For Office Use Only:

File Number	ANPL2022117	Application Fee	
Related File Number		Conservation Authority Fee	Required
Pre-consultation Meeting		Well & Septic Info Provided	NA
Application Submitted	April 4, 2022	Planner	Jen
Complete Application	May 4, 2022	Public Notice Sign	

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 33-10-543-070 05100-100-0000

A. Applicant Information

Name of Owner Andrew Willis Lisa Sherrington

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 71 Beach Avenue

Town and Postal Code Port Rowan N0E 1M0

Phone Number

Cell Number 226 931 5155

Email ajrwillis@gmail.com

Name of Applicant As above

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

_____

_____

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

   Lot 311 SWAL Plan 436

   Norfolk County

   Municipal Civic Address: 71 Beach Ave Port Rowan, Ontario

   Present Official Plan Designation(s): Resort residential

   Present Zoning: Resort residential

2. Is there a special provision or site specific zone on the subject lands?

   ☐ Yes ☒ No If yes, please specify:

   _____

3. Present use of the subject lands:

   Cottage

   _____

   _____

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

   Existing cottage

   Existing 8'x12' shed

   96 sq feet (less than 100 sq ft moveable shed No Permit)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

   Proposed garage with 2nd floor open storage

   Flat open storage under trusses of ceiling

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

   If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

   Residential cottage

10. Are there any easements or restrictive covenants affecting the subject lands?

    ☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	66 feet			n/a	
Lot depth	167 feet			n/a	
Lot width	66 feet			n/a	
Lot area	1023.97m2			n/a	
Lot coverage		10%(55m2)		8% (total)	
Front yard		6m		9.75m35.98'	
Rear yard				n/a	
Height		7m		7m	
Left Interior side yard				1.25m 4.1'	
Right Interior side yard		1.2m		10.95m 35.9'	
Exterior side yard (corner lot)				n/a	
Parking Spaces (number)					
Aisle width					
Stall size					
other	relief from section 3.2.1 (b) accessory occupies front yard				
Other	useable floor area	100sqm		120sqm	includes new garage and existing 9sqm shed

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law: Apply for relief of having detached garage in rear yard, typical of beach fronting property
Apply for relief of keeping existing small 8.92 M2 shed for much needed small cottage storage thereby increasing our useable square footage to 110 M2

3. **Consent/Severance/Boundary Adjustment**: Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

_____

_____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

5. **Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock)_____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock)_____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock)_____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock)_____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock)_____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
   If yes, specify the uses (for example: gas station, or petroleum storage):
   _____
   _____
   _____

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

   Former owner since 1966 Dorothy Poole

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

   If no, please explain:

   _____

   _____

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

   If no, please explain:

   _____

   _____

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

   If no, please explain:

   _____

   _____

   Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable. None applicable

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☒ within 500 meters – distance _____

Wooded area
☐ On the subject lands or ☒ within 500 meters – distance _____

Municipal Landfill
☐ On the subject lands or ☒ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant
☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature
☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain
☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site
☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre
☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre
☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))
☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line
☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands
☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion
☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells
☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water
☐ Communal wells
☐ Individual wells
☒ Other (describe below)

Sand point

Sewage Treatment

☐ Municipal sewers
☐ Communal system
☒ Septic tank and tile bed in good working order
☐ Other (describe below)

Storm Drainage

☐ Storm sewers
☐ Open ditches
☒ Other (describe below)

Sand

2. Existing or proposed access to subject lands:

☒ Municipal road
☐ Provincial highway
☐ Unopened road
☐ Other (describe below)

Name of road/street:

Beach Avenue

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

LPRCA PERMIT Approval 261/21
Valid Dec 8 2021 to Dec 8 2023

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)

☐ Environmental Impact Study

☐ Geotechnical Study / Hydrogeological Review

☐ Minimum Distance Separation Schedule

☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

	February 24 2022
Owner/Applicant/Agent Signature	Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Andrew Willis am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Travis Hamm designer to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

	February 24 2022
Owner	Date
	February 24 2022
Owner	Date

***Note:** **If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application**.

Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, ~~of~~ ANDREW WILLIS an LISA SHERRINGTON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at: SIMCOE

Owner/Applicant/Agent Signature

In NORFOLK COUNTY

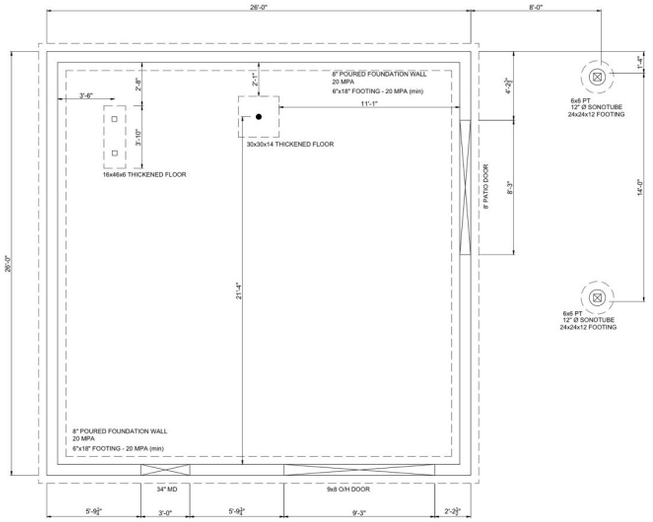
This 24 day of FEBRUARY

A.D., 2022

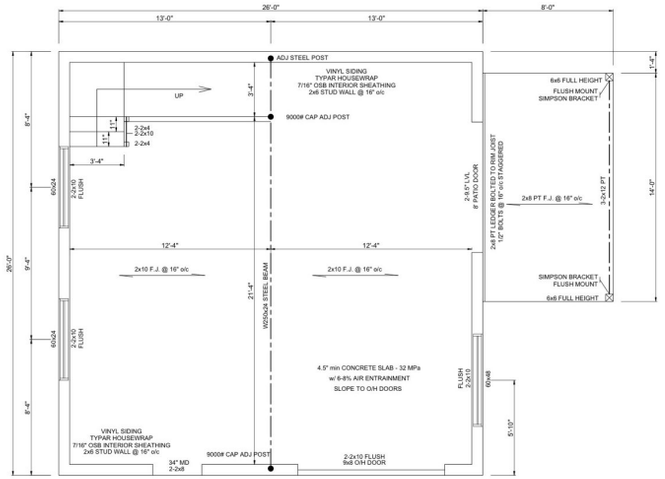
A Commissioner, etc.

Norfolk

THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING THE CONSTRUCTION OF THIS PROJECT.
ALL TEMPORARY BRACING TO BE LEFT IN PLACE UNTIL FINAL BRACING HAS BEEN INSTALLED



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"
676 SQ FT

GENERAL NOTES:

ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE (O.B.C.) 2012 PART 9.

CONTRACTOR TO REFER TO APPLICABLE CODES LISTED FOR MINIMUM CONSTRUCTION REQUIREMENTS, PROJECT SITE CONDITIONS, AND APPLICABLE PROJECT DESIGN.

CONSTRUCTION NOTES:

- ALL EXCAVATION & BACKFILL WORKS TO COMPLY WITH O.B.C. 2012 SECTION 9.12.
- MINIMUM FROST COVER TO BE 4'-0" TO UNDERSIDE OF FOOTING.
- BOTTOM OF EXCAVATION TO BE FREE OF ALL ORGANIC MATERIAL.
- EXCAVATION SHALL EXTEND TO UNDISTURBED SOIL.
- ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A CERTIFIED SOIL CONSULTANT WHERE REQUIRED BY SITE CONDITIONS
- ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 KPA(1570 psf)
- SLABS ON GROUND TO COMPLY WITH O.B.C. 2012 SECTION 9.16.

ELECTRICAL FACILITIES

ALL ELECTRICAL FACILITIES AS PER O.B.C. 9.34 AND CURRECT ESSA CODES

STAIRS

- TYPICAL UNLESS NOTED OTHERWISE:
  - RISE 7 7/8" MAXIMUM
  - RUN 9 1/4" MINIMUM
  - TREAD 9 1/4" MINIMUM TO 14" MAXIMUM
  - NOSING - 1" MINIMUM
  - HEADROM - 6'-0" MINIMUM
  - HANDRAILS - 32" MINIMUM TO 38" MAXIMUM
  - GUARDS - 36" MINIMUM TO 42" MAXIMUM
  - PICKETS - 4" MAXIMUM SPACE BETWEEN
  - OPEN HAND RAILS AND ALL ATTACHMENT OF GUARDS

AND

RAILS AS PER SUPPLEMENTARY GUIDE LINES TO O.B.C. 2012 SECTION 9B-7

- ALL STAIRS AND LANDINGS TO CONFORM TO O.B.C. 2012 SECTION 9.8.

CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

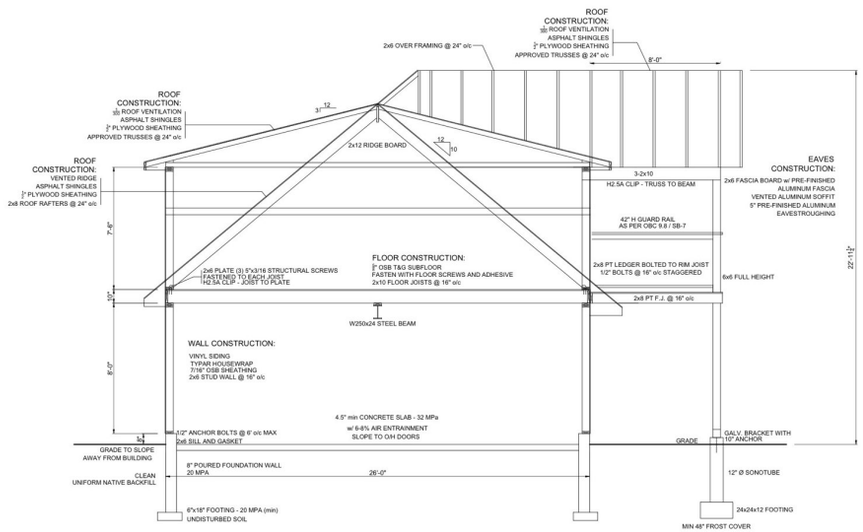
THESE DRAWINGS ARE THE PROPERTY OF
EVEREST ESTATE HOMES AND
T.HAMM DESIGN AND DRAFTING SERVICE

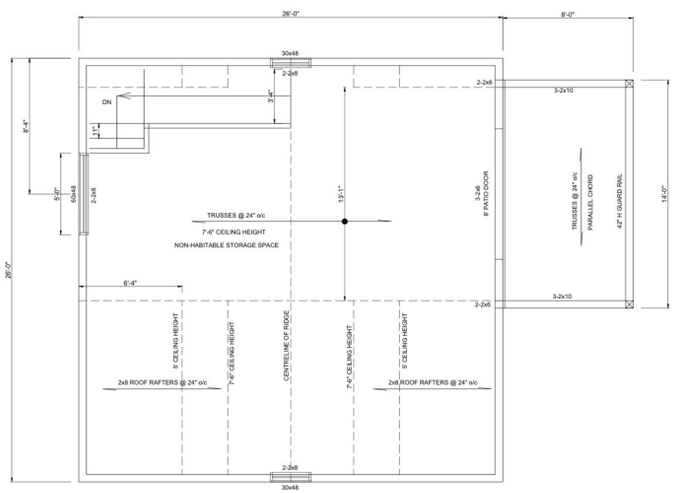
DESIGN LOADS:

GROUND SNOW LOAD
1.5kPa (31.35psf), Sr 0.40kPa (8.35psf)

ROOF DEAD LOAD
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)
MIN. SOIL BEARING CAPACITY - 75 kPa





SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

	Revision:	By:	Date:
1	ISSUED FOR PRELIMINARY REVIEW	TH	
2	ISSUED FOR PERMIT AND CONSTRUCTION	TH	
3		TH	

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building code. I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374 B.C.I.N.
23275
Travis Hamm B.C.I.N.

T Hamm Design & Drafting Service
Residential and Small Building Design
21 Hwy 24 E
St. Williams, Ontario
N0E 1P0
Tel: 519-586-3440
Email: th.drafting@hotmail.com

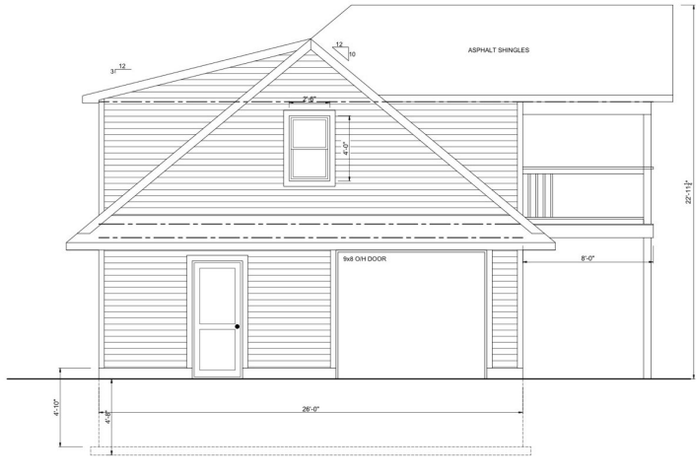
Proposed Detached Garage

71 Beach Ave
Long point Ont

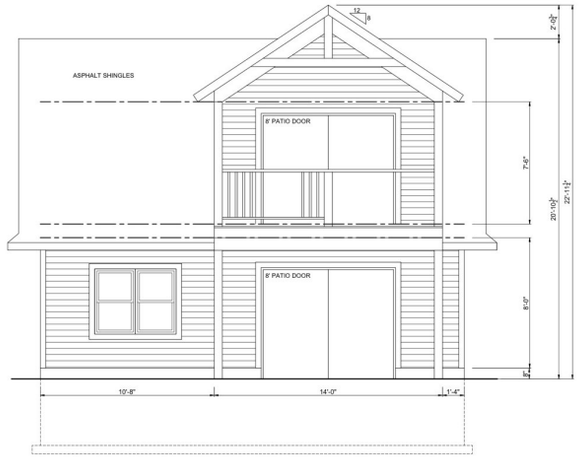
PLANS

SCALE:	1/4"=1'-0"
DATE:	JANUARY 2022
DRAWING BY:	
DESIGNED BY:	
CHECKED BY:	
PROJECT NO.	

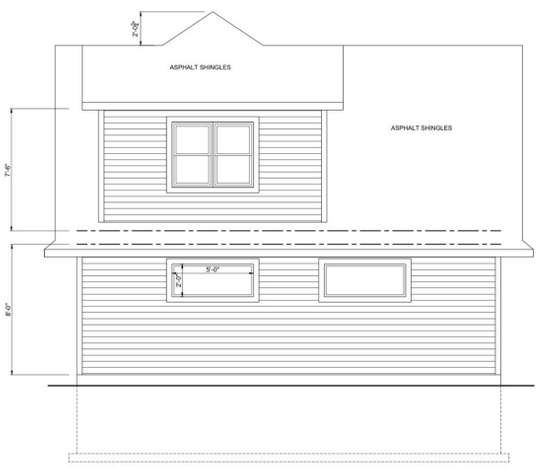
A1



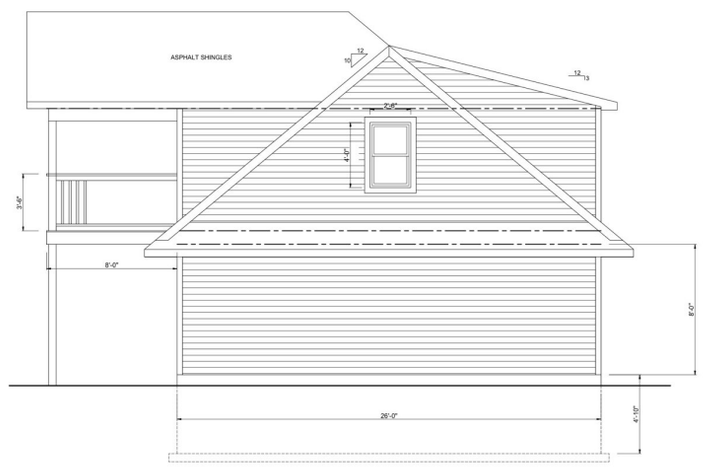
WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION NORTH

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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
THESE DRAWINGS ARE THE PROPERTY OF
EVEREST ESTATE HOMES AND
T.HAMM DESIGN AND DRAFTING SERVICE

DESIGN LOADS:

GROUND SNOW LOAD
1.5kPa (31.35psf), Sr 0.40kPa (8.35psf)

ROOF DEAD LOAD
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)
MIN. SOIL BEARING CAPACITY - 75 kPa

	Revision:	By:	Date:
1	ISSUED FOR PRELIMINARY REVIEW	TH	
2	ISSUED FOR PERMIT AND CONSTRUCTION	TH	
3		TH	

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building code. I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374 B.C.I.N.

Travis Hamm 23275 B.C.I.N.

T Hamm Design & Drafting Service
Residential and Small Building Design
21 Hwy 24 E
St. Williams, Ontario
N0E 1P0

Tel: 519-586-3440
Email: th.drafting@hotmail.com

Proposed Detached Garage

71 Beach Ave
Long point Ont

Elevations

SCALE:	1/4"=1'-0"
DATE:	JANUARY 2022
DRAWING BY:	
DESIGNED BY:	
CHECKED BY:	
PROJECT NO:	

