

**For Office Use Only:**File Number ANPL2022216

Related File Number \_\_\_\_\_

Pre-consultation Meeting \_\_\_\_\_

Application Submitted Resub. Feb. 17, 2023Complete Application February 22, 2023

Application Fee

Conservation Authority Fee

Well &amp; Septic Info Provided

Planner

Public Notice Sign \_\_\_\_\_

\$1599 - paid previously

N/AYesHanne Yager**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** \_\_\_\_\_**A. Applicant Information****Name of Owner** Bill Campbell

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 19 Goff St.Town and Postal Code Sincere N3Y4K1 N3Y1R4Phone Number 519 426 4647

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Applicant** Brent CampbellAddress 2 Dawson CourtTown and Postal Code Sincere ON N3Y4K1

Phone Number \_\_\_\_\_

Cell Number 226 567 3333Email Brentcampbell13@hotmail.com

Name of Agent

Brent Campbell

Address

2 Dawson Court

Town and Postal Code

Sincere ON N3Y4K1

Phone Number

\_\_\_\_\_

Cell Number

226 567 3333

Email

Brentcampbell13@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: 2 Dawson Court Sincere

Present Official Plan Designation(s): \_\_\_\_\_

Present Zoning: Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

- Attached

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

- bedrooms, theater, garage, gym.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

- Attached

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

30 years

9. Existing use of abutting properties:

residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:





### C. Purpose of Development Application

Note: Please complete all that apply.

#### 1. Site Information

##### Existing

##### Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

|                                 |                          |             |
|---------------------------------|--------------------------|-------------|
| Lot frontage                    | <u>23m</u>               | <u></u>     |
| Lot depth                       | <u>99.39m</u>            | <u></u>     |
| Lot width                       | <u>44.75m</u>            | <u></u>     |
| Lot area                        | <u>4313m<sup>2</sup></u> | <u></u>     |
| Lot coverage                    | <u>33%</u>               | <u>40%</u>  |
| Front yard                      | <u>25%</u>               | <u></u>     |
| Rear yard                       | <u>75%</u>               | <u></u>     |
| Left Interior side yard         | <u>13m</u>               | <u>3.7m</u> |
| Right Interior side yard        | <u>13m</u>               | <u></u>     |
| Exterior side yard (corner lot) | <u>13m</u>               | <u>3.7m</u> |

#### 2. Please outline the relief requested (assistance is available):

10m 9.3m

#### 3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

A road runs parallel to us.

#### 4. Description of land intended to be severed in metric units:

N/A

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: N/A

Description of land intended to be retained in metric units:

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

5. Description of proposed right-of-way/easement in metric units:

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: N/A

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

#### **D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown  
If yes, specify the uses (for example: gas station, or petroleum storage):
  
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
  
3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

**E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Wooded area**

☐ On the subject lands or ☒ within 500 meters – distance ~~N/A~~ 200m

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance N/A

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance N/A



## F. Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water       | <input type="checkbox"/> Communal wells         |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal sewers  | <input type="checkbox"/> Communal system        |
| <input checked="" type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |   |  |
|---|--|
| <input type="checkbox"/> Storm sewers           | <input checked="" type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |  |
- 

2. Existing or proposed access to subject lands

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road             | <input type="checkbox"/> Other (describe below) |

Name of road/street:

Hillcrest + Dawson Court

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## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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#### **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

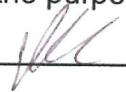
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
Owner/Applicant/Agent Signature


Feb 17/23  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Bill Campbell am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Brent Campbell to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
Owner

Feb 17 2023  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**K. Declaration**

I, Bret Campbell of Simcoe ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County Hanne Yager

Owner/Applicant/Agent Signature

In Norfolk County.

This 17<sup>th</sup> day of February

A.D., 2023

Hanne Yager

A Commissioner, etc.

Hannelore Tenley Yager, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires November 21, 2025.



**K. Declaration**

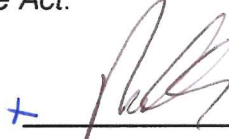
I, Brent Campbell of 2 Dawson Court, Simcoe.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

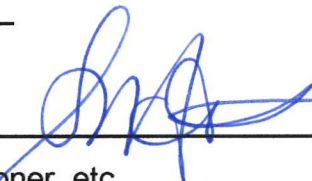
NORFOLK COUNTY

+   
Owner/Applicant/Agent Signature

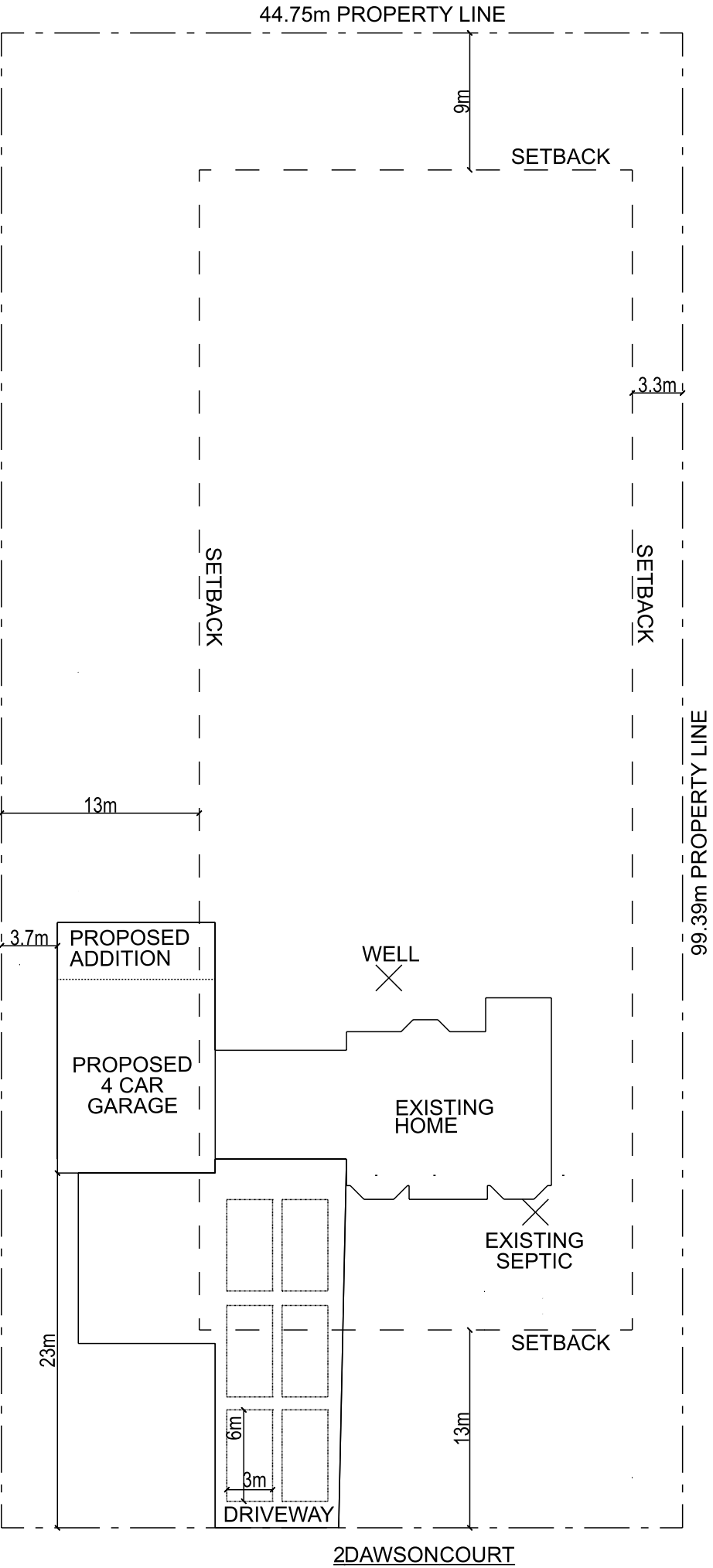
In Simcoe Ont.

This 17<sup>th</sup> day of August 2022

A.D., 20\_\_\_\_

  
A Commissioner, etc.  
Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires January 5, 2023.





BCIN QUALIFICATION

I, JENNIFER CAMARA, DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM, FIORI DESIGN INC. A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED:

PROJECT

2 DAWSON COURT  
SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED SITE  
LOCATION PLAN

STATUS:

PRELIM PLANS

DATE:

JUNE 2022

LEAD DRAFTER:

J.CAMARA

TEAM DRAFTER:

J.TEIXEIRA

SCALE:

1/32" = 1'-0"

|          |    |  |
|----------|----|--|
| REVISION | 1: |  |
|          | 2: |  |
|          | 3: |  |
|          |    |  |
|          |    |  |

PLOT DATE

January 31, 2023

5 Edinburgh Rd S,  
PUSLINCH, ON  
N1H 5N8

P: 519.829.3136  
M: 519.363.2949  
fioridesigninc.ca

SHEET

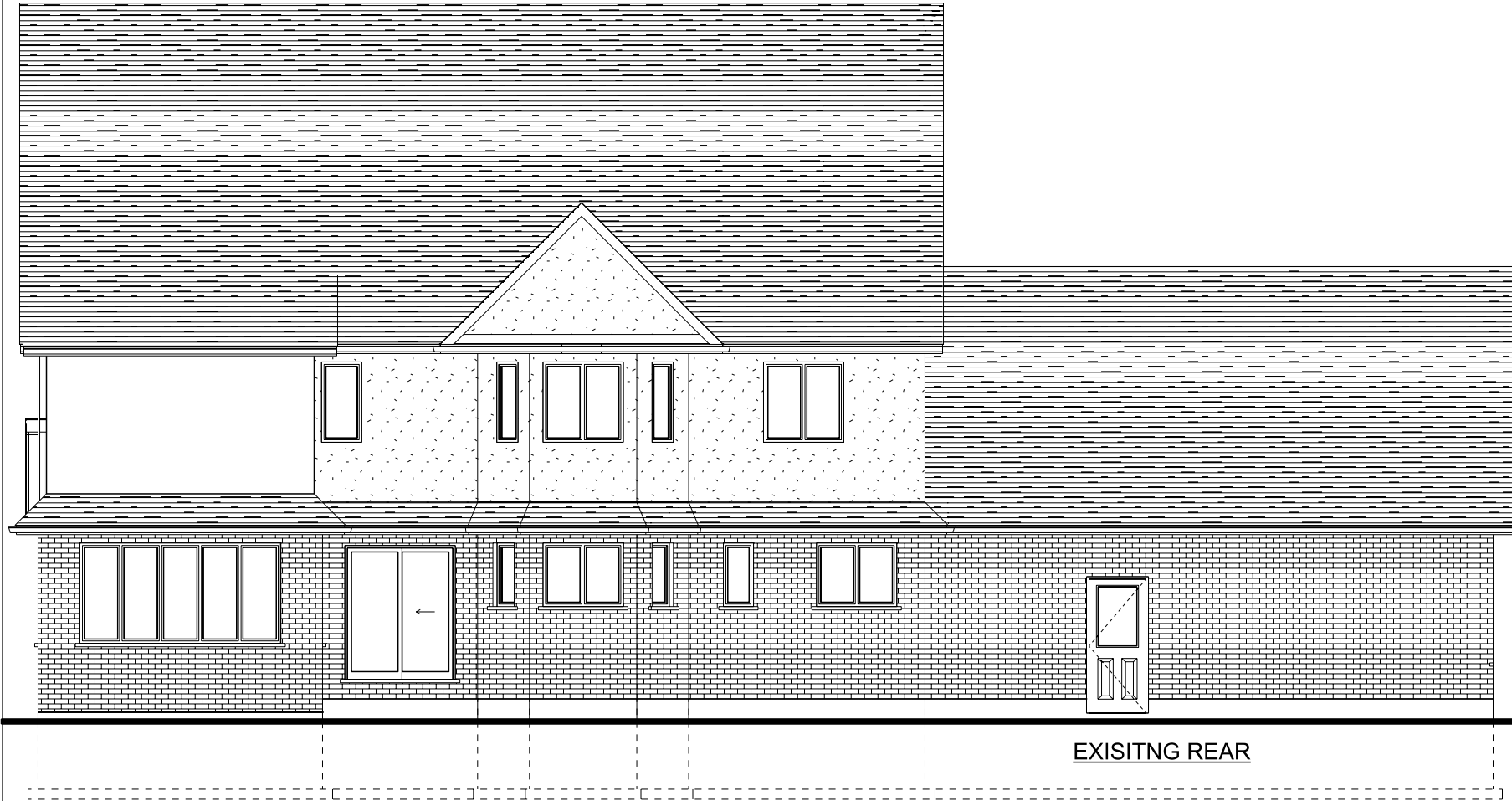
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A1

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NOTE:  
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CLASSES/CATEGORIES.

FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED: J. Camara

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

EXISTING FRONT AND  
REAR ELEVATIONS

STATUS: PERMIT PLANS

DATE: January 2023

LEAD  
DRAFTER: J.CAMARA

TEAM  
DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

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| REVISION | 1: |  |
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|          |    |  |

PLOT DATE

January 31, 2023

FIORI  
DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

P: 519.829.3136  
M: 519.363.2949  
fioridesigninc.ca

SHEET

A1

OF

18



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| SIGNED: <u>J. Camara</u>  |  |

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| PROJECT                    |
| RENOVATION                 |
| 2 DAWSON CRT               |
| SIMCOE, ONTARIO<br>N3Y 4K1 |

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| DATE:                      | January 2023  |
| LEAD<br>DRAFTER:           | J.CAMARA      |
| TEAM<br>DRAFTER:           | J.TEIXEIRA    |
| SCALE:                     | 3/16" = 1'-0" |

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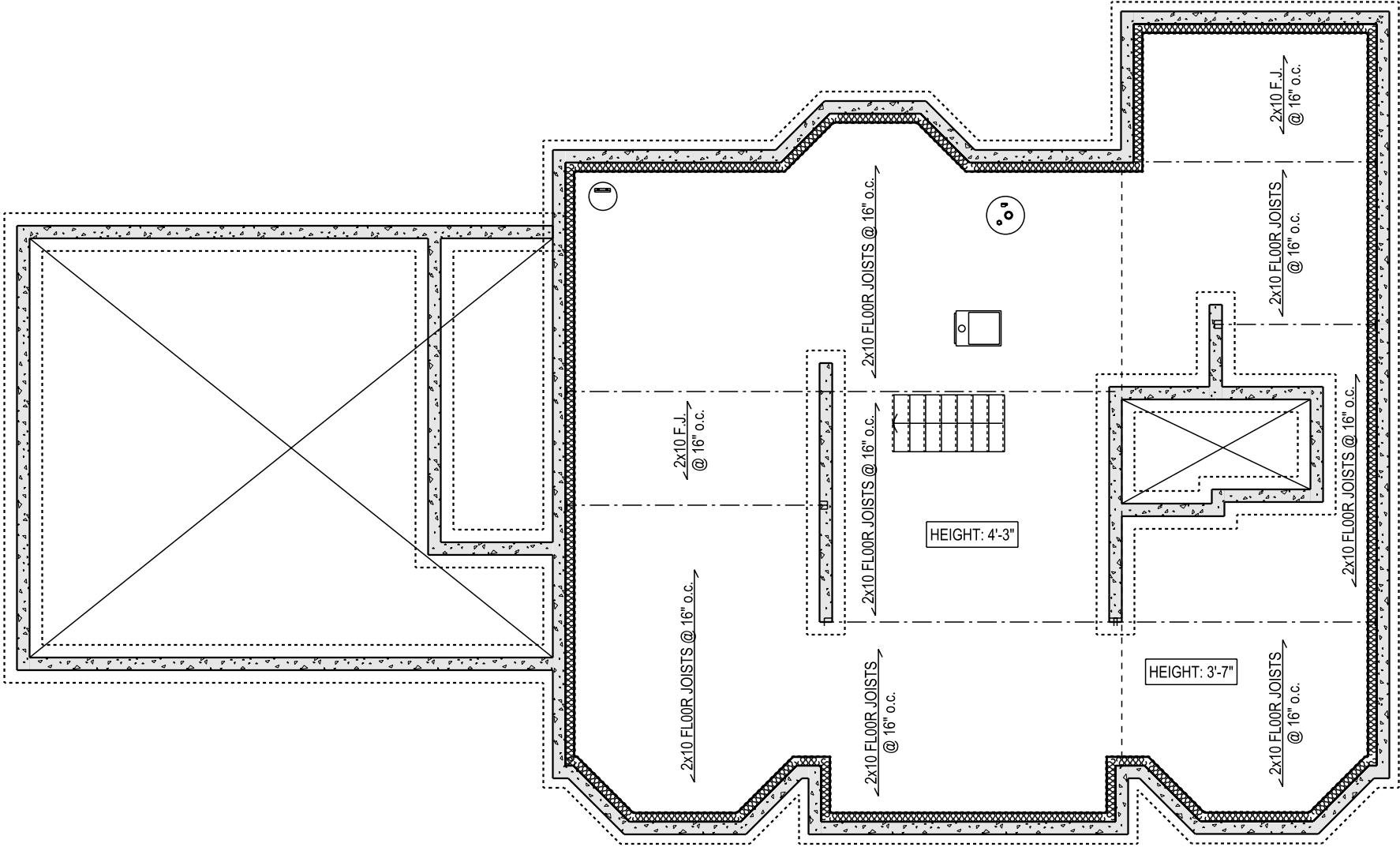
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| PLOT DATE | January 31, 2023 |
|-----------|------------------|

|   |                         |
|---|-------------------------|
|   | <b>FIORI<br/>DESIGN</b> |
| 5 Edinburgh Rd S,<br>Guelph, ON<br>N1H 5N8              |                         |
| P: 519.829.3136<br>M: 519.363.2949<br>fioridesigninc.ca |                         |

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RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

EXISTING  
FOUNDATION PLAN

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

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| REVISION | 1: |  |
|          | 2: |  |
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PLOT DATE

January 31, 2023

FIORI  
DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

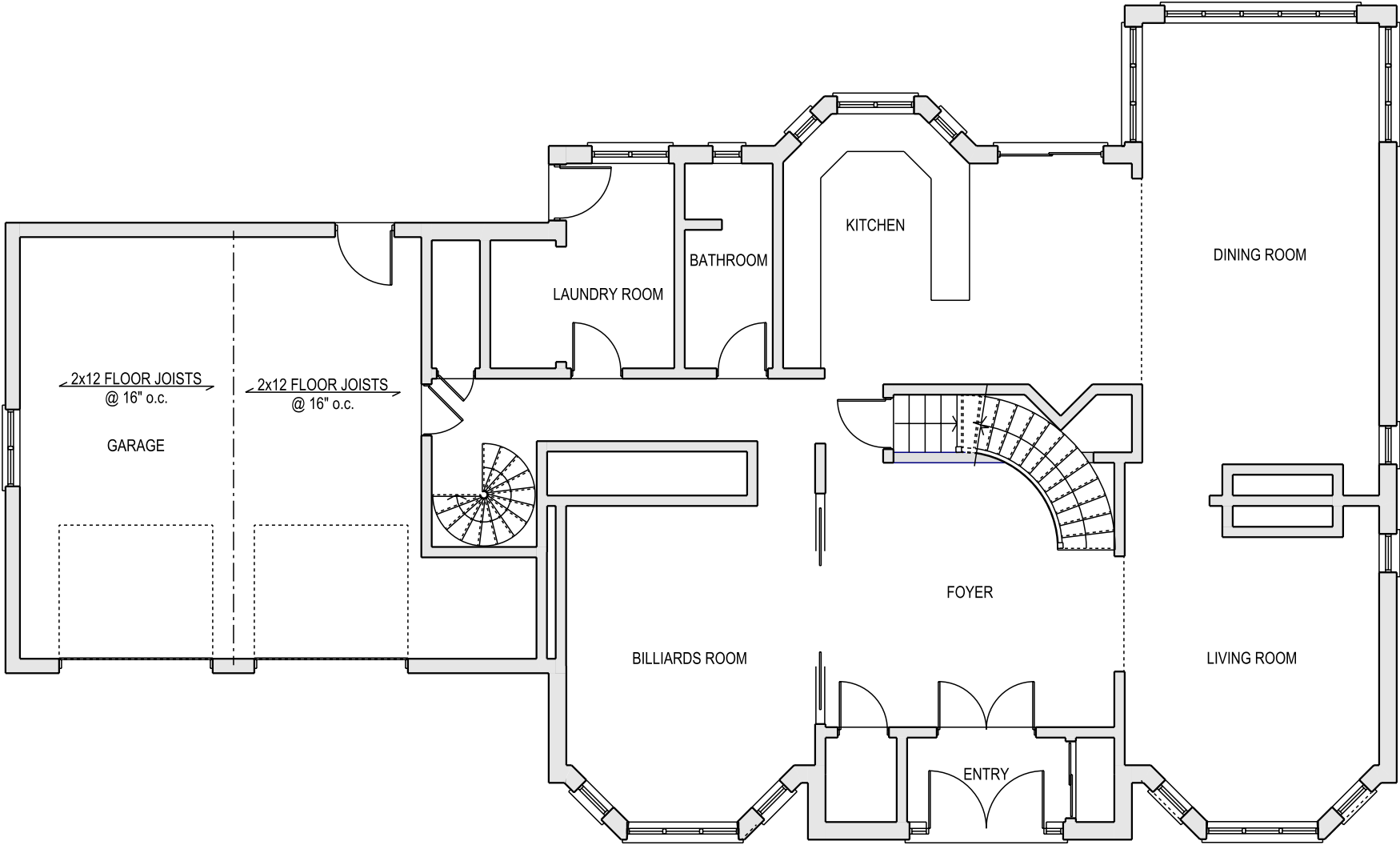
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M: 519.363.2949  
fioridesigninc.ca

