

For Office Use Only:

File Number	ANPL2022215	Application Fee	\$1599.00
Related File Number	N/A	Conservation Authority Fee	N/A
Pre-consultation Meeting	-	Well & Septic Info Provided	N/A
Application Submitted	June 19, 2022	Planner	Hanne Yager
Complete Application	July 18, 2022	Public Notice Sign	-

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** Jessie T. Grummett

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 201 Argyle St**Town and Postal Code** Simcoe N3Y 1W1**Phone Number** 226-203-7359**Cell Number** _____**Email** grummett580@hotmail.com**Name of Applicant** Jessie Grummett**Address** 201 Argyle St**Town and Postal Code** Simcoe N3Y 1W1**Phone Number** _____**Cell Number** 226-203-7359**Email** grummett580@hotmail.com

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Norfolk County, Simcoe Ontario, U3Y 1W1.
201 Angyle St.

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Single residents

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

All structures to main intact. main
home with new addition.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed detached garage within the
6m setback off Basil Ave.

7. Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

residential homes on 2 sides

10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

6m setbacks from Broadway.

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth	55.83m ²				
Lot width	25.3m ²				
Lot area	1324m ²				
Lot coverage					
Front yard				35.30m	
Rear yard				12.03m	
Height				4.5m	
Left Interior side yard	6m	6m		0.08m	4.15m
Right Interior side yard	13.72m				
Exterior side yard (corner lot)	23.73m				
Parking Spaces (number)	2			3	1
Aisle width					
Stall size					
Loading Spaces					
Other				50.11m ²	

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Our lot is long and narrow, with only one driveway access. The proposed garage is within the 6m setback, but allows for good access from driveway and space on the land.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____



Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☒ Municipal sewers
☐ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

Storm Drainage

- ☒ Storm sewers
☐ Other (describe below)
- ☐ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road
☐ Unopened road

- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

all other possible land locations will
conflict with our current home and
utilities that came up from basel
or argyle.

Please refer to minor variance Package #2

Norfolk
COUNTY

Revised October 2021
Committee of Adjustment Development Application
Page 10 of 13

FIVE STAR

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

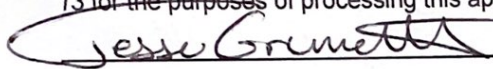
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

June 07/2022

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, Jessie Grummett of 201 Angyle St

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Jessie Grummett

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20 22

A Commissioner, etc.

Minor Variance application

B6.

Building that is being proposed is a storage garage for vehicles. Parking for vehicles.

This garage is only a single storey unit. the height at the peak of the garage is 14'-9", width is 17'-3", depth is 25'-5".

lot coverage for garage is 40.81 m².

G2.

This garage will not have any dwelling in it.

along Basil on south side of driveway there is multiple utilities that may pose a conflict with the garage. There is a hydro line and a gas line with the metre on the west corner of the home. The garage would of been right in front of this gas metre.

along the west side of the property

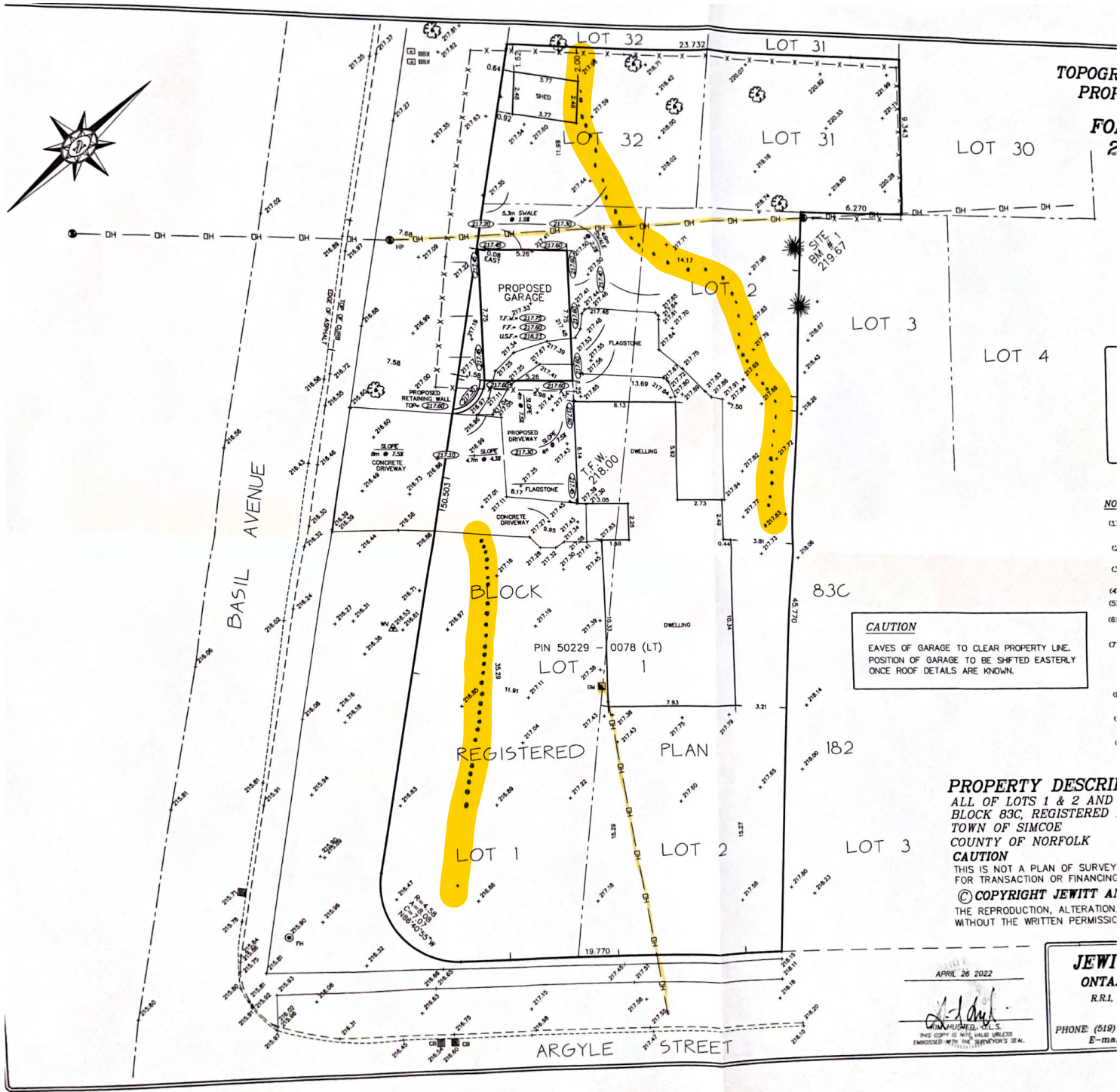
G12.

The grade of the property drops down from 217.39 to 216.27. So almost a 1m difference in elevation, concerns are that this would have grading issues. If we plan to put the garage along the west side of the home we would still conflict with the 6m setback.

If we looked to put the garage on the front portion of the home on south east corner of the land, this would create another driveway off of Argyle. and on the south east corner of the property that would conflict with the utilities coming to the home.

There is a large hill in the back yard, The elevation change from North east corner to proposed garage has a difference of 221.99 to 217.40 which is a difference of 4.59m.