A2

PLAN OF SURVEY
SKETCH PREPARED FOR BUILDING PERMIT APPLICATION
FOR: SHERRINGTON & WILLIS
71 BEACH AVENUE
LONG POINT

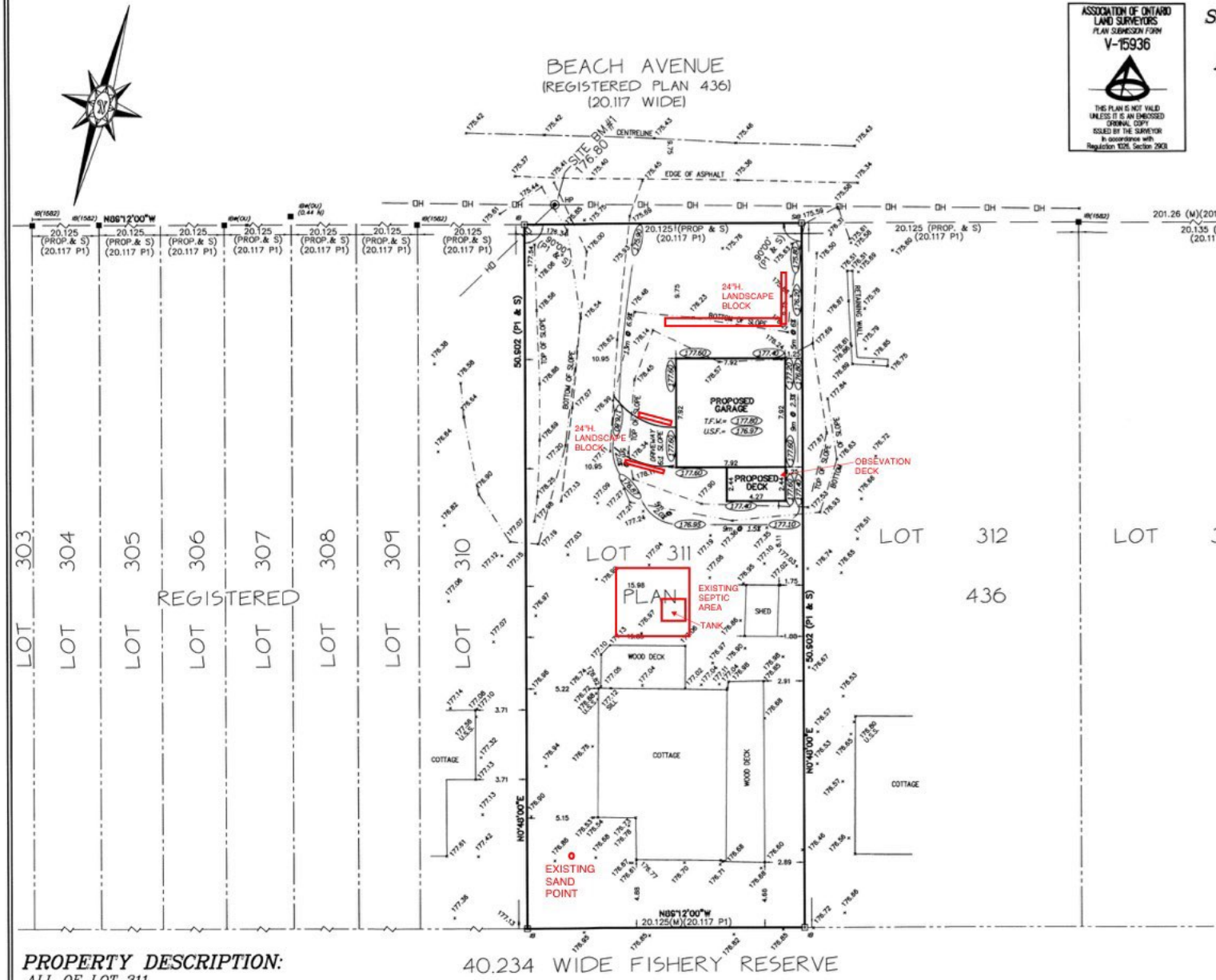
PIN 50115 – 0206 (LT)

SCALE: 1 : 200

METRES 2 0 8

JEWITT AND DIXON LTD.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-15936
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)



NOTE:

BEARINGS ARE GRID AND WERE DERIVED FROM GPS OBSERVATIONS [UTM ZONE 17, (81° WEST LONGITUDE) NAD83 (CSRS) (2010)]

TO CONVERT (P1) BEARINGS TO GRID BEARINGS
- ADD 00°00'00" TO THE NORTHWEST BEARINGS
- SUBTRACT 00°00'00" FROM THE NORTHEAST BEARINGS

DISTANCES SHOWN ON THIS PLAN ARE METRIC GROUND DISTANCES AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048.

SITE B.M.#1
SPIKE IN FACE OF WOOD HYDRO POLE
ELEV = 176.80
(GEODETIC)

LEGEND

BELL BOX	SHOWN	BBX	▭
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	▦
TOP OF FOUNDATION	SHOWN	TOF	
OVERHEAD HYDRO LINE	SHOWN	O/H	
WATER VALVE	SHOWN	WV	
HYDRO POLE	SHOWN	HP	
UNDERSIDE OF SIDING ELEVATION	SHOWN	U.S.S.	
MANHOLE	SHOWN	MH	◉

NOTES

(1) – A SURVEY OF THE WAS COMPLETED ON THE 17TH DAY OF NOVEMBER, 2021

(2) – PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY

(3) – PROPOSED FINAL GRADES ARE SHOWN (177.80) AND ARE IN METERS

(4) – T.F.W. DENOTES TOP OF FOUNDATION WALL

(5) – U.S.F. DENOTES UNDERSIDE OF FOOTING

(6) – F.F. DENOTES FINISHED FLOOR

(7) – SITE BENCHMARK – SPIKE IN FACE OF WOOD HYDRO POLE HAVING A GEODETIC ELEVATION OF 176.80 meters

(8) – IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.

(9) – IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION

(10) – ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM

(11) – THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 16TH DAY OF JUNE, 2021.

PROPERTY DESCRIPTION:

ALL OF LOT 311
REGISTERED PLAN 436 (LONG POINT)
GEOGRAPHIC TOWNSHIP OF SOUTH WALSINGHAM
COUNTY OF NORFOLK

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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JEWITT AND DIXON LTD.	SHOWN	(700)
K.S. HUSTED, O.L.S.	SHOWN	(1582)
REGISTERED PLAN 436	SHOWN	(P1)
SITE PLAN BY K.HUSTED, OLS DATED JUNE 24, 2019 (19-14854--FF6)	SHOWN	(P2)
2.5cm X 2.5cm X 1.2m STANDARD IRON BARS	SHOWN	SIB
1.6cm X 1.6cm X 0.6m IRON BARS	SHOWN	IB
1.6cm ROUND X 0.6m IRON BARS	SHOWN	IB ø
LOT LINES	SHOWN	
CENTRE LINES	SHOWN	
ROAD LINES	SHOWN	
FOUND IRON BARS	SHOWN	PLANTED IRON BARS SHOWN

NOVEMBER 17, 2021

KIM HUSTED, O.L.S.

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)
PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

F.W.	J.D.
BOOK	LL
CALC.	J.L.M.
PLAN	J.L.M.
CHECK	K.H.
CLIENT – WILLIS	
PROJECT No.	21-3037

21-3037-GP

The Corporation of Norfolk County

By-Law 2017-04

Lot Grading and Drainage

THIS FORM IS TO BE SUBMITTED WITH EVERY LOT GRADING PLAN

Municipal Address: 71 Beach Avenue, Longpoint

And/or

PIN: 50115 - 0206

SELECT THE **ONE** PURPOSE FOR SUBMITTING THIS FORM:

☑ Proposed Grading Plan for Infill Lot:

I, Kim Husted O.C.S. ,a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan provides drainage in accordance with the Ontario Building Code and applicable Municipal regulations for the works to be constructed that are the subject of the Building Permit Application to which this is attached.

☐ Proposed Grading Plan within a Plan of Subdivision:

I, _____ , a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Master Grading Plan in the Plan of Subdivision Master Grading Plan, registered as:

_____(common name of the Plan of Subdivision and Registration Number).

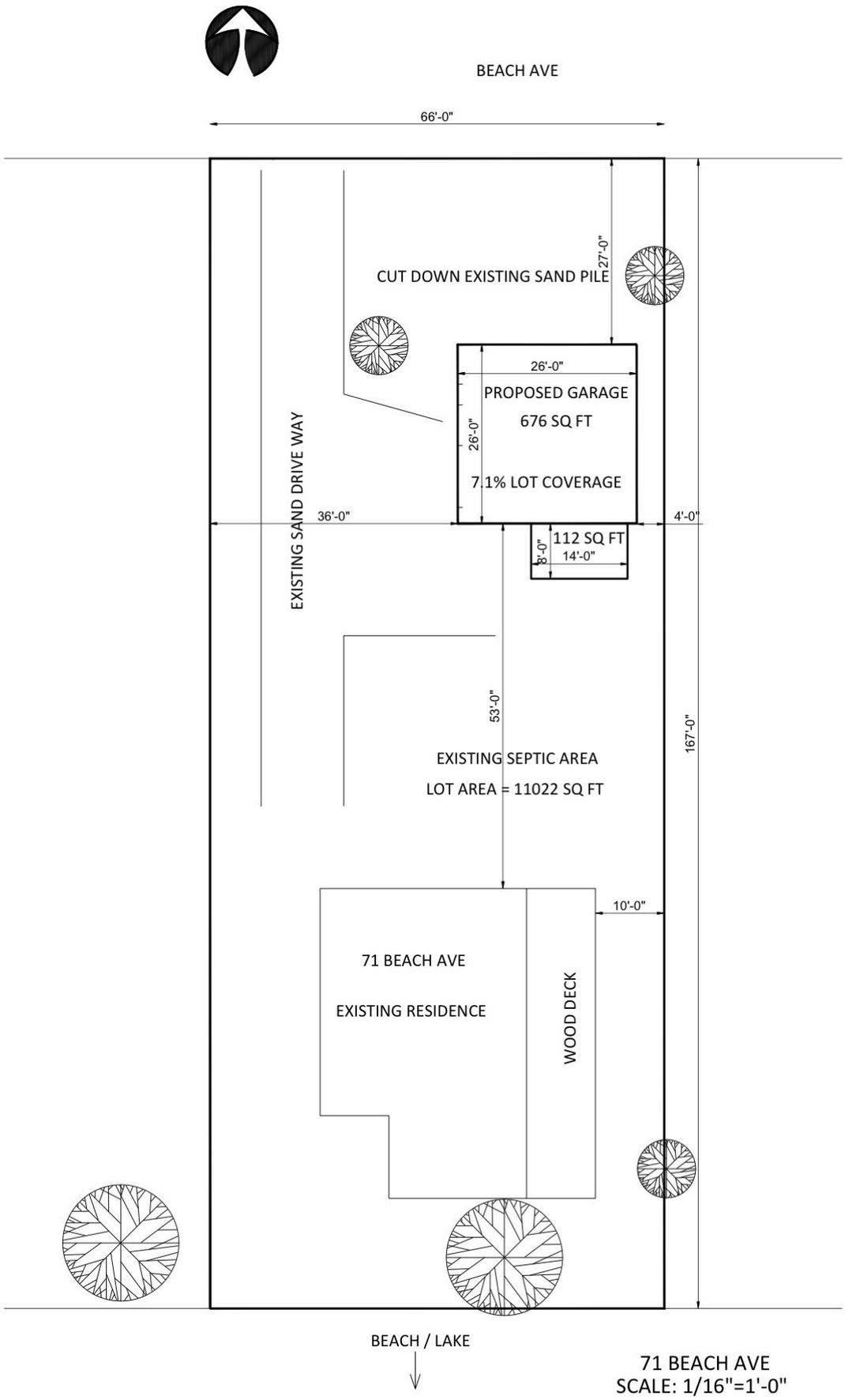
IN ANY INSTANCE ABOVE NOTING "UNDER MY SEAL", AFFIX SEAL BELOW:

