

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
<p style="text-align: center; color: red;">RELEIF FOR FOR A DETACHED GARGE IN FRONT OF COTTAGE, THE RELEIF IS SECTION 3.2.1(B) CAN NOT OCCUPY ANY PART OF FRONT YARD</p>					
USEABLE SPACE					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

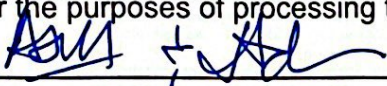
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

June 1 / 2022

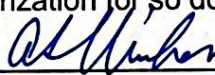
Date

J. Owner's Authorization

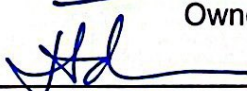
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Amit Minhas & Julie Anderson am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mike Ross / William J. Ross Construction Ltd. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Owner

June 1 / 2022

Date

June 1 / 2022

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.



Mike Ross
 877 Ireland Road
 Simcoe, Ontario
 N3Y 4K2
 (519) 426-6985
 E-mail: mike@rossconstruction.ca
www.rossconstruction.ca

Summary for Minor Variance At 103 Woodstock Ave, Long Point

Cottage Area Schedule			
Gross Floor Area		1632 Sq. Ft.	
Front Porch		85 Sq. Ft.	
Rear Deck		388 Sq. Ft.	
Raised Sidewalk		251 Sq. Ft.	
TOTAL		2356 Sq. Ft.	218.88 M Sq.
Garage Area Schedule			
Gross Floor Area		955 Sq. Ft.	88.72 M Sq.
Main Level Useable Area		899 Sq. Ft.	
Upper Level Useable Area		735 Sq. Ft.	
Total Useable Area		1634 Sq. Ft.	151.8 M. Sq.
Lot Coverage Schedule			
Lot Area		1302 M Sq.	
Cottage Size		218.88 M Sq.	
Cottage Lot Coverage		16.80%	
Detached Garage Size		88.72 M Sq.	
Garage Lot Coverage		6.80%	



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Cottage

- Relief of 3 % lot coverage
- Relief of .25 M in height

Detached Garage with storage loft

- Relief of .25 M in height
- Relief for a detached garage in front of cottage, the relief is section 3.2.1(b) cannot occupy any part of front yard
- Relief of 51.8 M Sq. of useable Floor Area

Addition Info for Varrance

As cottage is to be build on piles as per LPRCA guidelines for safety reasons we don't want sidewalks or patios ant ground level, so we are doing raised decks instead

As for the upper garage storage area the LPRCA doesn't allow for basements on the cottage (built on piles) so the need storage for outdoor furniture and beach toys.

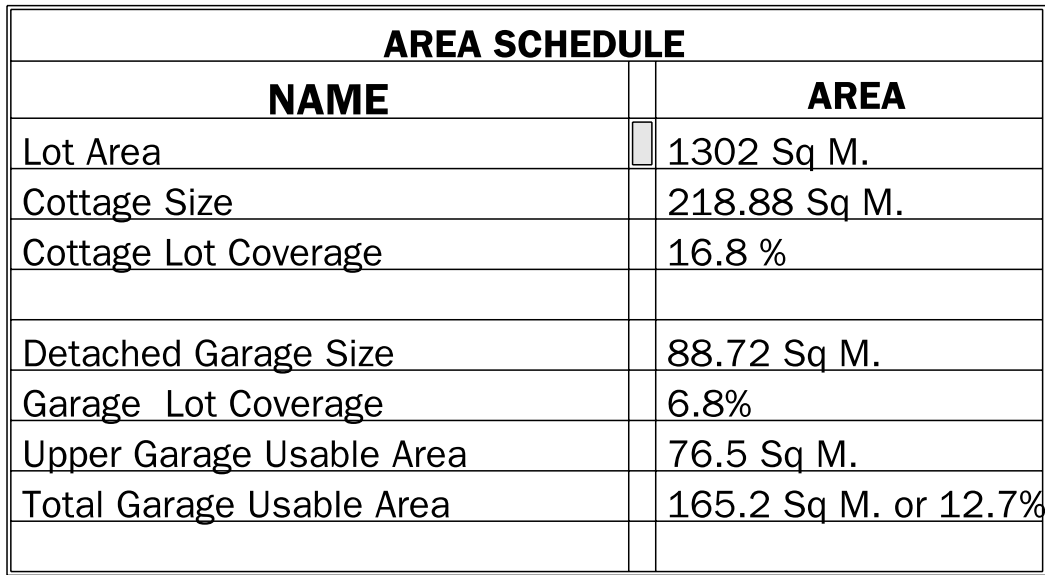
As for the detached garage in the front yard the LPRCA will not allow it on lake side of property and we need it keep close to road as possible for the septic system in front yard (another LPRCA guideline).



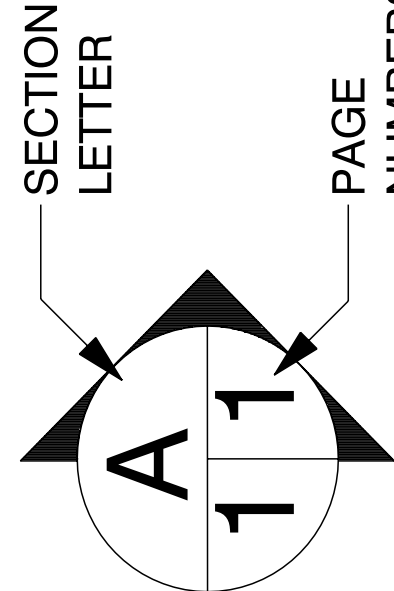
-- A GOOD INVESTMENT FOR THE FUTURE

SITE PLAN METRIC

SCALE: 1:100




Woodstock Ave

The logo for SOFTPLAN Architectural Design Software is located in the bottom right corner. It features the word "SOFTPLAN" in a large, bold, sans-serif font, with "SOFT" in red and "PLAN" in blue. Below it, the words "ARCHITECTURAL DESIGN SOFTWARE" are written in a smaller, blue, sans-serif font. A red arc is positioned above the "PLAN" part of the logo.

INTERNATIONAL ASSOCIATION OF CERTIFIED DESIGNERS
100 EAST 60TH STREET
NEW YORK, NY 10022
212 691-1000

BCIN: # 27639



ROSS CONSTRUCTION LTD.

EST. 1964

WILLIAM J. ROSS

MIKE ROSS
877 Ireland Road
Simcoe
Ontario
N3Y 4K2
PHONE: 519-426-6985
mike@rossconstruction.ca

PROPOSED PROJECT For:
Amit Minhas & Julie Anderson

103 Woodstock Ave
Long Point
Ontario

APPROVED: By owners

SCALE: 1:100

PRINT DATE: June 26, 2022

PAGE:

7

Site Plan

MAIN FLOOR

SCALE: 1/4" = 1'-0"

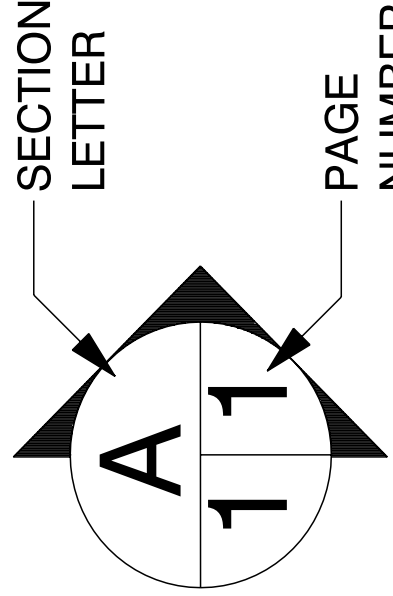


218.88 M. Sq.	2356 Sq. Ft.	TOTAL
	251 sq. ft.	Raised Sidewalk
	388 sq. ft.	Rear Deck
	85 sq. ft.	Front Porch
	1632 sq. ft.	Gross Floor Area
AREA	COLOR	NAME
AREA SCHEDULE		



BCIN: # 27639

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SCALE: 1/4" = 1'-0"