SHEET OF

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2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

EXISTING MAIN  
FLOOR

STATUS: PERMIT PLANS

DATE: January 2023

LEAD  
DRAFTER: J.CAMARA

TEAM  
DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

|          |    |  |
|----------|----|--|
| REVISION | 1: |  |
|          | 2: |  |
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|          |    |  |
|          |    |  |

PLOT DATE

January 31, 2023

FIORI  
DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

P: 519.829.3136  
M: 519.363.2949  
fioridesigninc.ca

SHEET

A4

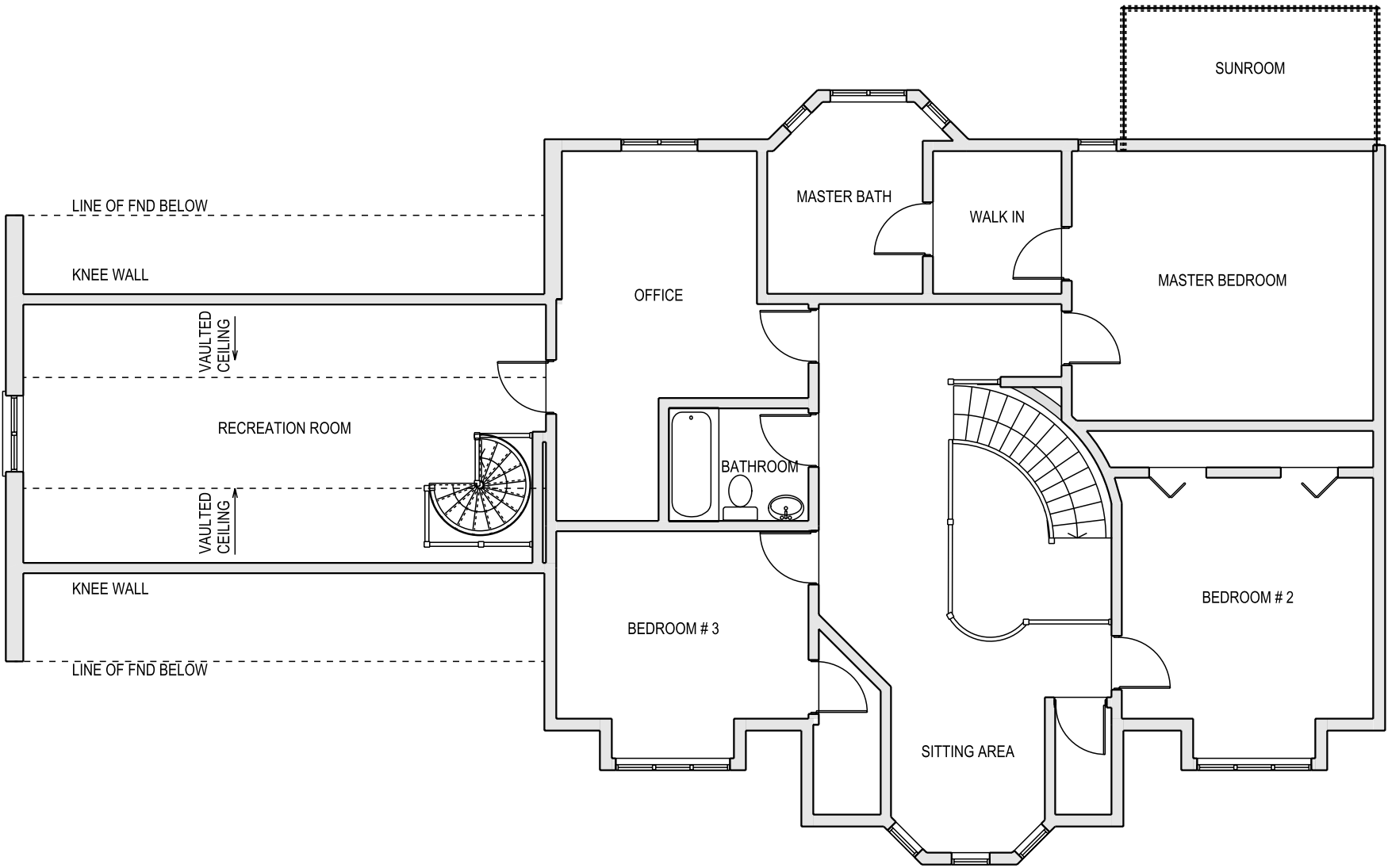
OF

18





NOTE:  
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BCIN QUALIFICATION

I, JENNIFER CAMARA DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM, FIORI DESIGN INC. A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED:

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

EXISTING SECOND  
FLOOR PLAN

STATUS:

PERMIT PLANS

DATE:

January 2023

LEAD  
DRAFTER:

J.CAMARA

TEAM  
DRAFTER:

J.TEIXEIRA

SCALE:

3/16" = 1'-0"

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| REVISION | 1: |  |
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|          |    |  |

PLOT DATE

January 31, 2023

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Guelph, ON  
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|       |    |
|-------|----|
| SHEET | OF |
| A5    | 18 |



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- C. REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
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| DEMOLITION NOTES |                                |
|------------------|--------------------------------|
| ————             | DENOTES EXISTING CONSTRUCTION  |
| -----            | DENOTES ELEMENTS TO BE REMOVED |



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FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED:

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

DEMOLITION FRONT  
AND REAR ELEVATIONS

STATUS:

PERMIT PLANS

DATE:

January 2023

LEAD  
DRAFTER:

J.CAMARA

TEAM  
DRAFTER:

J.TEIXEIRA

SCALE:

3/16" = 1'-0"

|          |    |  |
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| REVISION | 1: |  |
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|          | 3: |  |
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PLOT DATE

January 31, 2023

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| SHEET | OF |
| A6    | 18 |



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| DEMOLITION NOTES |                                |
|------------------|--------------------------------|
| ————             | DENOTES EXISTING CONSTRUCTION  |
| -----            | DENOTES ELEMENTS TO BE REMOVED |



|   |  |
|---|--|
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| FIRM BCIN: 117239<br>INDIVIDUAL BCIN: 24208   |  |
| SIGNED: <u>J. Camara</u>  |  |

|                            |
|----------------------------|
| PROJECT                    |
| RENOVATION                 |
| 2 DAWSON CRT               |
| SIMCOE, ONTARIO<br>N3Y 4K1 |

|                              |               |
|------------------------------|---------------|
| PAGE                         |               |
| DEMOLITION LEFT<br>ELEVATION |               |
| STATUS:                      | PERMIT PLANS  |
| DATE:                        | January 2023  |
| LEAD<br>DRAFTER:             | J.CAMARA      |
| TEAM<br>DRAFTER:             | J.TEIXEIRA    |
| SCALE:                       | 3/16" = 1'-0" |

|          |          |
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| REVISION | 1: _____ |
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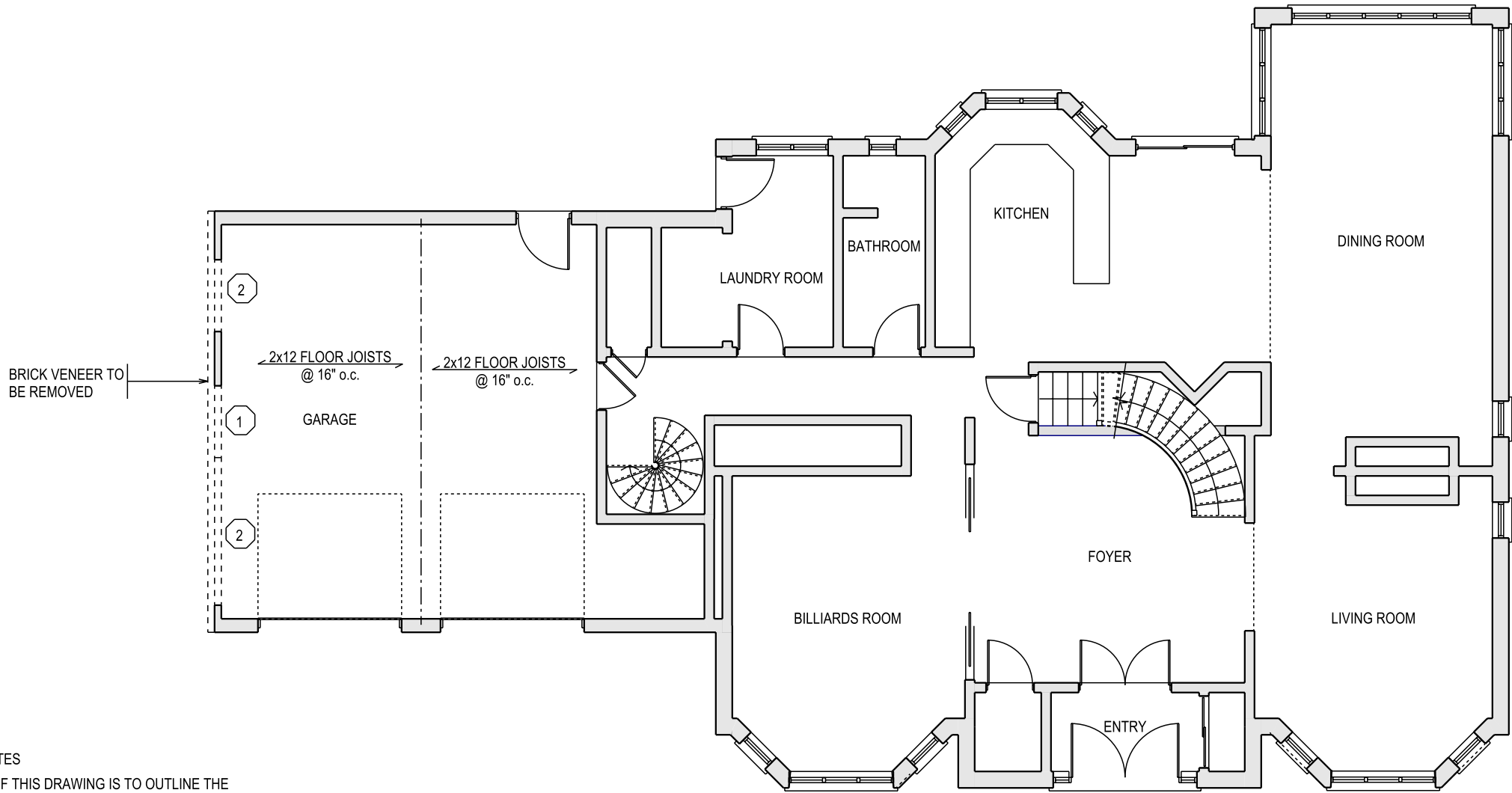
|           |                  |
|-----------|------------------|
| PLOT DATE | January 31, 2023 |
|-----------|------------------|

|   |                        |
|---|------------------------|
|   | <b>FIORI</b><br>DESIGN |
| 5 Edinburgh Rd S,<br>Guelph, ON<br>N1H 5N8              |                        |
| P: 519.829.3136<br>M: 519.363.2949<br>fioridesigninc.ca |                        |

|       |    |
|-------|----|
| SHEET | OF |
| A7    | 18 |



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| DEMOLITION NOTES |   |
|------------------|---|
| SYMBOL           | DESCRIPTION                             |
| 1                | EXISTING WINDOW AND FRAME TO BE REMOVED |
| 2                | CUT OPENING IN EXISTING WALL            |
| —                | DENOTES EXISTING CONSTRUCTION           |
| ---              | DENOTES ELEMENTS TO BE REMOVED          |

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FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED: J. Camara

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

DEMOLITION  
MAIN FLOOR

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

REVISION

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

\_\_\_\_\_

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PLOT DATE

January 31, 2023

FIORI  
DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

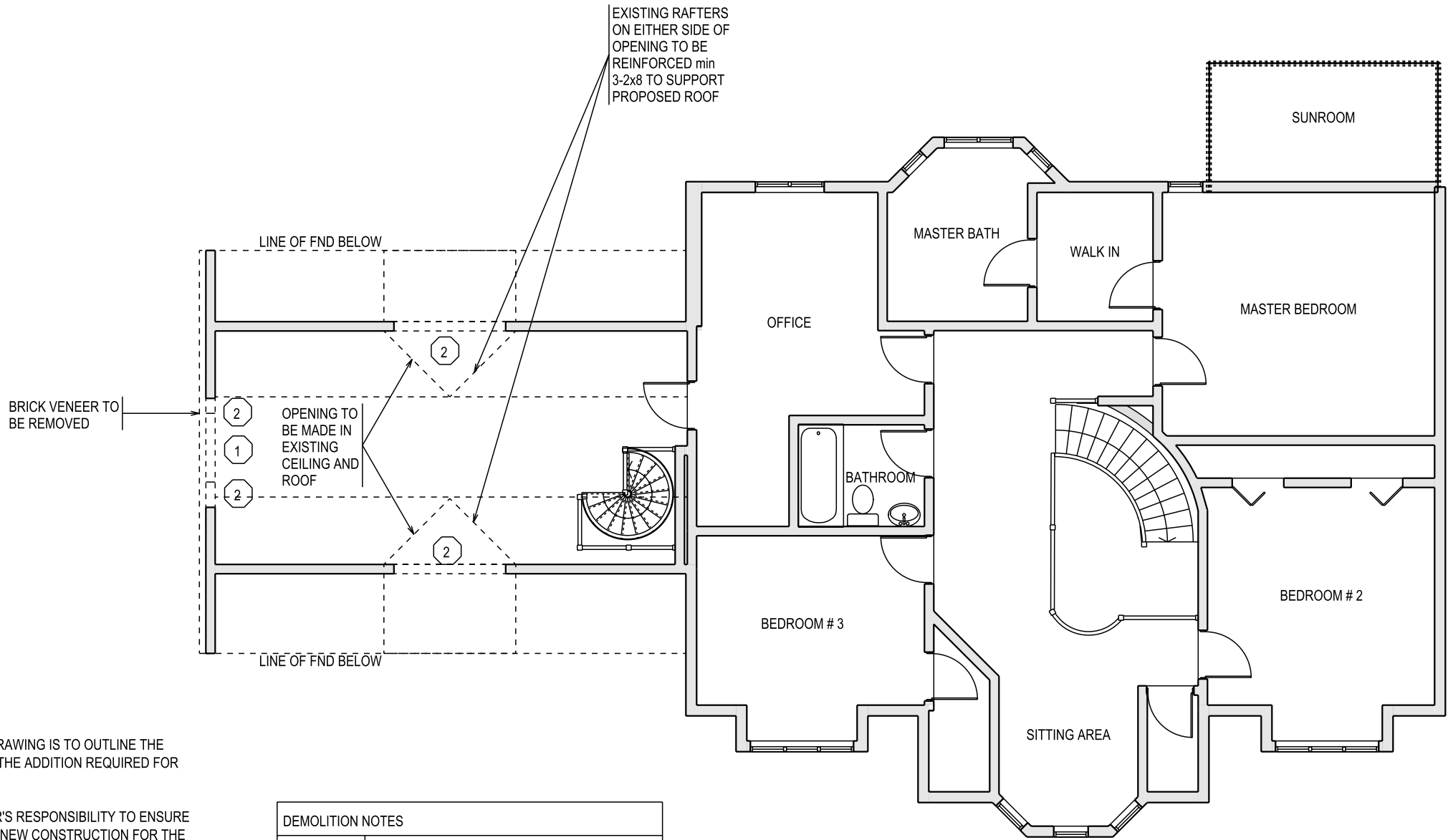
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SHEET OF

A8 18



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| DEMOLITION NOTES |   |
|------------------|---|
| SYMBOL           | DESCRIPTION                             |
|                  | EXISTING WINDOW AND FRAME TO BE REMOVED |
|                  | CUT OPENING IN EXISTING WALL            |
|                  | DENOTES EXISTING CONSTRUCTION           |
|                  | DENOTES ELEMENTS TO BE REMOVED          |

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FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED:

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

DEMOLITION SECOND  
FLOOR PLAN

STATUS:

PERMIT PLANS

DATE:

January 2023

LEAD  
DRAFTER:

J.CAMARA

TEAM  
DRAFTER:

J.TEIXEIRA

SCALE:

3/16" = 1'-0"

REVISION

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PLOT DATE

January 31, 2023

FIORI  
DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

P: 519.829.3136  
M: 519.363.2949  
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SHEET

OF

A9

18





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| IN ACCORDANCE WITH SB-12 TABLE 3.1.1.2.A OF THE 2012 ONTARIO BUILDING CODE |                                     |  |
|--|-------------------------------------|--|
| ELEVATION  | TOTAL AREA OF EXPOSED BUILDING FACE | PROPOSED TOTAL WINDOW/DOOR OPENING (EXCLUDING FRONT ENTRY) |
| FRONT  | 2180 SQ. FT.                        | 276 SQ. FT.  |
| RIGHT  | 875 SQ. FT.                         | 50 SQ. FT.   |
| REAR   | 2034 SQ. FT.                        | 309 SQ. FT.  |
| LEFT   | 1033 SQ. FT.                        | 0 SQ. FT.  |
| TOTAL:   | 6122 SQ. FT.                        | 635 SQ. FT.  |
| TOTAL % OF WINDOW/DOOR OPENINGS:   |                                     | 10.4%  |

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RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED FRONT ELEVATION

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

REVISION

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PLOT DATE

January 31, 2023

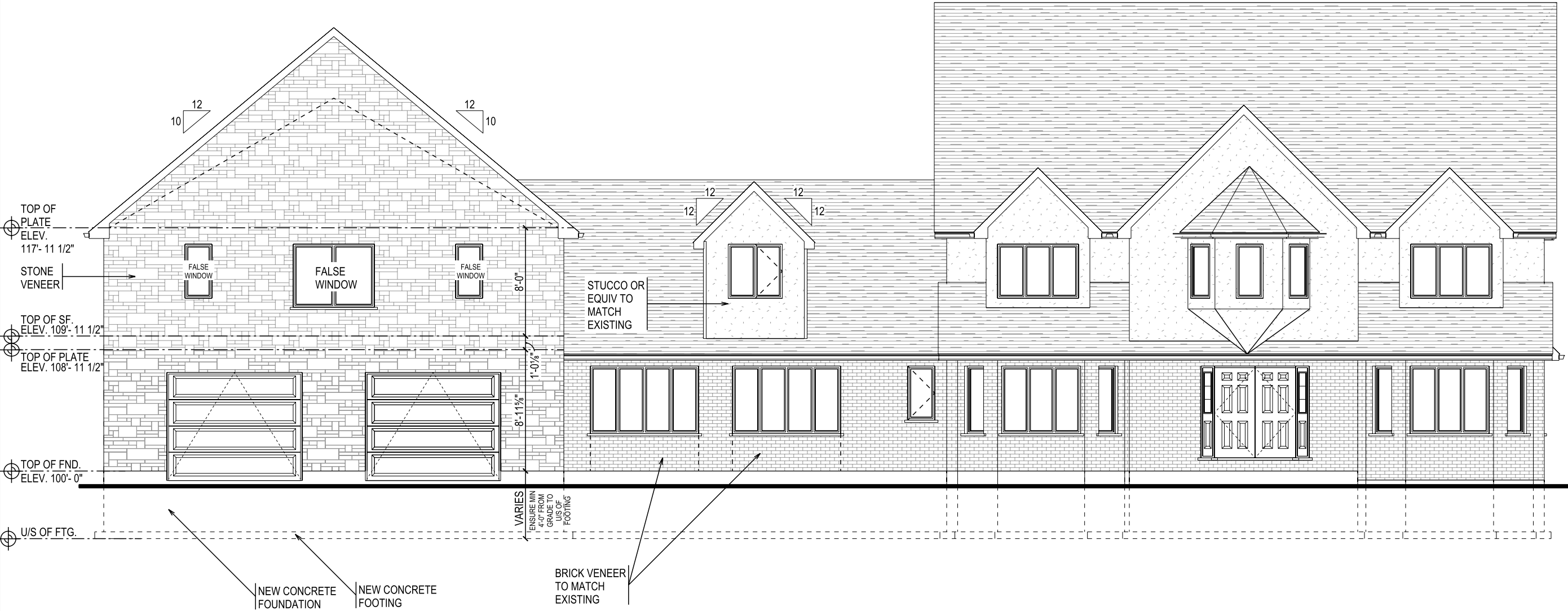
FIORI DESIGN

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Guelph, ON  
N1H 5N8

P: 519.829.3136  
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fioridesigninc.ca