JEWITT ONTARIO CORPORATION OF ONTARIO LAND SURVEYOR

NOV 19 / 2021

SEAL (Qualified Person)
(Sign and date over the seal)
Name: **Kim S. Husted, O.L.S.**
License Number: **1582**

This form approved by the County Official under delegated authority under Norfolk County By-Law 2016-04



71 BEACH AVE
SCALE: 1/16"=1'-0"

JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC. 71 Beach ave	DRWG NO.
21-3422	A	7	1	TRUSS DESC.	

Tandelle Pacer, Ilderton, Ontario

Version 8.500 S Mar 22 2021 MiTek Industries, Inc. Fri Dec 17 11:14:28 2021 Page 1

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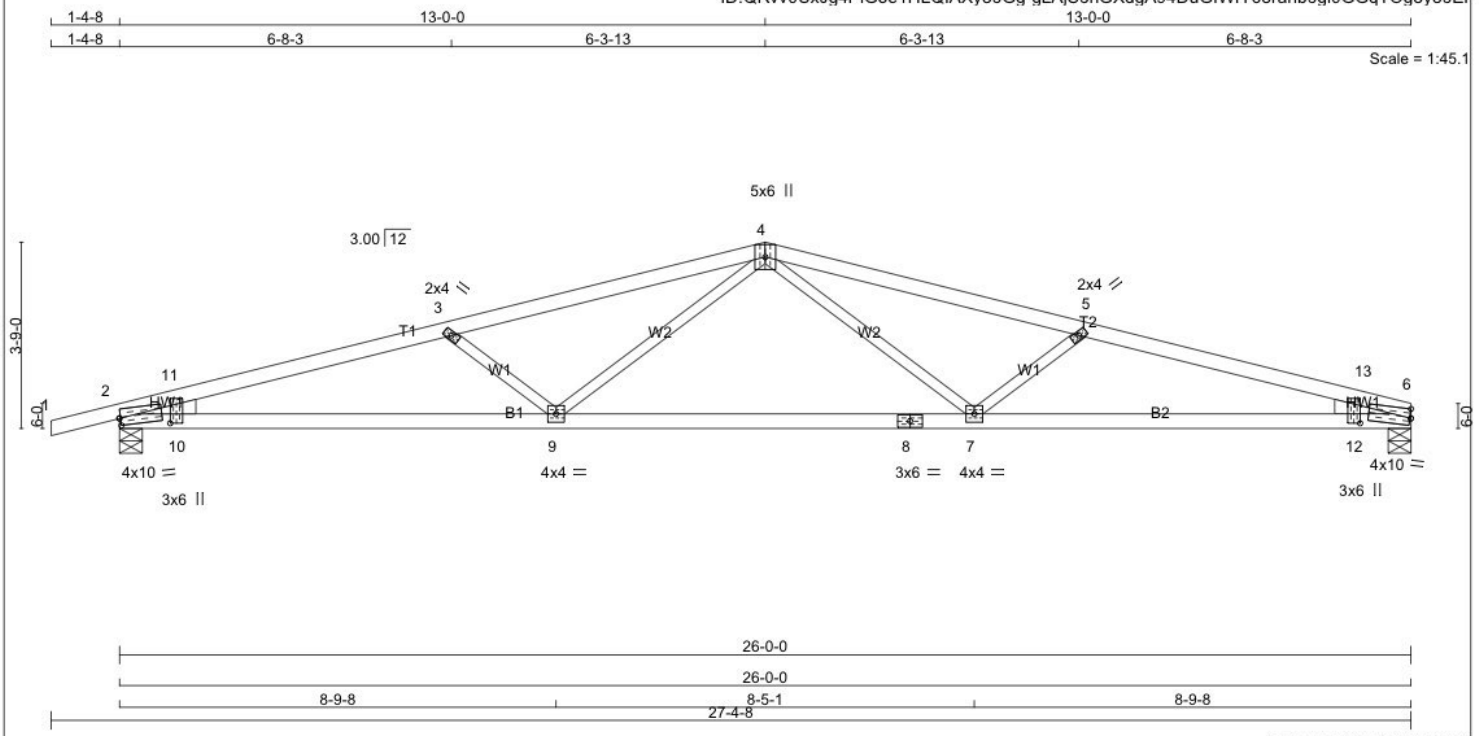

TOTAL WEIGHT = 7 X 78 = 544 lb

[M][F]

LUMBER

N. L. G. A. RULES

CHORDS	SIZE		LUMBER	DESCR.
1 - 4	2x4	DRY	No.2	SPF
4 - 6	2x4	DRY	No.2	SPF
2 - 8	2x4	DRY	No.2	SPF
8 - 6	2x4	DRY	No.2	SPF
ALL WEBS	2x3	DRY	No.2	SPF

DRY: SEASONED LUMBER.

PLATES (table is in inches)

JT	TYPE	PLATES	W	LEN	Y	X
2	TMB1-m	MT20	4.0	10.0	1.75	0.25
2	WP+I	MT20	3.0	6.0	1.25	12.25
3	TMW+w	MT20	2.0	4.0		
4	TTWW+p	MT20	5.0	6.0		
5	TMW+w	MT20	2.0	4.0		
6	TMB1-m	MT20	4.0	10.0	2.25	Edge
6	WP+I	MT20	3.0	6.0	1.25	12.25
7	BMWW-t	MT20	4.0	4.0		
8	BS-t	MT20	3.0	6.0		
9	BMWW-t	MT20	4.0	4.0		

Edge - INDICATES REFERENCE CORNER OF PLATE TOUCHES EDGE OF CHORD.

NOTES- (1-2)

1) "No special structural reviews or site inspections are included in this design"
2) "Refer to www.pacerbuildingcomponents.com for TPIC 2011 details on design responsibilities"

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

BEARINGS

JT	FACTORED GROSS REACTION VERT	HORZ	MAXIMUM FACTORED GROSS REACTION DOWN	HORZ	UPLIFT	INPUT BRG IN-SX	REQRD BRG IN-SX	HEEL WEDGE
2	1478	0	1478	0	0	5-8	1-10	2x4 L
6	1356	0	1356	0	0	5-8	1-8	2x4 R

UNFACTORED REACTIONS

JT	1ST LCASE COMBINED	MAX./MIN. COMPONENT REACTIONS SNOW	LIVE	PERM.LIVE	WIND	DEAD	SOIL
2	1035	738 / 0	0 / 0	0 / 0	0 / 0	297 / 0	0 / 0
6	952	666 / 0	0 / 0	0 / 0	0 / 0	286 / 0	0 / 0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) 2, 6

BRACING

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 3.20 FT.
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE LATERALLY RESTRAINED.