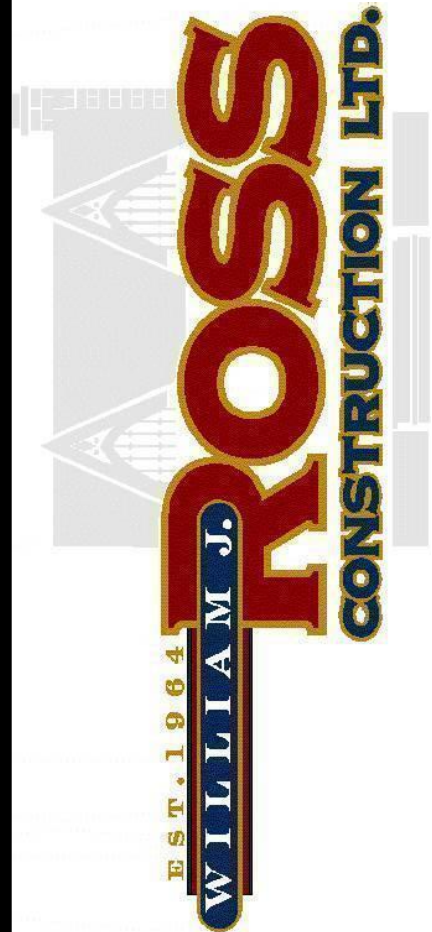
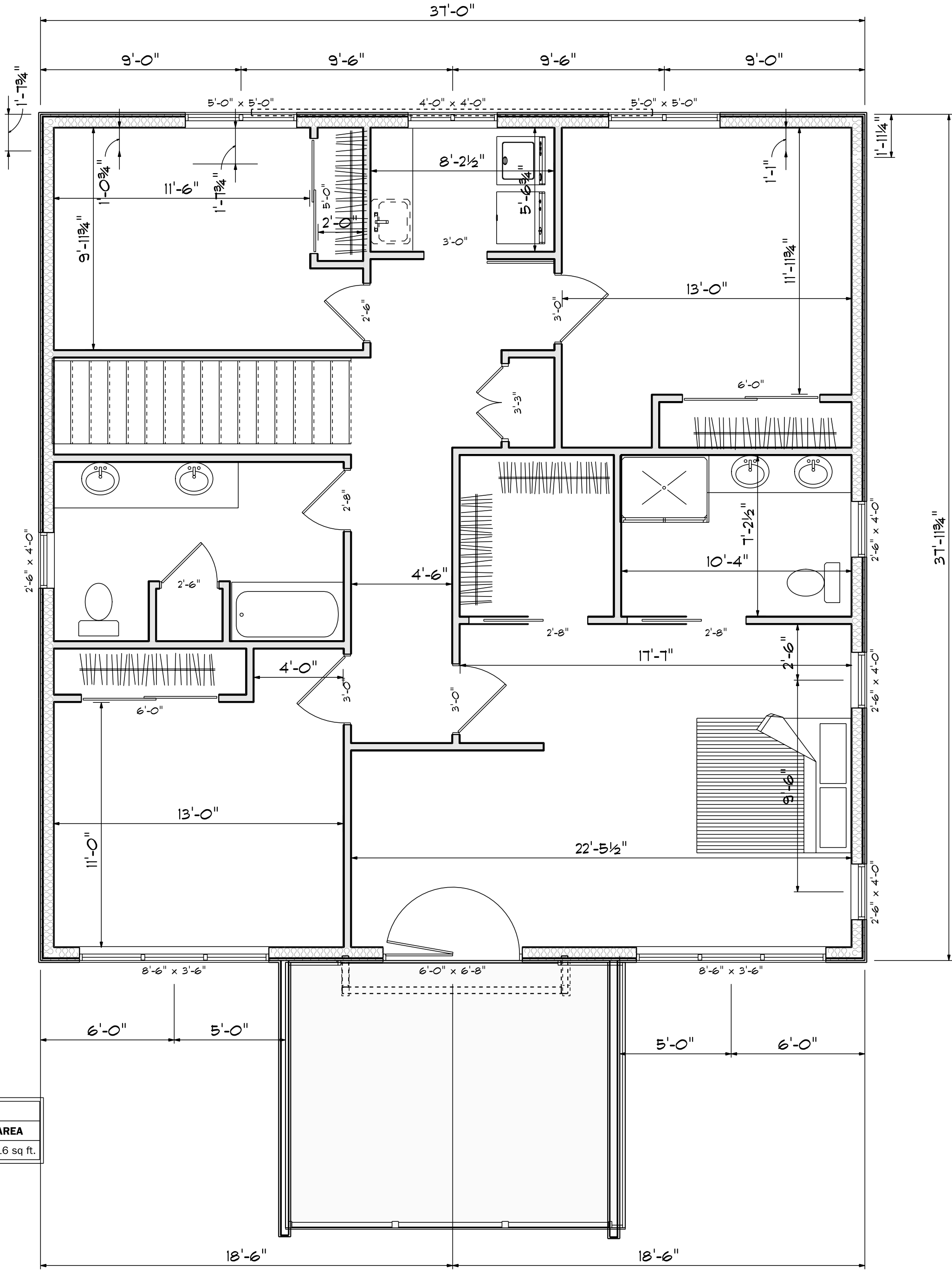
PRINT DATE: June 26, 2022

PAGE: 2

Cottage Main Level

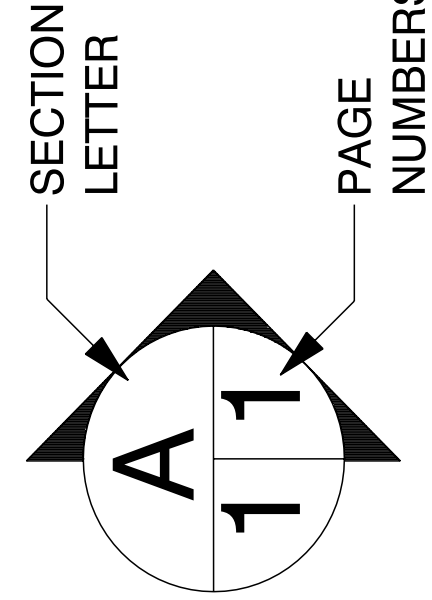
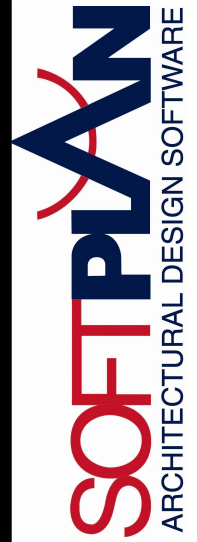
AREA SCHEDULE		
NAME	COLOR	AREA
Gross Floor Area		1416 sq ft.

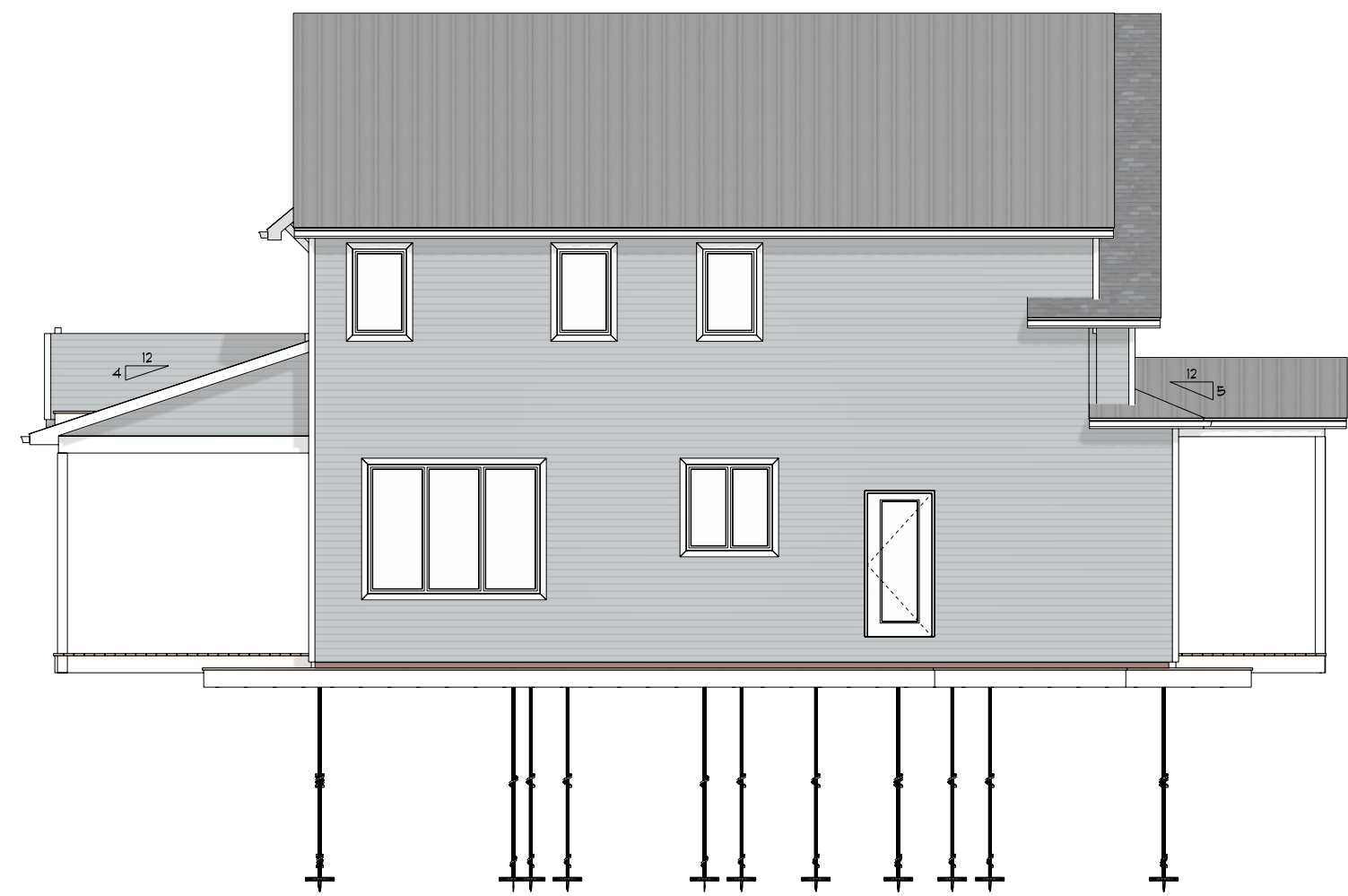
UPPER FLOOR
SCALE: 1/4" = 1'-0"



