAD (NOT COMBINED WITH SNOW LOAD).
FLOOR_LIVE – LOADS INDUCED DUE TO INTENDED USE AND OCCUPANCY.
CRANE – LOADS INDUCED FROM CRANES IN THE BUILDING.
SNOW – GRAVITY LOADS DUE TO SNOW
WIND_LEFT1 – WIND FROM THE LEFT TO RIGHT COMBINED WITH POSITIVE INTERNAL PRESSURE.
WIND_RIGHT1 – WIND FROM THE RIGHT TO LEFT COMBINED WITH POSITIVE INTERNAL PRESSURE.
WIND_LEFT2 – WIND FROM THE LEFT TO RIGHT COMBINED WITH NEGATIVE INTERNAL PRESSURE.
WIND_RIGHT2 – WIND FROM THE RIGHT TO LEFT COMBINED WITH NEGATIVE INTERNAL PRESSURE.
WIND_LONG1 – WIND FROM NORMAL TO THE RIGID FRAME COMBINED WITH POSITIVE INTERNAL PRESSURE.
WIND_LONG2 – WIND DIRECTION REVERSED FROM LNWIND_1COMBINED WITH POSITIVE INTERNAL PRESSURE.
SEISMIC_LEFT – SEISMIC FORCE IN DIRECTION FROM LEFT TO RIGHT.
SEISMIC_RIGHT – SEISMIC FORCE IN FREIGHT FROM RIGHT TO LEFT.
SEISMIC_LONG – SEISMIC FORCE NORMAL TO THE RIGID FRAME.
FIUNB_SL_L – GRAVITY LOADS DUE TO PATTERNED SNOW LOAD FOR RAFTER DESIGN.
FIUNB_SL_R – GRAVITY LOADS DUE TO PATTERNED SNOW LOAD FOR RAFTER DESIGN
FIPAT_SL – GRAVITY LOADS DUE TO UNBALANCED SNOW LOAD.

BASIC LOAD DEFINITIONS FOR ENDWALL FRAMES

DEAD – SELFWEIGHT OF THE BUILDING SYSTEM.
COLLATERAL – MECHANICAL, ELECTRICAL, CEILINGS, SPRINKLER, ETC.
ROOF_LIVE – MINIMUM ROOF LIVE LOAD (NOT COMBINED WITH SNOW LOAD).
FLOOR_LIVE – LOADS INDUCED DUE TO INTENDED USE AND OCCUPANCY.
CRANE – LOADS INDUCED FROM CRANES IN THE BUILDING.
SNOW – GRAVITY LOADS DUE TO SNOW
WIND_LEFT1 – WIND FROM THE LEFT TO RIGHT COMBINED WITH POSITIVE INTERNAL PRESSURE (RAFTER).
WIND_RIGHT1 – WIND FROM THE RIGHT TO LEFT COMBINED WITH POSITIVE INTERNAL PRESSURE (RAFTER).
WIND_LEFT2 – WIND FROM THE LEFT TO RIGHT COMBINED WITH POSITIVE INTERNAL PRESSURE (WITH BRACING).
WIND_RIGHT2 – WIND FROM THE RIGHT TO LEFT COMBINED WITH POSITIVE INTERNAL PRESSURE (WITH BRACING).
WIND_P – WIND PRESSURE(NORMAL (INWARD) TO ENDWALL).
WIND_S – WIND SUCTION (NORMAL (OUTWARD) TO ENDWALL).
WIND_LONG1 – WIND FROM NORMAL TO THE RIGID FRAME COMBINED WITH POSITIVE INTERNAL PRESSURE.
WIND_LONG2 – WIND DIRECTION REVERSED FROM LNWIND_1COMBINED WITH POSITIVE INTERNAL PRESSURE.
SEISMIC_LEFT – SEISMIC FORCE IN DIRECTION FROM LEFT TO RIGHT.
SEISMIC_RIGHT – SEISMIC FORCE IN FREIGHT FROM RIGHT TO LEFT.
SEISMIC_LONG – SEISMIC FORCE NORMAL TO THE RIGID FRAME.
FIUNB_SL_L – GRAVITY LOADS DUE TO PATTERNED SNOW LOAD FOR RAFTER DESIGN.
FIUNB_SL_R – GRAVITY LOADS DUE TO PATTERNED SNOW LOAD FOR RAFTER DESIGN
FIPAT_SL – GRAVITY LOADS DUE TO UNBALANCED SNOW LOAD.



