

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

I. Transfers, Easements and Postponement of Interest

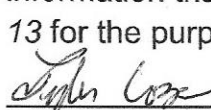
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Owner/Applicant/Agent Signature

Aug 17th 2022

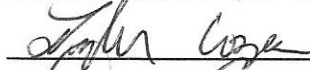
Date


J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Tyler David Cazes am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mary Elder of Elder Plans Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner


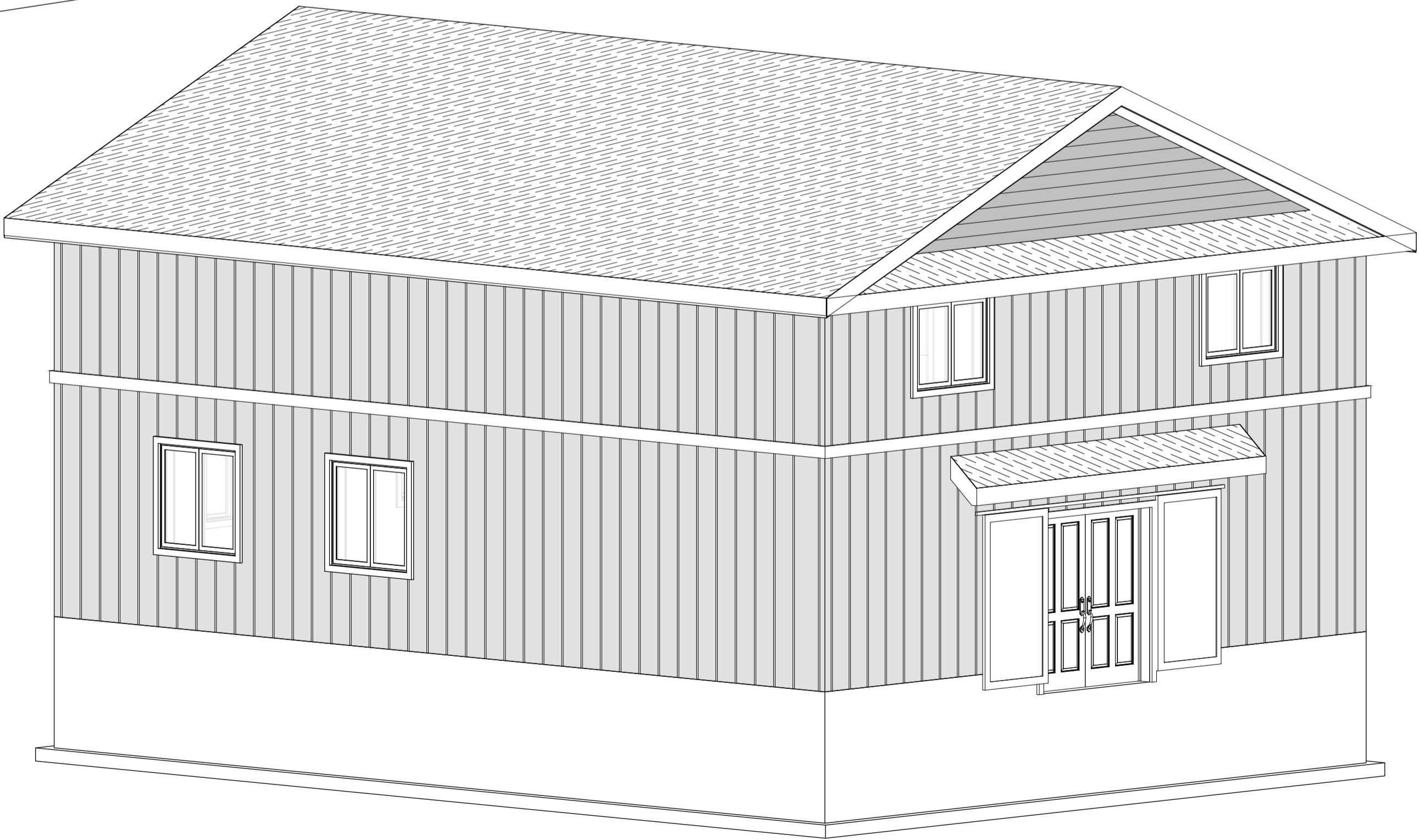
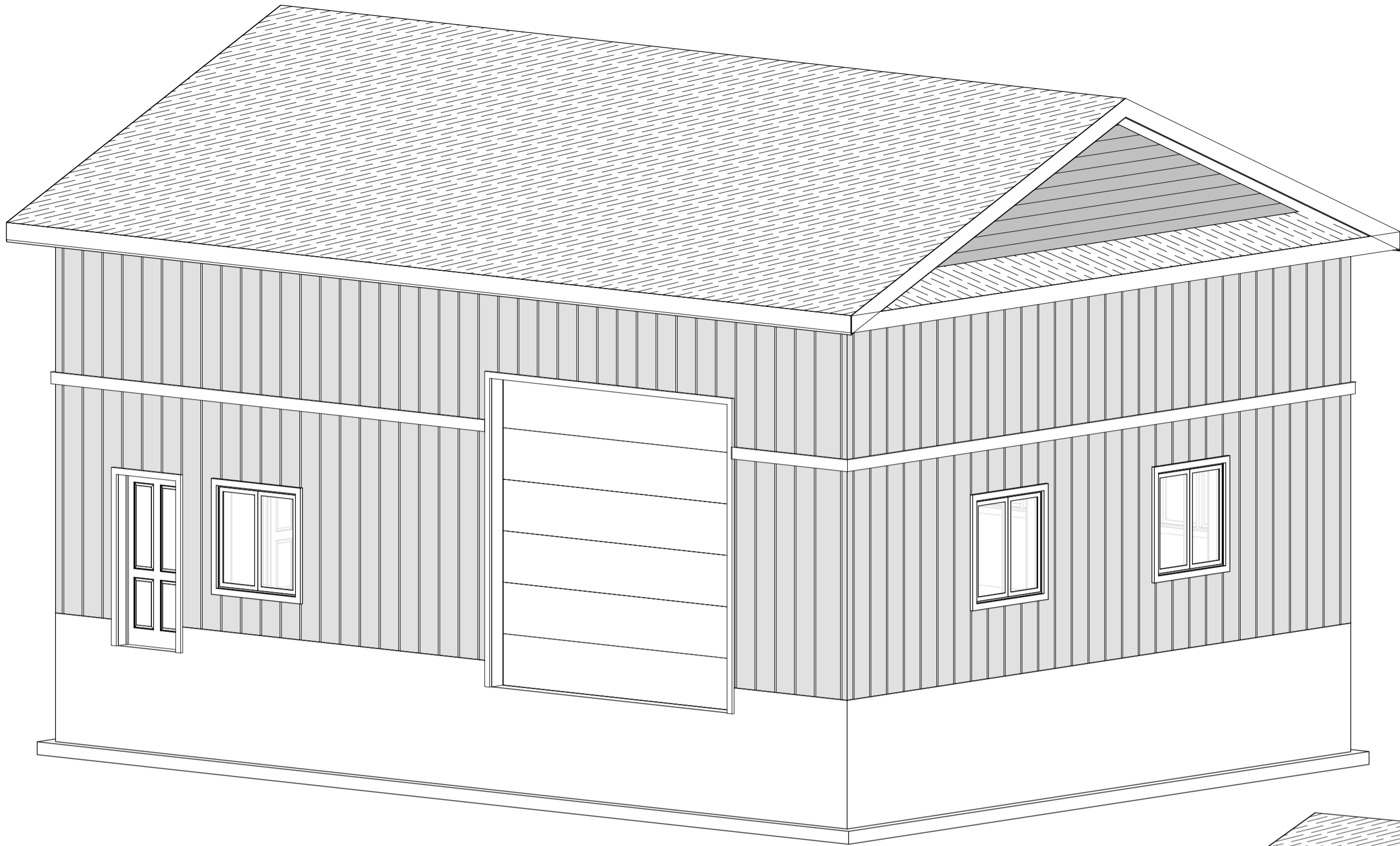
Owner

Aug 17th 2022


Date
Aug 17th 2022

Date


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I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2012
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN # 121158