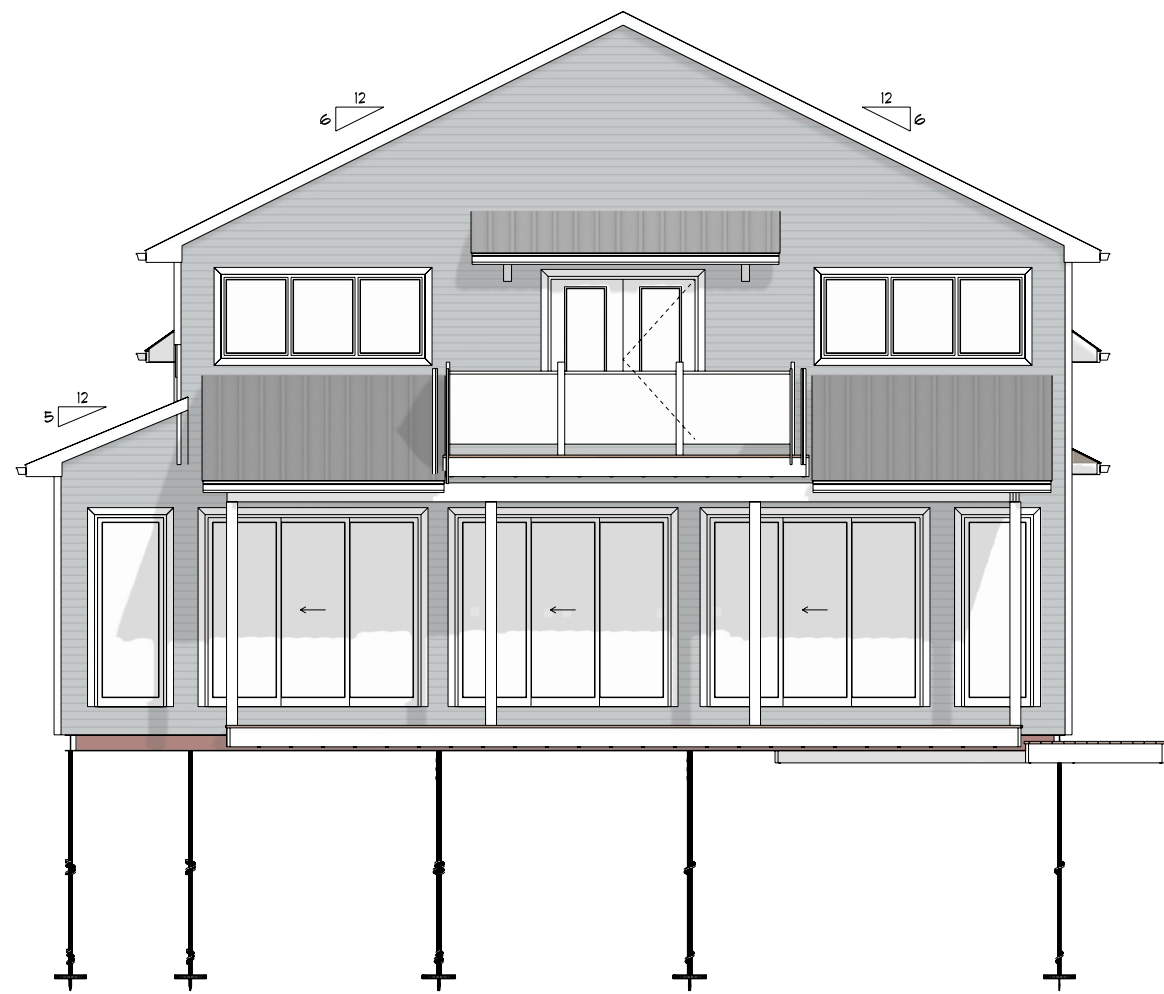
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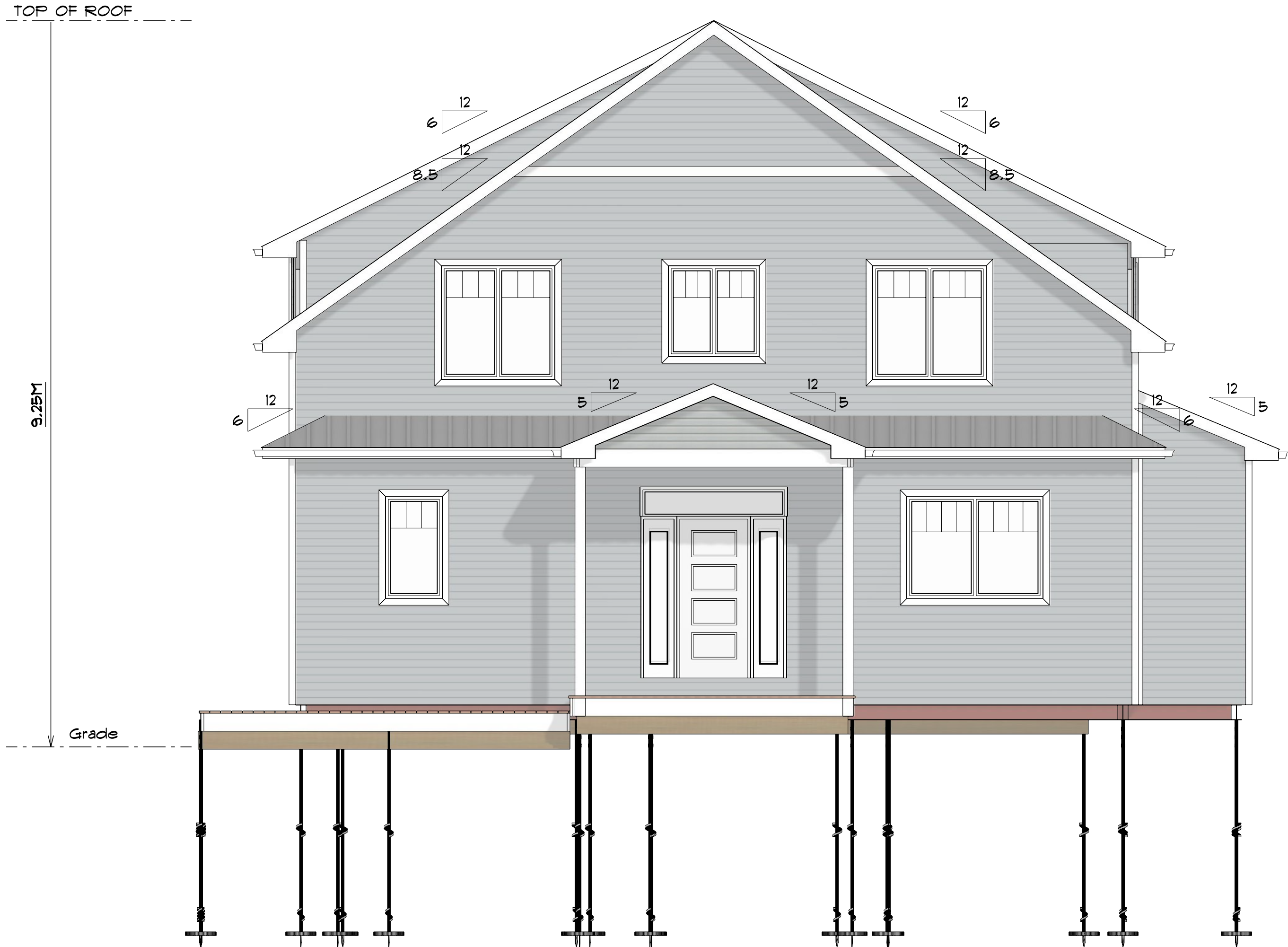