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Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/08/19
2	Structural Drg Pkg for Review	21/09/07
3	Issued for Review/Permit	-
4	As Built Drawings	-

Structural Notes 2

ALBRECHT, BRIAN

293 TOWNLINE ST.
ST WILLIAMS ON
N0E 1P0

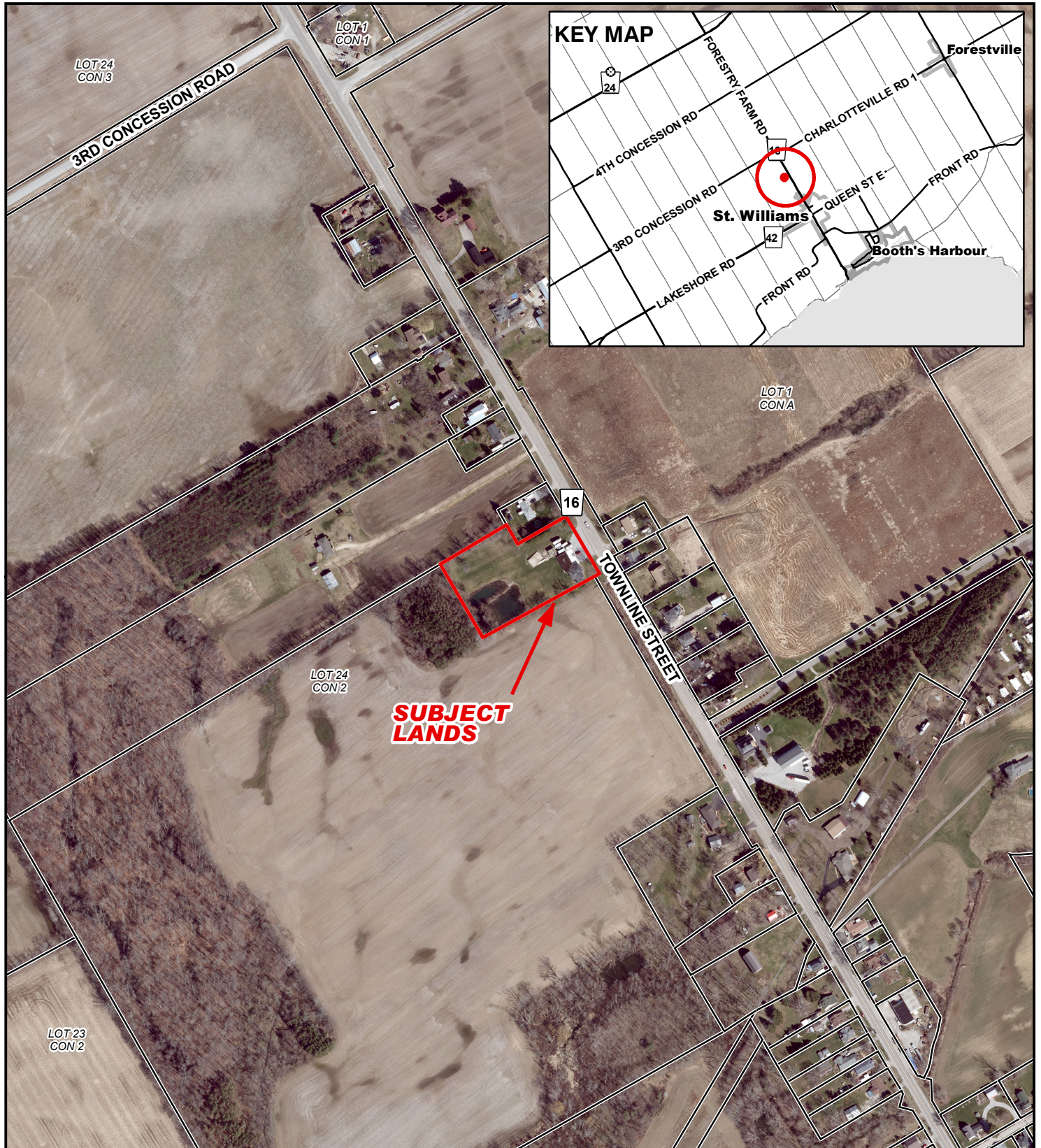