SIGNATURE

REVISIONS		
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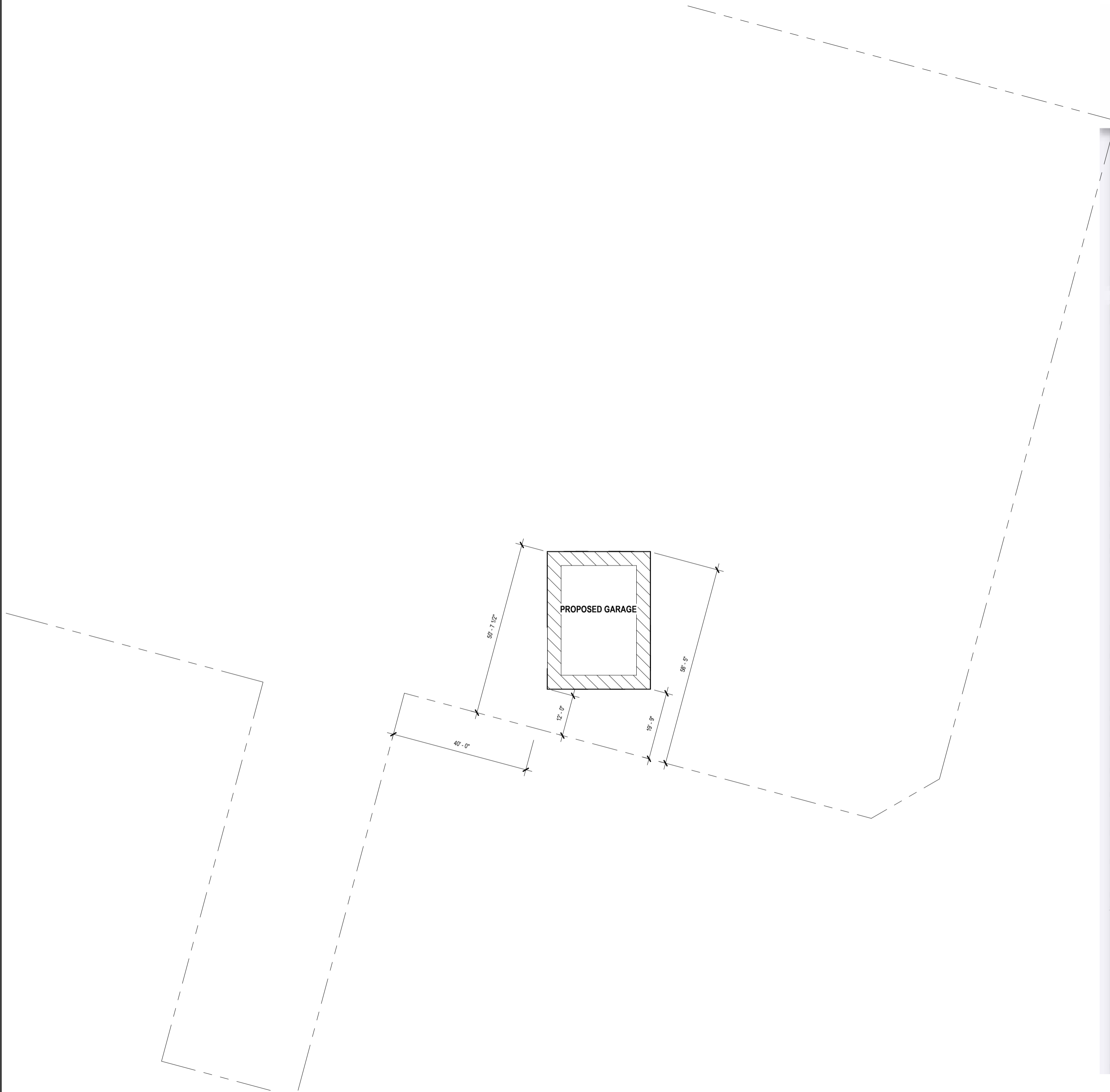
243 OWEN STREET
SIMCOE ON.

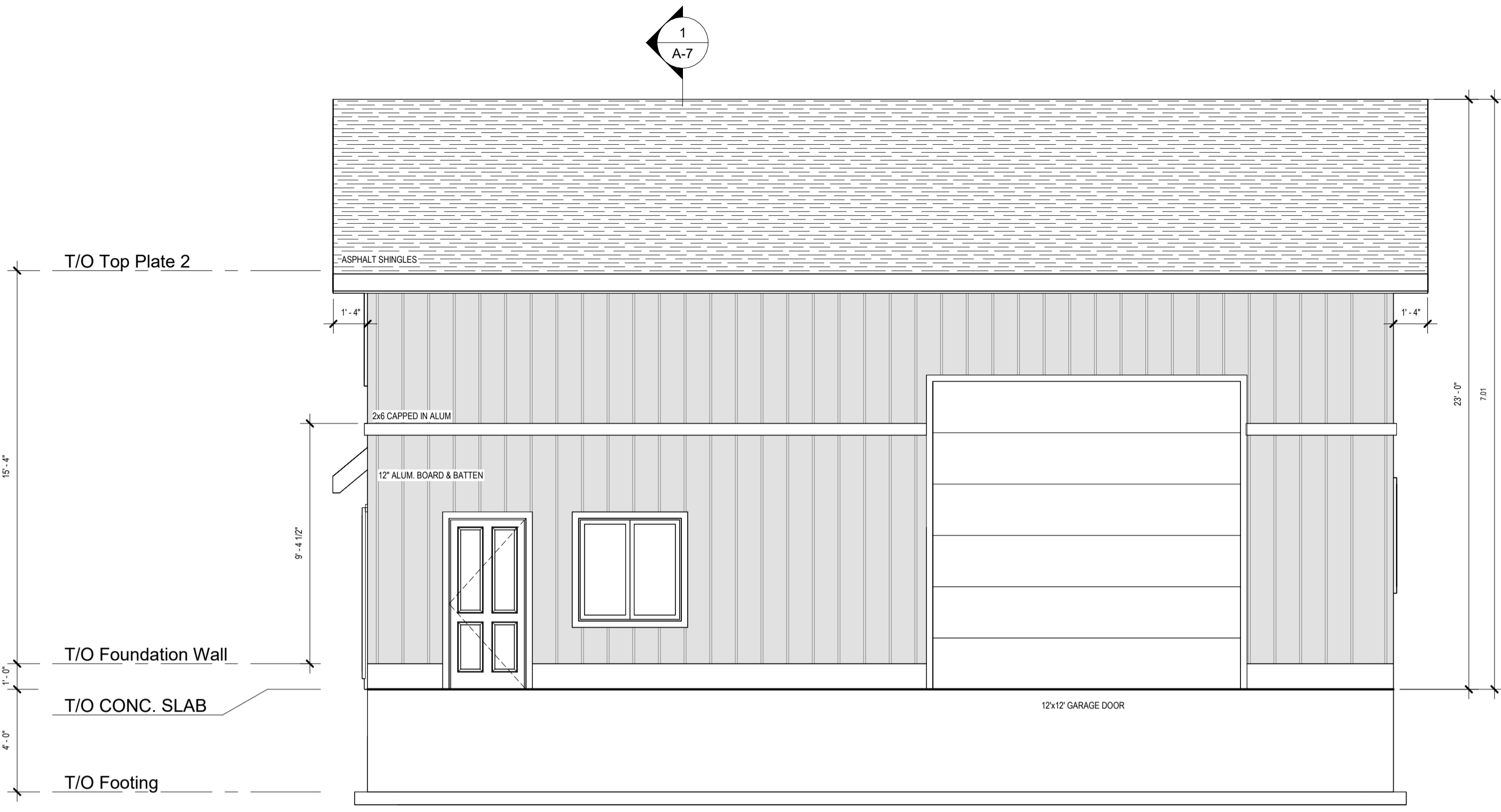
3D - EXTERIOR

Finished Area:	0 SQFT	3D-1
Date:	2022-10-11 8:17:25 AM	
Drawn By:	REILLY ERNST	

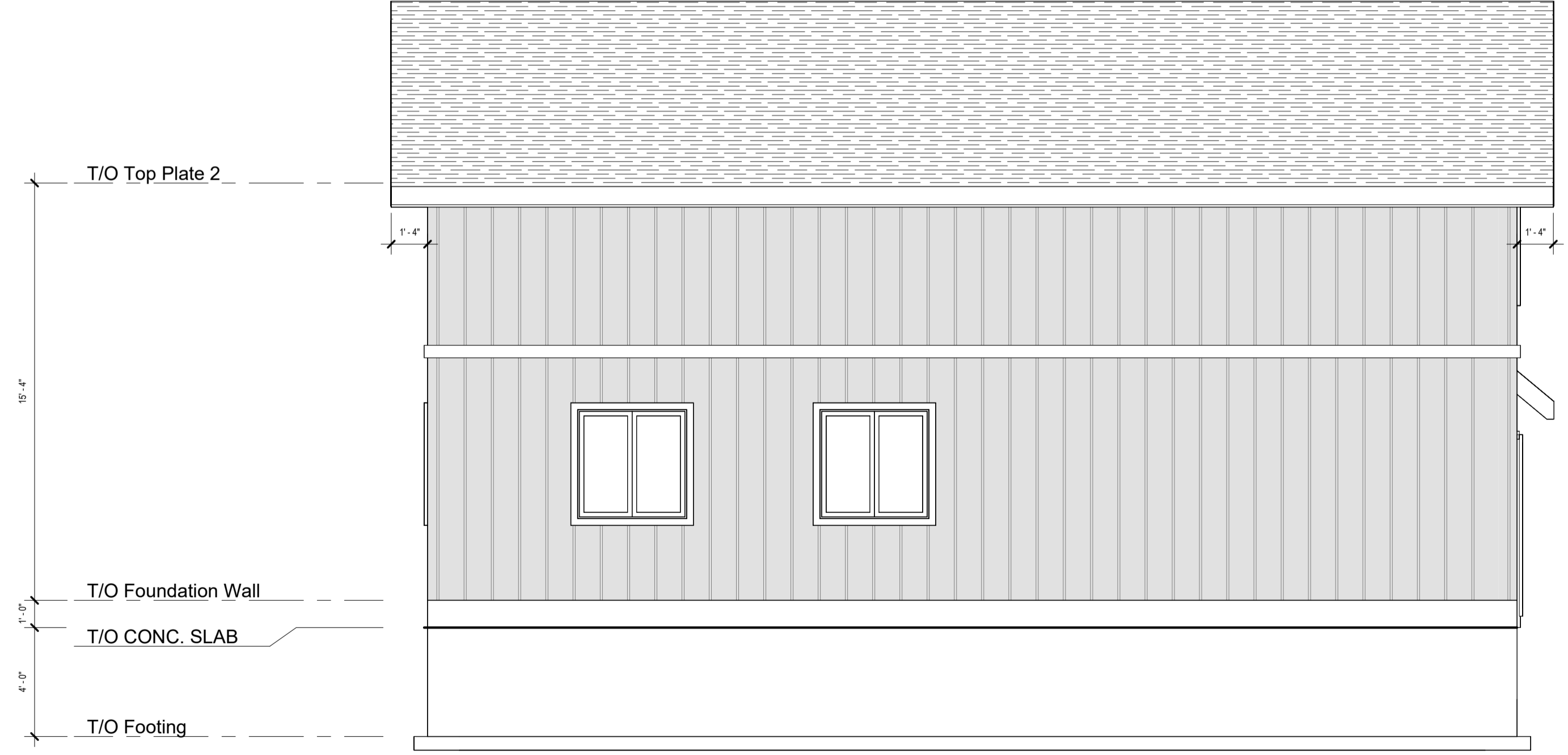
Scale: 01 Jan 2022

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1 FRONT ELEVATION
A-2 1/4" = 1'-0"