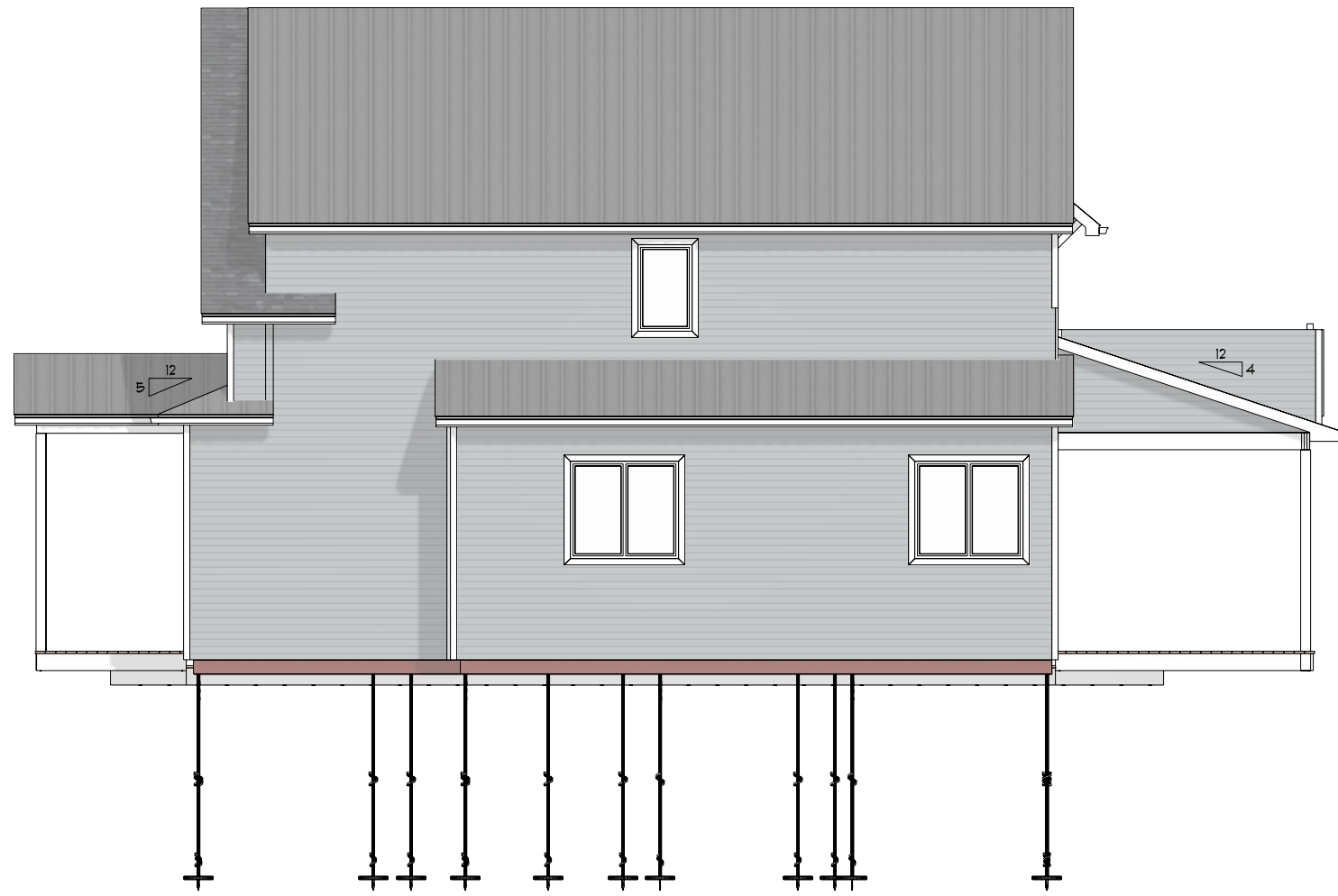
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

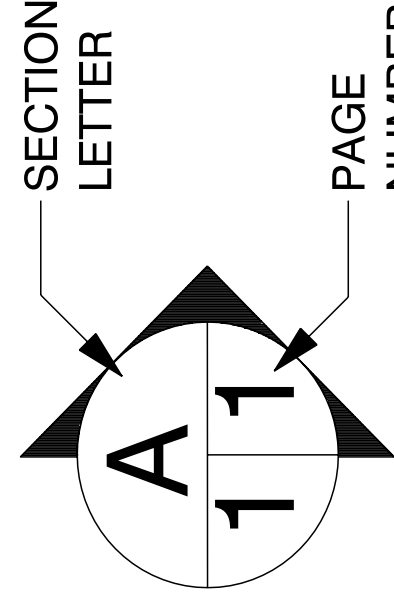


EST. 1964
WILLIAM J. ROSS
CONSTRUCTION LTD.

BCIN: # 27639

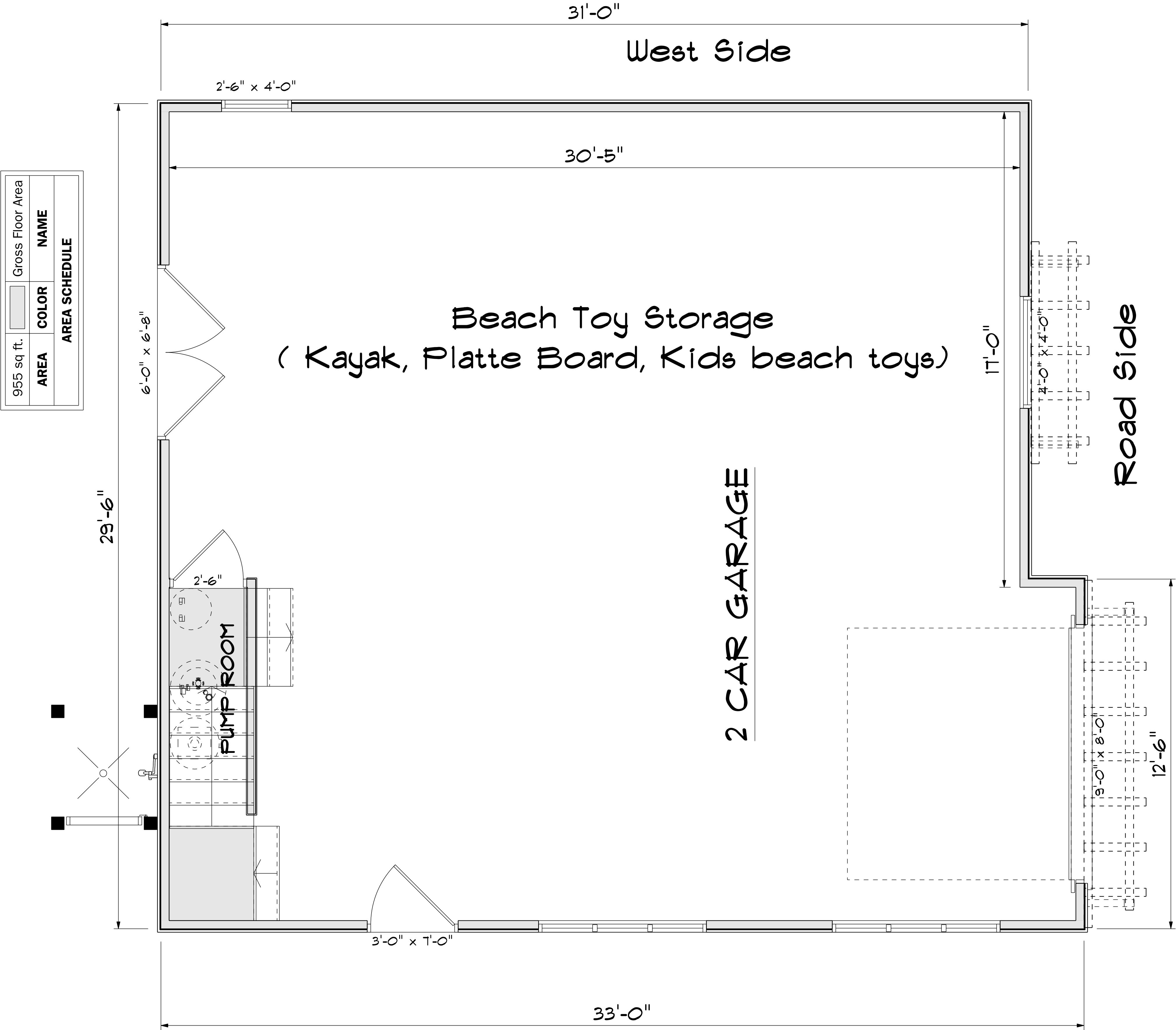
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PROPOSED PROJECT For:
Amit Minhas & Julie Anderson
103 Woodstock Ave
Long Point Ontario
APPROVED: By owners
SCALE: As Noted
PRINT DATE: June 26, 2022
PAGE: 4
Cottage Elevations