SHEET OF

A1018



NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

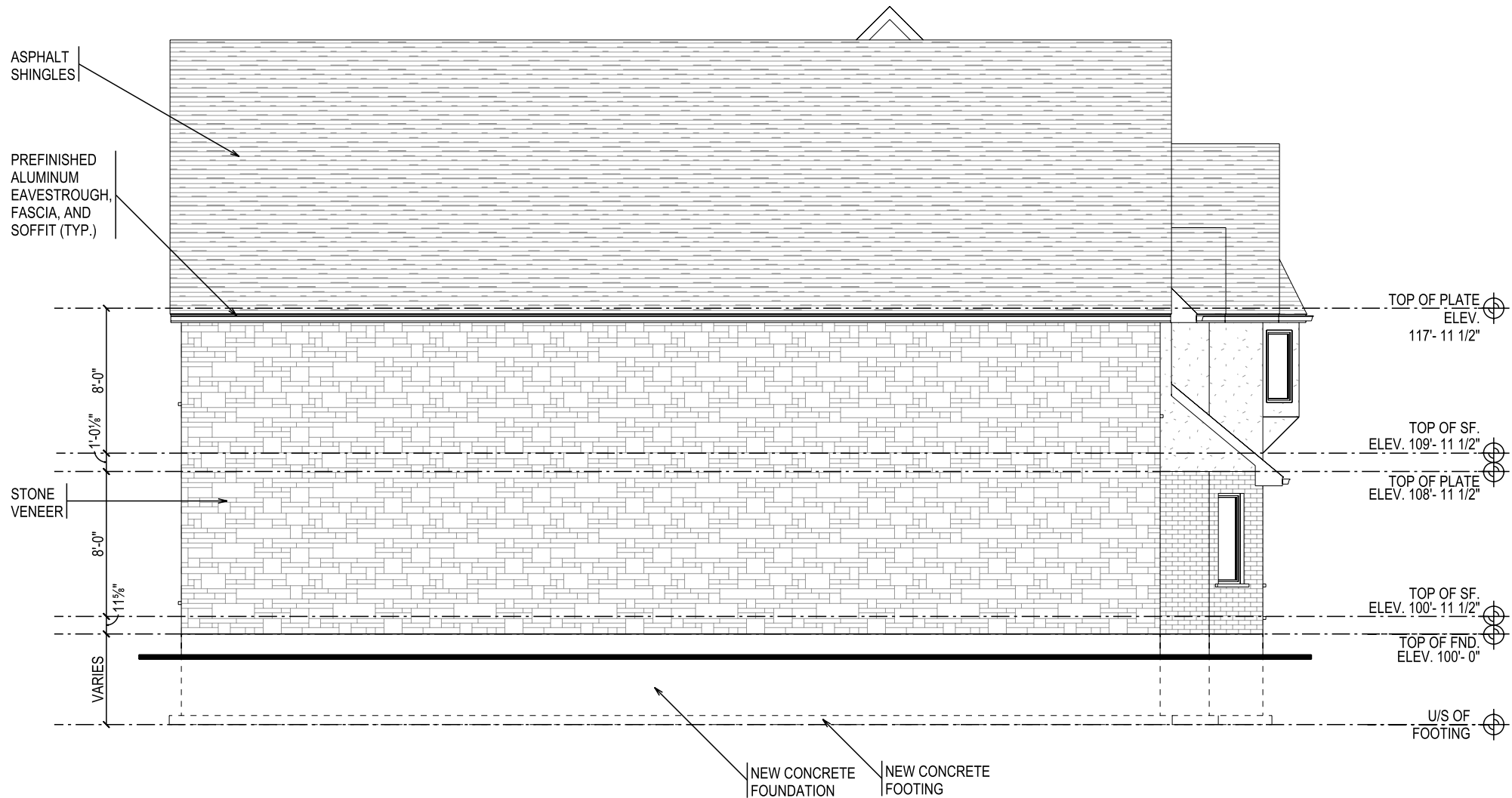
NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".

NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF LATERALLY UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.



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PROVIDE ROOF VENTS OF NOT LESS THAN 1:300 OF INSULATED CEILING AREA.  
ALL VENTING TO BE ADEQUATELY SCREENED AND CORROSION RESISTANT.

BCIN QUALIFICATION

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FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED: J. Camara

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED LEFT  
ELEVATION

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

|          |    |  |
|----------|----|--|
| REVISION | 1: |  |
|          | 2: |  |
|          | 3: |  |
|          |    |  |
|          |    |  |

PLOT DATE

January 31, 2023

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Guelph, ON  
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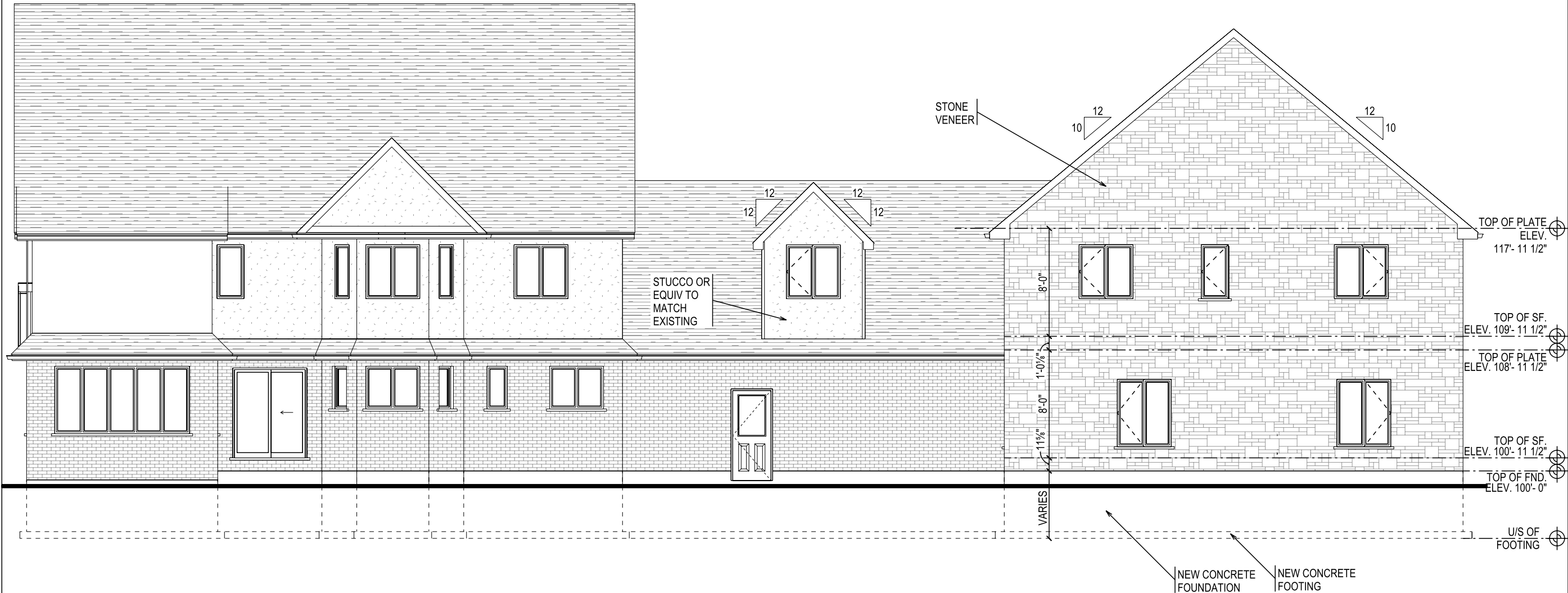
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A11 18



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PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED REAR ELEVATION

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

|          |    |  |
|----------|----|--|
| REVISION | 1: |  |
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January 31, 2023

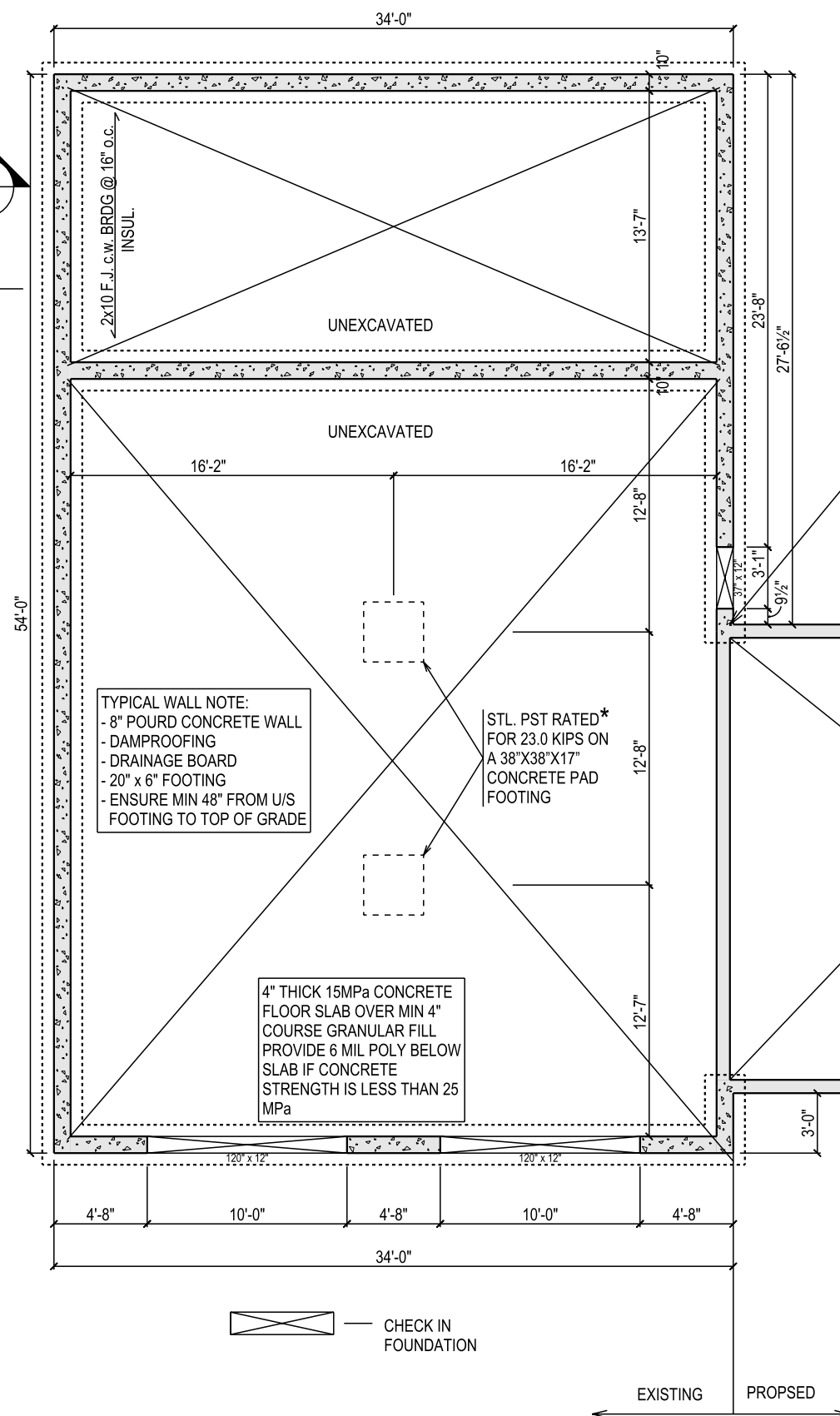
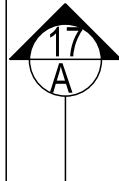
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P: 519.829.3136  
M: 519.363.2949  
fioridesigninc.ca

SHEET OF

A12 18



NOTE:  
THESE DRAWINGS, DIMENSIONS, AND SPECIFICATIONS MUST BE CHECKED AND VERIFIED BY THE BUILDING CONTRACTOR FOR DISCREPANCIES AND REPORT TO THIS DESIGNER BEFORE COMMENCING ANY FURTHER WORK. THIS DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ERRORS AND OMISSIONS NOT REPORTED BY THE BUILDING CONTRACTOR AND THEIR SUBTRADES. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE BUILDING CONTRACTOR OR THEIR SUBTRADES FOR FAILURE TO CARRY OUT THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS, AND RELATED DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE ONTARIO BUILDING CODE, CANADIAN BUILDING CODE, AND MUNICIPAL REGULATIONS.

NOTE RE SPECIFICATIONS:  
FOR STANDARD FOUNDATION AND  
FRAMING NOTES, CODE REQUIREMENTS  
AND TYPICAL CONSTRUCTION  
ASSEMBLIES REFER TO SHEETS AT END  
OF PACKAGE

FOOTING NOTES:  
ALL STRIP FOOTINGS TO BE 20"x6"  
UNLESS NOTED OTHERWISE

**NOTE:**  
STRUCTURAL MEMBERS NOTED WITH AN \*  
HAVE BEEN ENGINEERED BY STRIK,  
BALDINELLI & ASSOCIATES LTD.  
FOR ALL ITEM NUMBERS REFER TO  
ENGINEERING LETTER PROVIDED

BCIN QUALIFICATION

I, JENNIFER CAMARA DECLARE  
THAT I HAVE REVIEWED AND TAKE  
RESPONSIBILITY FOR THE DESIGN  
WORK ON BEHALF OF MY FIRM, FIORI  
DESIGN INC. A FIRM REGISTERED UNDER  
SUBSECTION 3.2.4 OF DIVISION C, OF  
THE ONTARIO BUILDING CODE.  
I AM QUALIFIED AND THE FIRM IS  
REGISTERED IN THE APPROPRIATE  
CLASSES/CATEGORIES.

FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED: J. Camara

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| PROJECT         |
| RENOVATION      |
| 2 DAWSON CRT    |
| SIMCOE, ONTARIO |
| N3Y 4K1         |

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|-----------------------------|---------------|
| PAGE                        |               |
| PROPOSED<br>FOUNDATION PLAN |               |
| STATUS:                     | PERMIT PLANS  |
| DATE:                       | January 2023  |
| LEAD<br>DRAWER:             | J.CAMARA      |
| TEAM<br>DRAWER:             | J.TEIXEIRA    |
| SCALE:                      | 3/16" = 1'-0" |

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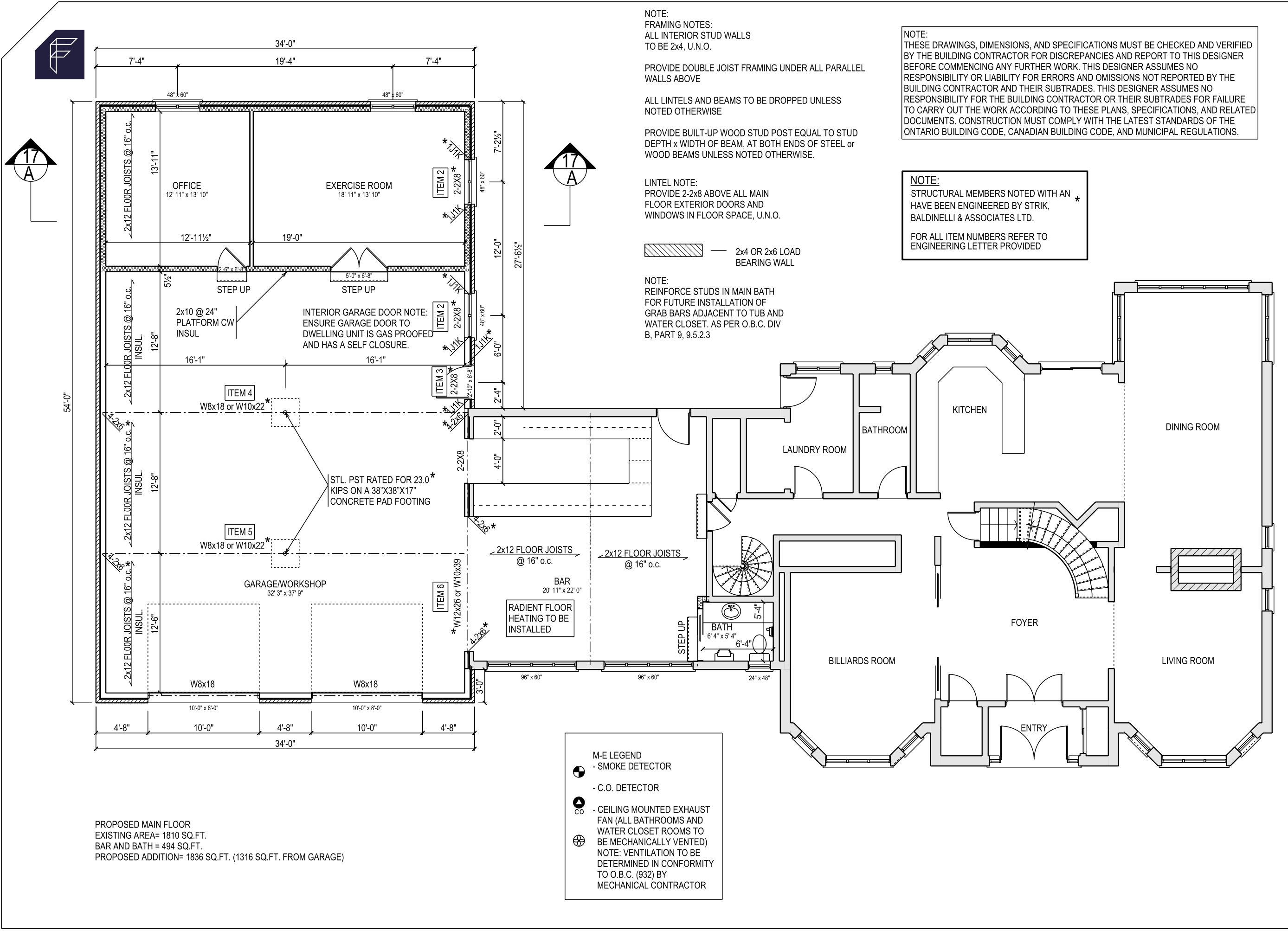
January 31, 2023

 **FIORI**  
DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

P: 519.829.3136  
M: 519.363.2949  
[fioridesigninc.ca](http://fioridesigninc.ca)

|       |    |
|-------|----|
| SHEET | OF |
| A13   | 18 |



NOTE:  
FRAMING NOTES:  
ALL INTERIOR STUD WALLS  
TO BE 2x4, U.N.O.

PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL  
WALLS ABOVE

ALL LINTELS AND BEAMS TO BE DROPPED UNLESS  
NOTED OTHERWISE

PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD  
DEPTH x WIDTH OF BEAM, AT BOTH ENDS OF STEEL or  
WOOD BEAMS UNLESS NOTED OTHERWISE.

LINTEL NOTE:  
PROVIDE 2-2x8 ABOVE ALL MAIN  
FLOOR EXTERIOR DOORS AND  
WINDOWS IN FLOOR SPACE, U.N.O.

NOTE:  
REINFORCE STUDS IN MAIN BATH  
FOR FUTURE INSTALLATION OF  
GRAB BARS ADJACENT TO TUB AND  
WATER CLOSET. AS PER O.B.C. DIV  
B, PART 9, 9.5.2.3

NOTE:  
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BY THE BUILDING CONTRACTOR FOR DISCREPANCIES AND REPORT TO THIS DESIGNER  
BEFORE COMMENCING ANY FURTHER WORK. THIS DESIGNER ASSUMES NO  
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BUILDING CONTRACTOR AND THEIR SUBTRADES. THIS DESIGNER ASSUMES NO  
RESPONSIBILITY FOR THE BUILDING CONTRACTOR OR THEIR SUBTRADES FOR FAILURE  
TO CARRY OUT THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS, AND RELATED  
DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE  
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FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED:

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED  
MAIN FLOOR  
PLAN

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

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PLOT DATE

January 31, 2023

FIORI  
DESIGN

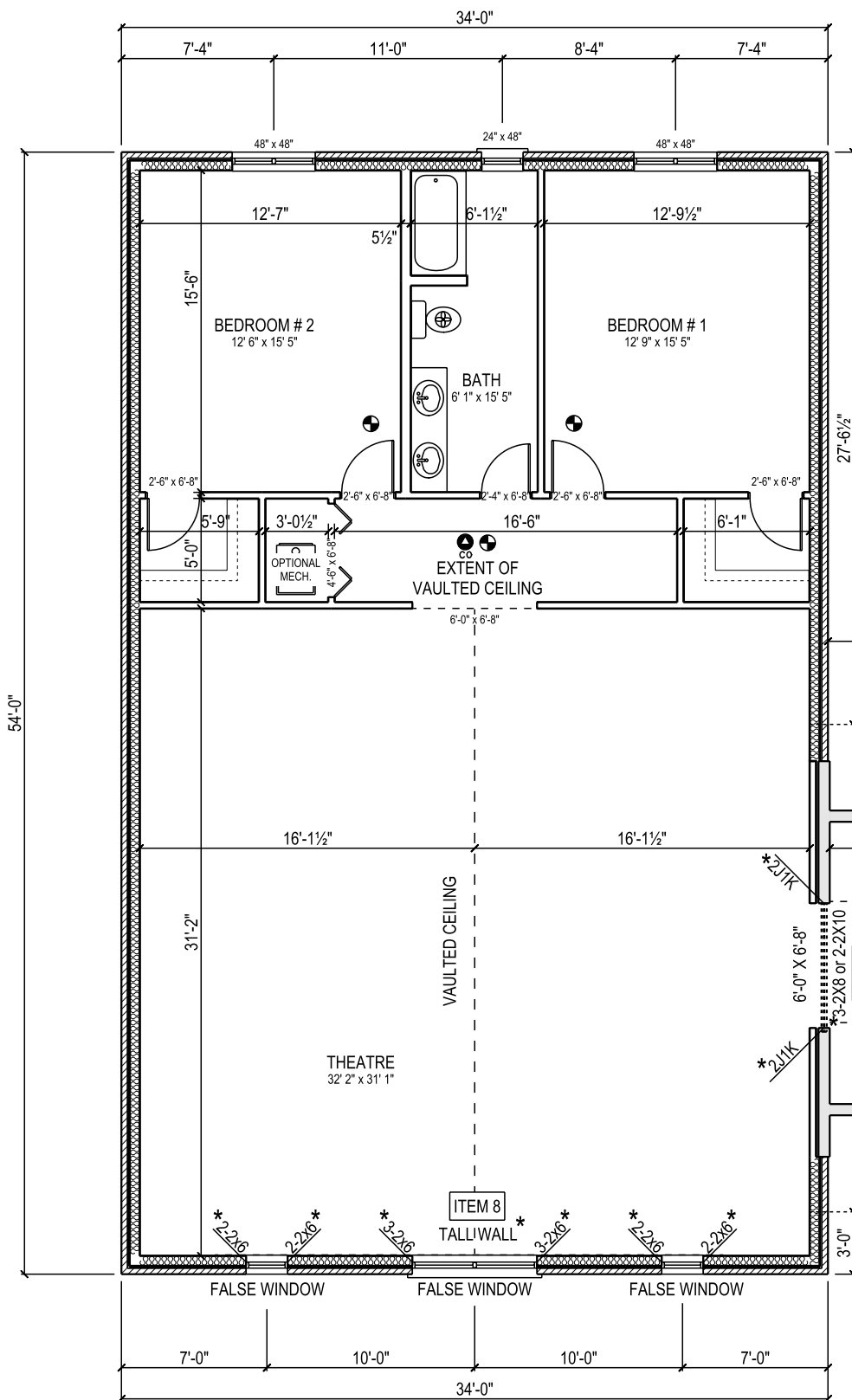
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SHEET OF

A14 18





PROPOSED SECOND FLOOR  
EXISTING AREA= 1909 SQ.FT.  
PROPOSED ADDITION= 1911 SQ.FT.