2 REAR ELEVATION
A-2 1/4" = 1'-0"

AREA CHART	
	SQ. FT.
GARAGE AREA	1200


NON OPEN TERRAIN

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESIST DOOR OPENING TO MAX 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE

THE ONTARIO BUILDING CODE REQUIRES THAT A COPY OF THE DRAWINGS AND SPECIFICATIONS THAT HAVE BEEN REVIEWED BY THE BUILDING DIVISION BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES



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SIGNATURE

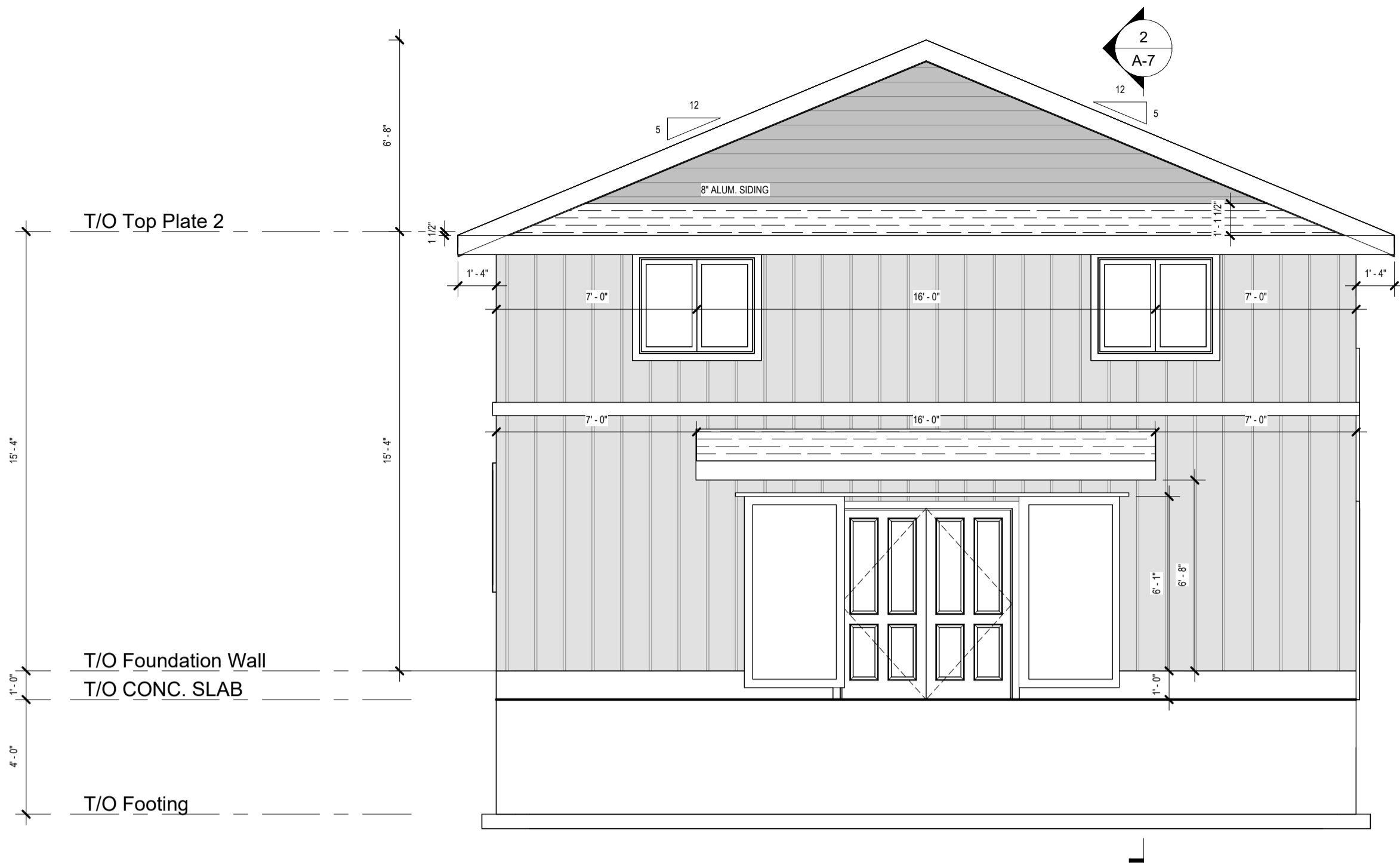
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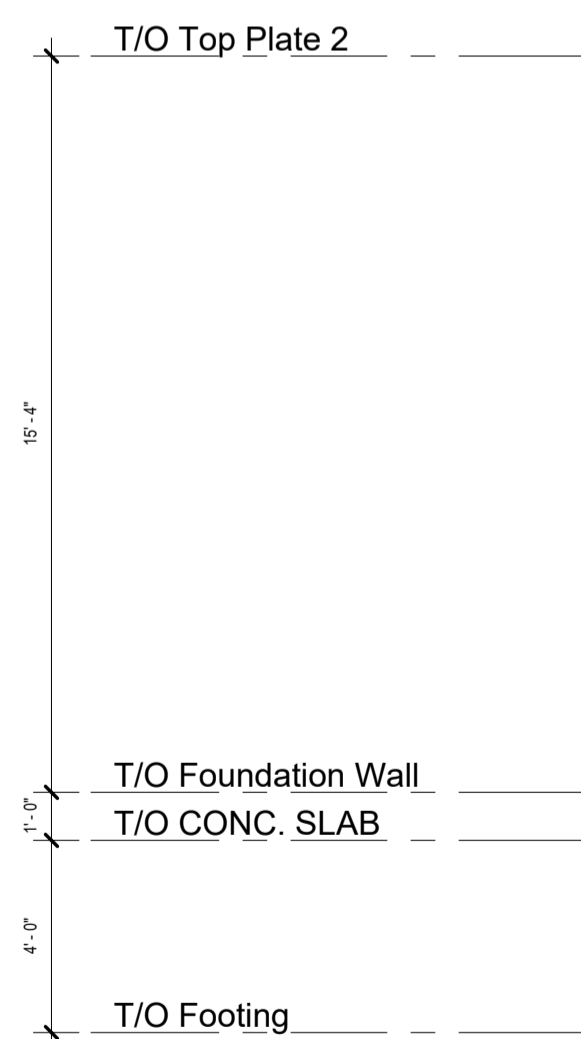
243 OWEN STREET
SIMCOE ON.

FRONT & REAR ELEVATION

Finished Area:	0 SQFT	A-2
Date:	2022-10-11 8:17:29 AM	
Drawn By:	REILLY ERNST	
Scale:		1/4" = 1'-0"



1 LEFT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"

MAXIMUM UNPROTECTED OPENINGS	
TOTAL WALL AREA	485 SQFT
LIMITING DISTANCE	12 FT
% OF ALLOWABLE OPENING	18%
ALLOWABLE OPENINGS	87.3 SQFT
ACTUAL OPENINGS	28.1 SQFT

PROVIDE STAIR, GUARD AND LANDING
OR INSTALL PERMANENT BLOCKING
TO RESIST DOOR OPENING TO MAX 4"
WHEN DOOR SILL EXCEEDS 24" ABOVE
GRADE

A SEPARATE BUILDING PERMIT IS REQUIRED
FOR ANY DECK GREATER THAN 24" ABOVE GRADE

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ERNEST
CONSTRUCTION & DESIGN

I, REILLY ERNST
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FIRM BCIN# 121158

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243 OWEN STREET
SIMCOE ON.