GARAGE MAIN 2
SCALE: 1/2" = 1'-0"



955 sq ft.	Gross Floor Area	
AREA	COLOR	NAME
AREA SCHEDULE		





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Certified Designer


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A

1 1

SECTION LETTER

PAGE NUMBERS

PROPOSED PROJECT For:

Amit Minhas & Julie Anderson

103 Woodstock Ave
Long Point
Ontario

APPROVED: By owners

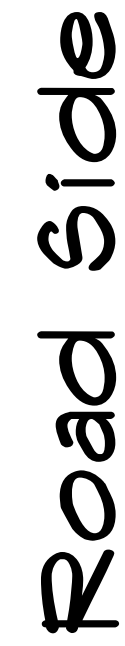
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PRINT DATE: June 26, 2022

PAGE: 5

Garage Main Level

SCALE: 1/2" = 1'-0"



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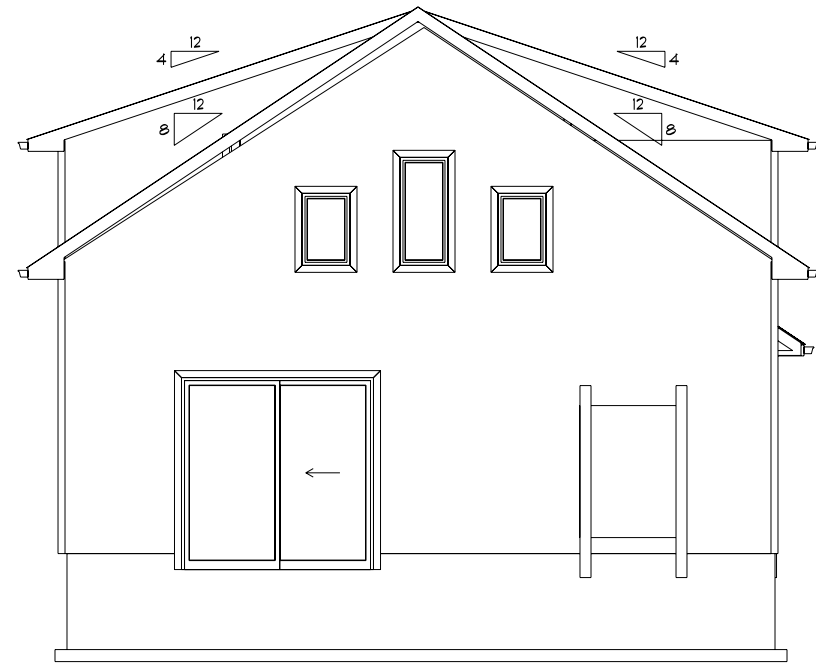
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mike@rossconstruction.ca

Mike Ross
Certified Designer
BCIN: # 27639

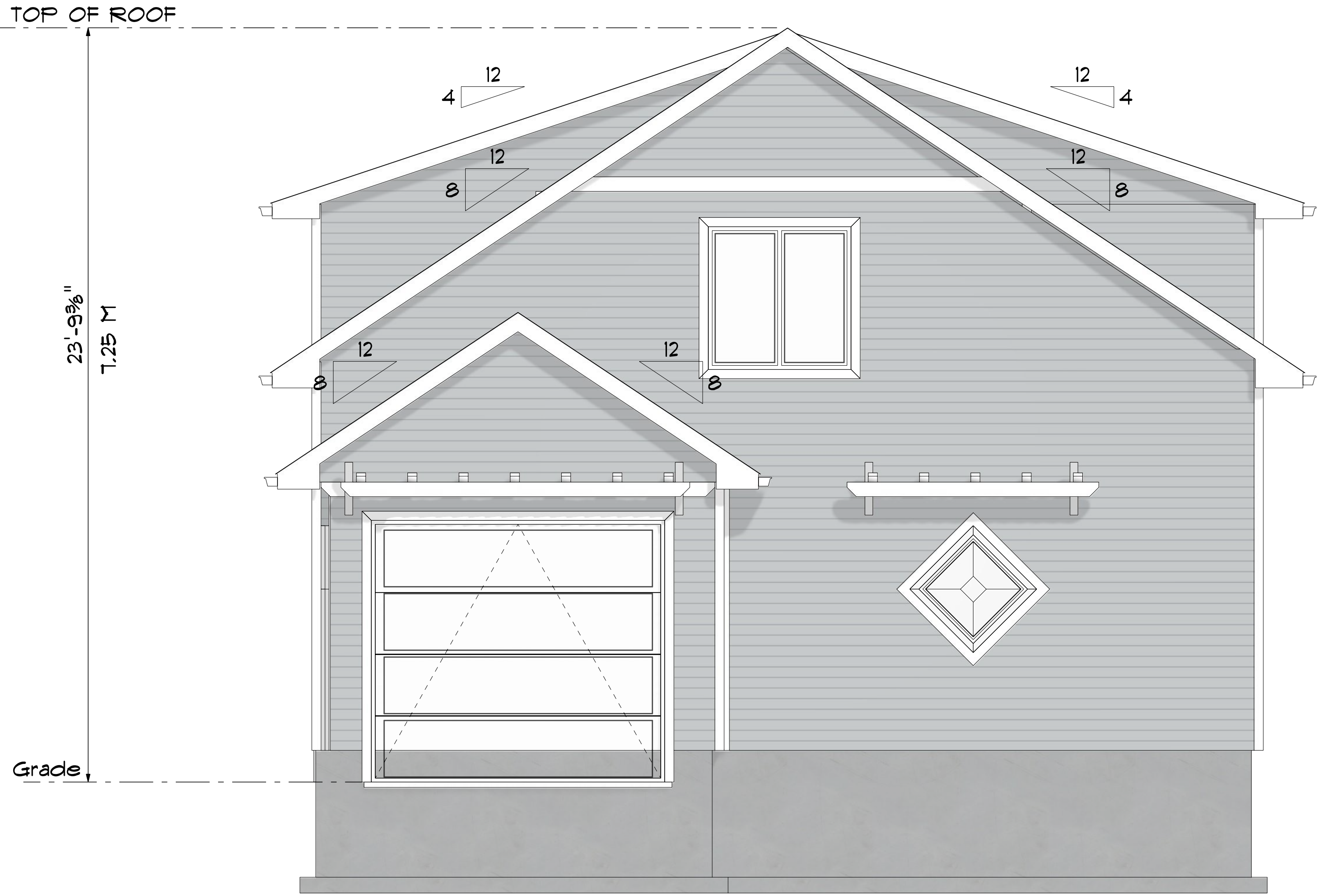
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SECTION LETTER: A
PAGE NUMBERS: 11