SN2

Project number	21-706
Date	2021/09/07
Drawn by	RP
Checked by	LDO
Scale	

CONTEXT MAP

Geographic Township of SOUTH WALSINGHAM

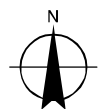


Legend

Subject Lands

2020 Air Photo

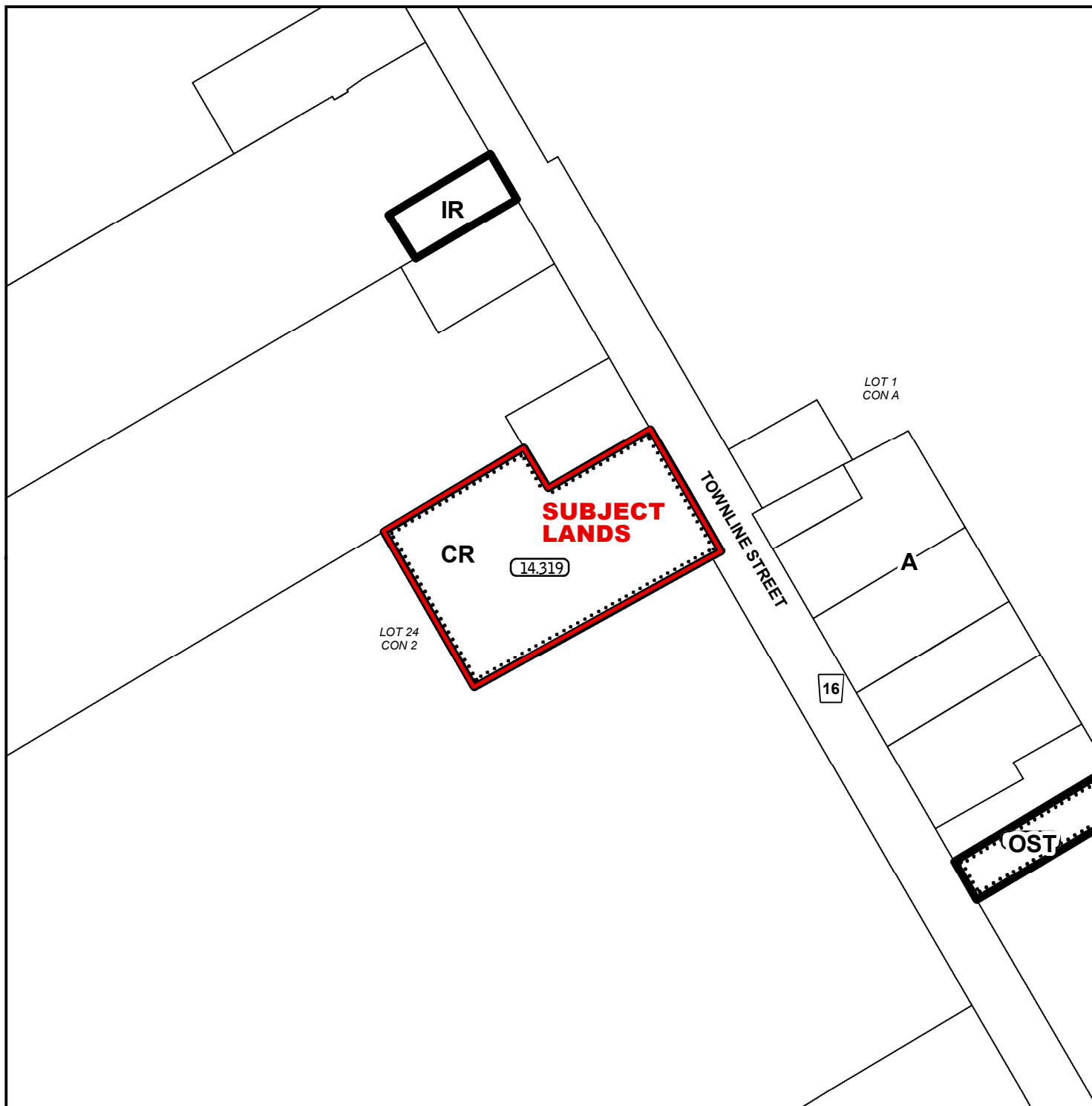
2/2/2022




40 20 0 40 80 120 160 Meters