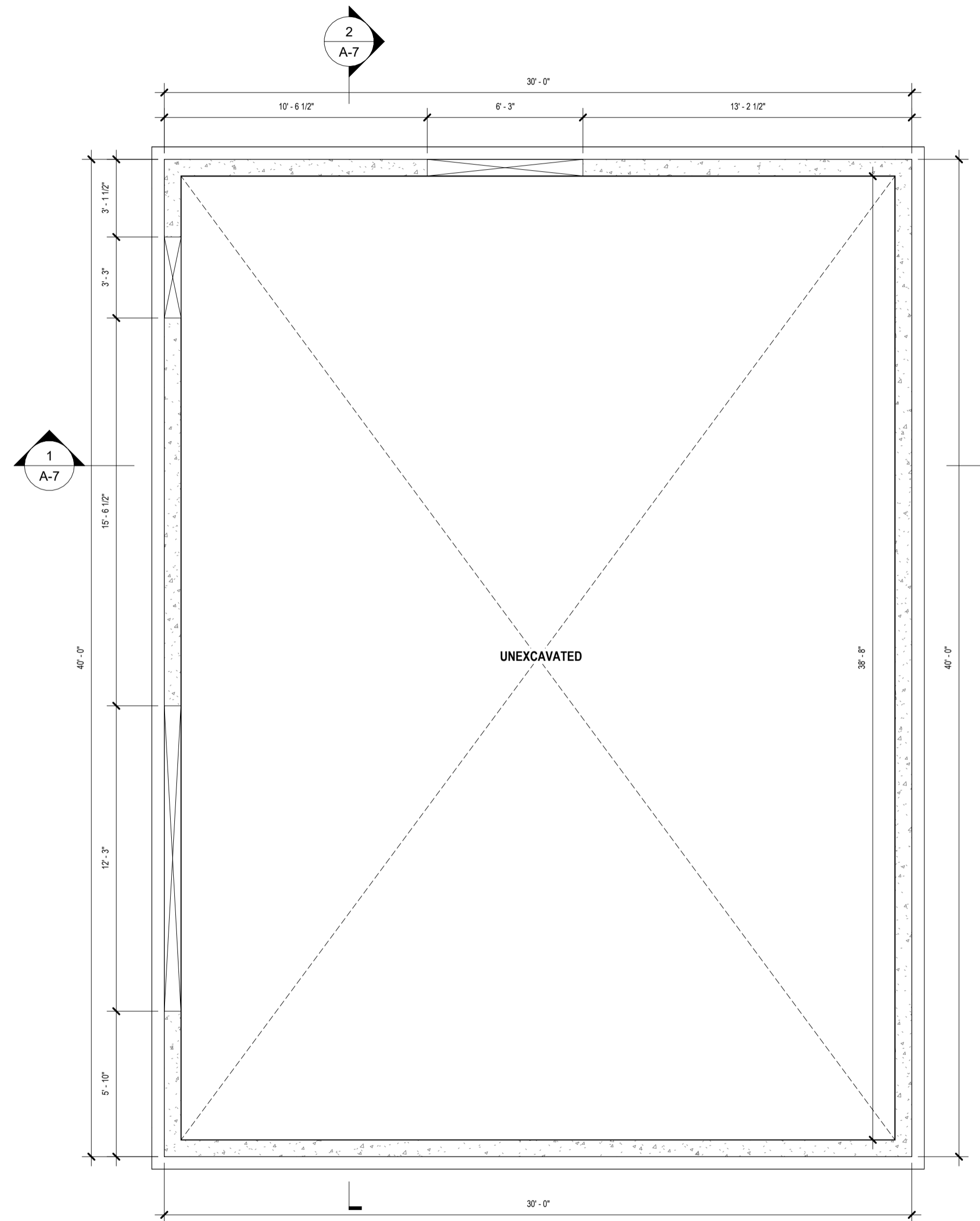
LEFT & RIGHT ELEVATION

Finished Area:	0 SQFT
Date:	2022-10-11 8:17:32 AM
Drawn By:	REILLY ERNST


Scale: As indicated

A-3

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1 FOUNDATION PLAN
A-4 1/4" = 1'-0"



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BCIN# 110349
FIRM BCIN # 121158

[Signature]
SIGNATURE

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243 OWEN STREET
SIMCOE ON.

FOUNDATION PLAN

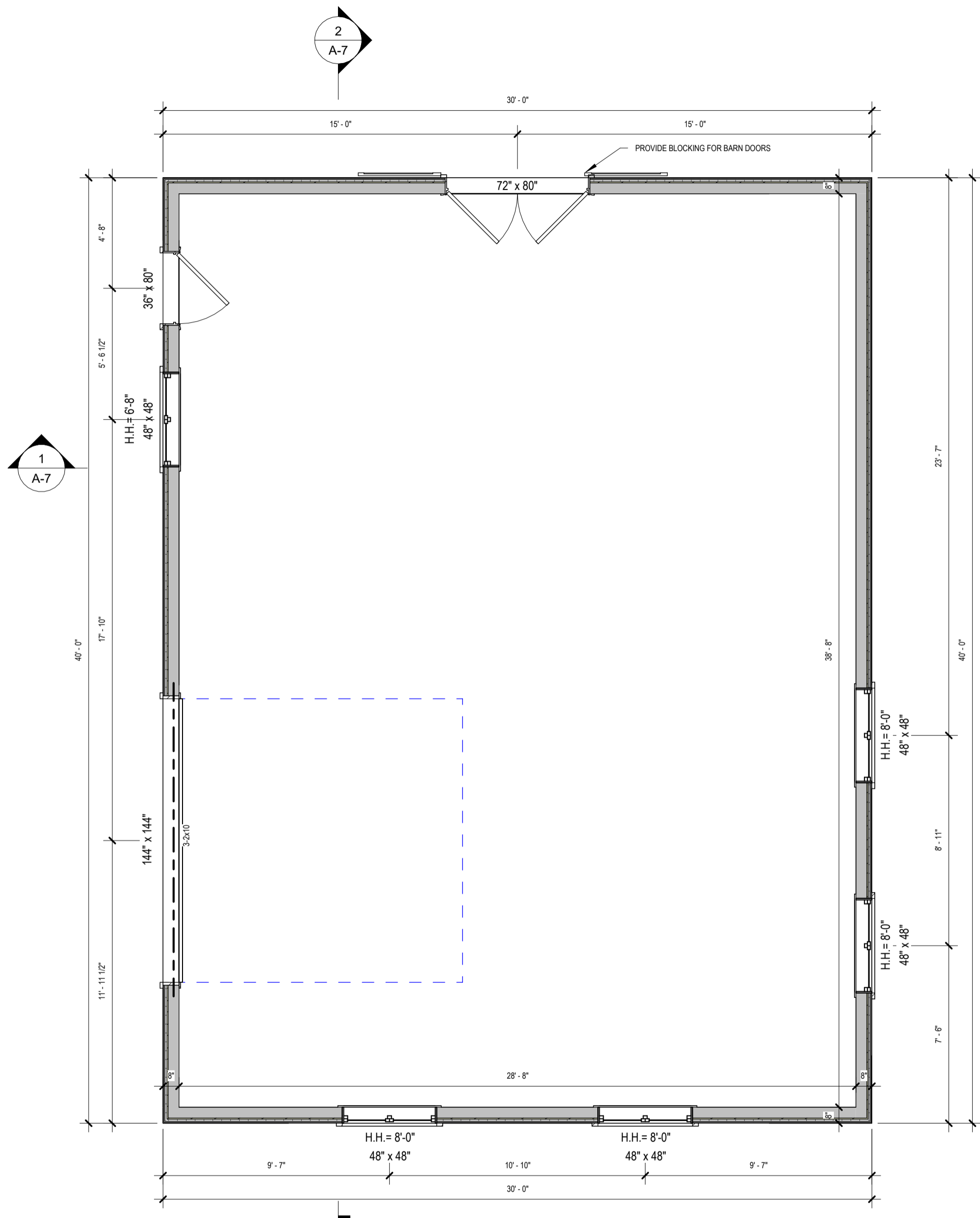
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Date: 2022-10-11 8:17:34 AM	
Drawn By: REILLY ERNST	

Scale: 1/4" = 1'-0"

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ALL WOOD LINTELS SHALL BE
2-2x10 W/ 1J 1K EA. END U.N.O



MINIMUM PARKING SPACE WITHIN A GARAGE
IS 10'x18', RISERS OF STAIRS MAY ENCROACH
THE WIDTH BY A MAX. OF 1'-6"

2 MAIN FLOOR PLAN PROPOSED
1/4" = 1'-0"

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
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FIRM BCIN# 121158