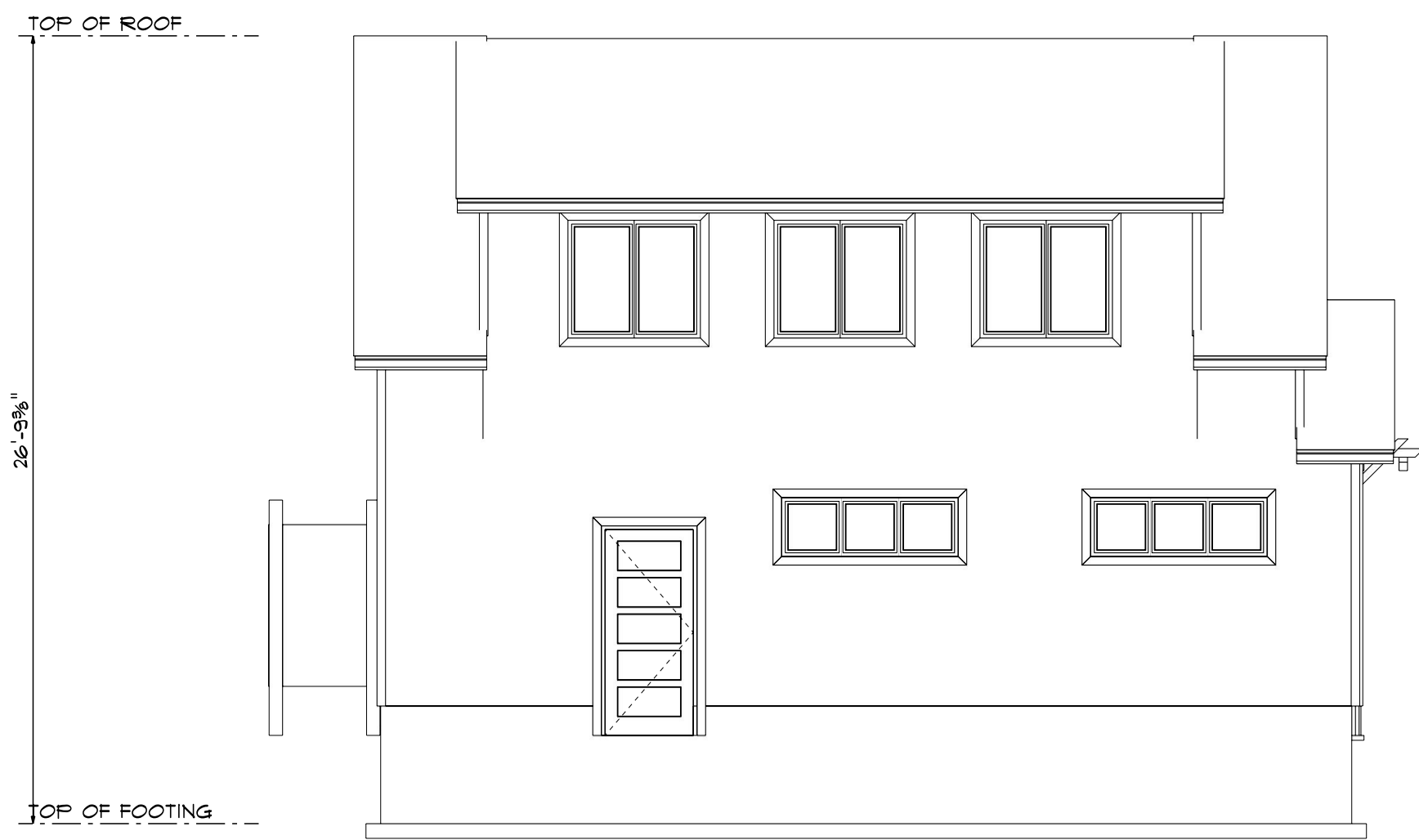
PROPOSED PROJECT FOR:	
Amit Minhas & Julie Anderson	
103 Woodstock Ave	
Long Point	Ontario
APPROVED: By <i>owners</i>	PAGE: 6
SCALE: 1/2" = 1'-0"	
PRINT DATE: June 26, 2022	
Garage storage area	



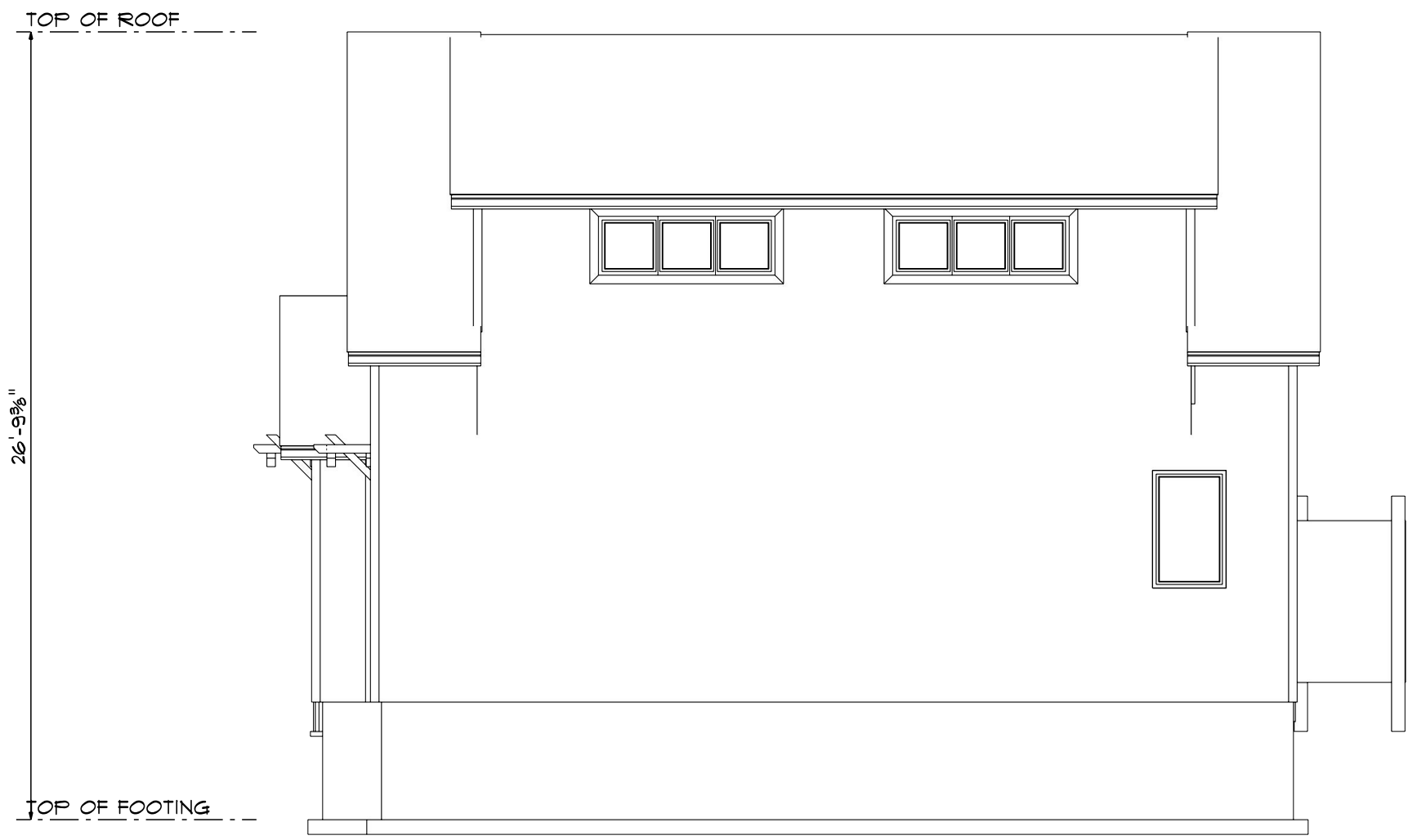
GARAGE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



GARAGE NORTH ELEVATION
SCALE: 3/8" = 1'-0"

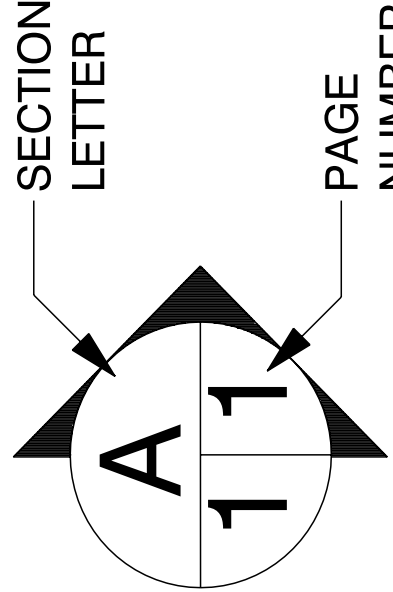


GARAGE EAST ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE WEST ELEVATION
SCALE: 3/16" = 1'-0"