NOTE:  
REINFORCE STUDS IN MAIN BATH FOR  
FUTURE INSTALLATION OF GRAB BARS  
ADJACENT TO TUB AND WATER CLOSET. AS  
PER O.B.C. DIV B, PART 9, 9.5.2.3

NOTE:  
PROVIDE BUILT-UP WOOD STUD POST  
EQUAL TO STUD DEPTH x WIDTH OF BEAM,  
AT BOTH ENDS OF STEEL or WOOD BEAMS  
UNLESS NOTED OTHERWISE.

FRAMING NOTES:  
ALL INTERIOR STUD WALLS  
TO BE 2x4, U.N.O.

PROVIDE DOUBLE JOIST FRAMING UNDER  
ALL PARALLEL WALLS ABOVE

ALL LINTELS AND BEAMS TO BE DROPPED  
UNLESS NOTED OTHERWISE

LINTEL NOTE:  
PROVIDE 2-2x8 LINTEL ABOVE ALL  
SECOND FLOOR OPENINGS UNLESS  
OTHERWISE NOTED

NOTE:  
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NOTE:  
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BALDINELLI & ASSOCIATES LTD.

FOR ALL ITEM NUMBERS REFER TO  
ENGINEERING LETTER PROVIDED

M-E LEGEND

- SMOKE DETECTOR
- C.O. DETECTOR
- CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR

ITEM 8  
TALL WALL FRAMING AT SECOND FLOOR GABLE WALL 2X6 AT 12" O.C.\*  
PROVIDE SOLID BLOCKING AT 48" O/C VERTICALLY, MIN 1/2" GYPSUM ON INTERIOR FACE, MIN 3/8" SHEATHING OR 1" RIGID INSULATION ON EXTERIOR FACE. PROVIDE 3-2X6 FULL HEIGHT KING STUDS AT EACH END OF THE 4'-0" WIDE WINDOW OPENINGS AND 2-2X6 FULL HEIGHT KING STUDS AT EACH END OF THE 2'-0" WIDE WINDOW OPENING. WHERE THE WALL STUDS ARE LESS THAN 13'-0" TALL, 2X6 AT 16" O/C FRAMING IS PERMITTED.

BCIN QUALIFICATION

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FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED: *J. Camara*

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED SECOND FLOOR PLAN

STATUS: PERMIT PLANS

DATE: January 2023

LEAD DRAFTER: J.CAMARA

TEAM DRAFTER: J.TEIXEIRA

SCALE: 3/16" = 1'-0"

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| REVISION | 1: |  |
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PLOT DATE

January 31, 2023

FIORI DESIGN

5 Edinburgh Rd S,  
Guelph, ON  
N1H 5N8

P: 519.829.3136  
M: 519.363.2949  
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SHEET OF

A15 18



FRAMING NOTES:  
PROVIDE BUILT-UP WOOD STUD POST EQUAL TO WIDTH OF BEAM / GIRDER UNDER ALL BEAMS AND GIRDER TRUSSES.

ROOF AND CEILING FRAMING TO BE AS PER 2012 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE 2x4 (MIN.) COLLAR TIES, WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE Laterally supported near their centres by 1x4 (MIN.) continuous members perpendicular to the collar ties. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE WITH TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAX.) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.

OVERFRAMED RAFTERS TO BE SUPPORTED ON LOWER RAFTERS BY 2x4 PROPS @ 24" E.W. OR DOUBLE LOWER RAFTERS WHERE THEY SUPPORT OVERFRAMED RAFTERS.

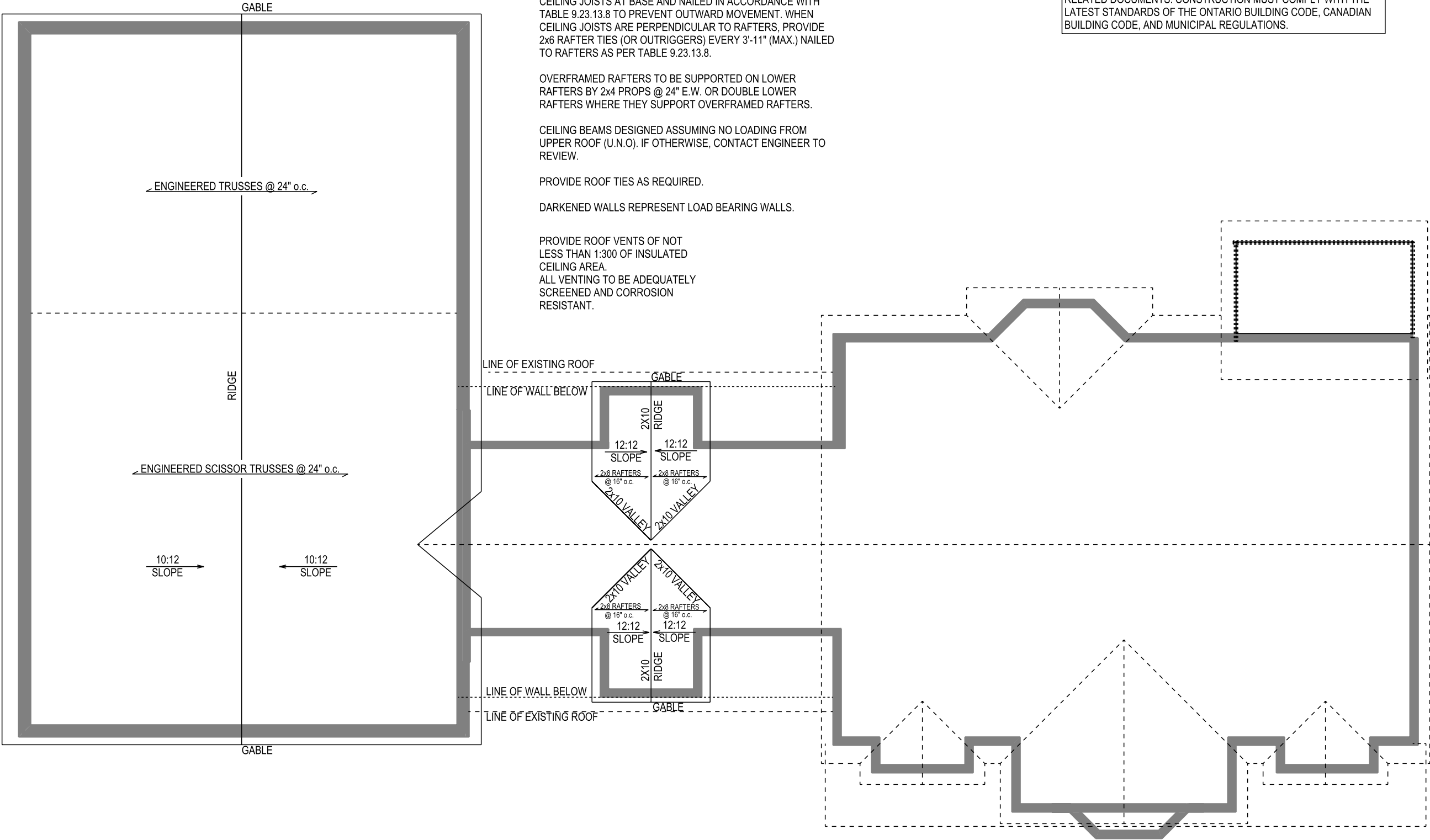
CEILING BEAMS DESIGNED ASSUMING NO LOADING FROM UPPER ROOF (U.N.O). IF OTHERWISE, CONTACT ENGINEER TO REVIEW.

PROVIDE ROOF TIES AS REQUIRED.

DARKENED WALLS REPRESENT LOAD BEARING WALLS.

PROVIDE ROOF VENTS OF NOT LESS THAN 1:300 OF INSULATED CEILING AREA.  
ALL VENTING TO BE ADEQUATELY SCREENED AND CORROSION RESISTANT.

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INDIVIDUAL BCIN: 24208

SIGNED:

PROJECT

RENOVATION

2 DAWSON CRT

SIMCOE, ONTARIO  
N3Y 4K1

PAGE

PROPOSED  
ROOF PLAN

STATUS:

PERMIT PLANS

DATE:

January 2023

LEAD  
DRAFTER:

J.CAMARA

TEAM  
DRAFTER:

J.TEIXEIRA

SCALE:

3/16" = 1'-0"

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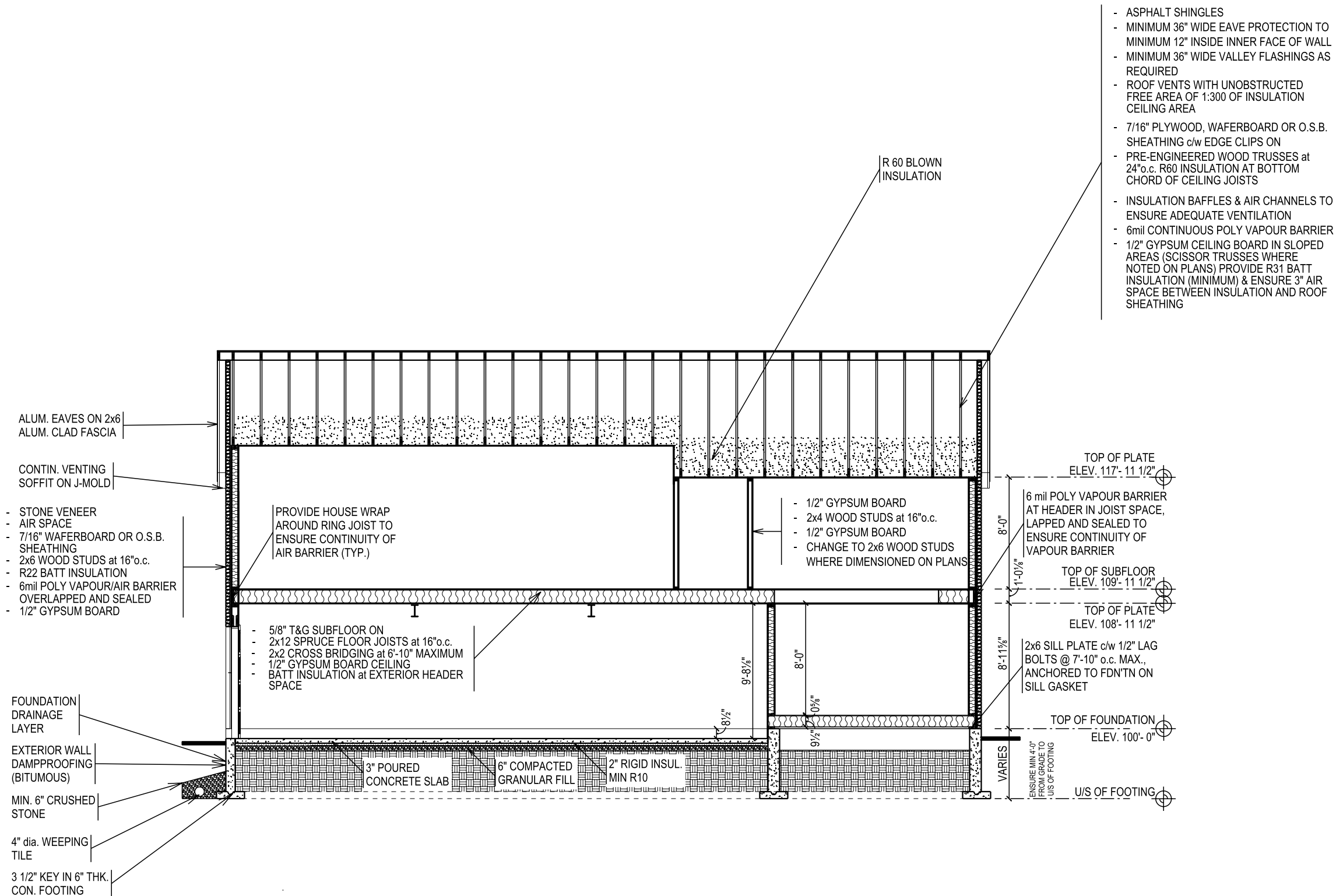
January 31, 2023

FIORI  
DESIGN

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| SHEET | OF |
| A16   | 18 |



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| BCIN QUALIFICATION  |  |
| I, JENNIFER CAMARA, DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM, FIORI DESIGN INC. A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES. |  |
| FIRM BCIN: 117239<br>INDIVIDUAL BCIN: 24208   |  |
| SIGNED:   |  |

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| PROJECT                    |
| RENOVATION                 |
| 2 DAWSON CRT               |
| SIMCOE, ONTARIO<br>N3Y 4K1 |

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| STATUS: | PERMIT PLANS |
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| DATE: | January 2023 |
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| LEAD DRAFTER: | J.CAMARA |
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| TEAM DRAFTER: | J.TEIXEIRA |
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| SCALE: | 1/8" = 1'-0" |
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| PLOT DATE | January 31, 2023 |
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|   |                 |
|---|-----------------|
|   | FIORI<br>DESIGN |
| 5 Edinburgh Rd S,<br>Guelph, ON<br>N1H 5N8              |                 |
| P: 519.829.3136<br>M: 519.363.2949<br>fioridesigninc.ca |                 |

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| SHEET | OF |
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DESIGN NOTES

1. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER/CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS OF THE PLAN AND REPORT ANY DISCREPANCIES TO FIORI DESIGN.

2. FIORI DESIGN DOES NOT ASSUME LIABILITY FOR ANY ERRORS AND OMISSIONS ON THESE PLANS, UNLESS ADVISED IN WRITING OF SUCH ERRORS AND OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLEASE ADVISE FIORI DESIGN IF ANY DISCREPANCIES ARE OBSERVED.

3. ANY VARIANCES FROM THE STRUCTURAL INFORMATION AND SPECIFICATIONS, OR FROM CONDITIONS ENCOUNTERED ON THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY

4. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE (OBC 2012), ANY LOCAL REGULATIONS AND BYLAWS, AND THE 2012 OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA) FOR CONSTRUCTION PROJECTS.

5. IF ANY STRUCTURAL DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.

FOUNDATION NOTES

1. ALL CONCRETE SHALL CONFORM TO OBC 9.3.1 AND ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 UNLESS OTHERWISE NOTED ON THE DRAWINGS

2. SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND FILLED WITH CLEAN, FREE DRAINED GRANULAR SOIL COMPACTED TO 100% STANDARD PROCTOR DRY DENSITY (SPDD)

3. LOCATE ALL FOOTINGS AND PIERS CENTRALLY UNDER COLUMNS AND WALLS UNLESS NOTED OTHERWISE

4. PLACE FOOTINGS WHICH ARE EXPOSED TO FREEZING WEATHER A MINIMUM OF 1200mm (48") BELOW FINISHED GRADE UNLESS SPECIFIED OTHERWISE

5. PROTECT SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOOTINGS

6. FOUNDATION WALLS CONNECTED TO STRIP FOOTINGS WITH SHEER KEY OR 15M DOWELS x 167" LONG @4'-0" O.C. WITH 4" EMBEDMENT INTO FOOTING

7. MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE:  
15MPA FOR FOOTINGS  
20 MPA FOR INTERIOR FLOOR SLABS ON GRADE  
32 MPA FOR GARAGE FLOOR SLABS ON GRADE  
20 MPA FOR FOUNDATIONS WALLS UNLESS OTHERWISE NOTED ON THE DRAWINGS.

8. USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE

9. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST TWO DAYS OF CURING

10. TAKE ADEQUATE MEASURES TO PROTECT CONCRETE FROM EXPOSURE TO FREEZING TEMPERATURES AT LEAST SEVEN DAYS AFTER CONCRETE PLACEMENT

11. REBAR TO BE DEFORMED BARS WITH A YIELD STRENGTH OF 400 MPA

12. LAP LENGTH FOR 15M BARS IS 24"

13. FOUNDATION WALLS HAVE BEEN DESIGNED TO SUPPORT DRAINED EARTH, ENSURE GROUND WATER DRAINAGE CAN OCCUR

FOUNDATION NOTES CONTINUED

14. WHERE FOUNDATION WALL THICKNESS IS REDUCED AT TOP OF WALL TO ALLOW FOR STONE LEDGE, THE REDUCTION IN THICKNESS SHALL COMPLY WITH OBC 9.15.4.7

15. ENSURE FOUNDATION WALLS ARE Laterally SUPPORTED BEFORE BACKFILLING

16. MAXIMUM FOUNDATION BACKFILL HEIGHTS: CONCRETE FOUNDATION WALLS WHICH DO NOT EXTEND TO THE UNDERSIDE OF THE MAIN FLOOR JOISTS MAY BE BACKFILLED UP TO THE FOLLOWING HEIGHTS ABOVE THE BASEMENT FLOOR BASED ON O.B.C DIV B TABLE 9.15.4.2.A:  
8" (20MPa) CONCRETE FOUNDATION = 3'-11"  
10" (20MPa) CONCRETE FOUNDATION = 4'-7"  
CONTACT A PROFFESIONAL ENGINEER FOR BRACING AS REQUIRED IF THE BACKFILL EXCEEDS THESE HEIGHTS.

17. FOR FOUNDATION OPENINGS GREATER THAN 3'-11" WIDE AND WHERE NOTED ON THE PLANS, REINFORCE FOUNDAITON WALL AROUND THE OPENING WITH 2 -15M FULL HEIGHT VERTICAL BARS EACH SIDE OF WINDOW AND 2 -15. HORIZONTAL BARS BELOW WINDOW SILL. EXTEND HORIZONTAL BARS 24" BEYOND WINDOW OPENING ON BOTH SIDES. TYPICAL WINDOWS FOR 48"-72" WIDE.

18. USE A MINIMUM OF 8" COMPACTED LAYER OF 3/4" CLEAR STONE UNDER ALL GROUND SLABS

19. SPACING OF CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 20'-0" o.c.

20. THE FOLLOWING MINIMUM CONCRETE COVERS FOR REINFORCING STEEL SHALL BE PROVIDED: FOOTINGS: 3", PIERS AND WALLS: 1 1/2", UNLESS OTHERWISE NOTED

FRAMING NOTES

1. ALL WOOD FRAME CONSTRUCTION SHALL CONFORM WITH OBC 9.23 UNLESS OTHERWISE NOTED ON THE DRAWINGS.

2. LUMBER SHALL BE SPF NO. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19" OR LESS

3. WOOD TRUSSES AND MANUFACTURED FRAMING MEMBERS ARE TO BE DESIGNED & CERTIFIED BY A PROFESSIONAL ENGINEER FOR THE LOADS AND CONDITIONS INDICATED ON THE DRAWINGS. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR UPLIFT CLIPS, PROVIDE ADEQUATE BEARING SURFACE FOR THE TRUSS BEARING LOADS

4. ALL INTERIOR LOAD BEARING WALLS SHALL BE 2X4 OR 2X6 STUDS at 12" o.c. UNLESS OTHERWISE NOTED. THEY WILL BE IDENTIFIED ON PLANS WITH A HATCH:

5. ALL FLOOR JOISTS TO HAVE CROSS BRIDGING AND STRAPPING UNLESS OTHERWISE NOTED

6. PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL WALLS ABOVE AND AROUND STAIRS, UNLESS OTHERWISE NOTED

7. PROVIDE BUILT UP WOOD STUD POSTS EQUAL TO STUD DEPTH x WIDTH OF BEAM AT EACH END OF EACH BEAM OR GIRDER TRUSS, UNLESS OTHERWISE NOTED

8. LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION A STRUCTURAL ENGINEER

9. ENGINEERED LUMBER (TJI, LVL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS. ALL ENGINEERED LUMBER SHALL HAVE A MIN. 3" END BEARING

10. THICKNESS AND TYPE OF SUBFLOOR, ROOF SHEATHING, AND WALL SHEATHING SHALL CONFORM TO 9.23.14, 9.23.15, AND 9.23.16 RESPECTFULLY.