LOADING

TOTAL LOAD CASES: (4)

CHORDS

MEMB. FR-TO	MAX. FACTORED FORCE (LBS)	FACTORED VERT. LOAD (PLF) FROM	TO	LC1 MAX CSI (LC)	MAX. UNBRAC LENGTH
1- 2	0 / 6	-86.8	-86.8	0.12 (1)	10.00
2-11	-3958 / 0	-86.8	-86.8	0.39 (1)	3.20
11- 3	-3824 / 0	-86.8	-86.8	0.50 (1)	3.23
3- 4	-3321 / 0	-86.8	-86.8	0.66 (1)	3.25
4- 5	-3321 / 0	-86.8	-86.8	0.66 (1)	3.25
5-13	-3824 / 0	-86.8	-86.8	0.50 (1)	3.23
13- 6	-3958 / 0	-86.8	-86.8	0.39 (1)	3.20
2-10	0 / 3711	-17.5	-17.5	0.74 (1)	10.00
10- 9	0 / 3711	-17.5	-17.5	0.74 (1)	10.00
9- 8	0 / 2521	-17.5	-17.5	0.55 (1)	10.00
8- 7	0 / 2521	-17.5	-17.5	0.55 (1)	10.00
7-12	0 / 3711	-17.5	-17.5	0.74 (1)	10.00
12- 6	0 / 3711	-17.5	-17.5	0.74 (1)	10.00

WEBS

MEMB. FR-TO	MAX. FACTORED FORCE (LBS)	MAX CSI (LC)
4- 7	0 / 895	0.20 (1)
7- 5	-661 / 0	0.13 (1)
9- 4	0 / 895	0.20 (1)
3- 9	-661 / 0	0.13 (1)
10-11	0 / 177	0.00 (1)
12-13	0 / 177	0.00 (1)

DESIGN CRITERIA

SPECIFIED LOADS:

TOP CH.	LL =	25.6	PSF
	DL =	4.0	PSF
BOT CH.	LL =	0.0	PSF
	DL =	7.0	PSF
TOTAL LOAD	=	36.6	PSF

SPACING = 24.0 IN. C/C

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2015

THIS DESIGN COMPLIES WITH:
- PART 9 OF BCBC 2018 , ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

(55 % OF 31.4 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 25.6 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (0.87")
CALCULATED VERT. DEFL.(LL) = L/ 911 (0.34")
ALLOWABLE DEFL.(TL)= L/360 (0.87")
CALCULATED VERT. DEFL.(TL) = L/ 492 (0.63")

CSI: TC=0.66/1.00 (3-4:1) , BC=0.74/1.00 (2-10:1) , WB=0.20/1.00 (4-7:1) , SSI=0.24/1.00 (3-4:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10 COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

NAIL VALUES

PLATE	GRIP(DRY) (PSI) MAX	MIN	SHEAR (PLI) MAX	MIN	SECTION (PLI) MAX	MIN
MT20	650	371	1747	788	1987	1873

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.87 (6) (INPUT = 0.90)
JSI METAL= 0.79 (8) (INPUT = 1.00)

PACER BUILDING COMPONENTS
AN MTP COMPANY

JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC. 71 Beach ave	DRWG NO.
21-3422	AG	1	2	TRUSS DESC.	

Tandelle Pacer, Ilderton, Ontario

Version 8.500 S Mar 22 2021 MiTek Industries, Inc. Fri Dec 17 11:14:30 2021 Page 1

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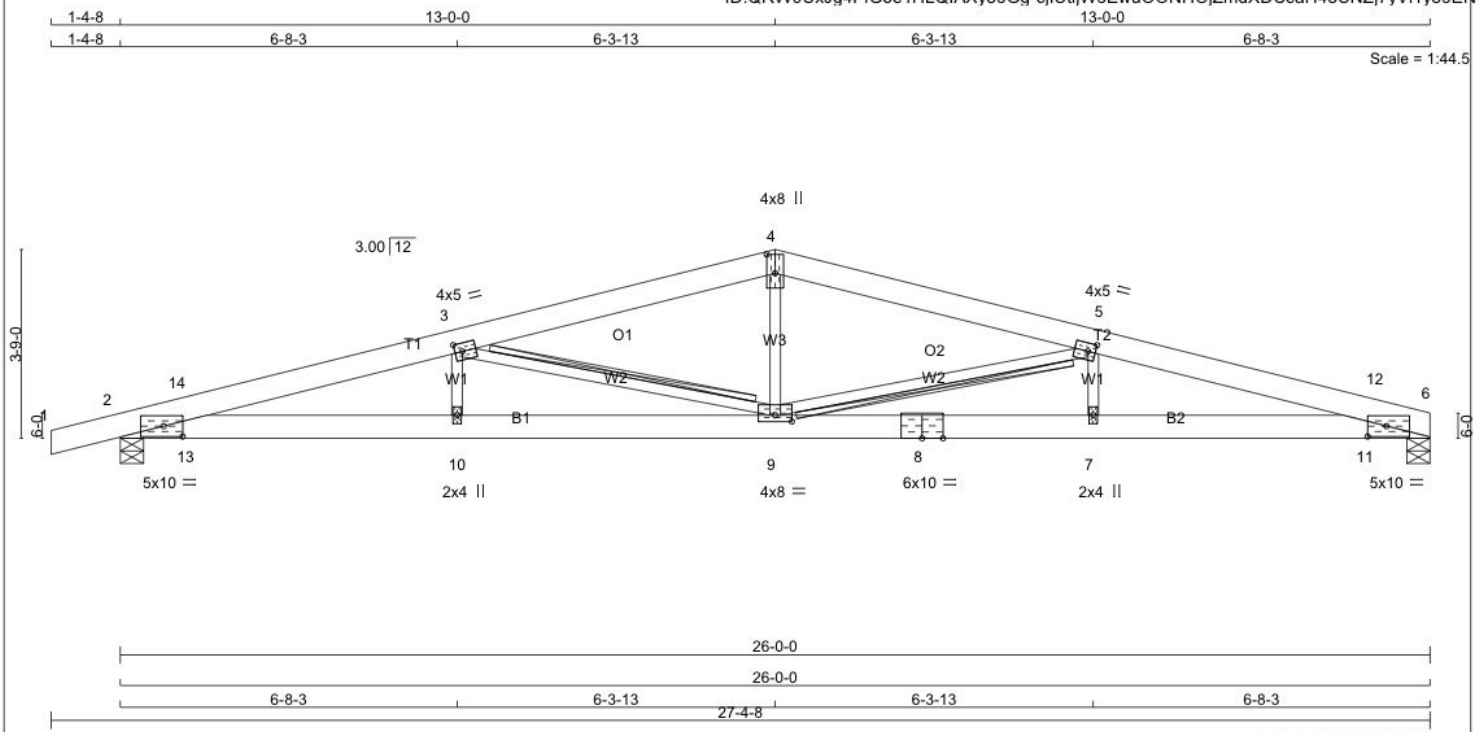

TOTAL WEIGHT = 2 X 112 = 224 lb [M]

LUMBER

N. L. G. A. RULES

CHORDS	SIZE		LUMBER		DESCR.
1 - 4	2x6	DRY	No.2		SPF
4 - 6	2x6	DRY	No.2		SPF
2 - 8	2x6	DRY	1650F 1.5E		SPF
8 - 6	2x6	DRY	1650F 1.5E		SPF
ALL WEBS	2x3	DRY	No.2		SPF

DRY: SEASONED LUMBER.

DESIGN CONSISTS OF 2 TRUSSES BUILT SEPARATELY THEN FASTENED TOGETHER AS FOLLOWS:

CHORDS	#ROWS	SURFACE SPACING (IN)	LOAD(PLF)
TOP CHORDS : (0.122"X3") SPIRAL NAILS			
1- 4	2	12	SIDE(93.4)
4- 6	2	12	SIDE(93.4)
BOTTOM CHORDS : (0.122"X3") SPIRAL NAILS			
2- 8	2	12	SIDE(21.7)
8- 6	2	12	SIDE(21.7)
WEBS : (0.122"X3") SPIRAL NAILS			
2x3	1	6	

NAILS TO BE DRIVEN FROM ONE SIDE ONLY.

SIDE - PLF SHOWN IS THE EQUIVALENT UDL APPLIED TO ONE SIDE THAT THE CORRESPONDING NAILING PATTERN SHALL BE CAPABLE OF TRANSFERING. REMAINING PLF MUST BE APPLIED ON THE OPPOSITE SIDE OR ON THE TOP.

PLATES (table is in inches)

JT	TYPE	PLATES	W	LEN	Y	X
2	TMB1-I	MT20	5.0	10.0	2.50	4.50
3	TMWW-t	MT20	4.0	5.0	2.00	1.75
4	TTW+p	MT20	4.0	8.0	4.50	2.00
5	TMWW-t	MT20	4.0	5.0	2.00	1.75
6	TMB1-I	MT20	5.0	10.0	2.50	4.50
7	BMW+w	MT20	2.0	4.0		
8	BS-t	MT20	6.0	10.0		
9	BMWWW-t	MT20	4.0	8.0	1.50	4.00
10	BMW+w	MT20	2.0	4.0		

NOTES- (1-2)

1) "No special structural reviews or site inspections are included in this design"

2) "Refer to www.pacerbuildingcomponents.com for TPIC 2011 details

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

BEARINGS

JT	FACTORED GROSS REACTION VERT	HORZ	MAXIMUM FACTORED GROSS REACTION DOWN	HORZ	UPLIFT	INPUT BRG IN-SX	REQRD BRG IN-SX
6	4364	0	4364	0	0	5-8	2-6
2	4488	0	4488	0	0	5-8	2-7

UNFACTORED REACTIONS

JT	1ST LCASE COMBINED	MAX./MIN. COMPONENT REACTIONS SNOW	LIVE	PERM.LIVE	WIND	DEAD	SOIL
6	3063	2142 / 0	0 / 0	0 / 0	0 / 0	921 / 0	0 / 0
2	3147	2215 / 0	0 / 0	0 / 0	0 / 0	932 / 0	0 / 0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) 6, 2

BRACING

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 2.86 FT.
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE LATERALLY RESTRAINED.