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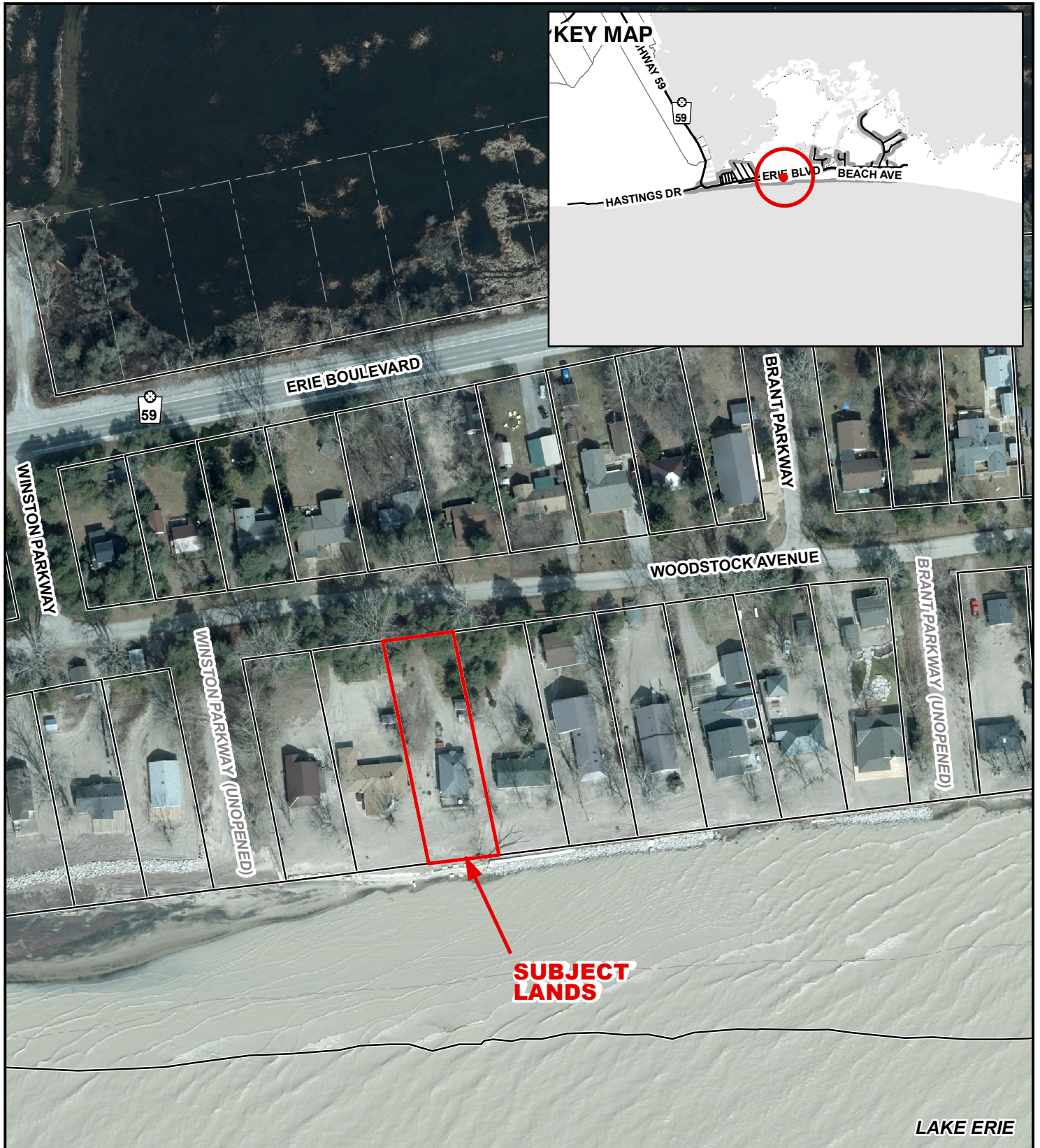
PROPOSED PROJECT For:
Amit Minhas & Julie Anderson
103 Woodstock Ave
Long Point Ontario

APPROVED: By owners	PAGE: 7
SCALE: As Noted	
PRINT DATE: June 26, 2022	


Garage Elevations

MAP A
CONTEXT MAP
Geographic Township of SOUTH WALSINGHAM

ANPL2022214

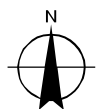


Legend

 Subject Lands

2020 Air Photo

7/25/2022



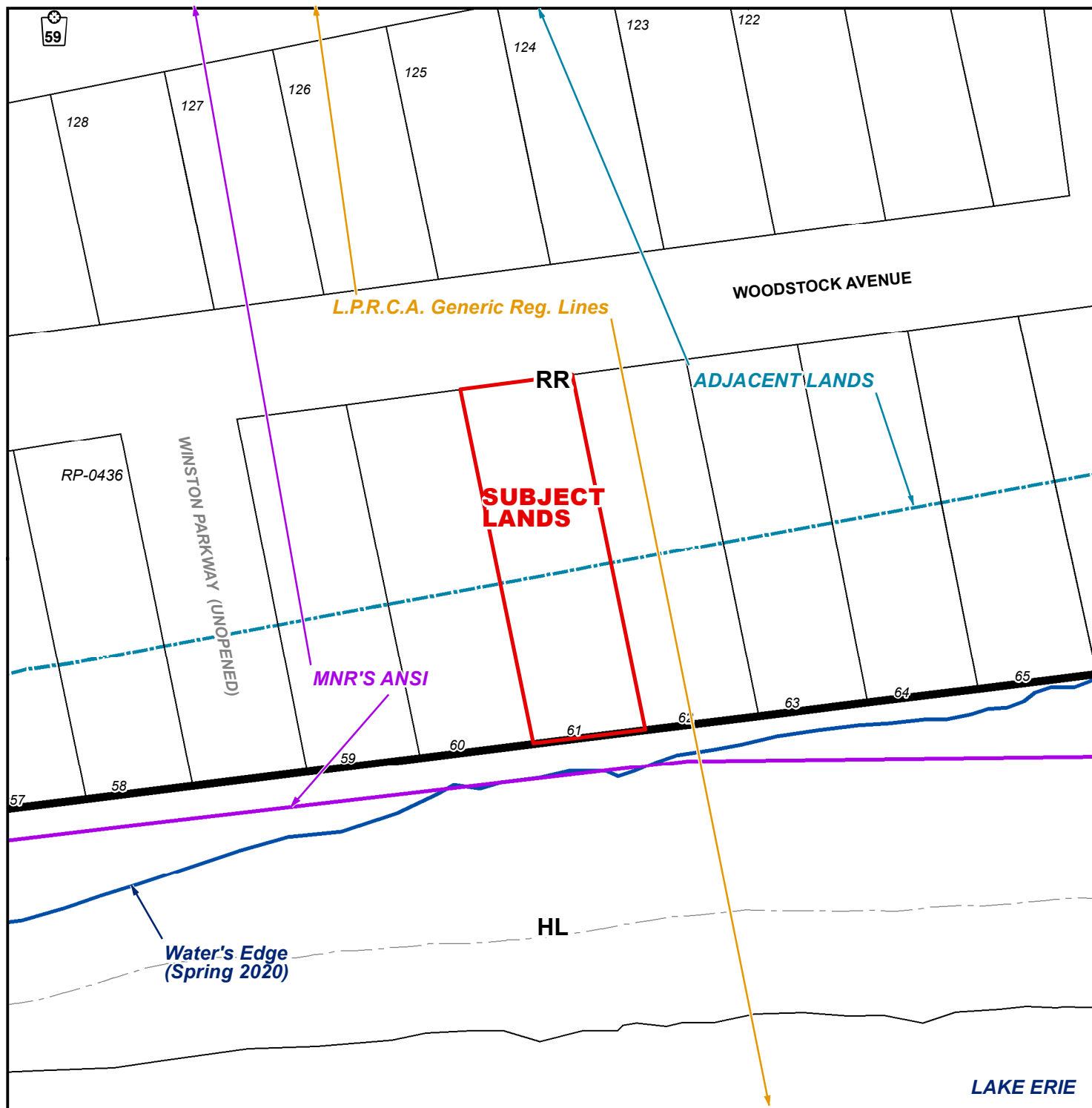
10 5 0 10 20 30 40 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2022214