If we built in the hill we would need to safely share our neighbors property.



TOPOGRAPHIC
PROFILE

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PROPERTY DESCRIPTION
ALL OF LOTS 1 & 2 AND
BLOCK 83C, REGISTERED
TOWN OF SIMCOE
COUNTY OF NORFOLK

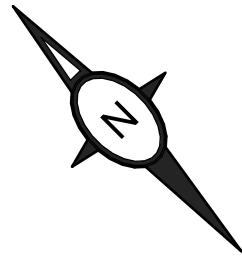
CAUTION
THIS IS NOT A PLAN OF SURVEY
FOR TRANSACTION OR FINANCING
© COPYRIGHT JEWITT & ASSOCIATES
THE REPRODUCTION, ALTERATION,
WITHOUT THE WRITTEN PERMISSION

APRIL 26 2022

JEWITT & ASSOCIATES
INCORPORATED
REGISTERED PROFESSIONAL SURVEYORS
EMBOSSING WITH THE SURVEYOR'S SEAL

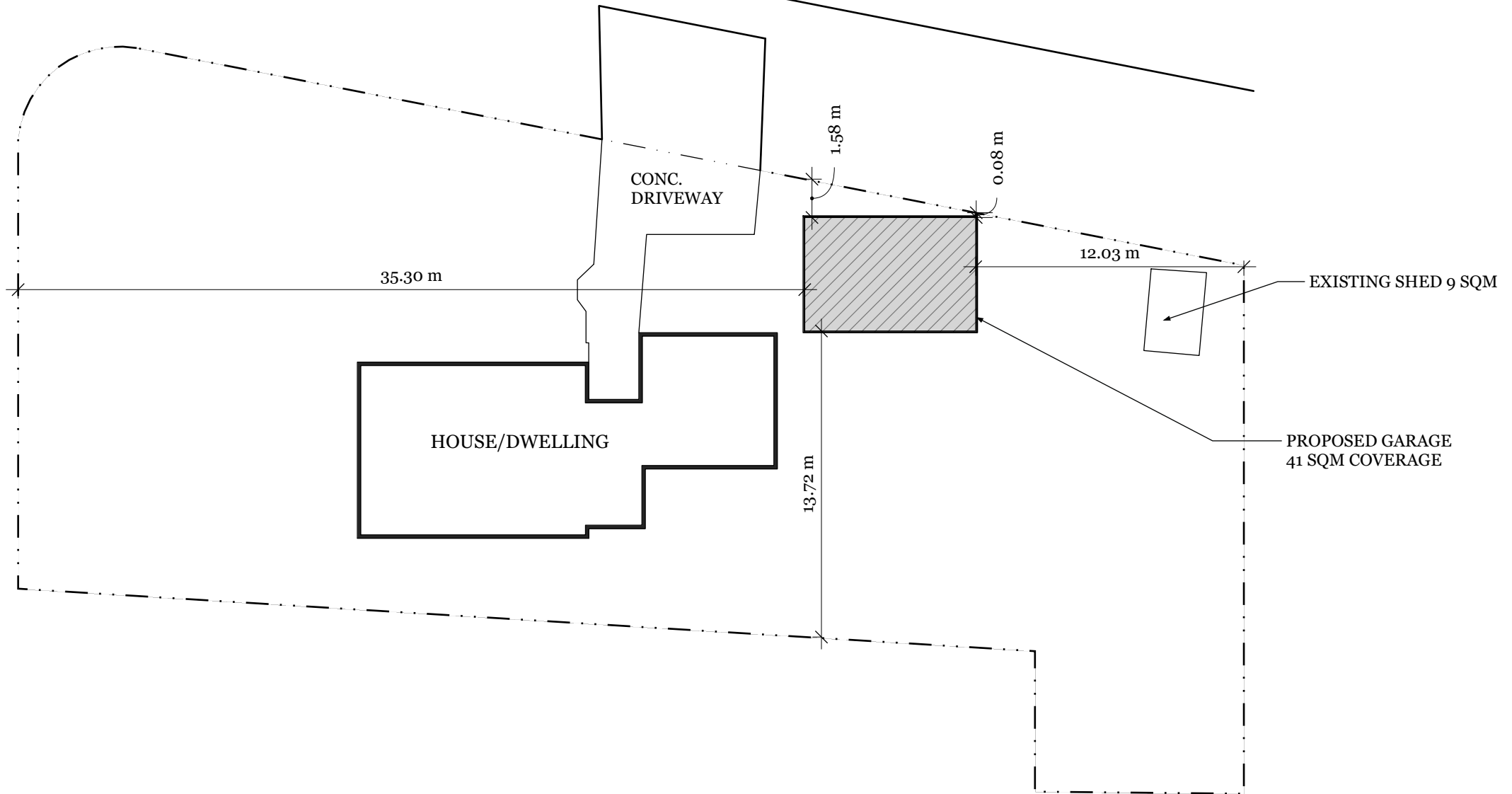
JEWITT
ONTARIO
R.R.1.

PHONE (519)
E-mail



ARGYLE ST

BASIL AVE



SITE PLAN

P

Scale: 1" = 20'(1:240)

01

Owner: Jessie Grummett

Address: 201 Argyle St., Simcoe

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN:



REVISIONS

	DD/MM/YY	REMARKS
1	07/03/22	Issued For Permit
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GENERAL NOTES:

- CONTRACTOR/INSTALLER TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPENCIES
- DRAWINGS TO BE READ AND NOT SCALED
- ALL DESIGN, CONSTRUCTION AND MATERIALS TO CONFORM TO O.B.C. REQUIREMENTS AND LOCAL BY-LAWS
- ROOF TRUSSES DESIGNED & SUPPLIED BY TRUSS MANUFACTURER
- THE ATTACHED SET OF DRAWINGS SHOULD BE USED FOR THIS PROJECT ONLY
- THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY BRACING AND SHORING REQUIRED

FOUNDATION WALL & FOOTINGS:

- ALL CONCRETE WORK TO CONFORM TO CSA STANDARDS
- FOOTING MUST REST ON UNDISTURBED SOIL OR ENGINEERED FILL WITH A MIN. BEARING CAPACITY OF 75 kPa
- POURED CONCRETE FOOTING AS INDICATED ON THE FOUNDATION PLANS
- CONTRACTOR TO ENSURE ALL FOUNDATION WALLS HAVE SUFFICIENT LATERAL SUPPORT AT BOTH TOP & BOTTOM AS PER 9.15.4.3. & 9.15.4.4
- ALL TOPSOIL & LOOSE FILL SHALL BE REMOVED FROM BUILDING AREA
- BOTTOM OF EXCAVATED AREAS SHALL BE KEPT FREE OF STANDING WATER & PROTECTED FROM FREEZING
- ALL CONCRETE FOUNDATION WALLS MUST BE MIN. 8" THICK
- SILL PLATES MUST BE ANCHORED TO FOUNDATION WALL WITH 1/2" DIA. ANCHOR BOLTS
- ALL STRIP FOOTINGS TO BE 16" WIDE & 6" DEEP
- APPROVED GRANULAR FILL UNDER FOOTINGS & FLOOR SLABS SHALL BE COMPACTED IN 8" LAYERS TO 98% STANDARD PROCTOR MAX. DRY DENSITY
- ALL EXTERIOR FOOTINGS SHALL BE MIN. 48" BELOW ADJACENT FINISHED GRADE LEVEL
- REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MIN. YIELD STRENGTH OF 841.2 MPa
- THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:

32 MPa FOR GARAGE FLOOR

WOOD FRAMING NOTES:

- ALL LUMBER TO BE NO.1/NO.2 GRADE OR BETTER
- ALL WOOD FRAME CONSTRUCTION TO BE ACCORDING TO O.B.C., 9.23
- ALL MATERIALS MUST CONFORM TO O.B.C., 9.3.2
- FRAMING TO BE BRIDGED/BLOCKED AS NOTED
- ALL FASTENERS OR STEEL CONNECTORS USED FOR PRESSURE TREATED WOOD TO BE TREATED FOR EXTERIOR CONDITIONS AND PRESERVATIVE CORROSION ACCORDINGLY
- PER-ENGINEERED ROOF TRUSS SYSTEMS MUST BE DESIGNED IN ACCORANCE WITH SECTION 9.23.13.11 ALL UPLIFT CONNECTIONS TO BE PROVIDED BY THE TRUSS DESIGNER
- ROOF SHEATHING TO CONFORM TO O.B.C., 9.23.15

DOORS & WINDOWS:

- ALL EXTERIOR DOORS SHALL CONFORM TO O.B.C. SUBSECTION 9.6.5. & BE PROVIDED WITH APPROVED WEATHERSTRIPPING & DOUBLE GLAZING FOR SLIDING GLASS DOORS
- ALL WINDOW INSTALLATIONS SHALL CONFORM TO O.B.C. 9.7.
- WINDOW PERFORMANCE - MUST HAVE PERFORMANCE OF U-VALUE OF USI 1.8 (U-0.32) OR BETTER. EQUAL ENERGY (ER) REQUIREMENT IS 21.

DAMPROOFING:

- 6 MIL POLYETHELENE FILM, OR OTHER DAMPROOFING MATERIAL SHALL BE PROVIDED BETWEEN ALL WOOD FRAMING MEMBERS NOT PRESSURE TREATED WHICH ARE SUPPORTED ON CONCRETE OR MASONRY IN CONTACT WITH THE GROUND
- NO SUCH DAMPROOFING IS REQUIRED WHERE THE WOOD IS AT LEAST 6" ABOVE THE GROUND



VAPOUR BARRIER:

- PROVIDE CONTINUOUS VAPOUR BARRIER - 6 MIL POLYETHELENE SHEET APPLIED TO THE WARM SIDE OF INSTALLED ASSEMBLIES.
- LAP & SEAL TO SOLID BACKING SURFACES SUCH AS SLAB, STUDS & FLOORING
- OVERLAP JOINTS & SEAL AT SOLID BACKINGS. RETURN MEMBRANE AT WINDOW & DOOR JAMBS, HEADS & SILLS AS REQUIRED
- SEAL MEMBRANE AT ELECTRICAL BOXES, WIRING, PLUMBING INSTALLATIONS, VENT DUCTS & WALL INTERSECTIONS

AIR BARRIER:

- MAINTAIN TYVEK AIR BARRIER CONTINUITY AT THE EXTERIOR BUILDING ENVELOPE
- INTERIOR DRYWALL ON THE EXTERIOR WALL ASSEMBLY MUST BE EFFECTIVELY & CONTINUOUSLY SEALED AT THE CEILING & AT PERIMETER EDGES & OPENINGS
- ALL ELECTRICAL OUTLETS IN THE EXTERIOR WALLS SHALL BE SEALED
- SEAL PERIMETER OF EXTERIOR OF WINDOW & DOOR FRAMES BY FOAMED-IN-PLACE AIR SEALANT IN THE ROUGH OPENING AIR SPACE CAVITY TO CREATE AN EFFECTIVE AIR BARRIER.

GENERAL NOTES/ CODE REFERENCES

Owner: Jessie Grummett	I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.		REVISIONS		01
			DD/MM/YY	REMARKS	
Address: 201 Arqyle St., Simcoe	Individual BCIN: 		1	07/03/22	Issued For Permit
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EAVE PROTECTION/ FLASHING:

- EAVE PROTECTION TO BE LAID BENEATH THE STARTER STRIP & CONSISTS OF SELF-SEALING COMPOSITE MEMBRANE OF POLYETHELENE & BITUMINOUS MATERIAL
- PROVIDE ADEQUATE FLASHING SYSTEMS TO PREVENT LEAKAGE UNDER ALL CONDITIONS

INSULATION:

- INSULATION SHALL CONFORM TO 2012 O.B.C. COMPLIANCE PACKAGE, SUBSECTION 9.25.2. WITH THERMAL RESISTING VALUES AS PER TABLE 12.3.2.1.

BAFFLE BOARD:

- PROVIDE BAFFLE BOARD AT EAVE TO PREVENT THE ROOF INSULATION FROM RESTRICTING AIR FLOW THROUGH VENTS OR VENTED SOFFIT

FASCIA, SOFFIT AND EAVES TROUGH:

- PROVIDE PREFINISHED ALUMINUM GUTTERS WITH RAINWATER LEADERS
- PROVIDE PREFINISHED ALUMINUM VENTED SOFFIT & PREFINISHED ALUMINUM FASCIA.


SEALANTS:

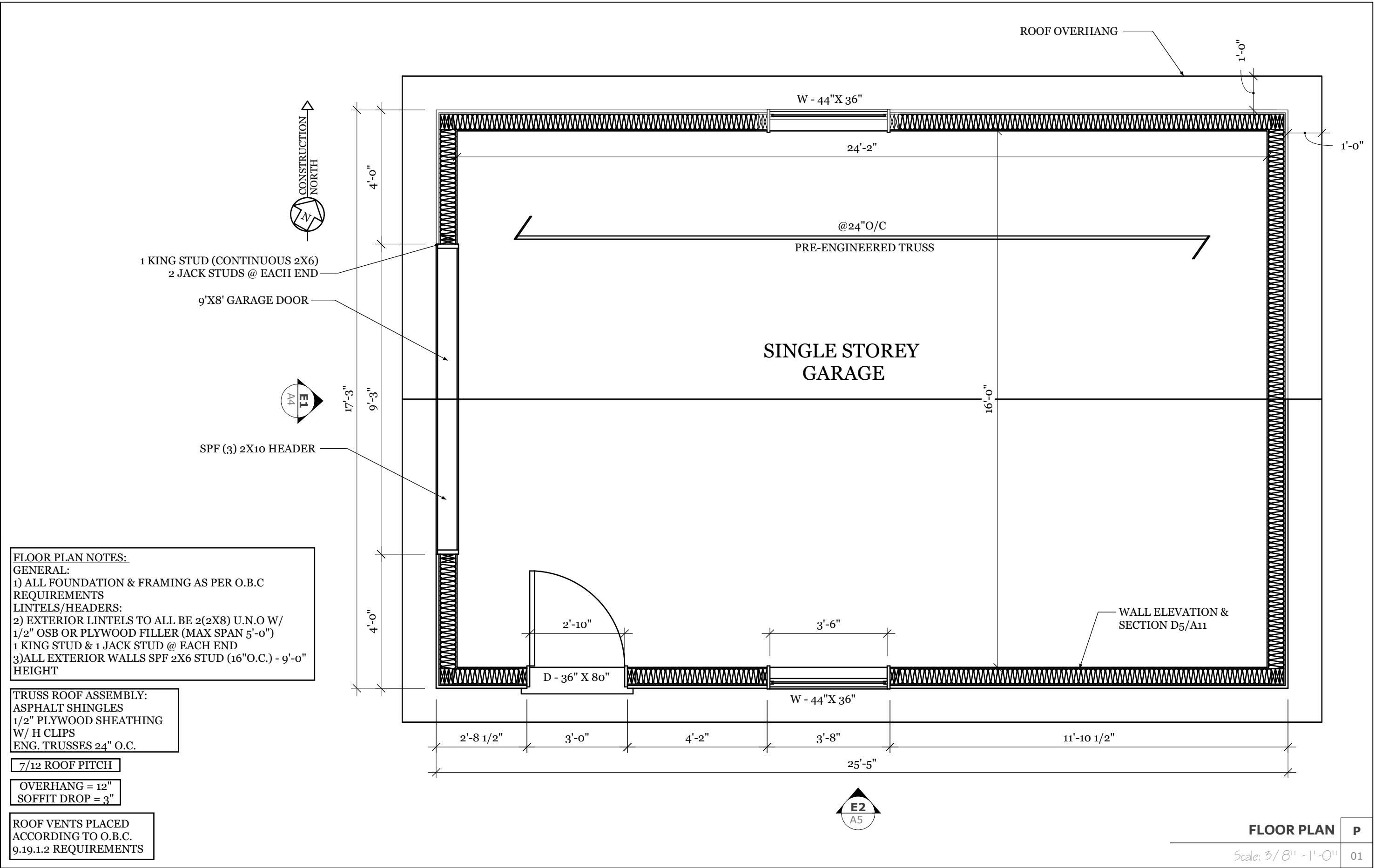
- CAULKING TO BE PROVIDED FOR ALL EXTERIOR DOORS & WINDOWS BETWEEN RESPECTIVE FRAMES OR TRIMS
- CAULK ALL FINISHED JOINTS & LOCATIONS WHERE WATER COULD PENETRATE THE BUILDING
- SEAL FLOOR & WALL PENETRATIONS
- PROVIDE AIR/VAPOUR SEAL FOR BOXES OR GASKETS AT ELECTRICAL OUTLETS IN EXTERIOR WALLS & CEILINGS

SCOPE OF WORK

- DESIGN OF PROPOSED GARAGE ACCORDING TO O.B.C REQUIREMENTS
- NOTIFY DESIGNER OF ANY DISCREPANCIES FROM DRAWING SET FOR ADDITIONAL REVIEW