SIGNATURE

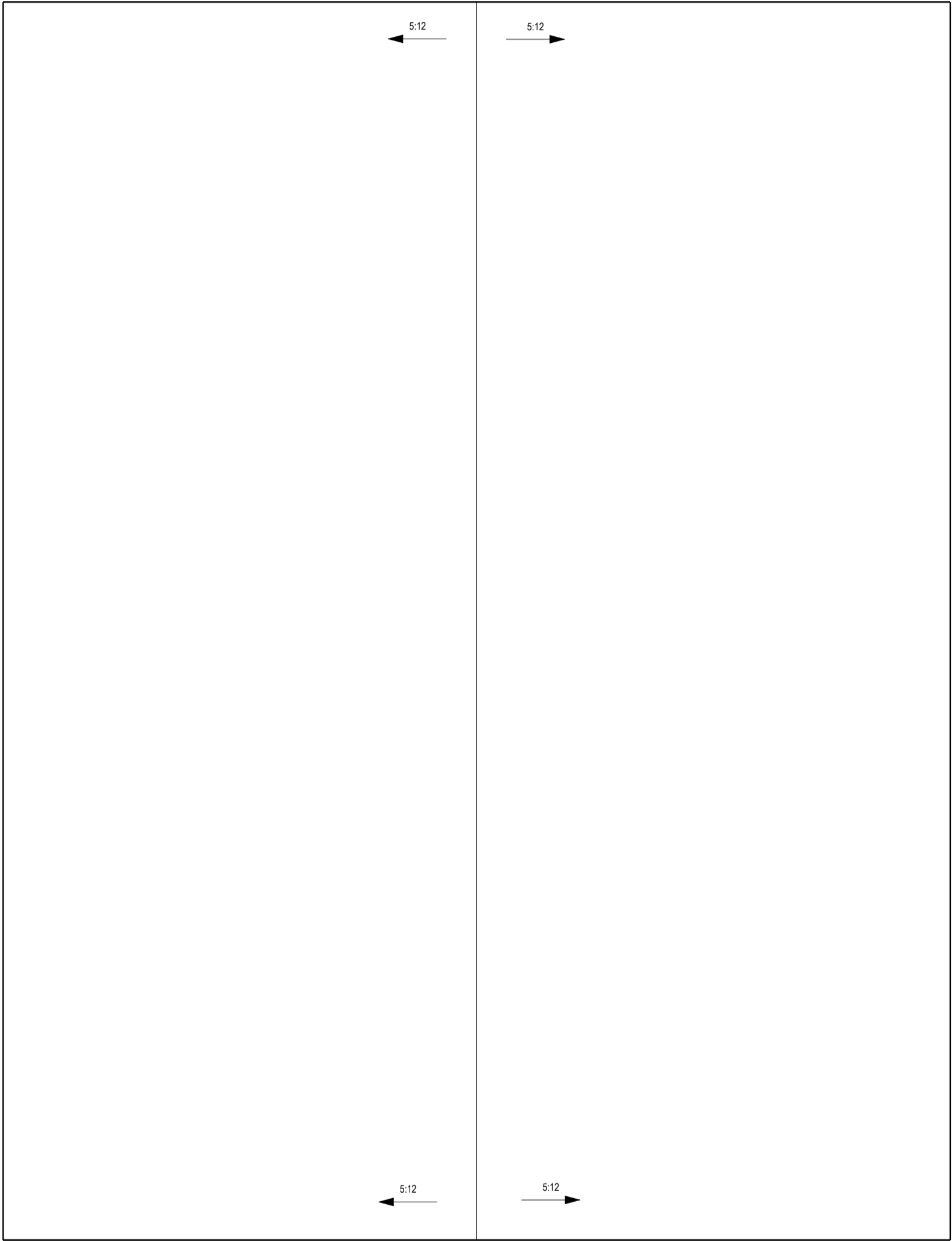
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243 OWEN STREET
SIMCOE ON.

MAIN FLOOR PLAN

Finished Area:	1200 SQFT
Date:	2022-10-11 8:17:36 AM
Drawn By:	REILLY ERNST


Scale: 1/4" = 1'-0"



1 ROOF PLAN
A-6 1/4" = 1'-0"

PROVIDE P. ENG APPROVED TRUSS DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

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[Signature]

SIGNATURE

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243 OWEN STREET
SIMCOE ON.

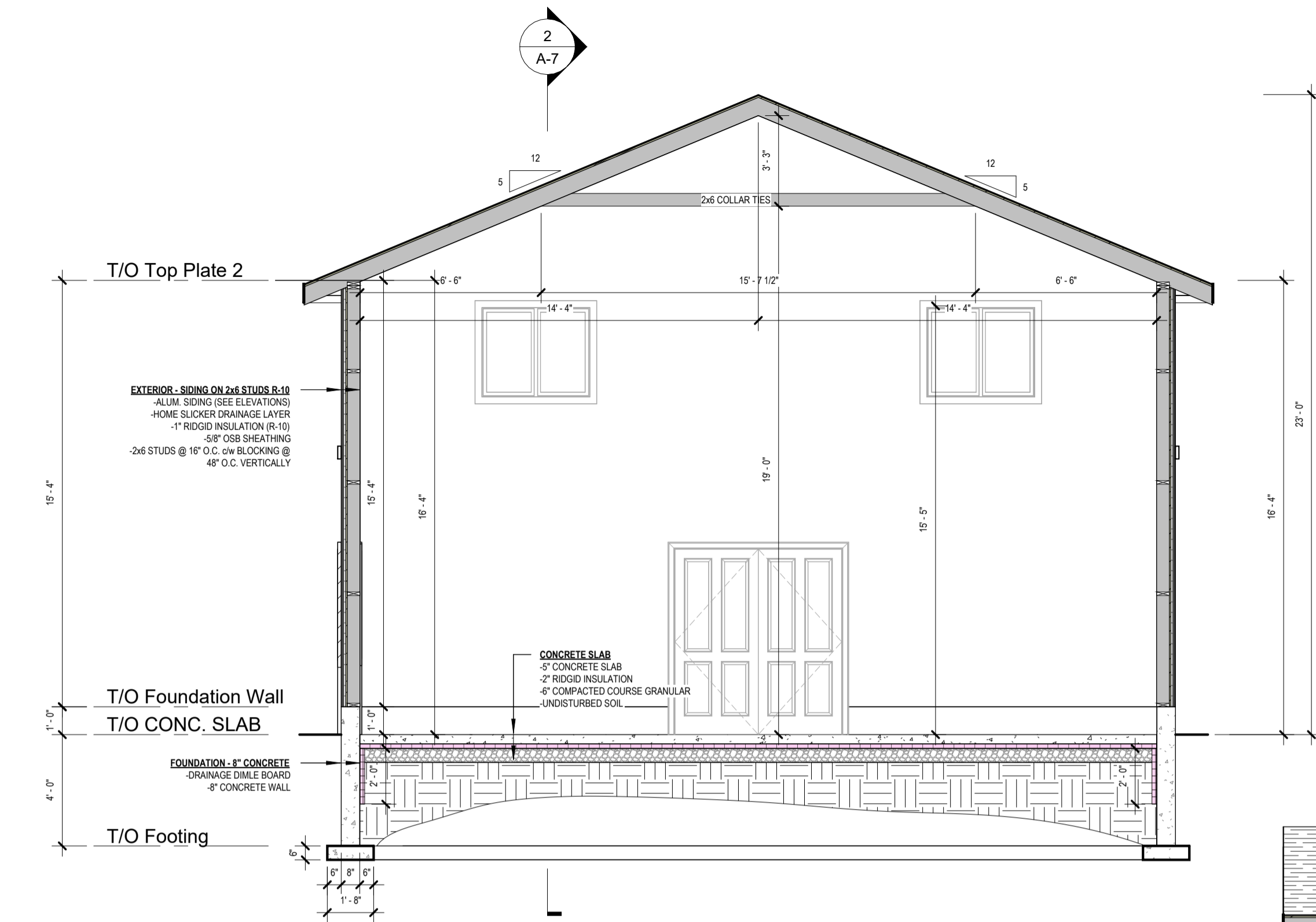
ROOF PLAN

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Drawn By:	REILLY ERNST

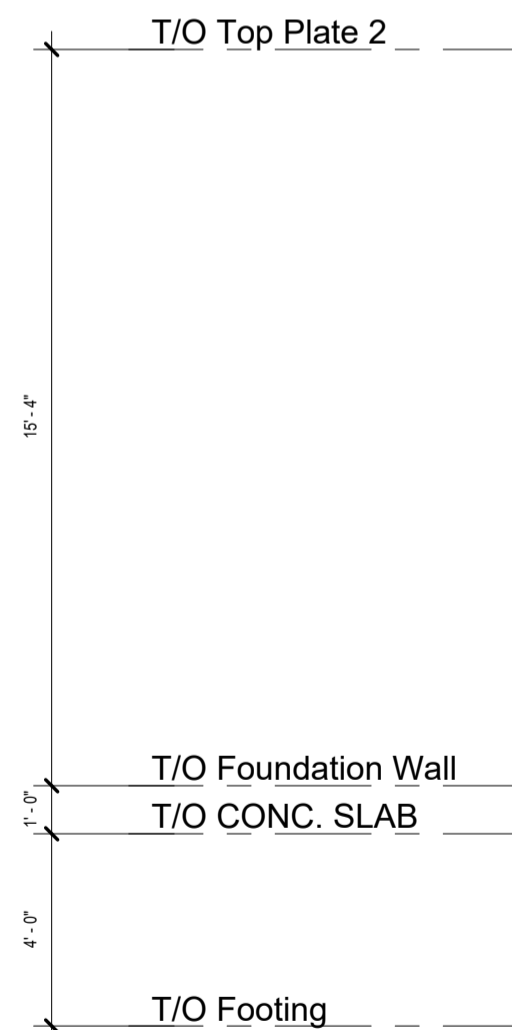
Scale: 1/4" = 1'-0"