MAP B
ZONING BY-LAW MAP
Geographic Township of SOUTH WALSINGHAM

ANPL2022036



LEGEND

 Subject Lands

ZONING BY-LAW 1-Z-2014

(H) - Holding

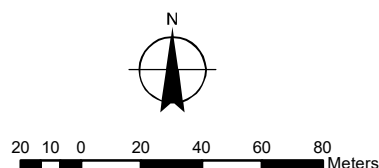
A - Agricultural Zone

CR - Rural Commercial Zone

OST - Open Space Tent & Trailer Zone

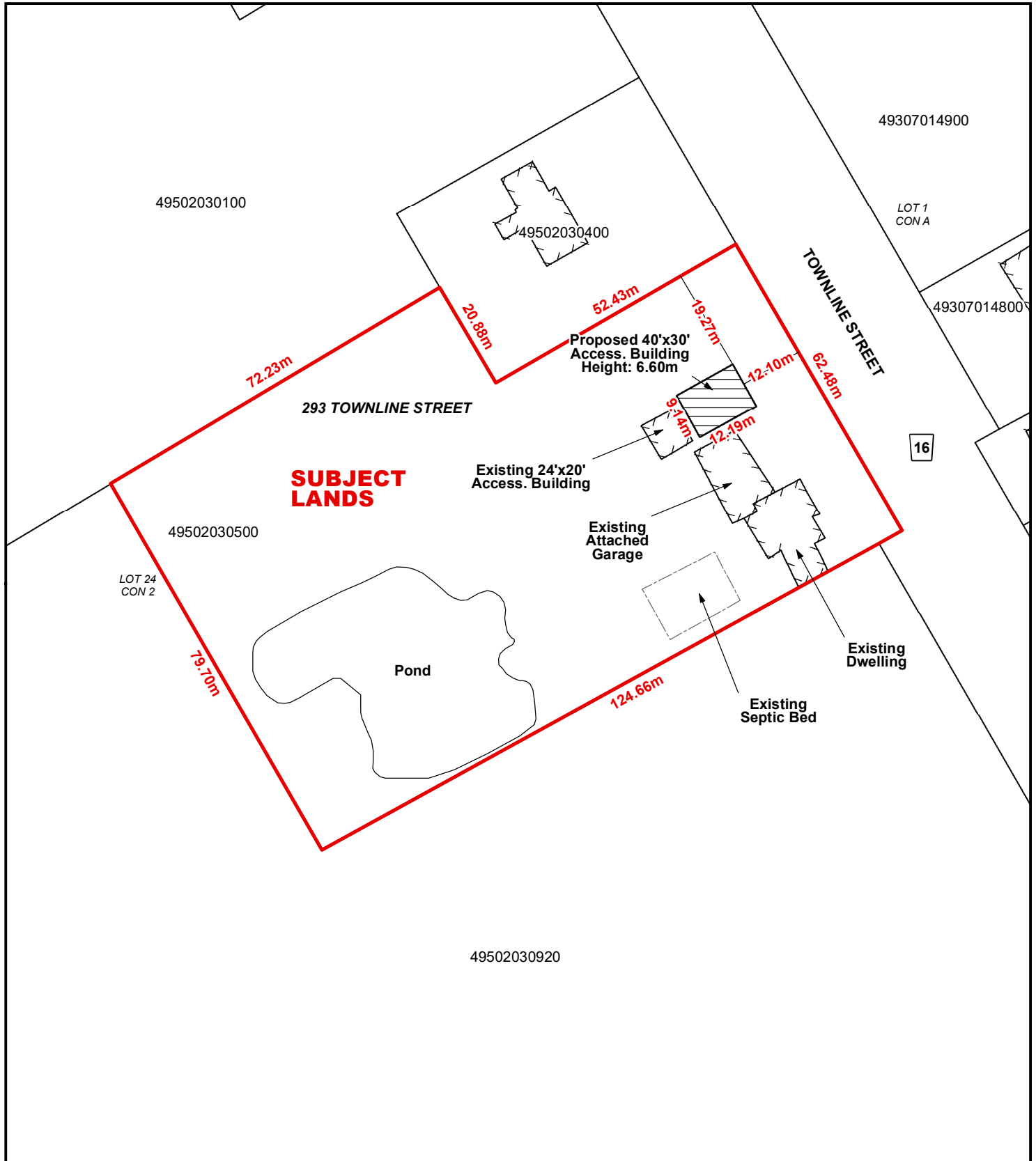