GENERAL NOTES/ CODE REFERENCES

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Owner: Jessie Grummett

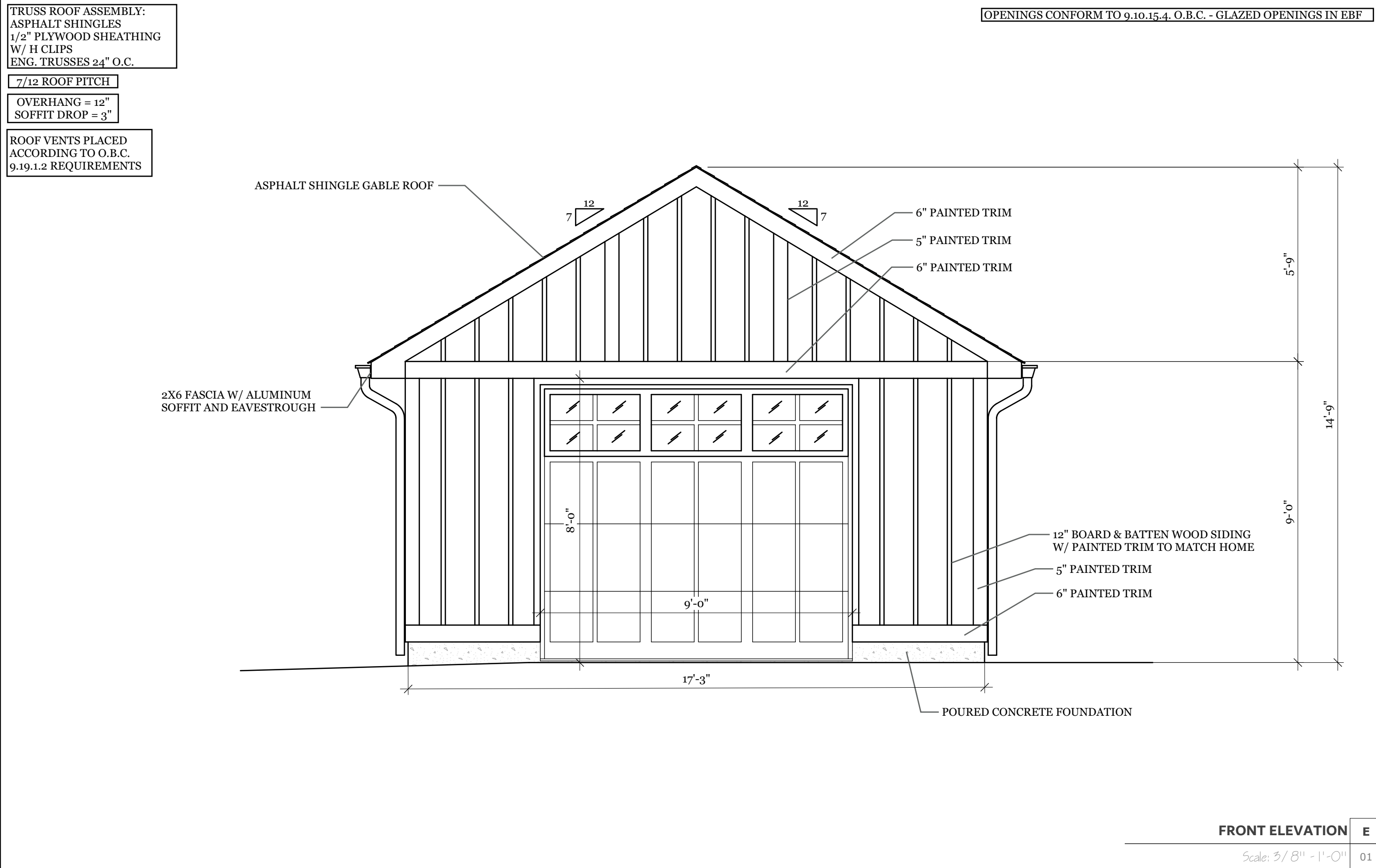
Address: 201 Arqyle St., Simcoe

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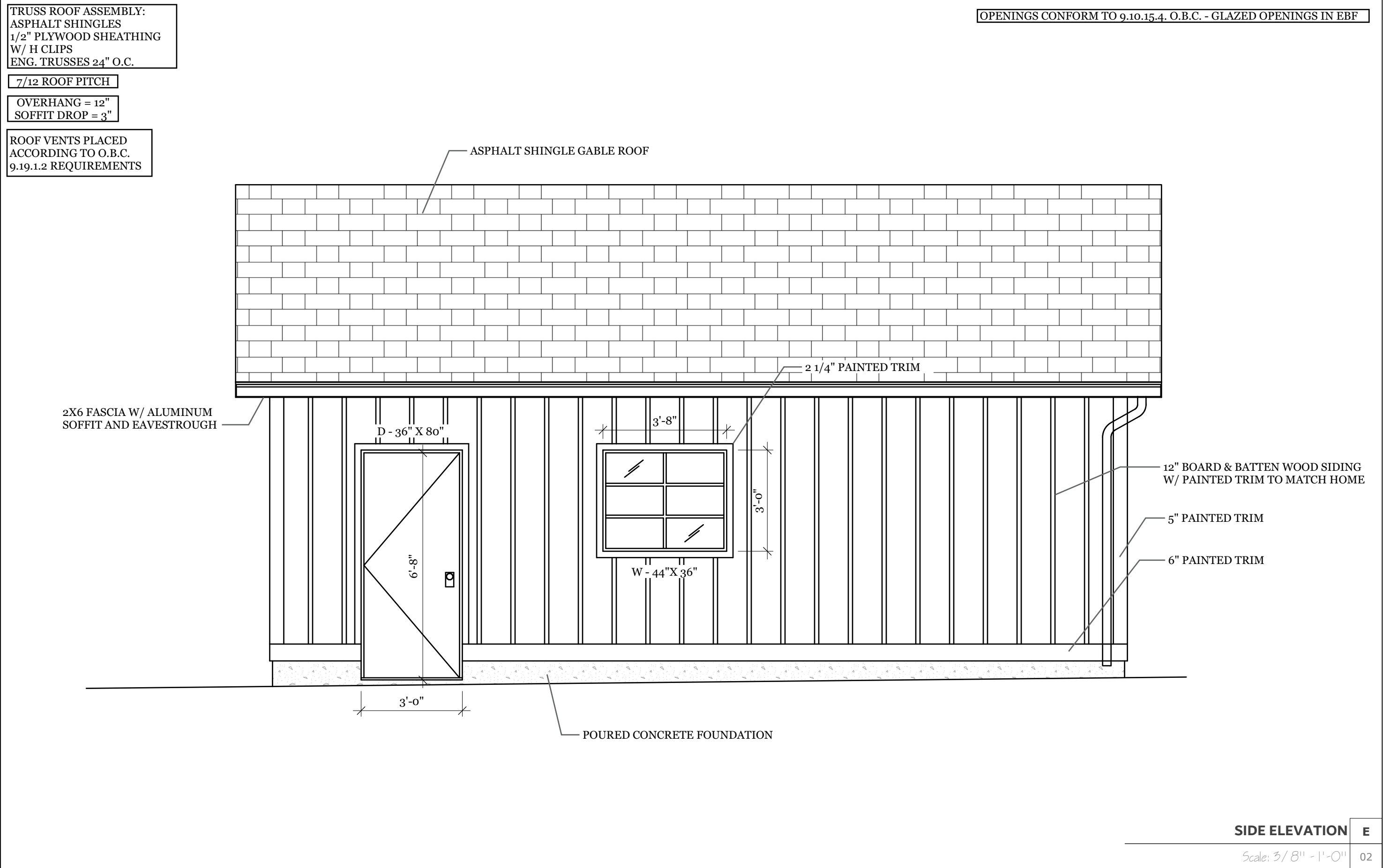
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Owner: Jessie Grummett	I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.	<div><div></div><div>designs & carpentry</div><div>Delleman</div></div>	REVISIONS		04
			DD/MM/YY	REMARKS	
Address: 201 Arqyle St., Simcoe	Individual BCIN:		1	07/03/22	Issued For Permit
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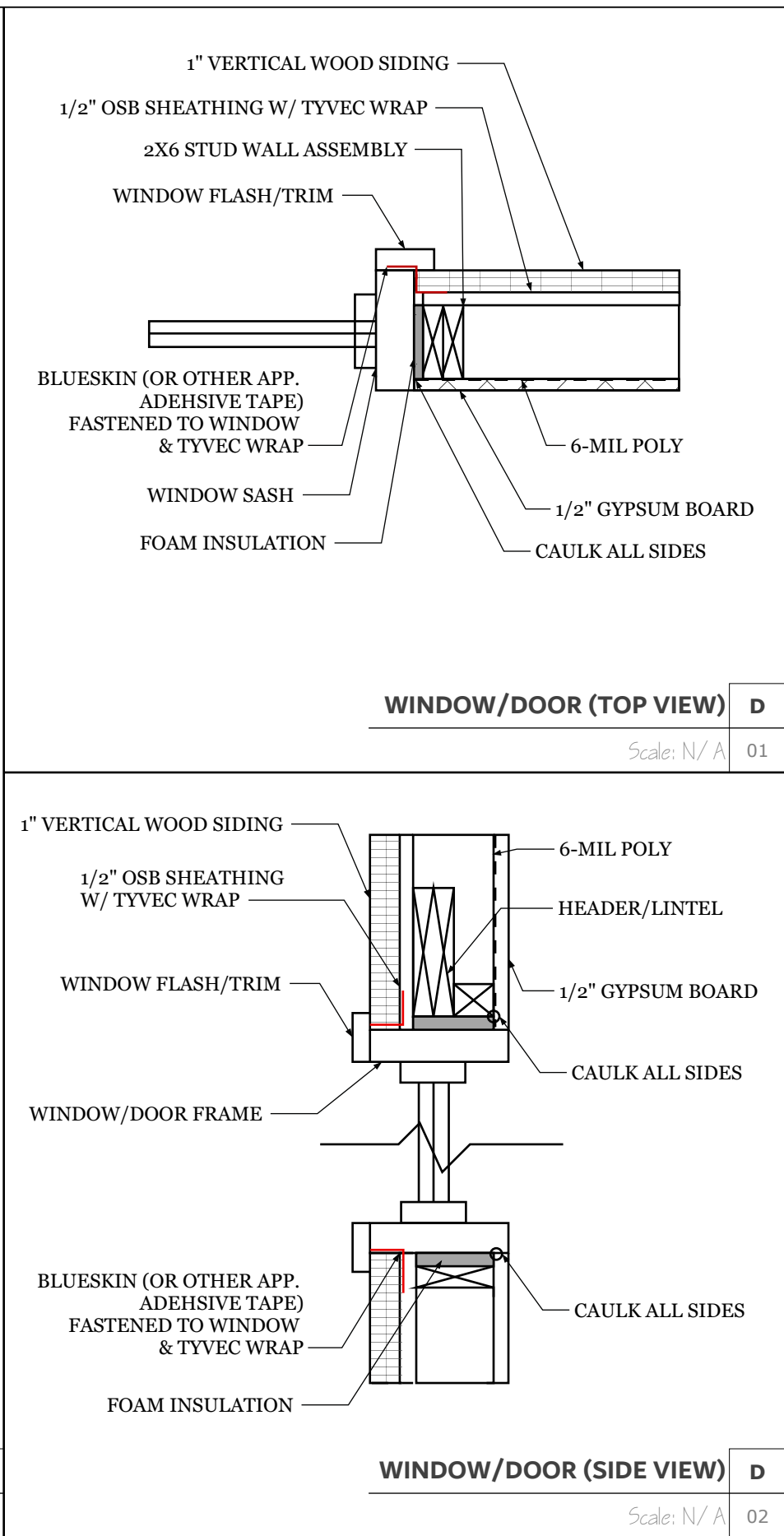
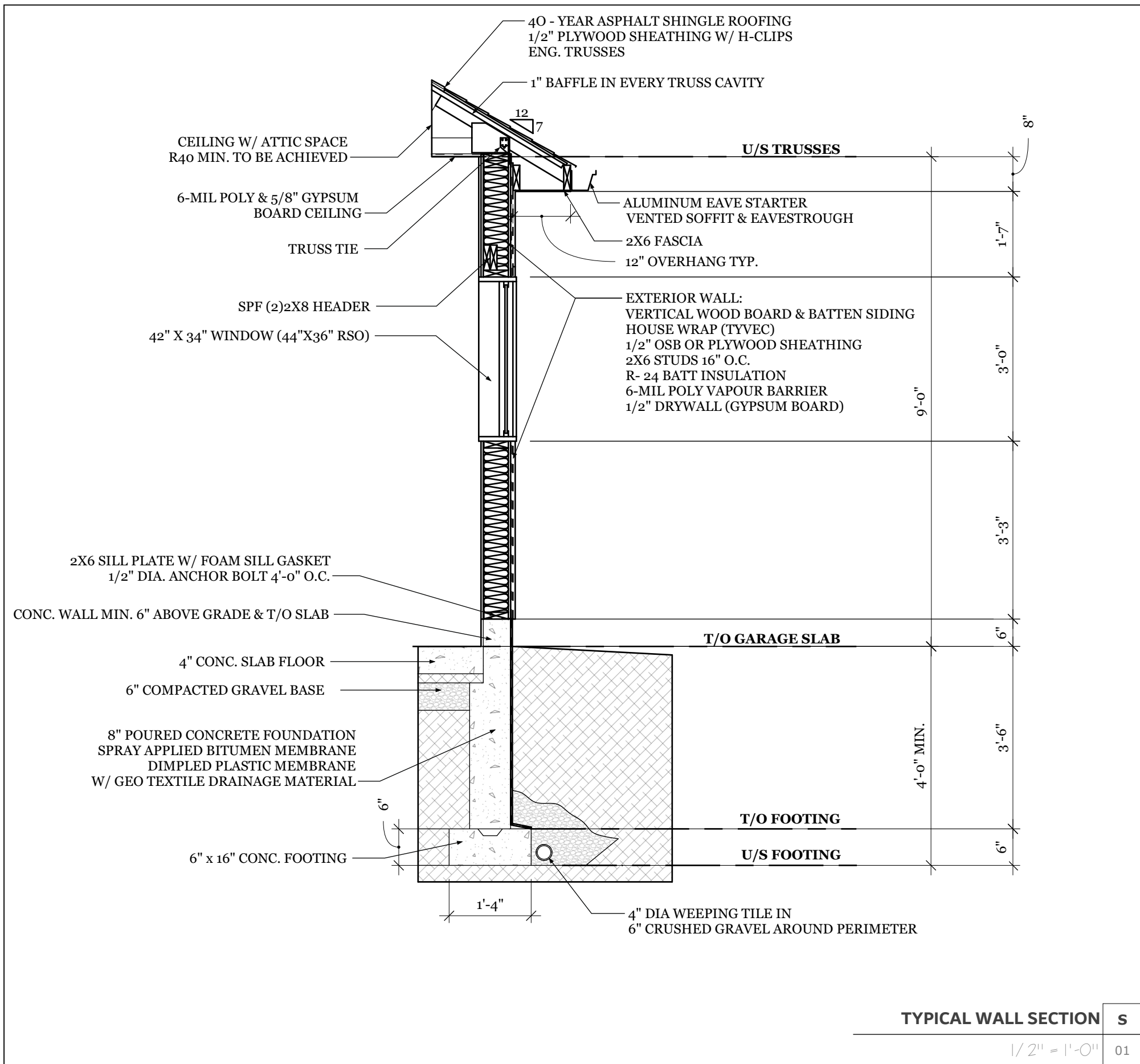
SIDE ELEVATION