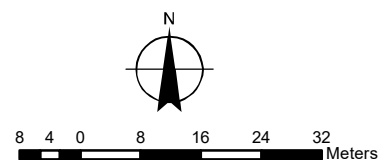
LEGEND

- Subject Lands
- Adjacent Lands
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

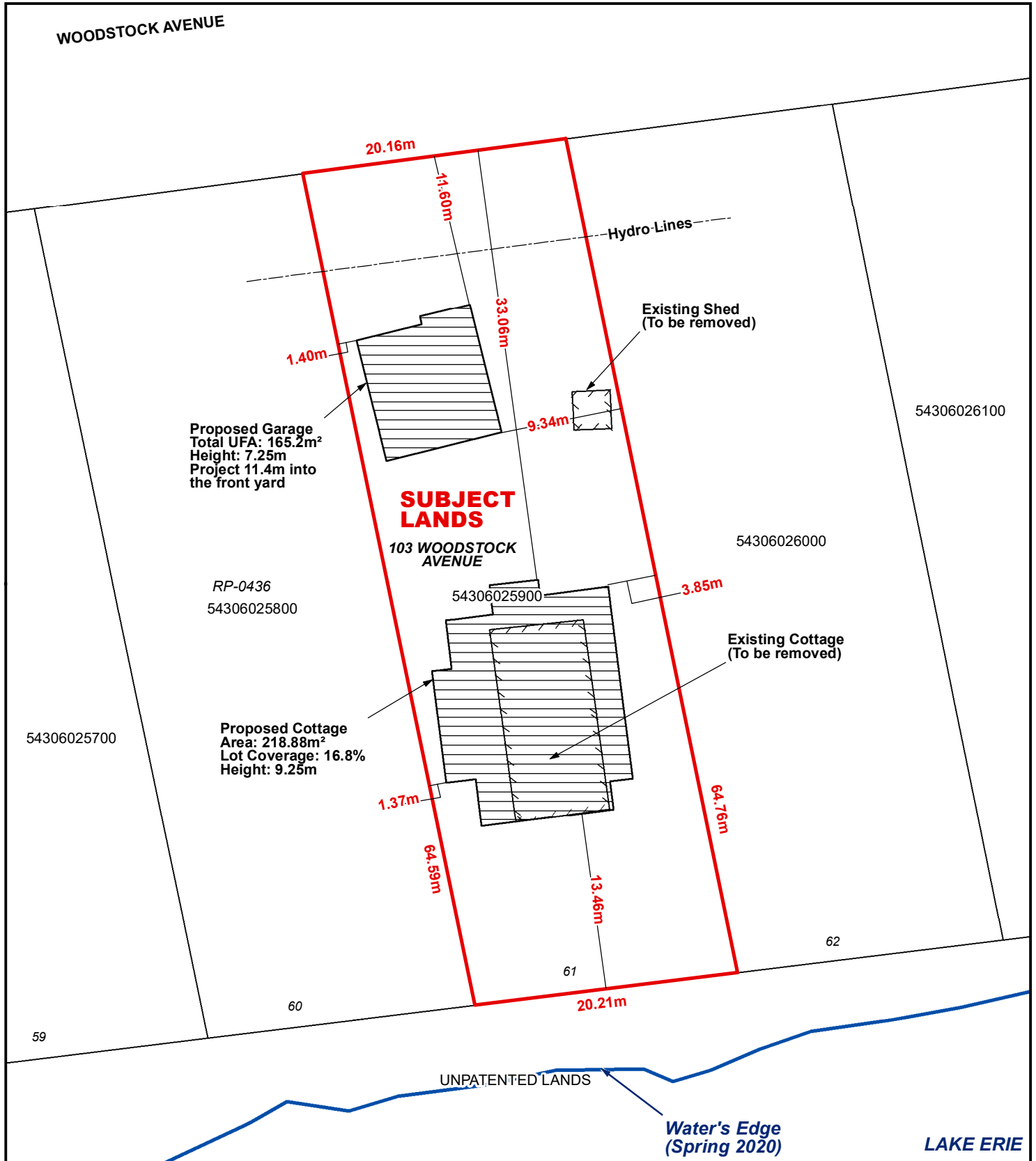
7/25/2022

- (H) - Holding
- HL - Hazard Land Zone
- RR - Resort Residential Zone



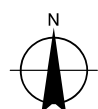
CONCEPTUAL PLAN

Geographic Township of SOUTH WALSLINGHAM



Legend

Subject Lands

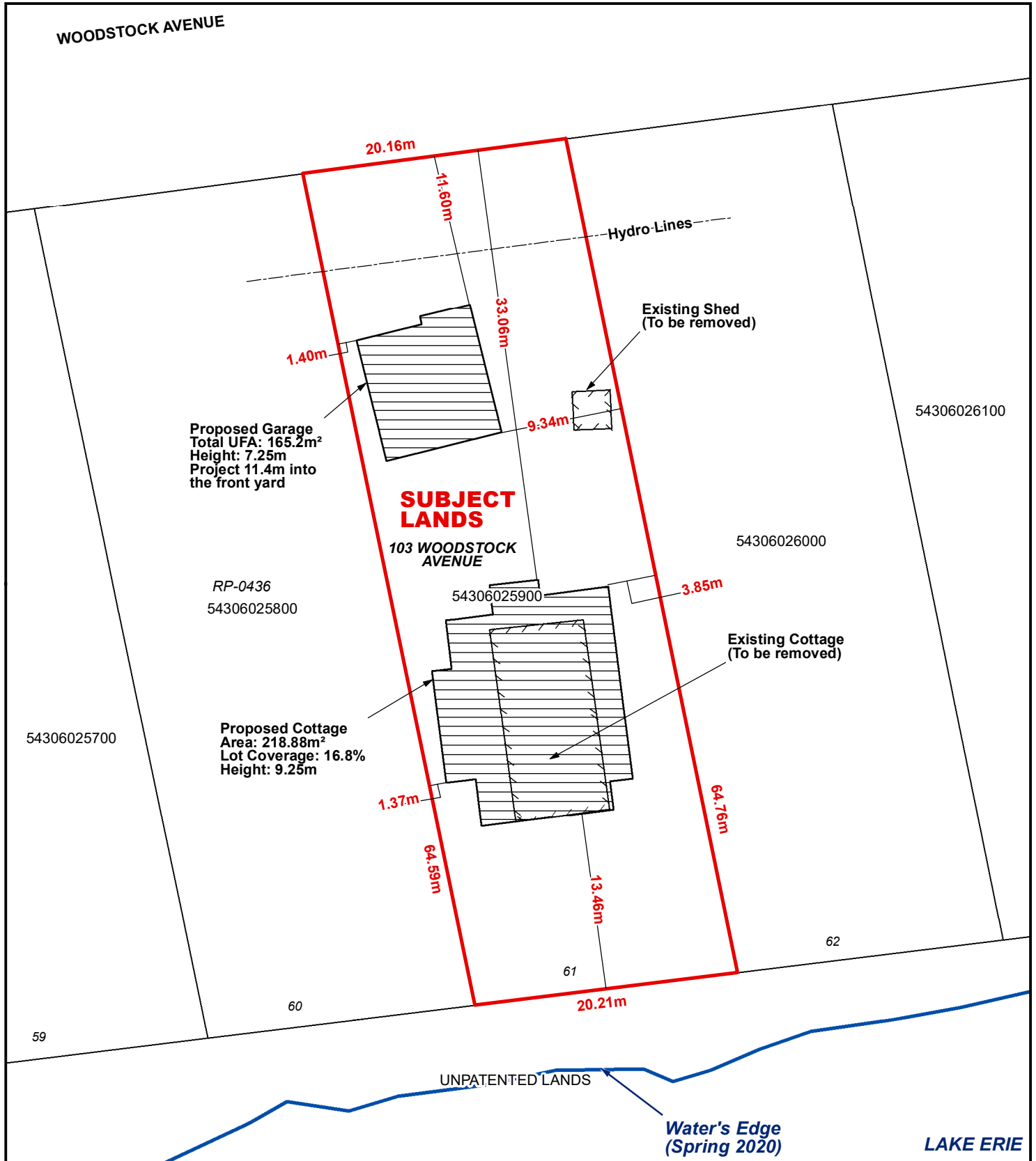


7/25/2022

3 1.5 0 3 6 9 12 Meters

CONCEPTUAL PLAN

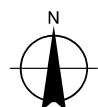
Geographic Township of SOUTH WALSLINGHAM



Legend

Subject Lands

7/25/2022



3 1.5 0 3 6 9 12 Meters