A-6

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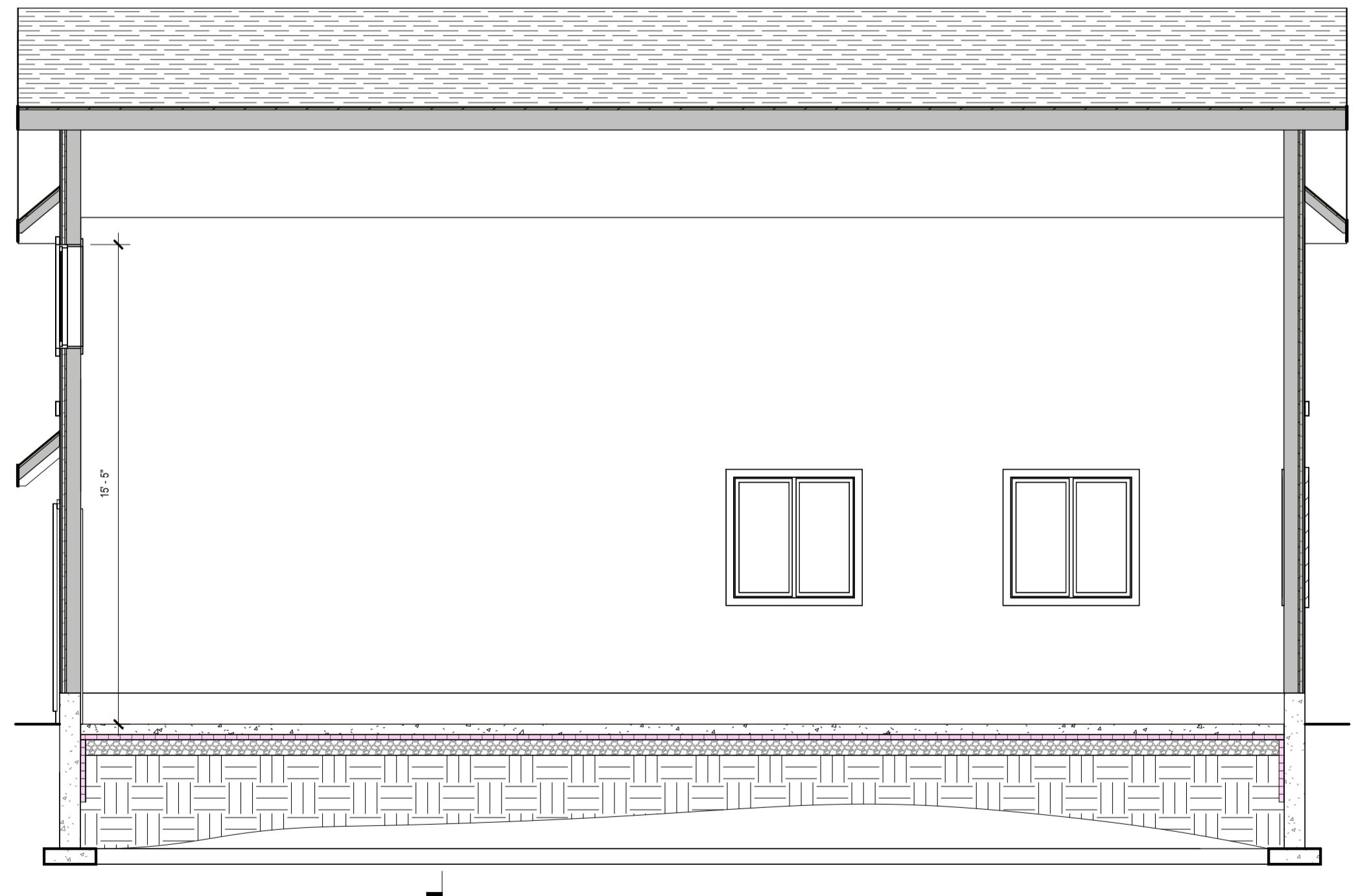



1 BUILDING SECTION
A-7 1/4" = 1'-0"



2 BUILDING SECTION 2
A-7 1/4" = 1'-0"

1
A-7





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243 OWEN STREET
SIMCOE ON.

BUILDING SECTIONS

Finished Area:		A-7
Date:	2022-10-11 8:17:40 AM	
Drawn By:	REILLY ERNST	

Scale: 1/4" = 1'-0"

It is the trade's / supplier's responsibility to read and understand the entire drawing package prior to construction. Each sheet may contain information that pertains to that trade's / supplier's scope of work. Any unclear, conflicting or missing information shall be brought to the builder's attention for clarification.

Prices, plans, elevations, grading, steps, dimensions, specifications/information and square footage are subject to change without any notice. Some features shown may be optional and available at an extra cost. Drawings are artist & designer's concept only and are subject to change as per offer, final selections and any adjustment required by OBC & City building / zoning departments. E. & O.E. 2021 Ernst Construction & Design. All rights reserved. 01 Jan 2022.

GENERAL NOTES

***THIS PAGE ONLY COVERS SOME BUILDING ELEMENTS, ALL WORK SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND/OR PROFESSIONAL ENGINEER- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS PLAN.

DIMENSIONS

MAIN FLOOR EXTERIOR WALL DIMENSIONS ARE TAKEN FROM THE EXTERIOR EDGE OF FOUNDATION BELOW

ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD EDGES

9.3. MATERIALS SYSTEMS & EQUIPMENT

9.3.1 CONCRETE

9.3.1.6. COMPRESSIVE STRENGTH

- (1) THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN
 - (a) 32 MPa FOR GARAGE FLOOR, CARPORT FLOORS, AND ALL EXTERIOR FLATWORK
 - (b) 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES & CARPORTS
 - (c) 15 MPa FOR ALL OTHER APPLICATIONS

9.3.1.9. COLD WEATHER REQUIREMENTS

- (1) WHEN THE AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE
 - (a) KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED & PLACED AND
 - (b) MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72h AFTER PLACING

9.12 EXCAVATION

9.12.1.1 REMOVAL OF TOPSOIL AND ORGANIC MATTER

- (3) THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL

9.12.1.2. STANDING WATER

- (1) EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER

9.12.1.3. PROTECTION FROM FREEZING

- (1) THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD

9.12.2.1 EXCAVATION TO UNDISTURBED SOIL

- (1) EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL

9.13 DAMPPROOFING, WATERPROOFING AND SOIL GAS CONTROL

9.13.2.1 DAMPPROOFING

- (1) WHERE THE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS, EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL SHALL BE DAMPPROOFED
- (4) DAMPPROOFING IN SENTENCE (1) IS NOT REQUIRED WHERE THE EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL ARE WATERPROOFED

9.15.3 FOOTINGS

9.15.3.2. SUPPORT OF FOOTING

- (1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL

9.15.3.9. STEP FOOTINGS

- (a) THE VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24")
- (b) THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 24"

9.7 WINDOWS, DOORS & SKYLIGHTS

9.7.2.1.(2) - MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,

- (a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR
- (b) A SIDELIGHT

TABLE 9.7.2.3.(1)
GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY

LOCATION	MIN UNOBSTRUCTED GLASS AREA WITH NO ELECTRIC LIGHTING	MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING
LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT	4% OF AREA SERVED	WINDOWS NOT REQUIRED
WATER CLOSET ROOM	0.37M² / 4 FT²	WINDOWS NOT REQUIRED
KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE	10% OF AREA SERVED	WINDOWS NOT REQUIRED
LIVING ROOMS & DINING ROOMS	10% OF AREA SERVED	10% OF AREA SERVED
BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE	5% OF AREA SERVED	5% OF AREA SERVED

(1)AREA OF THE SPACE SHALL BE MEASURED AT FLOOR LEVEL

9.7.5.2 RESISTANCE TO FORCED ENTRY

- (1) THIS ARTICLE APPLIES TO
 - (a) SWINGING ENTRANCE DOOR TO DWELLING UNITS
 - (b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES AND OTHER ANCILLARY SPACED, AND
 - (c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT

- (4) DOORS DESCRIBED IN SENTENCE 1 SHALL BE PROVIDED WITH,

- (a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN 5 PINS AND
- (b) A BOLT THROW NOT LOSS THAN 25MM (1") LONG, PROTECTED WITH A SOLID OR HARDENED FREE TURNING RING OR BEVELED CYLINDER HOUSING

9.7.6.1 INSTALLATION OF WINDOWS DOORS & SKYLIGHTS

- (1)(a) SHIMS USED TO SUPPORT WINDOWS, DOORS AND SKYLIGHTS ARE PERMITTED TO BE OF TREATED PLYWOOD
- (3)WINDOWS, DOORS AND SKYLIGHTS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS

9.8 STAIRS, STEPS, RAMPS, LANDINGS, HANDRAILS AND GUARDS

9.8.2.1 STAIR WIDTH

- (4) AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT AND EXTERIOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10")

9.8.2.2 HEIGHT OVER STAIRS

- (3) THE CLEAR HEIGHT OVER STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT SHALL NOT BE LESS THAN 1950mm (6'-4 3/4")

TABLE 9.8.4.1
RISE FOR RECTANGULAR TREADS, TAPERED TREADS AND WINDERS AND RUN FOR RECTANGULAR TREADS

STAIR TYPE	MAX RISE FOR ALL STEPS	MIN RISE FOR ALL STEPS	MAX RUN FOR RECTANGULAR TREADS	MAX RUN FOR RECTANGULAR TREADS
PRIVATE STAIRS (HOUSES)	200mm / 7 7/8"	125mm / 5"	355mm / 14"	255mm / 10"
STAIRS TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT
STAIRS TO CRAWL SPACES	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT

9.8.4.4.UNIFORMITY AND TOLERANCES FOR RISERS, RUNS, TREADS

- (1) RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT

9.8.6.3. DIMENSIONS OF LANDINGS

- (1)(a) LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR, AND
- (b) AT LEAST AS LONG AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR

9.8.7.1 REQUIRED HANDRAILS

- (3) A HANDRAIL IS NOT REQUIRED FOR STAIRS AND RAMPS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, WHERE
 - (a) INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS
 - (b) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS
 - (c) RAMPS RISE NOT MORE THAN 400mm (1'-3 3/4")

9.8.7.2 CONTINUITY OF HANDRAILS

- (2) FOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, AT LEAST ONE REQUIRED HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY,
 - (a) DOORWAYS,
 - (b) LANDINGS, OR
 - (c) NEWEL POSTS AT CHANGES IN DIRECTION

9.8.7.4. HEIGHT OF HANDRAILS

- (2) HANDRAILS SHALL BE 865mm (34") TO 1070mm (42") HIGH

9.8.7.5. ERGONOMIC DESIGN

- (2) ALL HANDRAILS SHALL BE CONSTRUCTED SO AS TO BE CONTINUALLY GRASPABLE ALONG THEIR LENGTH WITH NO OBSTRUCTION ON OR ABOVE THEM TO BREAK A HANDHOLD