E

Scale: 3/8" = 1'-0"

02

Owner: Jessie Grummett	I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.	<div><div></div><div>designs & carpentry</div><div>Delleman</div></div>	REVISIONS		05
			DD/MM/YY	REMARKS	
Address: 201 Arqyle St., Simcoe	Individual BCIN:		1	07/03/22	Issued For Permit
			2	--/--/--	...
			3	--/--/--	...
			4	--/--/--	...
			5	--/--/--	...



Owner: Jessie Grummett

Address: 201 Arqyle St., Simcoe

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

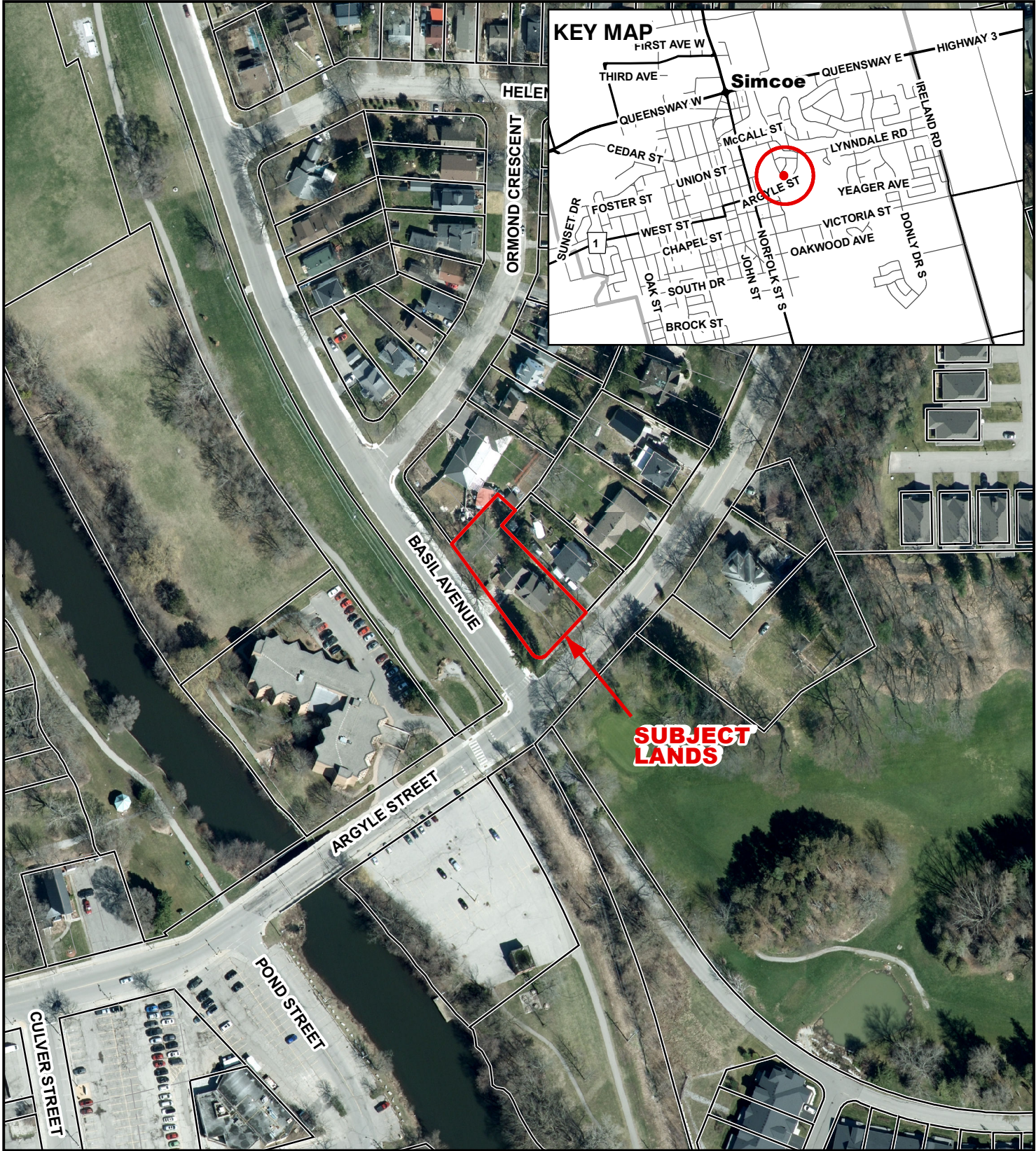
Individual BCIN:




REVISIONS		
DD/MM/YY	REMARKS	
1 07/03/22	Issued For Permit	
2 --/--/--	...	
3 --/--/--	...	
4 --/--/--	...	
5 --/--/--	...	

06

A

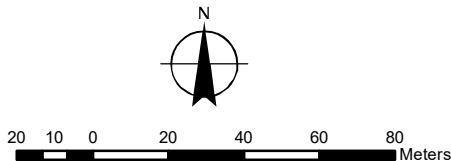


Legend

 Subject Lands

2020 Air Photo

7/28/2022

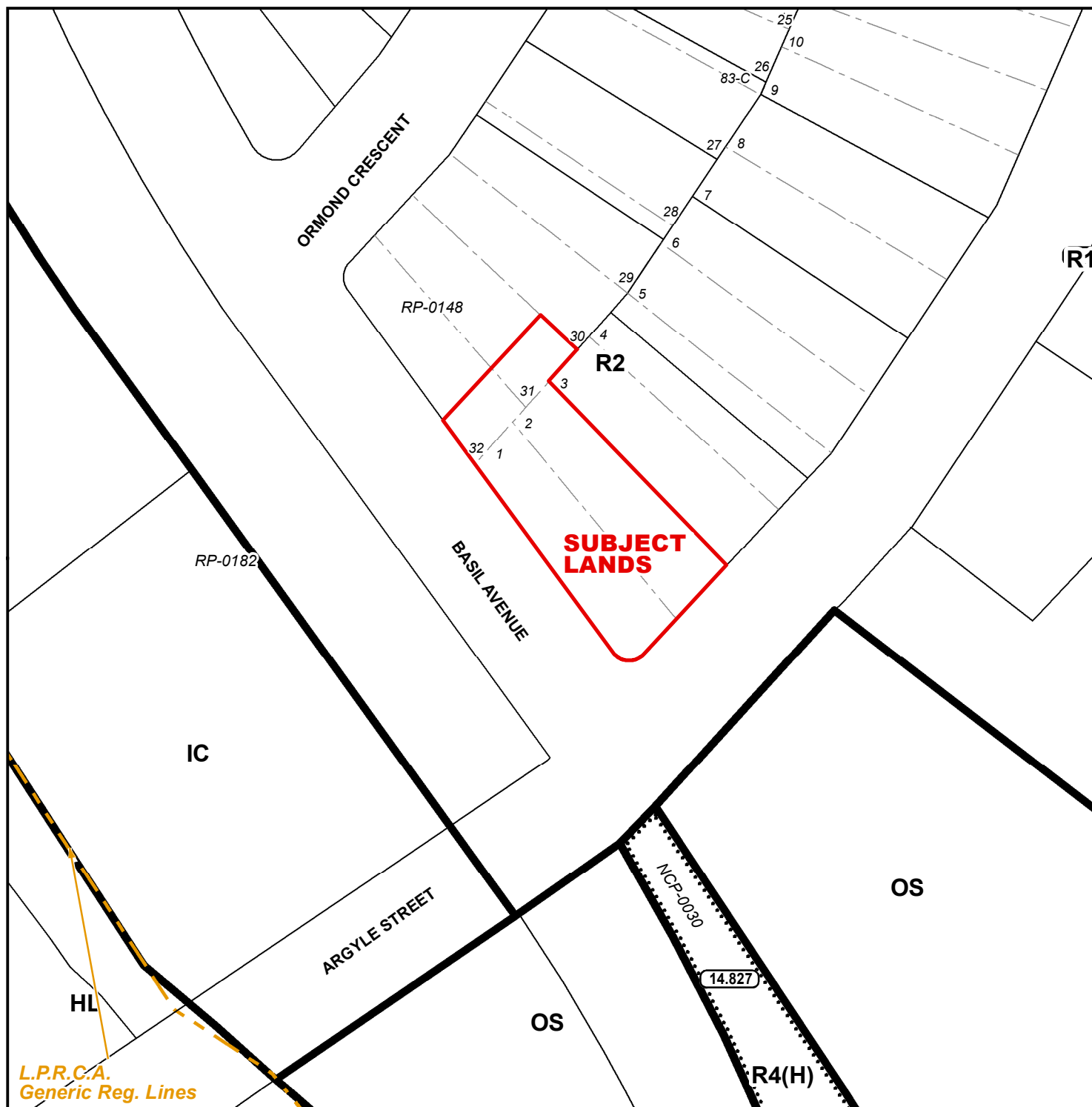


MAP B

ZONING BY-LAW MAP

Urban Area of SIMCOE

ANPL2022215



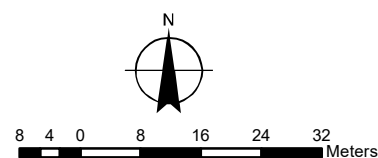
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