FRAMING NOTES CONTINUED

11. BOLTED CONNECTIONS SHALL BE MADE USING GRADE A307 BOLTS, UNLESS OTHERWISE NOTED

12. USE PRESSURE TREATED LUMBER (CWPB APPROVED) OR APPLY SUITABLE WOOD PRESERVATIVE TO ALL WOOD IN CONTACT WITH SOIL

13. WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE, OR 6MIL (0.152MM) POLYETHYLENE SHEET.

14. SOLID HORIZONTAL BRIDGING SHALL BE PROVIDED AT 1200MM (4'-0") O.C. IN THE FIRST TWO JOIST SPACES ADJACENT TO THE EXTERIOR WALLS. BRIDGING SHALL BE ATTACHED TO THE EXTERIOR WALL TO PROVIDE LATERAL STABILITY

15. PROVIDE 38MM X 38MM (2X2) DIAGONAL CROSS BRIDGING OR SOLID BLOCKING AT MAXIMUM 2.1M (82") O.C. FOR ALL SAWN JOIST LOCATIONS

16. PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 3.0M (10'-0") O.C. FOR ALL FRAMED WALLS. INSTALL MORE FREQUENTLY WHEN SO NOTED ON THE ARCHITECTURAL OR STRUCTURAL WALL DRAWINGS (EG. FOR BLOCKING OF SHEAR WALLS, OR FOR LATERAL STUD SUPPORT)

17. ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE

18. Laterally SUPPORT ALL STEEL BEAMS BY RE-DRILLING FLANGES FOR 13MM (1/2") BOLTED ATTACHMENTS OF WOOD NAILERS WITH 15MM (9/16") HOLES STAGGERED AT 600MM (24") O.C.

19. STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21-44W AND G40.21-50W CLASS FOR H FOR H.S.S. STEEL BEAMS AND COLUMNS SHALL BE ON ASTM A992/992M, GRADE 50W (FY=345 MPA).

20. ALL WELDING SHALL BE COMPLETE BY CWB CERTIFIED WELDERS

21. EXTERIOR STRUCTURAL STEEL SHALL BE PROTECTED FROM CORROSION BY HOT TIP GALVANIZING

22. USE JOIST HANGERS WHERE FRAMING MEMBERS CONNECT INTO THE SIDES OF SUPPORTING MEMBERS

23. ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS, ETC.) SHALL BE SIMPSON STRONG TIE CONNECTORS, UNLESS NOTED OTHERWISE

24. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL

25. FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILD UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS

26. ALL BUILT UP MEMBERS TO BE FASTENED TOGETHER WITH TWO 75MM (3") SPIRAL NAILS AT 300MM (12") O.C. FOR EVERY PLY UNLESS OTHERWISE NOTED. MULTI-PLY ENGINEERED LUMBER BEAMS TO BE FASTENED AT PER THE MANUFACTURER'S SPECIFICATIONS

27. ALL PRE-ENGINEERED STEEL CONNECTORS (EG. SIMPSON STRONG TIE) ARE TO HAVE THE CORRECT NUMBER AND SIZE OF FASTENERS, AS PER THE MANUFACTURER'S PRODUCT CATALOGUE

28. PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOM OF BEAMS AT BEARING POINTS TO PROVIDE MOVEMENT OR ROTATION.

FRAMING NOTES CONTINUED

29. ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 5/8" DIA. ANCHOR BOLTS AT 4'-0" MAXIMUM

30. COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE GROUTED WITH 1 1/2" NON-SHRINK GROUT

31. J.R. COLUMNS SHALL BE USED FOR ALL INDICATED STEEL TELEPOSTS UP TO A REQUIRED LOAD RATING OF 128 KN (28,700 LBS) ALL STEEL POSTS SHALL HAVE AN ALLOWABLE CAPACITY GREATER THAN THE RATING INDICATED.

32. ALL BEAMS CANTILEVERED OVER A COLUMN OR OTHER SUPPORT CHALL HAVE A MINIMUM OF 2-3/8" THICK STIFFENER PLATES EACH SIDE OF WEB UNLESS OTHERWISE NOTED.

33. STAIRS SHALL CONFORM WITH O.B.C 2012 SECTION 3.4.7.5. AND 9.8. ALL HANDRAILS AND GUARDS SHALL CONFORM WITH O.B.C 2012 SECTION 9.8 AND SB-7

STAIR REQUIREMENTS:

- MAX RISE: 200mm (7 7/8")
- MIN. RUN: 210mm (8 1/4")
- MIN. TREAD 254mm (10")
- NOSING 25mm (1")
- UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS
- MIN. HEADROOM FOR INTERIOR STAIRS: 1950mm (6'-5")
- HANDRAILS: 914MM (36")

GUARD HEIGHTS:

- AT LANDINGS: 900mm (35")
- AT STAIRS: 914mm (36")
- GUARDS TO BE NON-CLIMBABLE WITH MAX. SPACING OF 100mm (4")
- EXTERIOR GUARDS REQUIRED FOR 2'-0" - 5'-11" ABOVE GRADE: 900mm (35"), 5'-11" AND MORE ABOVE GRADE: 1070mm (42")

LANDING REQUIREMENTS:

- A LANDING IS REQUIRED AT THE MAIN ENTRANCE
- A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS ARE NEEDED.
- GUARDS TO BE INSTALLED AT 36"

34. ALL GARAGE WALLS AND FLOORS ADJACENT TO LIVING SPACES ARE TO BE DRYWALLED AND SEALED/GAS-PROOFED. PROVIDE MIN R31 INSULATION IN THE FLOOR SPACE OVER GARAGE. DOORS FROM THE GARAGE TO INTERIOR OF THE HOUSE SHALL BE EXTERIOR TYPE WITH WEATHER STRIPPING AND CLOSER.

35. EVERY FLOOR CONTAINING BEDROOMS MUST HAVE A TLEAST ONE WINDOW WITH AN UNOBSSTRUCTED OPENING AND OPENABLE PORTION NOT LESS THAN 380mm (15"), AND A SILL HEIGHT OF NO MORE THAN 1m (3'-3") ABOVE THE FINISHED FLOOR.

36. FOR MASONRY VENEER INSTALLATION, PROVIDE CONTINUOUS FLASHING AND WEEPHOLES EVER 31"o.c. MAX.

37. ALL FLOORS WITH CERAMIC TILE ARE TO BE REINFORCED IN ACCORDANCE WITH DIVISION B, 9.30.6 OF THE 2012 O.B.C

38. ATTIC VENTILATION TO COPLY WITH O.B.C 9.32

39. AIR BARRIER IS TO BE IN ACCORDANCE WITH O.B.C. 9.25.5

|   |  |
|---|--|
| BCIN QUALIFICATION  |  |
| I, <u>JENNIFER CAMARA</u> DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM, FIORI DESIGN INC. A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES. |  |
| FIRM BCIN: 117239<br>INDIVIDUAL BCIN: 28208   |  |
| SIGNED: <u>J. Camara</u>  |  |

|  |
|--|
|  |
|--|

|                            |
|----------------------------|
| PROJECT                    |
| RENOVATION                 |
| 2 DAWSON CRT               |
| SIMCOE, ONTARIO<br>N3Y 4K1 |

|  |
|--|
| PAGE                                       |
| GENERAL NOTES<br>AND O.B.C<br>REQUIREMENTS |

|         |              |
|---------|--------------|
| STATUS: | PERMIT PLANS |
|---------|--------------|

|       |               |
|-------|---------------|
| DATE: | NOVEMBER 2021 |
|-------|---------------|

|               |          |
|---------------|----------|
| LEAD DRAFTER: | J.CAMARA |
|---------------|----------|

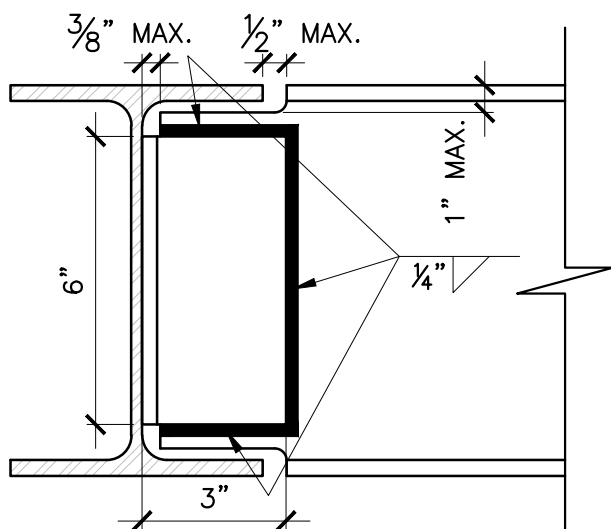
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|---------------|------------|
| TEAM DRAFTER: | J.TEIXEIRA |
|---------------|------------|

|        |               |
|--------|---------------|
| SCALE: | 3/16" = 1'-0" |
|--------|---------------|

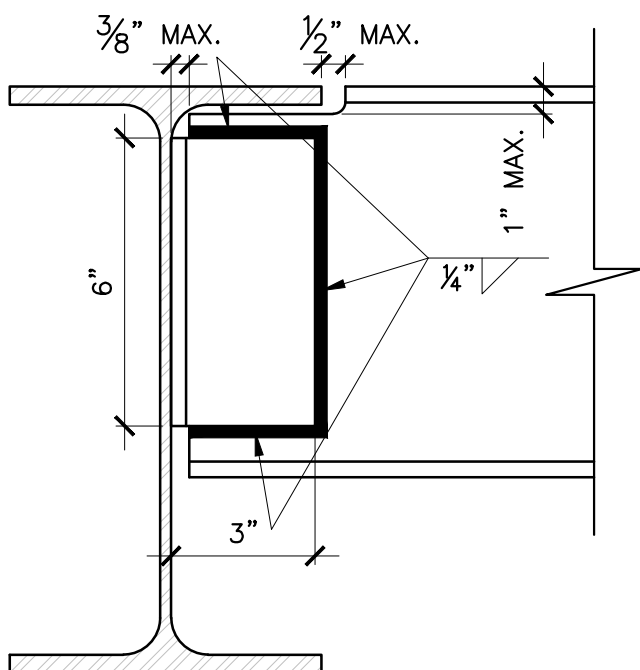
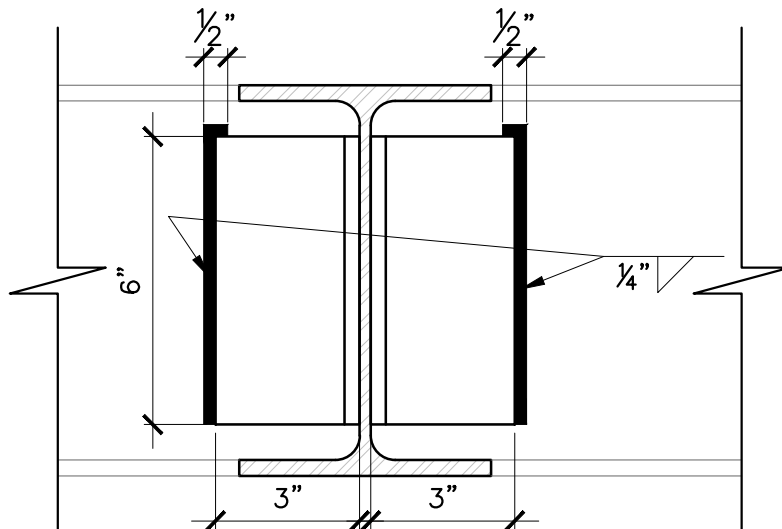
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| REVISION | 1: _____ |
|          | 2: _____ |
|          | 3: _____ |
|          | _____    |
|          | _____    |
|          | _____    |

|           |  |
|-----------|--|
| PLOT DATE |  |
|-----------|--|

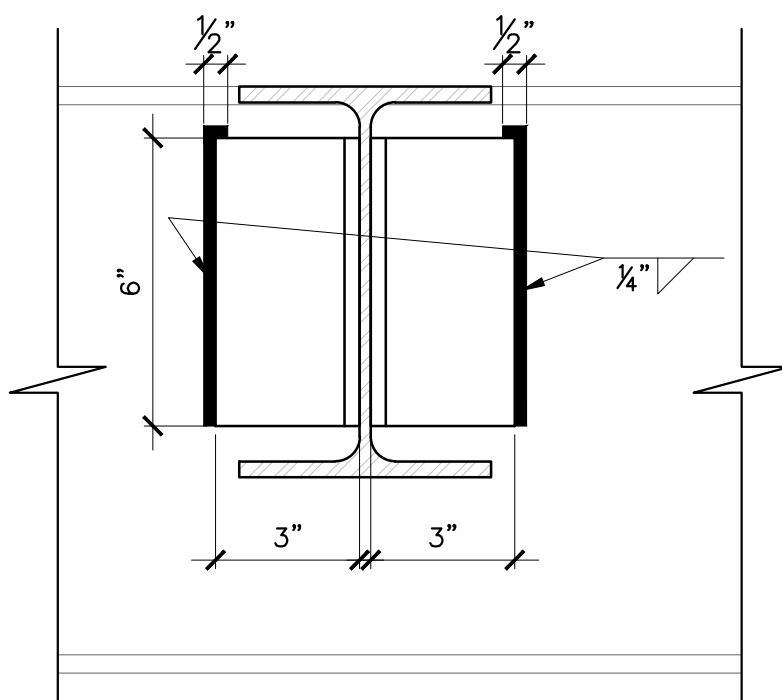
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|  |    |
| 5 Edinburgh Rd S,<br>Guelph, ON<br>N1H 5N8  |    |
| P: 519.829.3136<br>M: 519.363.2949<br>fioridesigninc.ca                               |    |
| SHEET   | OF |
| A18   | 18 |



OPTION A - EQUAL NOMINAL DEPTH BEAMS



OPTION B - SUPPORTING BEAM DEEPER THAN SUPPORTED BEAM



**NOTES:**

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE SPECIFICATION SHEET SS1 ATTACHED.
2. PROVIDE (2)L3x3x $\frac{3}{16}$  WELDED TO BOTH FACES AS INDICATED.
3. BEAMS SHALL HAVE A MINIMUM YIELD STRENGTH OF 345MPa.
4. ANGLES SHALL HAVE A MINIMUM YIELD STRENGTH OF 300MPa.
5. CONNECTION RATED FOR A MAXIMUM FACTORED REACTION OF 170kN (38,200lbs).
6. BEAMS SHALL BE DESIGNED TO SUPPORT LOADS.
7. MINIMUM WEB THICKNESS OF SUPPORTING BEAM =  $\frac{7}{32}$ " (5.8mm).
8. ALL WELDING SHALL BE DONE BY A CWB CERTIFIED WELDER.
9. USE E49XX ELECTRODES.
10. SUPPORTED MEMBER SHALL BE 8"-12" NOMINAL DEPTH.





DRWG NO.

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TOTAL WEIGHT = 215 lb

Edge - INDICATES REFERENCE CORNER OF PLATE  
TOUCHES EDGE OF CHORD.

|       |      |       |       |          |       |
|-------|------|-------|-------|----------|-------|
| AP-AO | 0/40 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AO-AN | 0/34 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AN-AM | 0/30 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AM-AL | 0/27 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AL-AK | 0/25 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AK-AJ | 0/24 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AJ-AI | 0/24 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AI-AH | 0/24 | -17.5 | -17.5 | 0.01 (4) | 10.00 |
| AH-AG | 0/24 | -17.5 | -17.5 | 0.01 (4) | 10.00 |
| AG-AF | 0/24 | -17.5 | -17.5 | 0.01 (4) | 10.00 |
| AF-AE | 0/24 | -17.5 | -17.5 | 0.01 (4) | 10.00 |
| AE-AD | 0/24 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AD-AC | 0/24 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AC-AB | 0/25 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AB-AA | 0/27 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| AA- Z | 0/30 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| Z- Y  | 0/34 | -17.5 | -17.5 | 0.02 (4) | 10.00 |
| Y- X  | 0/40 | -17.5 | -17.5 | 0.02 (4) | 10.00 |

JSI GRIP= 0.30 (I) (INPUT = 0.90 )  
JSI METAL= 0.11 (AP) (INPUT = 1.00 )

1

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DRWG NO.

Version 8.500 S Oct 22 2021 MiTek Industries, Inc. Thu Jan 12 15:32:22 2023 Page 1  
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TOTAL WEIGHT = 11 X 183 = 2018 lb

| PLATES (table in inches) |            |        |     |               |
|--------------------------|------------|--------|-----|---------------|
| JT                       | TYPE       | PLATES | W   | LEN Y X       |
| B, J, L, R               |            |        |     |               |
| B                        |            |        |     |               |
| C                        | TMBMWV1*+m | MT20   | 6.0 | 10.0 Edge     |
| B                        | TMWV-t     | MT20   | 4.0 | 5.0 1.50 1.50 |
| D                        | TS-t       | MT20   | 3.0 | 6.0           |
| E                        | TTWV+m     | MT20   | 4.0 | 5.0           |
| F                        | TMW+w      | MT20   | 2.0 | 6.0           |
| G                        | TTWV+m     | MT20   | 4.0 | 5.0           |
| H                        | TS-t       | MT20   | 3.0 | 6.0           |
| I                        | TMWV-t     | MT20   | 4.0 | 5.0 1.50 1.50 |
| L                        | TMBMWV1*+m | MT20   | 6.0 | 10.0 Edge     |
| M                        | BMWV-t     | MT20   | 3.0 | 6.0           |
| N                        | BS-t       | MT20   | 3.0 | 6.0           |
| O                        | BMWVW-t    | MT20   | 3.0 | 8.0           |
| P                        | BS-t       | MT20   | 3.0 | 6.0           |
| Q                        | BMWV-t     | MT20   | 3.0 | 6.0           |

Edge - INDICATES REFERENCE CORNER OF PLATE TOUCHES EDGE OF CHORD.

| BEARINGS                   |      |      |                                    |      |        |              |       |
|----------------------------|------|------|------------------------------------|------|--------|--------------|-------|
| FACTORED<br>GROSS REACTION |      |      | MAXIMUM FACTORED<br>GROSS REACTION |      |        | REQRD<br>BRG |       |
| JT                         | VERT | HORZ | DOWN                               | HORZ | UPLIFT | IN-SX        | IN-SX |
| R                          | 1815 | 0    | 1815                               | 0    | 0      | 5-8          | 1-15  |
| L                          | 1815 | 0    | 1815                               | 0    | 0      | 5-8          | 1-15  |

| UNFACTORED REACTIONS |          |         |                               |           |       |         |       |
|----------------------|----------|---------|-------------------------------|-----------|-------|---------|-------|
| 1ST LCASE            |          |         | MAX./MIN. COMPONENT REACTIONS |           |       |         |       |
| JT                   | COMBINED | SNOW    | LIVE                          | PERM.LIVE | WIND  | DEAD    | SOIL  |
| R                    | 1285     | 837 / 0 | 0 / 0                         | 0 / 0     | 0 / 0 | 448 / 0 | 0 / 0 |
| L                    | 1285     | 837 / 0 | 0 / 0                         | 0 / 0     | 0 / 0 | 448 / 0 | 0 / 0 |

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) R, L

**BRACING**

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 4.35 FT.  
 MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT OR RIGID CEILING DIRECTLY APPLIED

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE Laterally RESTRAINED.