9.8.7.7. PROJECTIONS INTO STAIRS OR RAMPS

- (1) HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS SHALL NOT PROJECT MORE THEN 100mm (4") INTO THE REQUIRED WIDTH OF THE STAIR

9.8.8.1. REQUIRED GUARDS

- (1)EVERY SURFACE TO WHICH ACCESS ID PROVIDED, INCLUDING BUT NOT LIMITED TO FLIGHTS, RAMPS, EXTERIOR LANDINGS, PORCHES, BALCONIES, MEZZANINES, GALLERIES AND RAISED WALKWAYS, SHALL BE PROTECTED BY A GUARD ON EACH SIDE THAT IS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE,
 - (a) THERE IS A DIFFERENCE IN ELEVATION OR MORE THAN 600mm (1'-11 5/8") BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE

9.8.8.3. HEIGHT OF GUARDS

- (1) EXCEPT AS PROVIDED BY SENTENCES (2) AND (3), ALL GUARDS SHALL BE NOT LESS THAN 1070mm (42") HIGH
- (2) ALL GUARDS WITHIN DWELLING UNITS SHALL NOT BE LESS THAN 900mm (35 1/2") HIGH
- (3) EXTERIOR GUARDS SERVING A HOUSE OR DWELLING UNIT SHALL BE NOT LESS THAN 900mm (35 1/2") WHERE THE WALKING SURFACE SERVED BY THE GUARD IS NOT MORE THAN 1 800mm (5'-11") ABOVE FINISHED GROUND LEVEL

9.8.8.5 OPENINGS IN GUARDS

- (1) OPENINGS IN GUARDS SHALL BE OF A SIZE THAT PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 400mm (4")

9.8.8.6. GUARDS DESIGNED NOT TO FACILITATE CLIMBING

- (1) GUARDS SHALL BE DESIGNED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 140mm (5 1/2") AND 900mm35 1/2" ABOVE THE FLOOR OR WALKING SURFACE PROTECTED BY THE GUARD WILL FACILITATE CLIMBING

9.23. WOOD FRAME CONSTRUCTION

9.23.5. NOTCHING & DRILLING

9.23.5.1. HOLES DRILLED IN FRAMING MEMBERS

- (1) HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL NOT BE LARGER THAN 1/4 DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED LESS THAN 50mm (2") FROM THE EDGES

9.23.5.3. WALL STUDS

- (1) WALL STUDS SHALL NOT BE NOTCHED DRILLED OR OTHERWISE DAMAGED SO THAT THE UNDAMAGED PORTION OF THE STUD IS LESS THAN 2/3 THE DEPTH OF THE STUD IF THE STUD IS LOAD BEARING OR 40mm (1 1/2") IF THE STUD IS NON-LADDERING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED

9.23.5.4. TOP PLATES

- (1) TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UNDAMAGED WIDTH TO LESS THAN 50mm (2") UNLESS THE WEAKENED PLATES ARE SUITABLE REINFORCED

9.23.5.5. ROOF TRUSSES

- (1) ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED UNLESS SUCH NOTCHING OR DRILLING IS ALLOWED FOR IN THE DESIGN OF THE TRUSS

9.23.8. BEAMS TO SUPPORT FLOORS

9.23.8.1. BEARING FOR BEAMS

- (1) BEAMS SHALL HAVE AN EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 89mm (3 1/2") LENGTH OF BEARING AT END SUPPORTS

9.23.8.3. BUILT UP WOOD BEAMS

- (7) EXCEPT AS PROVIDED IN SENTENCE (8) WHERE 38mm (1 1/2") MEMBERS ARE LAID ON EDGE TO FORM A BUILT UP BEAM, INDIVIDUAL MEMBERS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THA 89mm (3 1/2") IN LENGTH, SPACED NOT MORE THAN 450mm (17 1/2") APART IN EACH ROW WITH END NAILS LOCATED 100mm (4") TO 150mm (6") FROM THE END OF EACH PIECE
- (8) WHERE 38mm (1 1/2") MEMBERS IN BUILT UP WOOD BEAMS ARE NOT NAILED TOGETHER AS PROVIDED IN SENTENCE (7), THEY SHALL BE BOLTED TOGETHER WITH NOT LESS THAN 12.7mm (1/2") DIA BOLTS EQUIPPED WITH WASHERS AND SPACED NOT MORE THAN 1.2m (3'-11") O.C. WITH THE END BOLTS LOCATED NOT MORE THAN 600mm (1'-11") FROM THE END MEMBERS

9.23.9 FLOOR JOISTS

9.23.9.1 END BEARING FOR JOISTS

- (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 38mm (1 1/2") OF END BEARING

9.23.9.2. JOISTS SUPPORTED BY BEAMS

- (2) WHEN FRAMED INTO THE SIDE OF A WOOD BEAM, JOISTS SHALL BE SUPPORTED ON
 - (a) JOIST HANGERS
- (3) WHEN FRAMED INTO THE SIDE OF A STEEL BEAM, JOISTS SHALL BE SUPPORTED ON THE BOTTOM FLANGE OF THE BEAM OR ON NOT LESS THAN 38mm (1 1/2") LUMBER BOLTED TO THE WEB WITH NOT LESS THAN 6.3mm (1/4") BOLTS SPACED NOT MORE THAN 600mm 23 1/2" APART

9.31. PLUMBING FACILITIES

9.31.4.1 REQUIRED FACILITIES

- (a) A KITCHEN SINK
- (b) A LAVATORY
- (c) A BATHTUB OR SHOWER STALL AND
- (d) A WATER CLOSET OR A DRAIN-LESS COMPOSTING TOILET

9.31.4.2. LAUNDRY FACILITIES

- (1) LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED ELSEWHERE IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLY TO OCCUPANTS OF EVERY DWELLING UNIT

9.31.4.4. FLOOR DRAINS



- (1) FLOOR DRAINS SHALL BE INSTALLED IN A BASEMENT FORMING PART OF A DWELLING UNIT

9.5 DESIGN OF AREAS, SPACES, & DOORWAYS

TABLE 9.5.3.1.
ROOM CEILING HEIGHTS

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM OR SPACE, DINING ROOM OR SPACE, KITCHEN OR KITCHEN SPACE	7'-6 1/2" OVER 75% OF THE REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-10 1/2" AT ANY POINT OVER THE REQUIRED AREA
BEDROOM OR BEDROOM SPACE	7'-6 1/2" OVER AT LEAST 50% OF THE REQUIRED AREA OR 6'-10 1/2" OVER ALL OF THE REQUIRED AREA. ANY PART OF THE FLOOR AREA HAVING A CLEAR HEIGHT OF LESS THAN 4'-7" SHALL NOT BE CONSIDERED IN COMPUTING THE REQUIRED FLOOR AREA
BASEMENT SPACE	6'-10 1/2" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-4 3/4"
BATHROOM, WATER CLOSET ROOM OR LAUNDRY AREA ABOVE GRADE	6'-10 1/2" IN ANY AREA WHERE A PERSON WOULD NORMALLY BY IN A STANDING POSITION
PASSAGE, HALL OR MAIN ENTRANCE VESTIBULE AND FINISHED ROOMS NOT SPECIFICALLY MENTIONED ABOVE	6'-10 1/2"

It is the trade's / supplier's responsibility to read and understand the entire drawing package prior to construction. Each sheet may contain information that pertains to that trade's / supplier's scope of work. Any unclear, conflicting or missing information shall be brought to the builder's attention for clarification.

REVISIONS			243 OWEN STREET SIMCOE ON.	TYPICAL NOTES	
NO.	DATE	DESCRIPTION			
1.					
2.					
3.					
4.					
5.					
<div><div><div><div>CONSTRUCTION & DESIGN</div></div></div><div><div>I, REILLY ERNST TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS AN "OTHER DESIGNER" UNDER THE 2012 ONTARIO BUILDING CODE BCIN# 110349 FIRM BCIN # 121158</div><div></div><div>SIGNATURE</div></div></div>				Finished Area:	N/A
				Date:	2022-10-11 8:17:43 AM
				Drawn By:	REILLY ERNST
				Scale:	1/4" = 1'-0"
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**Steel Building Proposal for:
Dave Cazes**

**1 -30'W x 40'L x 18'H Clear Span
Steel Building**

Supplied & Constructed

Quote Valid for 30 Days

September 13, 2022

523 James St. Unit#3 Delhi, Ontario N4B 2C2
Ph#519-582-8222 Fax#519-582-2098

1 of 4

CDNBUILDINGS

Dave Cazes

243 Owen St
Simcoe, ON
N3Y 2V1

Email: davecazes@rogers.com

Phone: 905 578 0220

Proposal # 22-668PB-MH(R3)

September 13, 2022

Attention: Dave Cazes

We are pleased to offer our proposal for a sheet metal covered "A frame, clear span structure. This quotation is based on our local building requirements for 2020 Ontario Building Code. (Engineered drawings will be submitted)

Size:

Qty:	1	Clear span peaked structure	1,200	TOTAL SQ.FT.
Width (ft)	30	Center to center of columns		
Length (ft)	40	Center to center of columns		
Height (ft)	18	Finish grade to bottom of eaves		

Specifications of Steel Structure:

Posts: Spacing = 10 feet c/c

4" x 4" sq. x .125" wall. Hot dip galvanized

Spacing is centre to centre, posts will be fitted to accept the eave plate extrusion.

Posts will set in, cast in place concrete including gable/door posts.