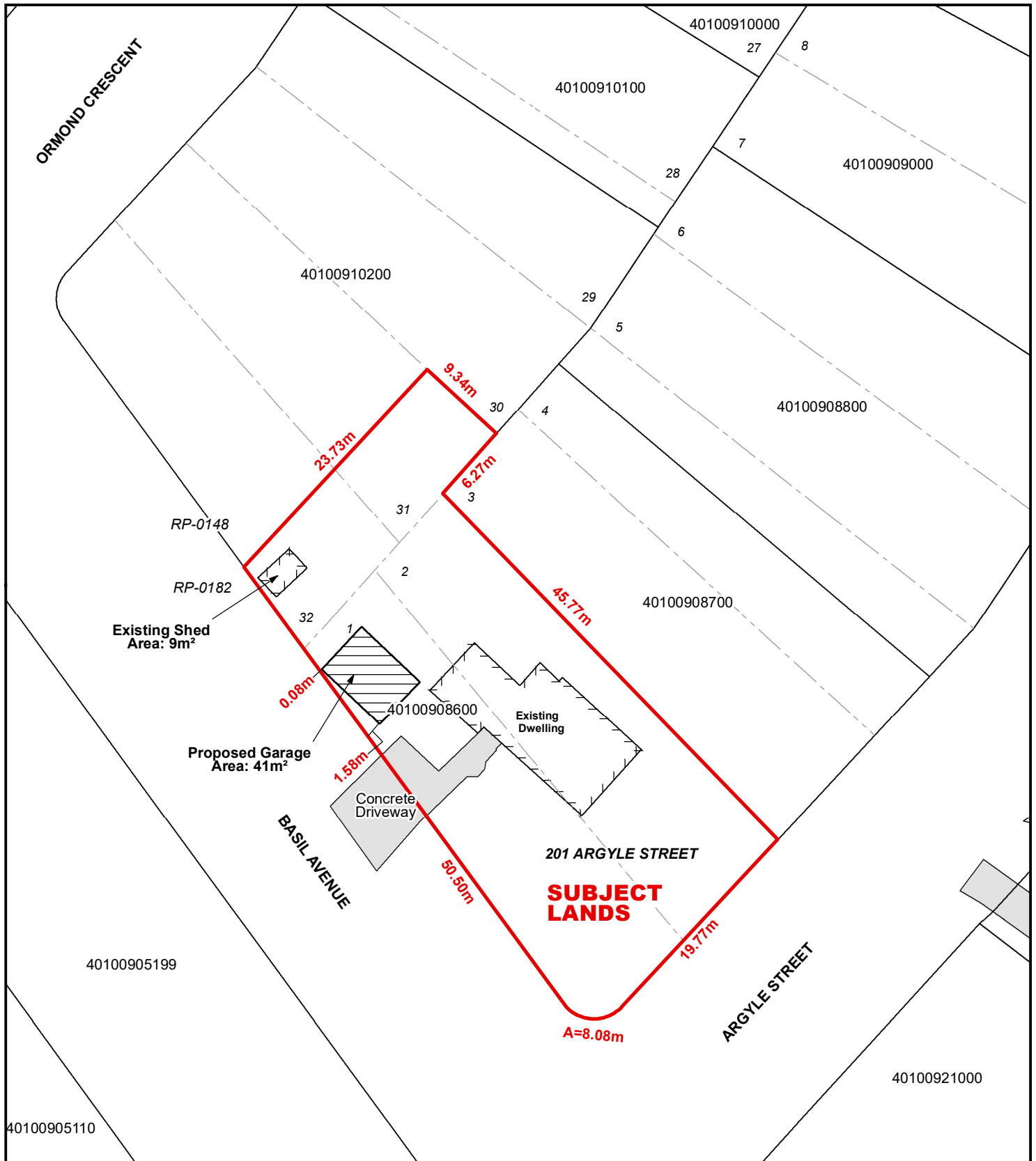
7/28/2022

- (H) - Holding
- IC - Community Institutional Zone
- HL - Hazard Land Zone
- OS - Open Space Zone
- R1-A - Residential R1-A Zone
- R2 - Residential R2 Zone
- R4 - Residential R4 Zone



CONCEPTUAL PLAN

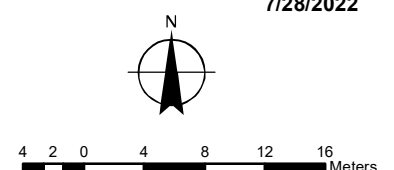
Urban Area of SIMCOE



Legend

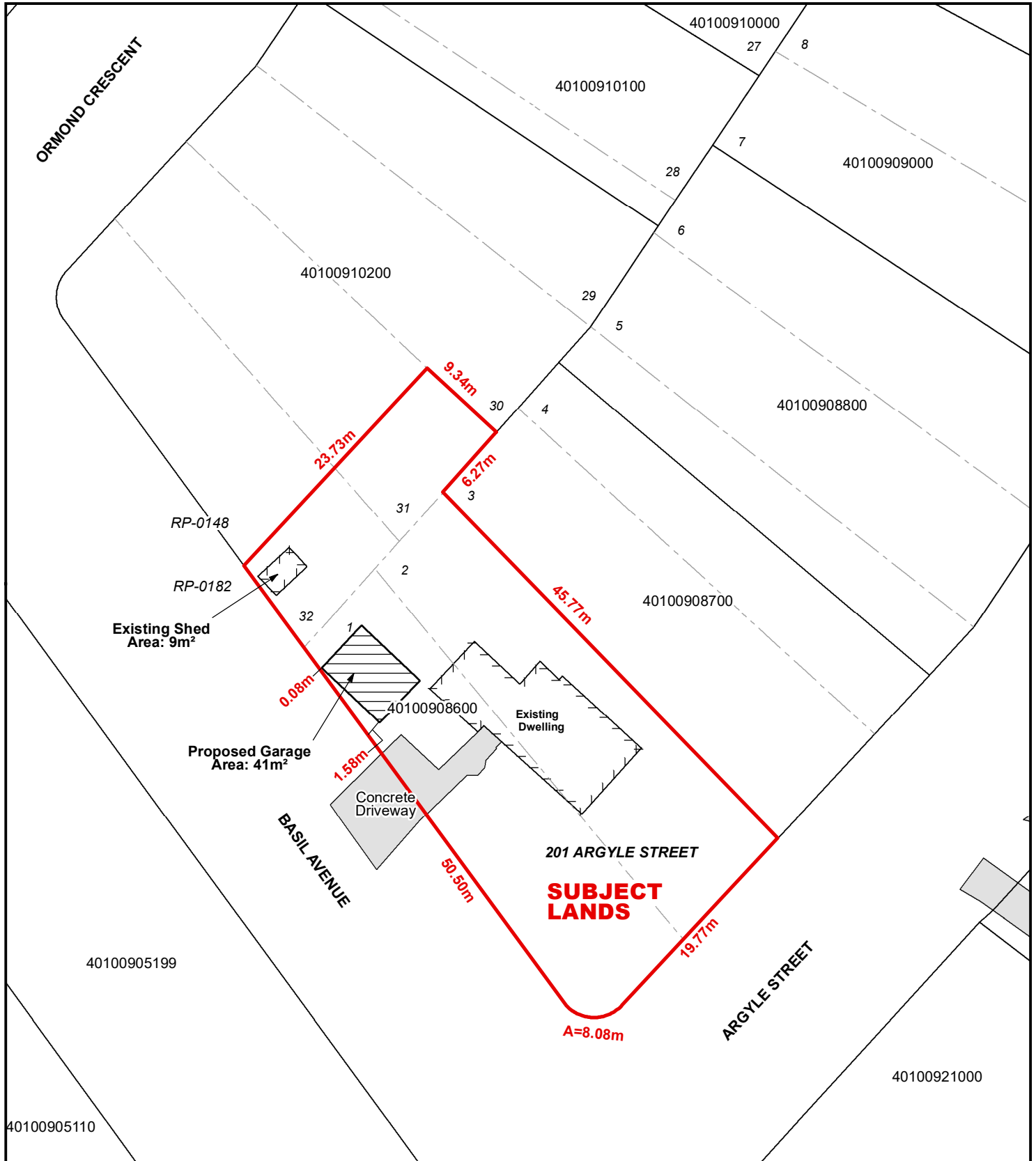
Subject Lands

7/28/2022



CONCEPTUAL PLAN

Urban Area of SIMCOE



Legend

Subject Lands

7/28/2022