1 LATERAL BRACE(S) AT 1/2 LENGTH OF F-O, C-R, I-L.

END VERTICAL(S) MUST BE SHEATHED OR HAVE BRACES AS INDICATED IN  
 THE MAX. UNBRACED LENGTH COLUMN OF THE TABLE BELOW

**LOADING**

TOTAL LOAD CASES: (4)

| C H O R D S   |                |                     |                 | W E B S        |       |                |                 |
|---------------|----------------|---------------------|-----------------|----------------|-------|----------------|-----------------|
| MAX. FACTORED |                | FACTORED            |                 | MAX. FACTORED  |       | MAX. FACTORED  |                 |
| MEMB.         | FORCE<br>(LBS) | VERT. LOAD<br>(PLF) | MAX<br>CSI (LC) | MAX.<br>UNBRAC | MEMB. | FORCE<br>(LBS) | MAX<br>CSI (LC) |
| FR-TO         |                | FROM                | TO              | LENGTH         | FR-TO |                |                 |
| A-B           | 0 / 38         | -84.9               | -84.9 0.12 (1)  | 10.00          | C-Q   | -417 / 0       | 0.19 (1)        |
| B-C           | 0 / 41         | -84.9               | -84.9 0.53 (1)  | 10.00          | Q-E   | 0 / 582        | 0.09 (1)        |
| C-D           | -1894 / 0      | -84.9               | -84.9 0.55 (1)  | 4.35           | E-O   | 0 / 317        | 0.05 (1)        |
| D-E           | -1894 / 0      | -84.9               | -84.9 0.55 (1)  | 4.35           | O-F   | -450 / 0       | 0.28 (1)        |
| E-F           | -1340 / 0      | -84.9               | -84.9 0.21 (1)  | 5.38           | O-G   | 0 / 317        | 0.05 (1)        |
| F-G           | -1340 / 0      | -84.9               | -84.9 0.21 (1)  | 5.38           | G-M   | 0 / 582        | 0.09 (1)        |
| G-H           | -1894 / 0      | -84.9               | -84.9 0.55 (1)  | 4.35           | M-I   | -417 / 0       | 0.19 (1)        |
| H-I           | -1894 / 0      | -84.9               | -84.9 0.55 (1)  | 4.35           | R-C   | -2153 / 0      | 0.64 (1)        |
| I-J           | 0 / 41         | -84.9               | -84.9 0.53 (1)  | 10.00          | I-L   | -2153 / 0      | 0.64 (1)        |
| J-K           | 0 / 38         | -84.9               | -84.9 0.12 (1)  | 10.00          |       |                |                 |
| R-B           | -305 / 0       | 0.0                 | 0.0 0.02 (1)    | 7.81           |       |                |                 |
| L-J           | -305 / 0       | 0.0                 | 0.0 0.02 (1)    | 7.81           |       |                |                 |

**DESIGN CRITERIA**

SPECIFIED LOADS:

|       |     |      |   |      |     |
|-------|-----|------|---|------|-----|
| TOP   | CH. | LL   | = | 23.3 | PSF |
|       |     | DL   | = | 6.0  | PSF |
| BOT   | CH. | LL   | = | 0.0  | PSF |
|       |     | DL   | = | 7.0  | PSF |
| TOTAL |     | LOAD | = | 36.3 | PSF |

**SPACING = 24.0 IN./C/C**

LOADING IN FLAT SECTION BASED ON A SLOPE OF 6.00/12

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2015

THIS DESIGN COMPLIES WITH:

- PART 9 OF BCBC 2018 , ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

(55 % OF 27.2 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 23.3 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (1.11")  
CALCULATED VERT. DEFL.(LL) = L/ 999 (0.07")  
ALLOWABLE DEFL.(TL)= L/360 (1.11")  
CALCULATED VERT. DEFL.(TL) = L/ 999 (0.17")

CSI: TC=0.55/1.00 (C-E:1), BC=0.43/1.00 (L-M:4),  
WB=0.64/1.00 (I-L:1), SS=0.20/1.00 (C-E:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10  
COMP=1.10 SHEAR=1.10 TENS=1.10

COMPANION LIVE LOAD FACTOR = 1.00

AUTOSOLVE HEELS OFF

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

**NAIL VALUES**

| PLATE | GRIP(DRY) |     | SHEAR<br>(PSI) | SECTION<br>(PLI) |
|-------|-----------|-----|----------------|------------------|
|       | MAX       | MIN |                |                  |
| MT20  | 650       | 371 | 1747           | 788 1987 1873    |

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

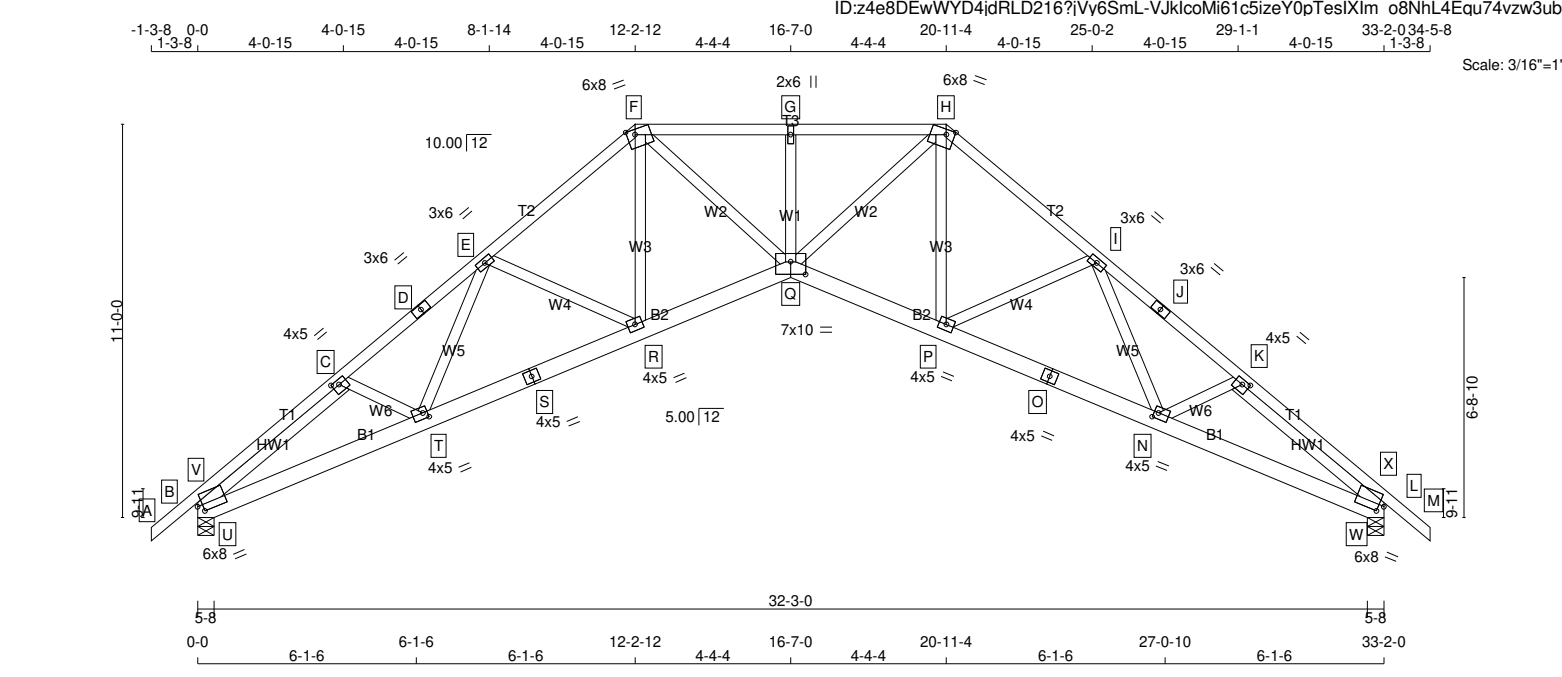
JSI GRIP= 0.88 (Q) (INPUT = 0.90 )  
JSI METAL= 0.65 (C) (INPUT = 1.00 )

|          |            |          |     |             |                |          |
|----------|------------|----------|-----|-------------|----------------|----------|
| JOB NAME | TRUSS NAME | QUANTITY | PLY | JOB DESC.   | 2 Dawson Court | DRWG NO. |
| 03957    | A3         | 16       | 1   | TRUSS DESC. |                |          |

Watford Roof Truss, Watford, Ont., BN

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TOTAL WEIGHT = 16 X 182 = 2913 lb

[M][F]

|                     |      |        |        |
|---------------------|------|--------|--------|
| <b>LUMBER</b>       |      |        |        |
| N. L. G. A. RULES   |      |        |        |
| CHORDS              | SIZE | LUMBER | DESCR. |
| A - D               | 2x4  | DRY    | No.2   |
| D - F               | 2x4  | DRY    | No.2   |
| F - H               | 2x4  | DRY    | No.2   |
| H - J               | 2x4  | DRY    | No.2   |
| J - M               | 2x4  | DRY    | No.2   |
| B - S               | 2x6  | DRY    | No.2   |
| S - Q               | 2x6  | DRY    | No.2   |
| Q - O               | 2x6  | DRY    | No.2   |
| O - L               | 2x6  | DRY    | No.2   |
| REINFORCING MEMBERS |      |        |        |
| HW1                 | 2x4  | DRY    | No.2   |
| HW2                 | 2x4  | DRY    | No.2   |
| ALL WEBS 2x4 DRY    |      |        |        |
| SEASONED LUMBER.    |      |        |        |

|                                    |          |        |                    |
|------------------------------------|----------|--------|--------------------|
| <b>PLATES (table is in inches)</b> |          |        |                    |
| JT                                 | TYPE     | PLATES | W LEN Y X          |
| B                                  | TMBMW1-I | MT20   | 6.0 8.0 2.25 1.75  |
| C                                  | TMWW-t   | MT20   | 4.0 5.0 1.50 2.25  |
| D                                  | TS-t     | MT20   | 3.0 6.0            |
| E                                  | TMWW-t   | MT20   | 3.0 6.0            |
| F                                  | TTWW-m   | MT20   | 6.0 8.0 1.75 2.75  |
| G                                  | TMW+w    | MT20   | 2.0 6.0            |
| H                                  | TTWW-m   | MT20   | 6.0 8.0 1.75 2.75  |
| I                                  | TMWW-t   | MT20   | 3.0 6.0            |
| J                                  | TS-t     | MT20   | 3.0 6.0            |
| K                                  | TMWW-t   | MT20   | 4.0 5.0 1.50 2.25  |
| L                                  | TMBMW1-I | MT20   | 6.0 8.0 2.25 1.75  |
| N                                  | BMWW-t   | MT20   | 4.0 5.0 2.00 1.50  |
| O                                  | BS-t     | MT20   | 4.0 5.0            |
| P                                  | BMWW-t   | MT20   | 4.0 5.0            |
| Q                                  | BBWWW-p  | MT20   | 7.0 10.0 4.25 5.00 |
| R                                  | BMWW-t   | MT20   | 4.0 5.0            |
| S                                  | BS-t     | MT20   | 4.0 5.0            |
| T                                  | BMWW-t   | MT20   | 4.0 5.0 2.00 1.50  |

**DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER**

|                 |      |                |                  |       |        |
|-----------------|------|----------------|------------------|-------|--------|
| <b>BEARINGS</b> |      | FACTORED       | MAXIMUM FACTORED | INPUT | REQRD  |
|                 |      | GROSS REACTION | GROSS REACTION   | BRG   | BRG    |
| JT              | VERT | HORZ           | DOWN             | HORZ  | UPLIFT |
| B               | 1815 | 0              | 1815             | 0     | 0      |
| L               | 1815 | 0              | 1815             | 0     | 0      |

ALLOW FOR 0.4" OF HORIZONTAL MOVEMENT DUE TO TOTAL LOAD.

|                             |          |           |                               |           |       |         |       |
|-----------------------------|----------|-----------|-------------------------------|-----------|-------|---------|-------|
| <b>UNFACTORED REACTIONS</b> |          | 1ST LCASE | MAX./MIN. COMPONENT REACTIONS |           |       |         |       |
| JT                          | COMBINED | SNOW      | LIVE                          | PERM.LIVE | WIND  | DEAD    | SOIL  |
| B                           | 1285     | 837 / 0   | 0 / 0                         | 0 / 0     | 0 / 0 | 448 / 0 | 0 / 0 |
| L                           | 1285     | 837 / 0   | 0 / 0                         | 0 / 0     | 0 / 0 | 448 / 0 | 0 / 0 |

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) B, L

**BRACING**  
TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 3.44 FT.  
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE Laterally RESTRAINED.

**LOADING**  
TOTAL LOAD CASES: (4)

|               |             |                      |              |
|---------------|-------------|----------------------|--------------|
| <b>CHORDS</b> |             | <b>WEBS</b>          |              |
| MAX. FACTORED |             | MAX. FACTORED        |              |
| MEMB.         | FORCE (LBS) | VERT. LOAD (PLF)     | MAX. CS (LC) |
| FR-TO         | FROM TO     | LENGTH               | FR-TO        |
| A-B           | 0 / 23      | -84.9 -84.9 0.11 (1) | 10.00 C-T    |
| B-V           | -2529 / 0   | -84.9 -84.9 0.18 (1) | 4.20 T-E     |
| V-C           | -1579 / 0   | -84.9 -84.9 0.15 (1) | 5.13 E-R     |
| C-D           | -3478 / 0   | -84.9 -84.9 0.34 (1) | 3.55 R-F     |
| D-E           | -3478 / 0   | -84.9 -84.9 0.34 (1) | 3.55 F-Q     |
| E-F           | -3033 / 0   | -84.9 -84.9 0.32 (1) | 3.80 Q-G     |
| F-G           | -3662 / 0   | -84.9 -84.9 0.34 (1) | 3.44 G-H     |
| G-H           | -3662 / 0   | -84.9 -84.9 0.34 (1) | 3.44 H-I     |
| H-I           | -3033 / 0   | -84.9 -84.9 0.32 (1) | 3.80 I-J     |
| I-J           | -3479 / 0   | -84.9 -84.9 0.34 (1) | 3.55 J-K     |
| J-K           | -3479 / 0   | -84.9 -84.9 0.34 (1) | 3.55 K-X     |
| K-X           | -1579 / 0   | -84.9 -84.9 0.15 (1) | 5.13 X-L     |
| X-L           | -2529 / 0   | -84.9 -84.9 0.18 (1) | 4.20 L-M     |
| L-M           | 0 / 23      | -84.9 -84.9 0.11 (1) | 10.00        |
| B-U           | 0 / 1325    | -17.5 -17.5 0.17 (1) | 10.00        |
| U-T           | 0 / 2883    | -17.5 -17.5 0.41 (1) | 10.00        |
| T-S           | 0 / 2890    | -17.5 -17.5 0.40 (1) | 10.00        |
| S-R           | 0 / 2890    | -17.5 -17.5 0.40 (1) | 10.00        |
| R-Q           | 0 / 2506    | -17.5 -17.5 0.33 (1) | 10.00        |
| Q-P           | 0 / 2506    | -17.5 -17.5 0.33 (1) | 10.00        |
| P-O           | 0 / 2890    | -17.5 -17.5 0.40 (1) | 10.00        |
| O-N           | 0 / 2890    | -17.5 -17.5 0.40 (1) | 10.00        |
| N-W           | 0 / 2883    | -17.5 -17.5 0.41 (1) | 10.00        |
| W-L           | 0 / 1325    | -17.5 -17.5 0.17 (1) | 10.00        |

**DESIGN CRITERIA**

|                       |     |    |            |
|-----------------------|-----|----|------------|
| SPECIFIED LOADS:      |     |    |            |
| TOP                   | CH. | LL | = 23.3 PSF |
|                       |     | DL | = 6.0 PSF  |
| BOT                   | CH. | LL | = 0.0 PSF  |
|                       |     | DL | = 7.0 PSF  |
| TOTAL LOAD = 36.3 PSF |     |    |            |

**SPACING = 24.0 IN./C**

LOADING IN FLAT SECTION BASED ON A SLOPE OF 6.00/12

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2015

THIS DESIGN COMPLIES WITH:  
- PART 9 OF BCBC 2018, ABC 2019  
- PART 9 OF OBC 2012 (2019 AMENDMENT)  
- CSA 086-14  
- TPIC 2014

(55 % OF 27.2 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 23.3 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (1.11")  
CALCULATED VERT. DEFL.(LL)= L/ 999 (0.22")  
ALLOWABLE DEFL.(TL)= L/360 (1.11")  
CALCULATED VERT. DEFL.(TL)= L/ 975 (0.41")

CSI: TC=0.34/1.00 (F-G:1) , BC=0.41/1.00 (N-W:1) , WB=0.78/1.00 (C-U:1) , SSI=0.17/1.00 (F-G:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10  
COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

|             |           |         |                    |
|-------------|-----------|---------|--------------------|
| NAIL VALUES |           |         |                    |
| PLATE       | GRIP(DRY) | SHEAR   | SECTION            |
|             | (PSI)     | (PLI)   | (PLI)              |
|             | MAX MIN   | MAX MIN | MAX MIN            |
| MT20        | 650       | 371     | 1747 788 1987 1873 |

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.89 (B) (INPUT = 0.90 )  
JSI METAL= 0.73 (S) (INPUT = 1.00 )

DRWG NO.

Version 8.500 S Oct 22 2021 MiTek Industries, Inc. Thu Jan 12 15:32:25 2023 Page 1  
ID:z4e8DEwWYD4jdRLD216?jvY6SmL-zWHqp8NLtLkyK7DKaW tPv4VgOCa6CuETUeqdMzw3ua



TOTAL WEIGHT = 28 X 25 = 689 lb

| <b>PLATES (table is in inches)</b> |        |        |     |     |      |      |
|------------------------------------|--------|--------|-----|-----|------|------|
| JT                                 | TYPE   | PLATES | W   | LEN | Y    | X    |
| B                                  | TMB1-I | MT20   | 3.0 | 6.0 | 1.50 | 4.00 |
| C                                  | TTW+p  | MT20   | 3.0 | 6.0 |      |      |
| D                                  | TMB1-I | MT20   | 3.0 | 6.0 | 1.50 | 4.00 |
| F                                  | BMW1+w | MT20   | 2.0 | 6.0 |      |      |

|    | FACTORED       |      | MAXIMUM FACTORED |      | INPUT | REQD  |
|----|----------------|------|------------------|------|-------|-------|
|    | GROSS REACTION |      | GROSS REACTION   |      | BRG   | BRG   |
| JT | VERT           | HORZ | DOWN             | HORZ | IN-SX | IN-SX |
| B  | 297            | 0    | 297              | 0    | 7-5-0 | 1-8   |
| D  | 297            | 0    | 297              | 0    | 7-5-0 | 1-8   |
| F  | 259            | 0    | 259              | 0    | 7-5-0 | 1-8   |

| 1ST LCASE |          | MAX./MIN. COMPONENT REACTIONS |       |           |       |        |       |
|-----------|----------|-------------------------------|-------|-----------|-------|--------|-------|
| JT        | COMBINED | SNOW                          | LIVE  | PERM.LIVE | WIND  | DEAD   | SOIL  |
| B         | 208      | 146 / 0                       | 0 / 0 | 0 / 0     | 0 / 0 | 63 / 0 | 0 / 0 |
| D         | 208      | 146 / 0                       | 0 / 0 | 0 / 0     | 0 / 0 | 63 / 0 | 0 / 0 |
| F         | 186      | 105 / 0                       | 0 / 0 | 0 / 0     | 0 / 0 | 81 / 0 | 0 / 0 |

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) B, D, F

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 6.25 FT.  
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE LATERALLY RESTRAINED.

**TOTAL LOAD CASES: (4)**

| CHORDS |                            |                                 |                        | WEBS                     |       |                                 |                 |          |
|--------|----------------------------|---------------------------------|------------------------|--------------------------|-------|---------------------------------|-----------------|----------|
| MEMB.  | FACTORED<br>FORCE<br>(LBS) | FACTORED<br>VERT. LOAD<br>(PLF) | MAX<br>LC1<br>CSI (LC) | MAX.<br>UNBRAC<br>LENGTH | MEMB. | MAX. FACTORED<br>FORCE<br>(LBS) | MAX<br>CSI (LC) |          |
| FR-TO  |                            | FROM TO                         |                        |                          | FR-TO |                                 |                 |          |
| A-B    | 0 / 14                     | -84.9                           | -84.9                  | 0.02 (1)                 | 10.00 | F-C                             | -103 / 0        | 0.01 (1) |
| B-H    | -24 / 30                   | -84.9                           | -84.9                  | 0.08 (1)                 | 6.25  | G-H                             | -380 / 0        | 0.00 (1) |
| H-C    | -134 / 0                   | -84.9                           | -84.9                  | 0.14 (1)                 | 6.25  | I-J                             | -380 / 0        | 0.00 (1) |
| C-J    | -134 / 0                   | -84.9                           | -84.9                  | 0.14 (1)                 | 6.25  |                                 |                 |          |
| J-D    | -24 / 30                   | -84.9                           | -84.9                  | 0.08 (1)                 | 6.25  |                                 |                 |          |
| D-E    | 0 / 14                     | -84.9                           | -84.9                  | 0.02 (1)                 | 10.00 |                                 |                 |          |
|        |                            |                                 |                        |                          |       |                                 |                 |          |
| B-G    | 0 / 95                     | -17.5                           | -17.5                  | 0.14 (1)                 | 10.00 |                                 |                 |          |
| G-F    | 0 / 95                     | -17.5                           | -17.5                  | 0.14 (1)                 | 10.00 |                                 |                 |          |
| F-I    | 0 / 95                     | -17.5                           | -17.5                  | 0.14 (1)                 | 10.00 |                                 |                 |          |
| I-D    | 0 / 95                     | -17.5                           | -17.5                  | 0.14 (1)                 | 10.00 |                                 |                 |          |

SPECIFIED LOADS:

|            |     |    |   |      |          |
|------------|-----|----|---|------|----------|
| TOP        | CH. | LL | = | 23.3 | PSF      |
|            |     | DL | = | 6.0  | PSF      |
| BOT        | CH. | LL | = | 0.0  | PSF      |
|            |     | DL | = | 7.0  | PSF      |
| TOTAL LOAD |     |    |   | =    | 36.3 PSF |

THIS TRUSS IS DESIGNED FOR RESIDENTIAL  
OR SMALL BUILDING REQUIREMENTS OF PART  
9, NBCC 2015

THIS DESIGN COMPLIES WITH:

- PART 9 OF BCBC 2018 , ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

(55 % OF 27.2 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 23.3 P.S.F. SPECIFIED ROOF LIVE LOAD

CSI: TC=0.14/1.00 (C-H:1) , BC=0.14/1.00 (F-G:1) ,  
WB=0.01/1.00 (C-F:1) , SSI=0.29/1.00 (B-G:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10  
COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

| PLATE | GRIP(DRY) |     | SHEAR |     | SECTION |      |
|-------|-----------|-----|-------|-----|---------|------|
|       | (PSI)     |     | (PLI) |     | (PLI)   |      |
|       | MAX       | MIN | MAX   | MIN | MAX     | MIN  |
| MT20  | 650       | 371 | 1747  | 788 | 1987    | 1873 |