2x4 DRY SPF No.2 T-BRACE AT 5-9, 3-9

FASTEN T AND I-BRACES TO NARROW EDGE OF WEB WITH ONE ROW PER PLY OF 3" COMMON WIRE NAILS @ 6" O.C. WITH 3" MINIMUM END DISTANCE. BRACE MUST COVER 90% OF WEB LENGTH.

LOADING

TOTAL LOAD CASES: (4)

CHORDS MEMB. FR-TO	MAX. FACTORED FORCE (LBS)	FACTORED VERT. LOAD (PLF) FROM	TO	LC1	MAX CSI (LC)	MAX. UNBRAC LENGTH	WEBS MEMB. FR-TO	MAX. FACTORED FORCE (LBS)	MAX CSI (LC)
1- 2	0 / 14	-86.8	-86.8	0.03 (1)		10.00	9- 4	0 / 2820	0.35 (1)
2-14	-13264 / 0	-279.4	-279.4	0.33 (1)		3.16	9- 5	-4077 / 0	0.85 (1)
14- 3	-13089 / 0	-279.4	-279.4	0.62 (1)		2.86	7- 5	0 / 335	0.06 (4)
3- 4	-9091 / 0	-279.4	-279.4	0.59 (1)		3.46	3- 9	-4077 / 0	0.85 (1)
4- 5	-9091 / 0	-279.4	-279.4	0.59 (1)		3.46	10- 3	0 / 335	0.06 (4)
5-12	-13089 / 0	-279.4	-279.4	0.62 (1)		2.86	11-12	-248 / 119	0.00 (1)
12- 6	-13264 / 0	-279.4	-279.4	0.33 (1)		3.16	13-14	-248 / 119	0.00 (1)
2-13	0 / 12734	-56.3	-56.3	0.66 (1)		10.00			
13-10	0 / 12734	-56.3	-56.3	0.71 (1)		10.00			
10- 9	0 / 12734	-56.3	-56.3	0.65 (1)		10.00			
9- 8	0 / 12734	-56.3	-56.3	0.65 (1)		10.00			
8- 7	0 / 12734	-56.3	-56.3	0.65 (1)		10.00			
7-11	0 / 12734	-56.3	-56.3	0.71 (1)		10.00			
11- 6	0 / 12734	-56.3	-56.3	0.66 (1)		10.00			

DESIGN CRITERIA

SPECIFIED LOADS:

TOP CH.	LL	=	25.6	PSF
	DL	=	4.0	PSF
BOT CH.	LL	=	0.0	PSF
	DL	=	7.0	PSF
TOTAL LOAD		=	36.6	PSF

SPACING = 24.0 IN. C/C

GIRDER TYPE: CPrimeHip
SIDE SETBACK = 0-0
END SETBACK = 11-0-0
END WALL WIDTH = 1-8
CORNER FRAMING TYPE: CONVENTIONAL
END JACK TYPE: CONVENTIONAL
APPLIED TO FRONT SIDE
- ADDT'L LOADS BASED ON 55 % OF GSL.

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2015

THIS DESIGN COMPLIES WITH:
- PART 9 OF BCBC 2018 , ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

(55 % OF 31.4 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 25.6 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (0.87")
CALCULATED VERT. DEFL.(LL) = L/ 954 (0.33")
ALLOWABLE DEFL.(TL)= L/360 (0.87")
CALCULATED VERT. DEFL.(TL) = L/ 537 (0.58")

CSI: TC=0.62/1.00 (5-12:1) , BC=0.71/1.00 (7-11:1) , WB=0.85/1.00 (3-9:1) , SSI=0.31/1.00 (3-4:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.00 COMP=1.00 SHEAR=1.00 TENS= 1.00

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

NAIL VALUES

PLATE	GRIP(DRY) (PSI) MAX	MIN	SHEAR (PLI) MAX	MIN	SECTION (PLI) MAX	MIN
MT20	650	371	1747	788	1987	1873

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.87 (4) (INPUT = 0.90)
JSI METAL= 0.98 (8) (INPUT = 1.00)

PACER BUILDING COMPONENTS
AN MTP COMPANY

JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC. 71 Beach ave	DRWG NO.
21-3422	B	5	1	TRUSS DESC.	

Tandelle Pacer, Ilderton, Ontario

Version 8.500 S Mar 22 2021 MiTek Industries, Inc. Fri Dec 17 11:14:31 2021 Page 1

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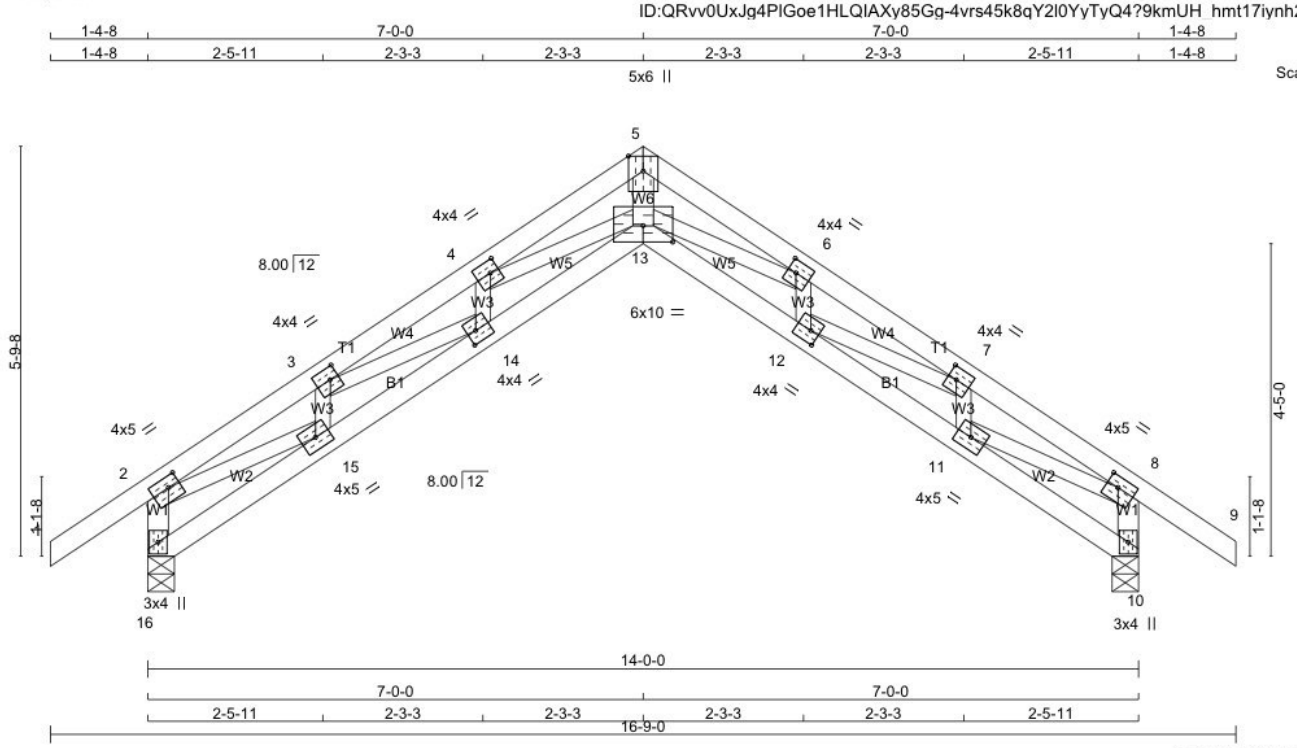


TOTAL WEIGHT = 5 X 60 = 298 lb

[M][F]

LUMBER

N. L. G. A. RULES

CHORDS	SIZE		LUMBER	DESCR.
16 - 2	2x4	DRY	No.2	SPF
1 - 5	2x4	DRY	No.2	SPF
5 - 9	2x4	DRY	No.2	SPF
10 - 8	2x4	DRY	No.2	SPF
16 - 13	2x4	DRY	No.2	SPF
13 - 10	2x4	DRY	No.2	SPF
ALL WEBS	2x3	DRY	No.2	SPF
EXCEPT				
13 - 5	2x4	DRY	No.2	SPF

DRY: SEASONED LUMBER.

PLATES (table is in inches)

JT	TYPE	PLATES	W	LEN	Y	X
2	TMVW-t	MT20	4.0	5.0	1.75	2.00
3, 4, 6, 7						
3	TMWW-t	MT20	4.0	4.0	2.00	1.50
5	TTW+p	MT20	5.0	6.0	Edge	
8	TMVW-t	MT20	4.0	5.0	1.75	2.00
10	BMV1+p	MT20	3.0	4.0		
11	BMWW-t	MT20	4.0	5.0		
12	BMWW-t	MT20	4.0	4.0	2.00	1.50
13	BBWWW-p	MT20	6.0	10.0	2.75	5.00
14	BMWW-t	MT20	4.0	4.0	2.00	1.50
15	BMWW-t	MT20	4.0	5.0		
16	BMV1+p	MT20	3.0	4.0		

Edge - INDICATES REFERENCE CORNER OF PLATE TOUCHES EDGE OF CHORD.