IR - Rural Institutional Zone

2/2/2022



CONCEPTUAL PLAN

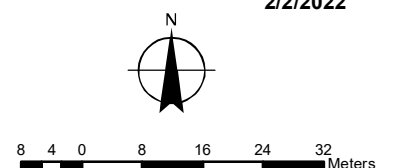
Geographic Township of SOUTH WALSINGHAM



Legend

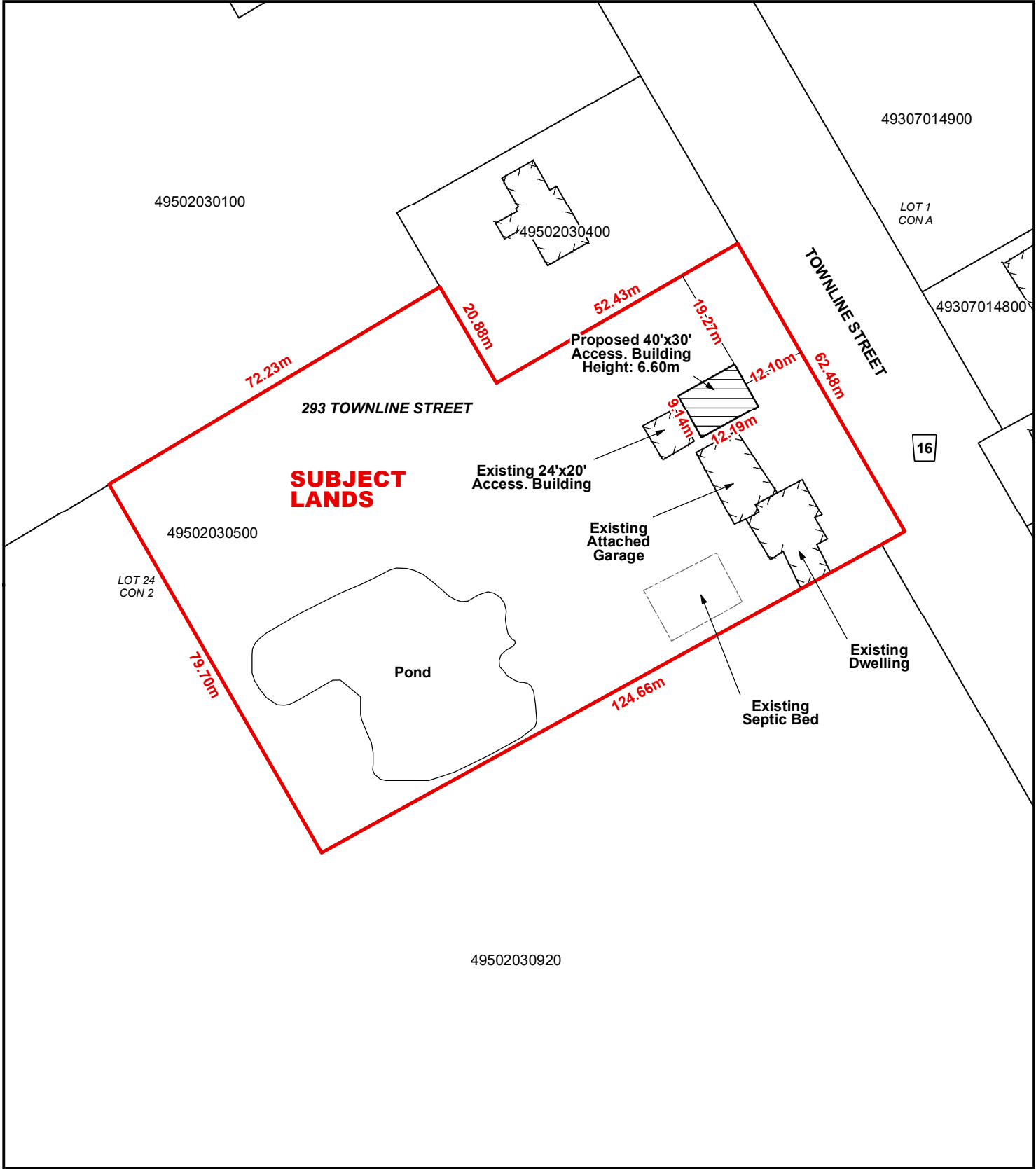
Subject Lands

2/2/2022




CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

 Subject Lands

2/2/2022