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.25 (D) (INPUT = 0.90 )  
JSI METAL= 0.06 (B) (INPUT = 1.00 )

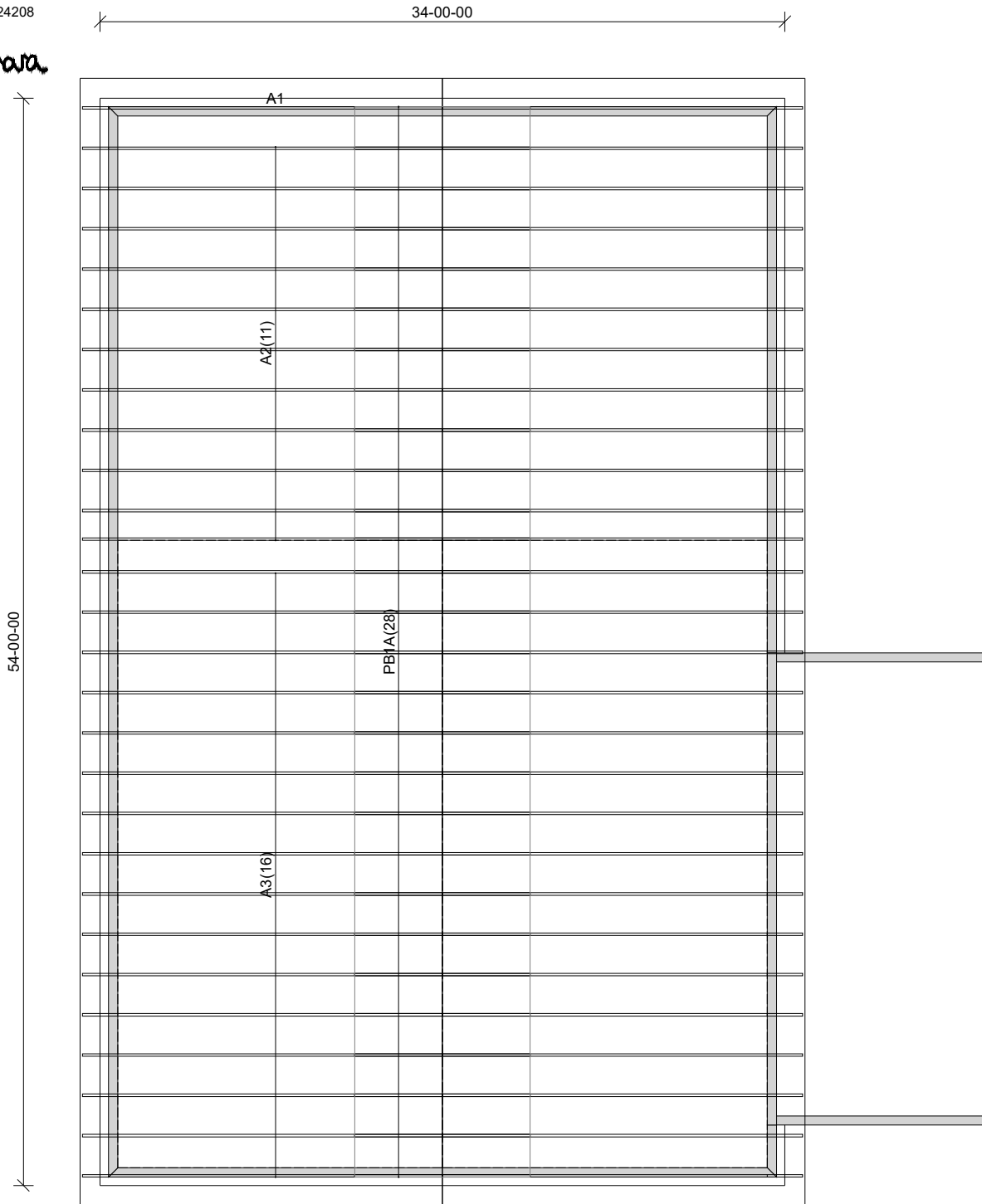


I, JENNIFER CAMARA, HAVE REVIEWED  
THIS LAYOUT TO THE BEST OF MY  
ABILITY

FIRM BCIN: 117239  
INDIVIDUAL BCIN: 24208

SIGNED:

*J. Camara*



**JOB #: 03957**

All conventional roof framing to comply with O.B.C. 2012.  
Roof rafters that meet or cross trusses below to be minimum 2x4 SPF #2 or better at maximum 24" o.c.  
Rafters to be installed with minimum 2x4 SPF #2 or better vertical post to the truss below at each intersection (24" o.c. typical).  
Vertical posts longer than 6' must be laterally braced at its midpoint.



*Watford Roof Truss Ltd.*  
330 Front St.  
Watford, Ontario  
NOM 2S0  
1-800-265-3470  
Fax: 1-519-876-3200

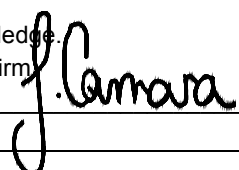
**CLIENT:**  
**BUILDER:**  
**ADDRESS:** 2 Dawson Court  
**CITY:** Simcoe, ON

**PITCH:** 10/12  
**OVERHANG:** 12"  
**SOFFIT DROP:** 10"

**MODEL:** N/A  
**DATE:** Jan 12, 2023  
**DRAWN BY:** BN  
**GSL:** 27.2 lb/ft<sup>2</sup>

## Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

|  |                       |                                |                        |          |
|--|-----------------------|--------------------------------|------------------------|----------|
| <b>A. Project Information</b>  |                       |                                |                        |          |
| Building number, street name   |                       |                                | Unit no.               | Lot/con. |
| Municipality   | Postal code           | Plan number/ other description |                        |          |
| <b>B. Individual who reviews and takes responsibility for design activities</b>  |                       |                                |                        |          |
| Name   |                       | Firm                           |                        |          |
| Street address   |                       |                                | Unit no.               | Lot/con. |
| Municipality   | Postal code           | Province                       | E-mail                 |          |
| Telephone number<br>(     )  | Fax number<br>(     ) |                                | Cell number<br>(     ) |          |
| <b>C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]</b>   |                       |                                |                        |          |
| <div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"><input type="checkbox"/> House</div> <div style="width: 33%;"><input type="checkbox"/> HVAC – House</div> <div style="width: 33%;"><input type="checkbox"/> Building Structural</div> <div style="width: 33%;"><input type="checkbox"/> Small Buildings</div> <div style="width: 33%;"><input type="checkbox"/> Building Services</div> <div style="width: 33%;"><input type="checkbox"/> Plumbing – House</div> <div style="width: 33%;"><input type="checkbox"/> Large Buildings</div> <div style="width: 33%;"><input type="checkbox"/> Detection, Lighting and Power</div> <div style="width: 33%;"><input type="checkbox"/> Plumbing – All Buildings</div> <div style="width: 33%;"><input type="checkbox"/> Complex Buildings</div> <div style="width: 33%;"><input type="checkbox"/> Fire Protection</div> <div style="width: 33%;"><input type="checkbox"/> On-site Sewage Systems</div> </div>   |                       |                                |                        |          |
| Description of designer's work   |                       |                                |                        |          |
| <b>D. Declaration of Designer</b>  |                       |                                |                        |          |
| <p>I _____ declare that (choose one as appropriate):</p> <p style="text-align: center;">(print name)</p> <p><input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p style="margin-left: 40px;">Individual BCIN: _____</p> <p style="margin-left: 40px;">Firm BCIN:        _____</p> <p><input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.</p> <p style="margin-left: 40px;">Individual BCIN: _____</p> <p style="margin-left: 40px;">Basis for exemption from registration: _____</p> <p><input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code.</p> <p style="margin-left: 40px;">Basis for exemption from registration and qualification: _____</p> <p>I certify that:</p> <ol style="list-style-type: none"> <li>The information contained in this schedule is true to the best of my knowledge.</li> <li>I have submitted this application with the knowledge and consent of the firm.</li> </ol> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 30%;"> <p>_____</p> <p>Date</p> </div> <div style="width: 60%;"> <p style="text-align: right;"> <br/>             _____<br/>             Signature of Designer           </p> </div> </div> |                       |                                |                        |          |

**NOTE:**

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of authorization, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

# Energy Efficiency Design Summary: Prescriptive Method

(Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

| For use by Principal Authority |                            |
|--------------------------------|----------------------------|
| Application No:                | Model/Certification Number |

## A. Project Information

|                              |             |                                      |         |
|------------------------------|-------------|--------------------------------------|---------|
| Building number, street name |             | Unit number                          | Lot/Con |
| Municipality                 | Postal code | Reg. Plan number / other description |         |

## B. Prescriptive Compliance [indicate the building code compliance package being employed in this house design]

|  |
|--|
| SB-12 Prescriptive (input design package): Package: _____ Table: _____ |
|--|

## C. Project Design Conditions


| Climatic Zone (SB-1):  | Heating Equipment Efficiency   | Space Heating Fuel Source   |
|--|--|---|
| <input type="checkbox"/> Zone 1 (< 5000 degree days)             | <input type="checkbox"/> ≥ 92% AFUE  | <input type="checkbox"/> Gas <input type="checkbox"/> Propane <input type="checkbox"/> Solid Fuel                     |
| <input type="checkbox"/> Zone 2 (≥ 5000 degree days)             | <input type="checkbox"/> ≥ 84% < 92% AFUE  | <input type="checkbox"/> Oil <input type="checkbox"/> Electric <input type="checkbox"/> Earth Energy                  |
| Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area      |  | Other Building Characteristics  |
| Area of walls = _____ m <sup>2</sup> or _____ ft <sup>2</sup>    | W, S & G % = _____   | <input type="checkbox"/> Log/Post&Beam <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> ICF Basement |
| Area of W, S & G = _____ m <sup>2</sup> or _____ ft <sup>2</sup> | Utilize window averaging: <input type="checkbox"/> Yes <input type="checkbox"/> No | <input type="checkbox"/> Slab-on-ground <input type="checkbox"/> Walkout Basement                                     |
|  |  | <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Combo Unit   |
|  |  | <input type="checkbox"/> Air Sourced Heat Pump (ASHP)   |
|  |  | <input type="checkbox"/> Ground Sourced Heat Pump (GSHP)  |

## D. Building Specifications [provide values and ratings of the energy efficiency components proposed]

| Energy Efficiency Substitutions   |  |  |                    |
|---|--|--|--------------------|
| <input type="checkbox"/> ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6))  |  |  |                    |
| <input type="checkbox"/> Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7))              |  |  |                    |
| <input type="checkbox"/> Airtightness substitution(s)<br><br>Airtightness test required<br>(Refer to Design Guide Attached) | <input type="checkbox"/> Table 3.1.1.4.B Required: _____ Permitted Substitution: _____ |  |                    |
|   | <input type="checkbox"/> Table 3.1.1.4.C Required: _____ Permitted Substitution: _____ |  |                    |
|   | Required: _____ Permitted Substitution: _____  |  |                    |
| Building Component  | Minimum RSI / R values<br>or Maximum U-Value <sup>(1)</sup>                            | Building Component   | Efficiency Ratings |
| <b>Thermal Insulation</b>   | Nominal    Effective   | <b>Windows &amp; Doors</b> Provide U-Value <sup>(1)</sup> or ER rating |                    |
| Ceiling with Attic Space  |  | Windows/Sliding Glass Doors  |                    |
| Ceiling without Attic Space   |  | Skylights/Glazed Roofs   |                    |
| Exposed Floor   |  | <b>Mechanicals</b>   |                    |
| Walls Above Grade   |  | Heating Equip.(AFUE)   |                    |
| Basement Walls  |  | HRV Efficiency (SRE% at 0° C)  |                    |
| Slab (all >600mm below grade)   |  | DHW Heater (EF)  |                    |
| Slab (edge only ≤600mm below grade)   |  | DWHR (CSA B55.1 (min. 42% efficiency))                                 | # Showers _____    |
| Slab (all ≤600mm below grade, or heated)  |  | Combined Heating System  |                    |

(1) U value to be provided in either W/(m<sup>2</sup>•K) or Btu/(h•ft<sup>2</sup>•F) but not both.

## E. Designer(s) [name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code]

| Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work. |      |   |
|--|------|---|
| Name   | BCIN | Signature  |

# Guide to the Prescriptive Energy Efficiency Design Summary Form

This form must accurately reflect the information contained on the drawings and specifications being submitted. Refer to Supplementary Standard SB-12 for details about building code compliance requirements. Further information about energy efficiency requirements for new buildings is available from the provincial building code website or the municipal building department.

The building code permits a house designer to use one of four energy efficiency compliance options:

1. Comply with the SB-12 Prescriptive design tables (this form is for this option (Option 1)),
2. Use the SB-12 Performance compliance method, and model the design against the prescriptive standards,
3. Design to Energy Star, or
4. Design to R2000 standards.

## COMPLETING THE FORM

### B. Compliance Options

Indicate the compliance option being used.

- SB-12 Prescriptive requires that the building conforms to a package of thermal insulation, window and mechanical system efficiency requirements set out in Subsection 3.1.1. of SB-12. Energy efficiency design modeling and testing of the building is not required under this option. Certain substitutions are permitted. In which case, the applicable airtightness targets in Table 3.1.1.4.A must be met.

### C. Project Design Conditions

**Climatic Zone:** The number of degree days for Ontario cities is contained in Supplementary Standard SB-1  
**Windows, Skylights and Glass Doors:** If the ratio of the total gross area of windows, sidelights, skylights, glazing in doors and sliding glass doors to the total gross area of walls is more than 17%, higher efficiency glazing is required. If the ratio is more than 22%, the SB-12 Prescriptive option may not be used. The total area is the sum of all the structural rough openings. Some exceptions apply. Refer to 3.1.1.1. of SB-12 for further details.

**Fuel Source and Heating Equipment Efficiency:** The fuel source and efficiency of the proposed heating equipment must be specified in order to determine which SB-12 Prescriptive compliance package table applies.

**Other Building Conditions:** These construction conditions affect SB-12 Prescriptive compliance requirements.

### D. Building Specifications

**Thermal Insulation:** Indicate the RSI or R-value being proposed where they apply to the house design. Under the SB-12 Prescriptive option, alternative ICF wall insulation is permitted in certain conditions where other design elements meet higher standards. Refer to SB-12 for further details. Where effective insulation values are being used, the Authority Having Jurisdiction may require supporting documentation.

## BUILDING CODE REQUIREMENTS FOR AIRTIGHTNESS IN NEW HOUSES

All houses must comply with increased air barrier requirements in the building code. Notice of air barrier completion must be provided and an inspection conducted prior to it being covered.

The air leakage rates in Table 3.1.1.4.A are not requirements. This provision is a voluntary provision for when credits for airtightness are claimed. Credit for air tightness allows the designer to substitute the requirements of compliance packages as set out in Table 3.1.1.4.B or 3.1.1.4.C. Neither the air leakage test nor compliance with airtightness targets given in Table 3.1.1.4.A are required, unless credit for airtightness is claimed. Table 3.1.1.4.A provides airtightness targets in three different metrics; ACH, NLA, NLR. Any one of them can be used. OBC Reference Default Air Leakage Rates (Table 3.1.1.4.A)

| Building Type     | Airtightness Targets |                                      |  |                         |                            |
|-------------------|----------------------|--------------------------------------|--|-------------------------|----------------------------|
|                   | ACH @ 50 Pa          | NLA @ 10 Pa                          |  | NLR @ 50 Pa             |                            |
| Detached dwelling | 2.5                  | 1.26 cm <sup>2</sup> /m <sup>2</sup> | 1.81 in <sup>2</sup> /100ft <sup>2</sup> | 0.93 L/s/m <sup>2</sup> | 0.18 cfm50/ft <sup>2</sup> |
| Attached dwelling | 3.0                  | 2.12 cm <sup>2</sup> /m <sup>2</sup> | 3.06 in <sup>2</sup> /100ft <sup>2</sup> | 1.32 L/s/m <sup>2</sup> | 0.26 cfm50/ft <sup>2</sup> |

The building code requires that a blower door test be conducted to verify the air tightness of the house during construction if the SB-12 Prescriptive option with airtightness credit being applied. Results of the airtightness test may need to be submitted to the Authority Having Jurisdiction. Airtightness of less than 2.5 ACH @ 50 Pa (or NLA or NLR equivalent) in the case of detached houses, or 3.0 ACH @ 50 Pa (or NLA or NLR equivalent) in the case of attached houses is necessary to meet the required energy efficiency standard.

### E. House Designer

The building code requires designers providing information about whether a building complies with the building code to have a BCIN. Exemptions apply to architects, engineers and owners designing their own house.

## GENERAL

1. THE ENGINEERING REVIEW BY STRIK BALDINELLI MONIZ LIMITED (SBM) IS FOR THE STRUCTURAL ITEMS NOTED ON THE SEALED DESIGN DOCUMENTS (PLANS, DETAILS, REPORT, ETC.) FOR WHICH THERE ARE NO PROVISIONS IN PART 9 OF THE ONTARIO BUILDING CODE (O.B.C.).
2. THE ENGINEERING REVIEW BY SBM IS LIMITED TO THE SITE/ADDRESS SHOWN ON THE DRAWINGS/REPORT AND CANNOT BE USED FOR ANY OTHER PROJECT WITHOUT EXPRESSED WRITTEN CONSENT BY SBM.
3. THE SEALED DESIGN DOCUMENTS ARE PREPARED BY SBM SOLELY FOR THE USE BY THE PARTY WITH WHOM SBM HAS ENTERED INTO A CONTRACT (HEREBY REFERRED TO AS THE CLIENT).
4. SBM'S REVIEW IS BASED ON THE INFORMATION (PLANS, ELEVATIONS, SECTIONS, DETAILS, GEOTECHNICAL REPORTS, SHOP DRAWINGS FOR PRE-ENG ELEMENTS, ETC.) PROVIDED TO US BY THE CLIENT AT THE TIME OF OUR REVIEW. SBM IS NOT RESPONSIBLE FOR ANY ERRORS TO, OR OMISSIONS FROM, THIS INFORMATION. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE US WITH ALL RELEVANT INFORMATION, TOGETHER WITH ANY ADDITIONS OR CHANGES THERETO.
5. THE CLIENT AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THIS HOUSE OR SMALL BUILDING SHALL CONFORM TO THE REQUIREMENTS OF O.B.C. PART 9 INCLUDING ALL STANDARDS REFERENCED THEREIN, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION.
6. THIS SPECIFICATION SHEET IS INTENDED TO SUPPLEMENT THE SEALED DESIGN DOCUMENTS PROVIDED AND O.B.C. PART 9 AS IT DOES NOT INCLUDE ALL REQUIREMENTS PROVIDED THEREIN. IF THE CLIENT REQUIRES FURTHER CLARIFICATION PLEASE CONTACT SBM OR THE LOCAL BUILDING DIVISION.
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O.REG. 213/91.
8. SBM HAS ASSUMED THAT ANY REQUIRED INSPECTIONS WILL BE PERFORMED BY THE LOCAL BUILDING DIVISION. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR ANY INSPECTIONS REQUIRED TO BE PERFORMED BY SBM.
9. THE DESIGN AND CONSTRUCTION OF ANY TEMPORARY SHORING REQUIRED TO CONSTRUCT THE WORKS HEREIN IS THE RESPONSIBILITY OF OTHERS.
10. WHERE MULTIPLE DESIGN OPTIONS ARE PRESENTED, IT IS THE RESPONSIBILITY OF THE CLIENT, IN CONSULTATION WITH THE OWNER, TO SELECT THE APPROPRIATE ALTERNATIVE.

## FOOTINGS AND FOUNDATIONS

1. ALL CONCRETE SHALL CONFORM TO O.B.C. 9.3.1. AND ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO O.B.C. 9.15. UNLESS NOTED OTHERWISE (U.N.O.) ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. FOUNDATIONS HAVE BEEN DESIGNED ASSUMING AN ALLOWABLE SOIL BEARING PRESSURE OF 100kPa (2090psf). IT IS THE RESPONSIBILITY OF THE CLIENT TO INFORM SBM IF THIS BEARING PRESSURE CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOAD PROVIDED IN 9.4.4.6.(1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
4. ENSURE ALL FOUNDATION WALLS ARE Laterally SUPPORTED PRIOR TO BACKFILLING.
5. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA G30. REINFORCING BARS SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 400MPa.