NOTES- (1-2)

1) "No special structural reviews or site inspections are included in this design"
2) "Refer to www.pacerbuildingcomponents.com for TPIC 2011 details on design responsibilities"

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

BEARINGS

JT	FACTORED GROSS REACTION VERT	HORZ	MAXIMUM FACTORED GROSS REACTION DOWN	HORZ	UPLIFT	INPUT BRG IN-SX	REQRD BRG IN-SX
16	856	0	856	0	0	4-8	1-8
10	856	0	856	0	0	4-8	1-8

ALLOW FOR 0.5" OF HORIZONTAL MOVEMENT DUE TO TOTAL LOAD

UNFACTORED REACTIONS

JT	1ST LCASE COMBINED	MAX./MIN. COMPONENT REACTIONS SNOW	LIVE	PERM.LIVE	WIND	DEAD	SOIL
16	599	433 / 0	0 / 0	0 / 0	0 / 0	166 / 0	0 / 0
10	599	433 / 0	0 / 0	0 / 0	0 / 0	166 / 0	0 / 0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) 16, 10

BRACING

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 3.91 FT.
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE LATERALLY RESTRAINED.

LOADING

TOTAL LOAD CASES: (4)

CHORDS

MEMB. FR-TO	MAX. FACTORED FORCE (LBS)	FACTORED VERT. LOAD (PLF) FROM	TO	LC1	MAX CSI (LC)	MAX. UNBRAC LENGTH
16- 2	-825 / 0	0.0	0.0	0.08 (1)	7.81	
1- 2	0 / 35	-86.8	-86.8	0.13 (1)	10.00	
2- 3	-1806 / 0	-86.8	-86.8	0.10 (1)	4.91	
3- 4	-2650 / 0	-86.8	-86.8	0.15 (1)	4.15	
4- 5	-2992 / 0	-86.8	-86.8	0.18 (1)	3.91	
5- 6	-2992 / 0	-86.8	-86.8	0.18 (1)	3.91	
6- 7	-2650 / 0	-86.8	-86.8	0.15 (1)	4.15	
7- 8	-1806 / 0	-86.8	-86.8	0.10 (1)	4.91	
8- 9	0 / 35	-86.8	-86.8	0.13 (1)	10.00	
10- 8	-825 / 0	0.0	0.0	0.08 (1)	7.81	
16-15	-5 / 0	-17.5	-17.5	0.04 (1)	10.00	
15-14	0 / 1668	-17.5	-17.5	0.34 (1)	10.00	
14-13	0 / 2577	-17.5	-17.5	0.49 (1)	10.00	
13-12	0 / 2577	-17.5	-17.5	0.49 (1)	10.00	
12-11	0 / 1668	-17.5	-17.5	0.34 (1)	10.00	
11-10	-5 / 0	-17.5	-17.5	0.04 (1)	10.00	

WEBS

MEMB. FR-TO	MAX. FACTORED FORCE (LBS)	MAX CSI (LC)
13- 5	0 / 3101	0.50 (1)
13- 6	0 / 371	0.08 (1)
12- 6	-298 / 0	0.04 (1)
12- 7	0 / 829	0.19 (1)
11- 7	-491 / 0	0.07 (1)
11- 8	0 / 1557	0.35 (1)
4-13	0 / 371	0.08 (1)
14- 4	-298 / 0	0.04 (1)
3-14	0 / 829	0.19 (1)
15- 3	-491 / 0	0.07 (1)
2-15	0 / 1557	0.35 (1)

DESIGN CRITERIA

SPECIFIED LOADS:

TOP CH.	LL	=	25.6	PSF
	DL	=	4.0	PSF
BOT CH.	LL	=	0.0	PSF
	DL	=	7.0	PSF
TOTAL LOAD		=	36.6	PSF

SPACING = 24.0 IN. C/C

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2015

THIS DESIGN COMPLIES WITH:
- PART 9 OF BCBC 2018 , ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

(55 % OF 31.4 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 25.6 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (0.47")
CALCULATED VERT. DEFL.(LL) = L/ 950 (0.18")
ALLOWABLE DEFL.(TL)= L/360 (0.47")
CALCULATED VERT. DEFL.(TL) = L/ 539 (0.31")

CSI: TC=0.18/1.00 (4-5:1) , BC=0.49/1.00 (12-13:1) , WB=0.50/1.00 (5-13:1) , SSI=0.08/1.00 (1-2:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10 COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

NAIL VALUES

PLATE	GRIP(DRY) (PSI) MAX	MIN	SHEAR (PLI) MAX	MIN	SECTION (PLI) MAX	MIN
MT20	650	371	1747	788	1987	1873

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.88 (13) (INPUT = 0.90)
JSI METAL= 0.59 (5) (INPUT = 1.00)

PACER BUILDING COMPONENTS
AN MTP COMPANY

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information

Building number, street name			Unit no.	Lot/con.
71 Beach Ave Long Point				
Municipality Norfolk County	Postal code	Plan number/ other description		

B. Individual who reviews and takes responsibility for design activities

Name Travis Hamm		Firm T Hamm Design and Drafting Service		
Street address 21 Hwy 24 E, St Williams, Ontario			Unit no.	Lot/con.
Municipality Norfolk	Postal code N0E 1P0	Province Ontario	E-mail th.drafting@hotmail.com	
Telephone number (519) 586 3440	Fax number ( )		Cell number ( )	

C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]

House	HVAC – House	Building Structural
X Small Buildings	Building Services	Plumbing – House
Large Buildings	Detection, Lighting and Power	Plumbing – All Buildings
Complex Buildings	Fire Protection	On-site Sewage Systems

Description of designer's work

Drawings for detached garage – Andrew Willis

D. Declaration of Designer

I Travis Hamm declare that (choose one as appropriate):
(print name)

X I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4.of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 23275

Firm BCIN: 45374

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

Individual BCIN: _____

Basis for exemption from registration: _____

The design work is exempt from the registration and qualification requirements of the Building Code.

Basis for exemption from registration and qualification: _____

I certify that:

1. The information contained in this schedule is true to the best of my knowledge.
2. I have submitted this application with the knowledge and consent of the firm.

November 10, 2021 — Date

Travis Hamm — Signature of Designer

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c).of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practice, a limited license to practice, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