## WOOD-FRAME CONSTRUCTION

1. ALL LUMBER AND WOOD PRODUCTS SHALL CONFORM TO O.B.C. 9.3.2. AND ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO O.B.C. 9.23. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH  $F_b=2950$  (USA ASD) OR  $F_b=5450$  (CANADIAN LSD) OR BETTER. FASTEN MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" BEARING LENGTH AT ENDS U.N.O.
3. ALL PRE-ENGINEERED SYSTEMS (ROOF TRUSSES, FLOOR JOISTS, ETC.) SHALL BE DESIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND SEALED DESIGN SHEETS TO SBM AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER O.B.C. 9.23.10.2. TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
  - 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER O.B.C. TABLE 9.23.3.4.)
6. ALL WOOD COLUMNS SHALL CONFORM TO O.B.C. 9.17. U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF THE BEAM/GIRDER TRUSS UNDER ALL BEAMS/GIRDER TRUSSES, MINIMUM. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS SHALL HAVE 1 JACK STUD + 1 KING STUD AT ENDS U.N.O.
8. ALL GUARDS SHALL CONFORM TO O.B.C. 9.8.8. AND SUPPLEMENTARY STANDARD SB-7 U.N.O.
9. ALL POST LOADS SHOWN ON DRAWINGS ARE UNFACTORED. ALL ADJUSTABLE STEEL POSTS (E.G. SUPER POST, JR POST, ETC.) SHALL BE DESIGNED AND APPROVED BY CCMC WITH APPROPRIATE FACTORS OF SAFETY.

## ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO O.B.C. 9.23.13. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN O.B.C. PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS AS PER O.B.C. 9.23.13.7.
  - 3.1. SBM ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.)
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS SHALL BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING @ 3'-11" O.C. MAX.) AT THEIR BASES AND NAILED AS PER O.B.C. TABLE 9.23.13.8. TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS SHALL BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" O.C. EACH WAY MIN., U.N.O.
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH O.B.C. 9.23.13.11. OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER O.B.C. 9.23.1.1.).
  - 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH O.B.C. PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND SEALED DESIGN SHEETS.
  - 6.2. TRUSSES SHALL BE INSTALLED AS PER TRUSS PLATE INSTITUTE OF CANADA "HANDLING, ERECTION, AND BRACING OF WOOD TRUSSES" GUIDELINE.



## STRUCTURAL STEEL

1. ALL STEEL BEAMS SHALL CONFORM TO O.B.C. 9.23.4.3. AND ALL STEEL COLUMNS SHALL CONFORM TO O.B.C. 9.17. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL STRUCTURAL STEEL SHALL MEET OR EXCEED THE REQUIREMENTS FOR GRADE 350W IN CAN/CSA-G40.21 U.N.O. BELOW.
  - 2.1. ANCHOR BOLTS ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21 (300MPa) OR ASTM A36 (248MPa).
  - 2.2. TOP/BASE PLATES ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21 (300MPa).
3. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO ALL APPLICABLE STANDARDS.
4. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
  - 4.1. DROPPED STEEL BEAM - AS PROVIDED IN O.B.C. 9.23.4.3.(3) OR A 2x6 TOP PLATE W/ 3/8" THRU-BOLTS C/W NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" O.C. STAGGERED INTO THE TOP FLANGE & (2) 3/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
  - 4.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER & PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" THRU-BOLTS @ 16" O.C. STAGGERED TOP & BOTTOM AND APPROVED FACE-MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
5. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG 1/4" FILLET WELDS @ 8" O.C. MIN., STAGGERED.
6. ALL STEEL COLUMNS SHALL BE Laterally SUPPORTED TOP & BOTTOM (E.G. BY CONCRETE SLAB ON GRADE, (2) 3/8" BOLTS, OR 2" OF 1/4" FILLET WELD MIN.). CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYP.

## LOADING

1. ROOF LOADING:
  - 1.1. SNOW LOAD = AS PER O.B.C. 9.4.2.2. (NOT LESS THAN 20.9psf)
  - 1.2. DEAD LOAD = 6psf (ROOF RAFTERS/JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
  - 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY PRECLUDING THE STORAGE OR EQUIPMENT OR MATERIAL [AS PER O.B.C. 9.4.2.4.(1)]
    - 2.1.1. TOTAL LOAD = 7psf
  - 2.2. ACCESSIBLE ATTIC IN RESIDENTIAL OCCUPANCIES
    - 2.2.1. LIVE LOAD = 30psf
    - 2.2.2. DEAD LOAD = 12psf
  - 2.3. ACCESSIBLE ATTIC IN NON-RESIDENTIAL OCCUPANCIES
    - 2.3.1. LIVE LOAD = AS PER O.B.C. 4.1.5.
    - 2.3.2. DEAD LOAD = 12psf
3. FLOOR LOADING:
  - 3.1. LIVE LOAD = 40psf
  - 3.2. DEAD LOAD = 12psf
4. ACCESSIBLE EXTERIOR PLATFORMS (AS PER O.B.C. 9.4.2.3.3.)
  - 4.1. LIVE LOAD = GREATER OF 40psf OR SNOW LOAD
  - 4.2. DEAD LOAD = 12psf

SBM-22-0025  
23 January 2023

Attn: Brent Campbell

**2 Dawson Court,**  
**Simcoe, Ontario**

Brent;

As requested, we have completed our review of the structural items listed in this report. An allowable soil bearing pressure of 2000psf was assumed. All structural steel to have a  $F_y=345\text{MPa}$  or greater. All lumber to be S-P-F No.1/No.2 or better. All structural composite lumber (SCL) to be 2.0E with  $F_b=2950$  (USA ASD) or  $F_b=5450$  (Canadian LSD) or greater. Inspections of the items in this report are by others. Please contact us if additional engineering or inspections are required. See structural specification sheet SS1 attached for structural requirements, material specifications, loading, and assumptions. This report is for the above referenced project only and cannot be used for similar applications on other projects without written consent from Strik Baldinelli Moniz.

**Items**

- |  |                            |
|--|----------------------------|
| <b>1. Theatre to Piano Room Opening Header (front to back)</b>   | <b>3-2x8<br/>or 2-2x10</b> |
| Factored reaction @ ends: 3.2 kips   |                            |
| Approx. span (centre-to-centre) = 6'-4"  |                            |
| <i>Provide 2 jack studs, 1 king stud each end.</i>   |                            |
| <b>2. Garage Rear &amp; Exercise Right Side Window Headers (2) (front to back)</b>   | <b>2-2x8</b>               |
| Factored reaction @ ends: 2.6 kips   |                            |
| Approx. span (centre-to-centre) = 4'-4"  |                            |
| <i>Provide 1 jack stud, 1 king stud each end.</i>  |                            |
| <b>3. Garage Side Man Door Header (front to back)</b>  | <b>2-2x8</b>               |
| Factored reaction @ ends: 2.1 kips   |                            |
| Approx. span (centre-to-centre) = 3'-6"  |                            |
| <i>Provide 1 jack stud, 1 king stud each end.</i>  |                            |
| <b>4. Garage/Workshop Rear Steel Dropped Beam (left to right)</b>  | <b>W8x18<br/>or W10x22</b> |
| Factored reaction @ ends: 7.2 kips   |                            |
| Factored reaction @ interior: 21.1 kips  |                            |
| Approx. span (centre-to-centre) = 16'-3" + 16'-3" (2 span continuous)  |                            |
| <i>Provide a 4-2x6 post at each end and a steel post rated for 23.0 kips (factored) on a 38"x38"x17" concrete pad footing at the interior support.</i> |                            |



5. **Garage/Workshop Front Steel Dropped Beam (left to right)** **W8x18**  
**or W10x22**  
Factored reaction @ ends: 7.2 kips  
Factored reaction @ interior: 21.1 kips  
Approx. span (centre-to-centre) = 16'-3" + 16'-3" (2 span continuous)  
*Provide a 4-2x6 post at the left end and at a steel post rated for 23.0 kips (factored) on a 38"x38"x17" concrete pad footing at the interior support. Hang off Item #6 at the right end as per SBM detail S1.*
6. **Steel Beam between Garage/Workshop & Bar (front to back)** **W12x26**  
**or W10x39**  
Factored reaction @ ends: 19.2 kips  
Approx. span (centre-to-centre) = 19'-8"  
*Provide a 4-2x6 post with solid blocking down to the foundation wall at each end. Beam not permitted to support any masonry veneer. Contact Strik Baldinelli Moniz for redesign if any masonry veneer will bear on beam.*
7. **Foundation Wall Connection to Existing Wall**  
*Connect new concrete foundation wall to existing using 16" long 10M bars at 16" o/c vertically. Connect new concrete footing to existing using (3) 16" long 10M bars @ 6" o/c horizontally. Set bars 6" into existing foundation wall, epoxied using Hilti HIT-HY 200 (or equivalent). Seal dry joint to ensure watertight connection.*
8. **Tall Wall Framing at Second Floor Gable Wall** **2x6 at 12" o/c**  
Approx. stud height (t/o subfloor to u/s truss) = 15'-0" max.  
*Provide solid blocking at 48" o/c vertically, min ½" gypsum on interior face, min 3/8" sheathing or 1" rigid insulation on exterior face. Provide 3-2x6 full height king studs at each end of the 4'-0" wide window openings and 2-2x6 full height king studs at each end of the 2'-0" wide window opening. Where the wall studs are less than 13'-0" tall, 2x6 at 16" o/c framing is permitted.*

We trust this report meets your satisfaction; if you need further clarification please do not hesitate to contact us.



Regards,  
**Strik, Baldinelli, Moniz Ltd.**  
Planning • Civil • Structural • Mechanical • Electrical

Kevin Flanagan, P.Eng  
Structural ENG III, Associate I




**MAP A**  
**CONTEXT MAP**  
Geographic Township of CHARLOTTEVILLE

ANPL2022216

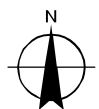


**Legend**

 Subject Lands

2020 Air Photo

3/2/2023

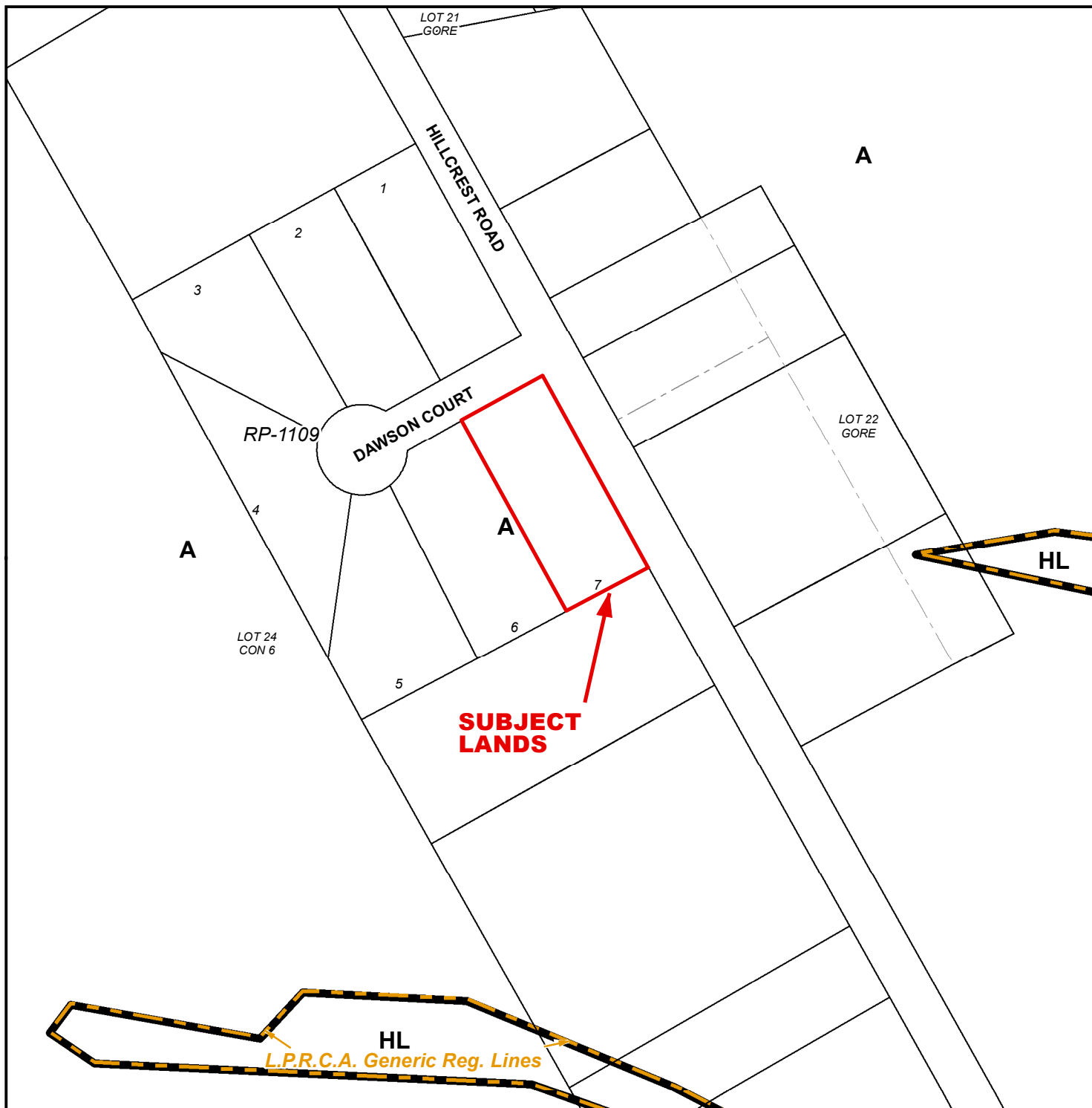


40 20 0 40 80 120 160 Meters



**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of CHARLOTTEVILLE

ANPL2022216



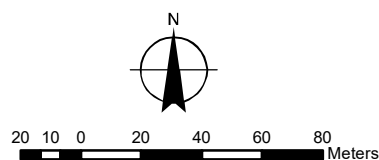
**LEGEND**

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

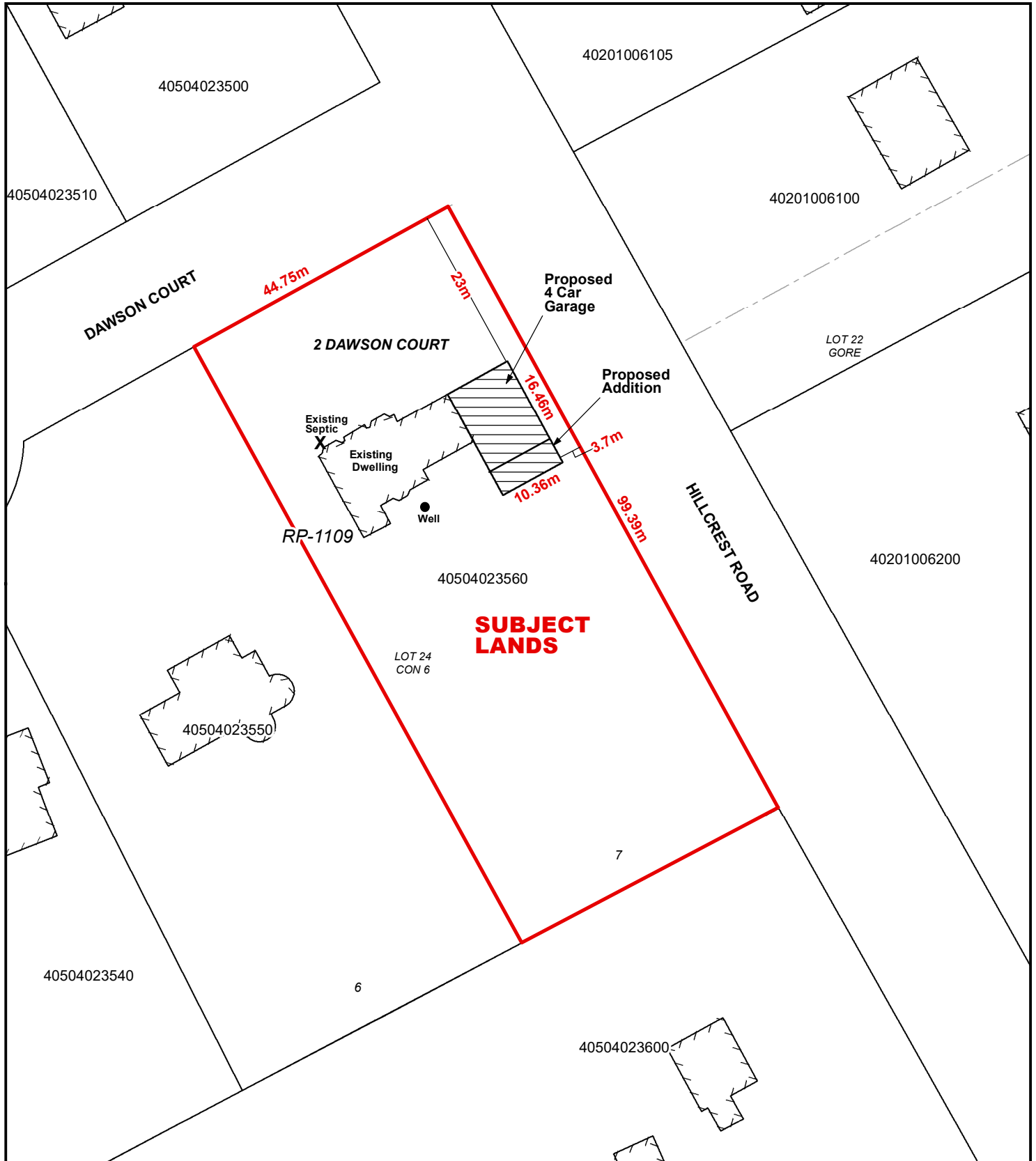
3/2/2023

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone



# CONCEPTUAL PLAN

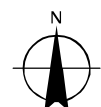
Geographic Township of CHARLOTTEVILLE



## Legend

Subject Lands

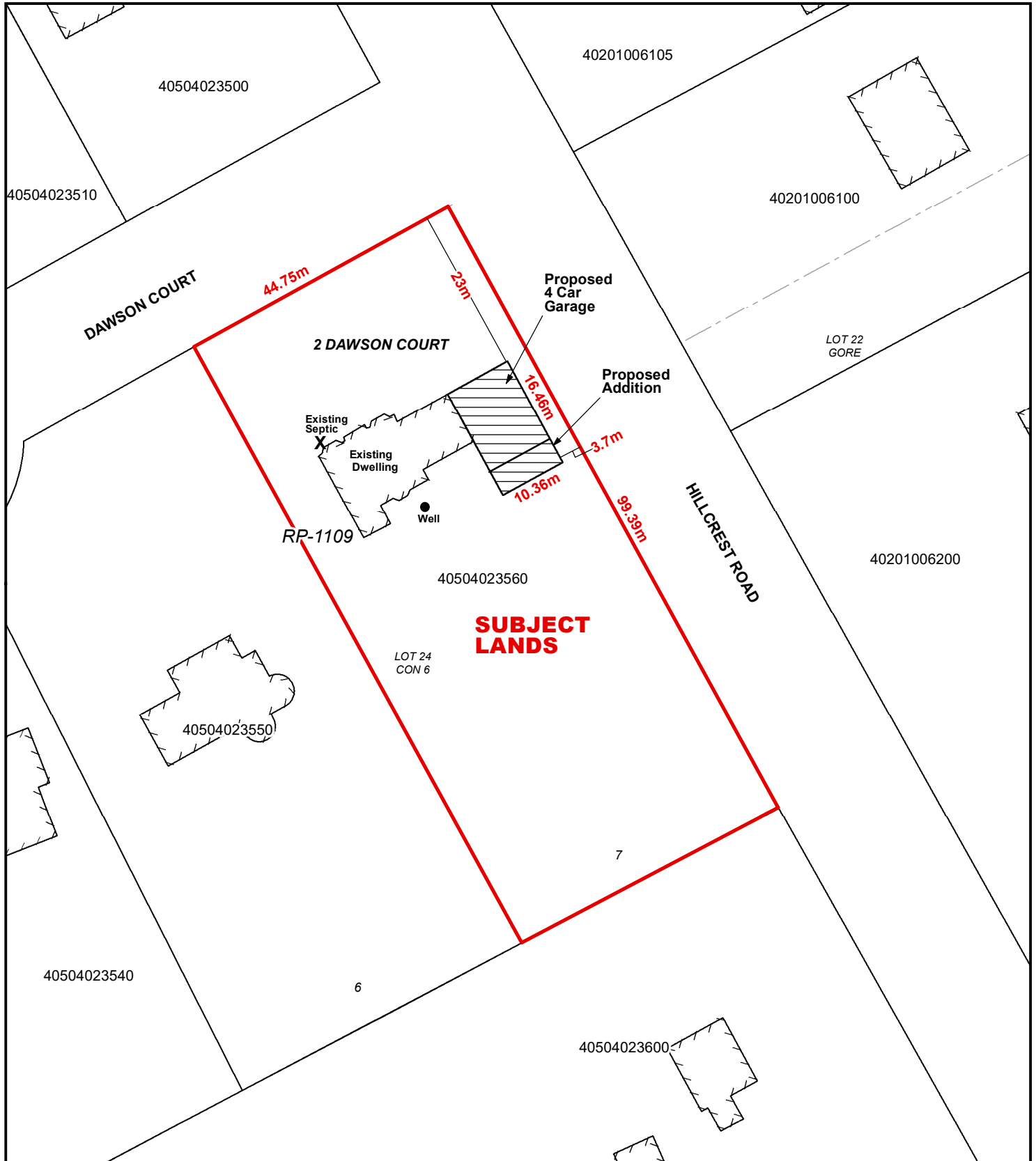
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6 3 0 6 12 18 24 Meters

## CONCEPTUAL PLAN

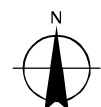
Geographic Township of CHARLOTTEVILLE



### Legend

Subject Lands

3/2/2023



6 3 0 6 12 18 24 Meters