MAP A

ANPL2022117

CONTEXT MAP

Geographic Township of SOUTH WALSINGHAM

Legend

Subject Lands

2020 Air Photo

5/5/2022

N

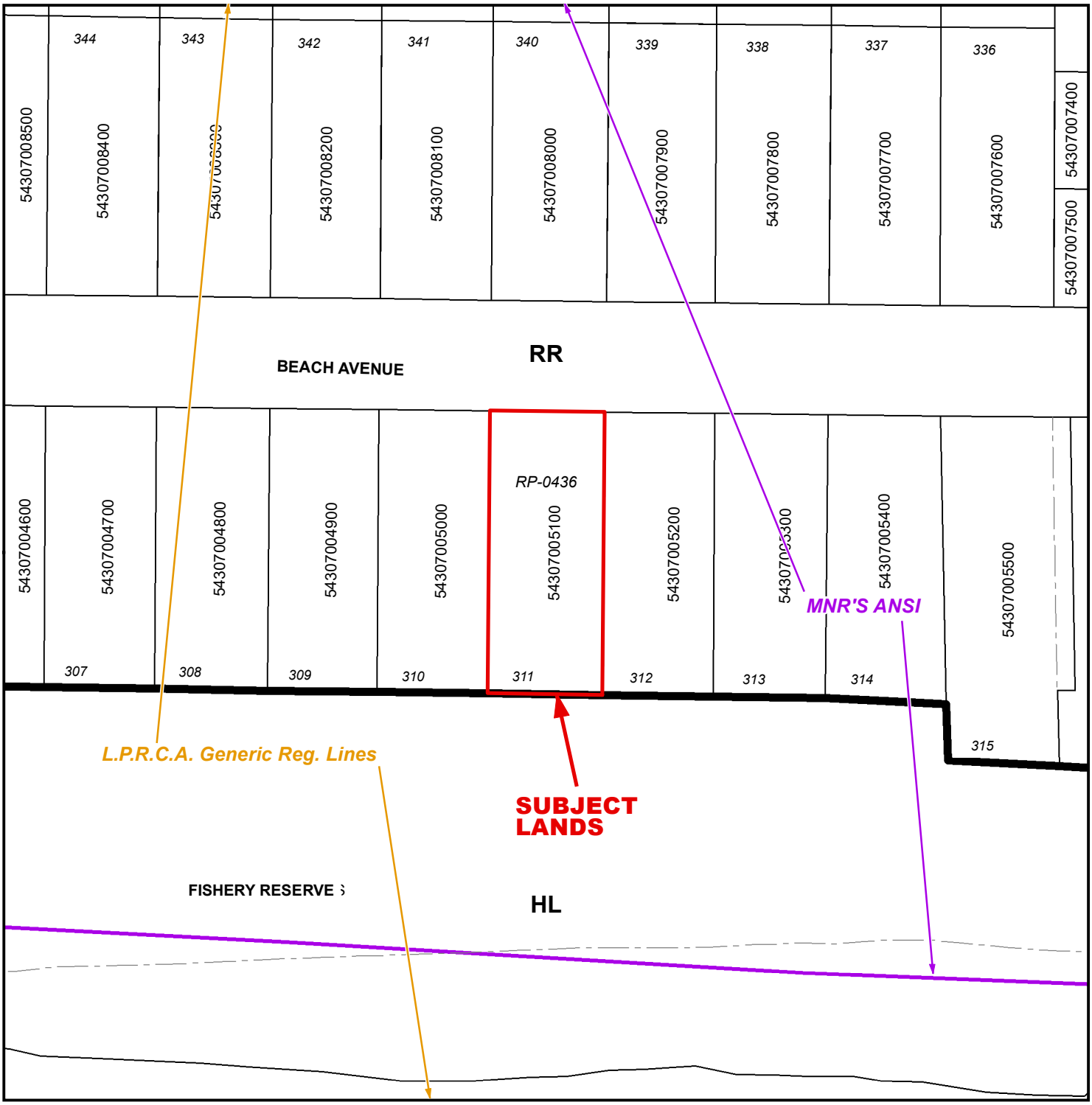
40 20 0 40 80 120 160 Meters

MAP B

ANPL2022117

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM



ZONING BY-LAW 1-Z-2014

5/5/2022

LEGEND

- Subject Lands
- MNR ANSI
- LPRCA Generic RegLines

(H) - Holding

HL - Hazard Land Zone

RR - Resort Residential Zone

N

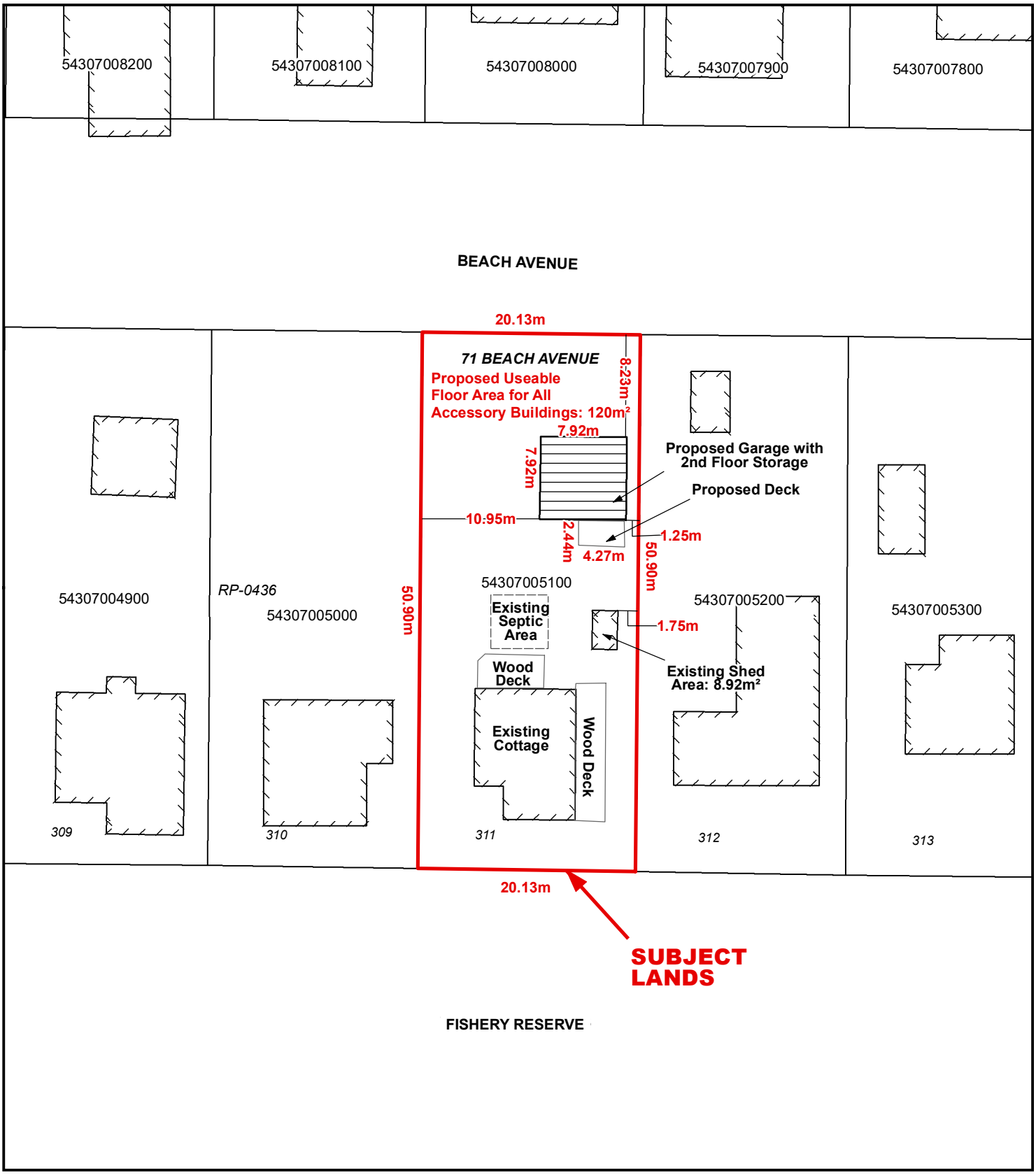
8 4 0 8 16 24 32 Meters

MAP C

ANPL2022117

CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

5/5/2022

N

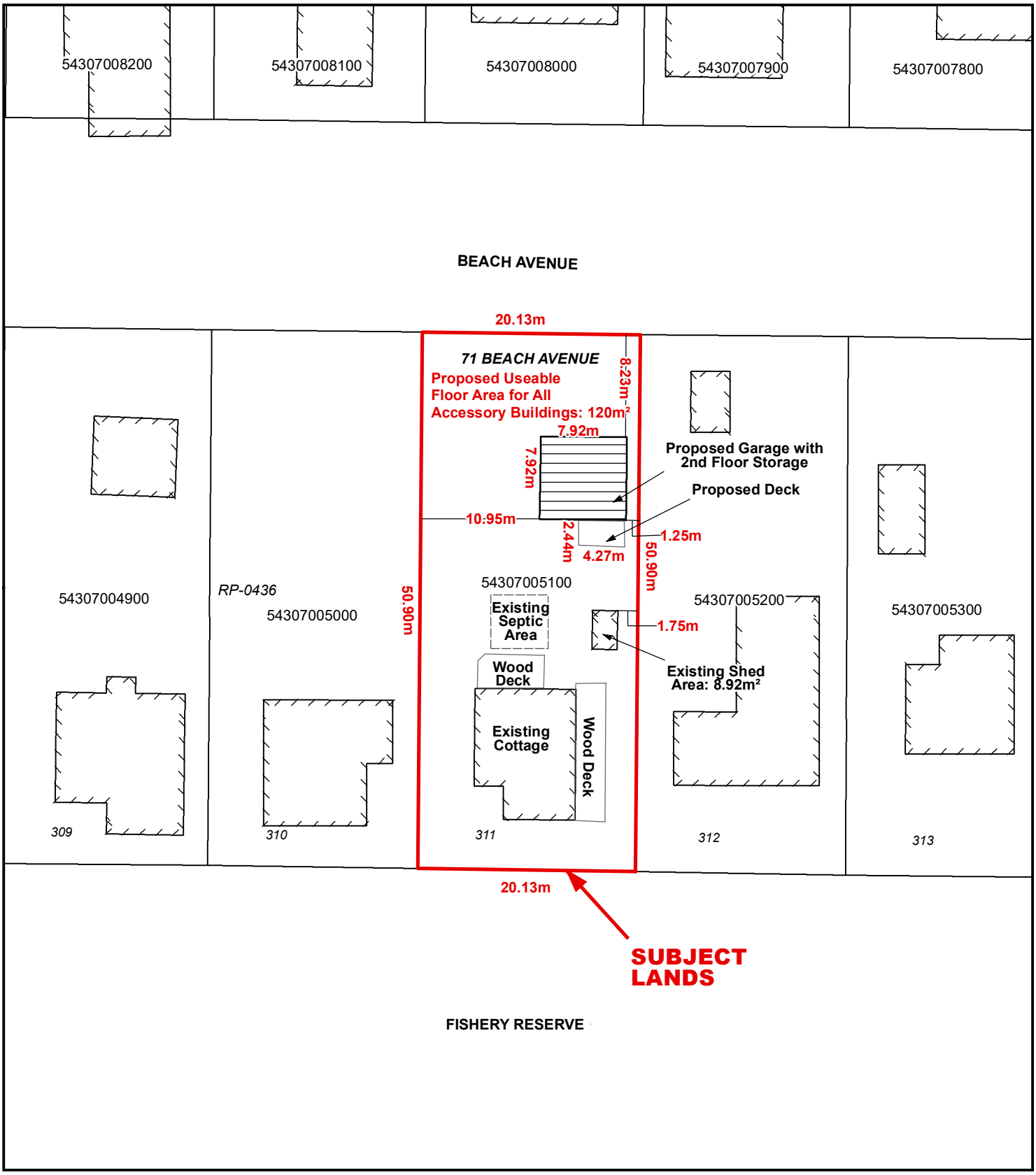
4 2 0 4 8 12 16 Meters

LOCATION OF LANDS AFFECTED

ANPL2022117

CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

5/5/2022

N

4 2 0 4 8 12 16 Meters