30' A-Frame Clear Span Trusses 4/12 pitch:

Spacing = 10 feet c/c

2 1/2" x 2 1/2" x .125" wall sq. hollow steel section tube top chord and bottom chords.

with 1 1/2" sq. tube webbing. Purlin saddles punched and welded to truss top chord.

The trusses will be Hot Dip Galvanized after fabrication and welding.

Roof Purlin

2" x 2" sq x .083" wall continuous roof purlins 12 runs of purlins (6 per side).

Fastened to truss top chord purlin saddle using #14 x 1" Self Tapping Screws.

Post bracing

There will be 2 sets per row of posts. The assemblies consist of 1/2" dia. round rod with adjustment hardware.

523 James St. Unit#3 Delhi, Ontario N4B 2C2
Ph#519-582-8222 Fax#519-582-2098

2 of 4

Roof Wind-bracing

There will be **4 sets** of braces. The assemblies consist of 1/2"dia round rod with adjustment hardware.

Hardware:

Colored Sheet Metal Roof Covering

29 gauge- "Tuff Rib" Colored Sheet metal covering

Front & Rear Gable End Details (for 2 @ 30' wide)

3" x 3" x .125" gable/door posts (2 Vertical posts per 30'-0" bay)

2" x 2" x 16 gauge. Galvanized Horizontal purlins on 36" centers.

Gables covered with 29 gauge sheet metal – "Diamond Rib 36" from peak to 12" below grade.

All hardware and flashing as required.

2 Sidewalls:

18

 feet high

40

 feet long

2" x 2" x 16 gauge. galvanized horizontal purlins on 36" centers.

Sidewalls covered with 29 gauge sheet metal – "Diamond Rib 36" from eave to 12" below grade.

All hardware and flashing as required.

5

48"W x 36"H Insulated Vinyl Windows

**Base Building Price : \$

42,534.65**

Additional Optional Items

Installation of Concrete foundation piers 18" dia x 48" deep.	\$ 5,637.13
Installation of building as per items listed above.	\$ 28,326.22
4" - R13 Insulation blanket with WMP-50 liner Package	\$ 9,243.75
1 - 36"w x 80"h Agri No Rot Composite Man door (white)	\$ 1,395.00
1 – 16'w x 14'h G-5000 Insulated O.H. Door with chain fall opener	\$ 9,145.54
2 - Runs of eavestrough x 40' long w/down pipes @ approx, every 30'.	\$ 952.00
12" - Gravel Base for floor preparation (** See Note)	\$ 14,697.04
5" Thick Concrete Floor (32mpa) with mesh and saw cuts.	\$ 10,498.24
20'w x 30'l Mezzanine	\$ 10,800.00

**TOTAL PRICE: : \$

133,229.55**

plus HST

Included Items:

- 2020 OBC Engineered drawings supplied by "CDN Buildings".
- All material FOB: Address listed on this proposal.

Excluded Items:

- **Additional fees for building permits, variances, township or CA.**
- **Site Drainage, Electrical, Heating and plumbing.**

*** Doors and Windows are standard white, use CDN Standard color chart for different options.
*** Gravel Base quote is subject to actual site elevation measurement, customer is to be responsible for extra gravel base if needed over the amount quoted.
***Foundation and pier costs are also subject to a site visit.

Payment Terms :

30% Payment Due upon Signing of Contract.

30% Payment Due upon the Erection of the main steel structure on your property.

30% Payment Due Once the Steel is on Building Exterior.

10% Remaining Balance Due Upon the Building Completion.

Taxes extra where applicableAdditional 2.5 % fee per transaction for credit card payments**

Standard Terms and Conditions

Current lead times are 42-48 weeks upon receipt of permit, before construction will start on customers property or building kit will be delivered. These lead times are subject to change based on current schedule and material availability.

The deposit will be non refundable due to material and labour costs, as most material will be ordered/purchased upon contract being signed.

There is **no allowance** in this proposal for any fire separation requirements. If fire separation (fire walls) are required, they will then be charged as an extra to this proposal.

There is **no allowance** for any excavation, backfill or compaction required for this project. All excavation is the responsibility of the owner; unless otherwise specified. All required backfill materials (stone, dirt etc.) is the responsibility of the owner.

There is **no allowance** in this proposal for any hoisting or pumping of concrete. If either is required during the course of construction, then it will be billed as an extra to the contract.

The **owner is responsible** for all fee's, locates, and permits required for this project. This includes and may not be limited to (if required); Building Permit Fees, Development Fees, Property Surveys, Geotechnical Investigations, Hydrological Studies, Conservation Authority Permissions/Permits/Fees, Site Plan Applications, Ministry of the Environment & Climate Change Approvals/Fees, Transportation Impact Studies/Ministry of Transportation Approvals.

The **owner is responsible** to ensure that the building area has free and clear access to the entire perimeter of the new building to allow for all associated construction vehicles access as required. The builder shall not be liable for any delays and/or costs for removal of foreign materials. (i.e. tree stumps, old foundations, boulders, existing utility lines etc.)

Winter heat charges on concrete are applicable from November 1st to April 15th. These costs are not included in this proposal and will be billed as an extra to this proposal. In addition, CDN Buildings is not responsible for the supply of temporary heat if required inside the building before/during the installation of concrete, unless previously discussed/arranged.

Delays:

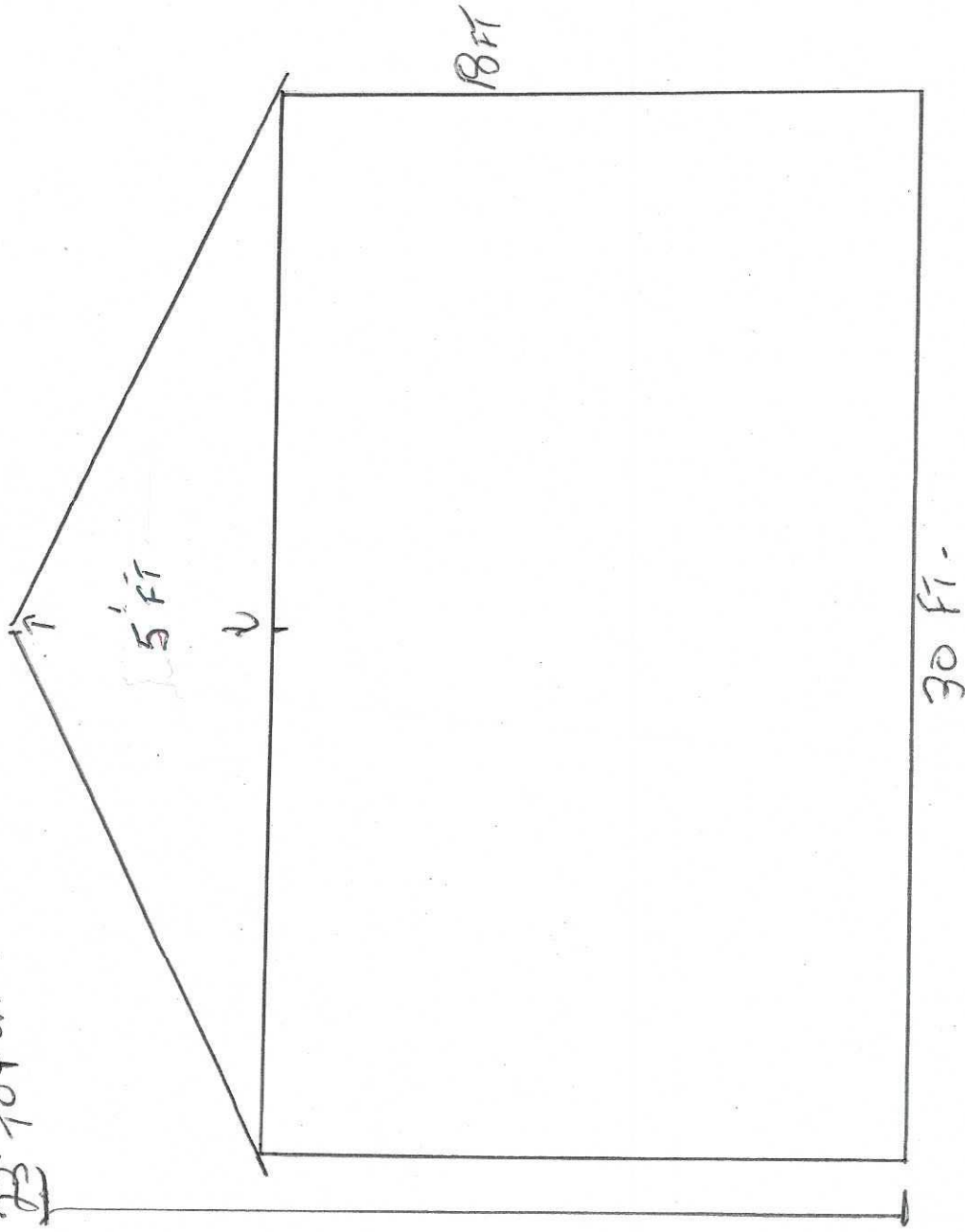
The builder shall not be liable for any delay in delivery because of permit issuing/approvals, inclement weather, fires, strikes, labour disputes, delays in transportation, shortages of materials, acts of God or other causes beyond their control.

Alterations & Additional Work:

No alterations or deviations to the contract shall be binding unless agreed upon in writing between the authorized representatives of both the customer (buyer) and contractor. Any changes made and agreed upon as set out above shall be due and payable under the same conditions described above.

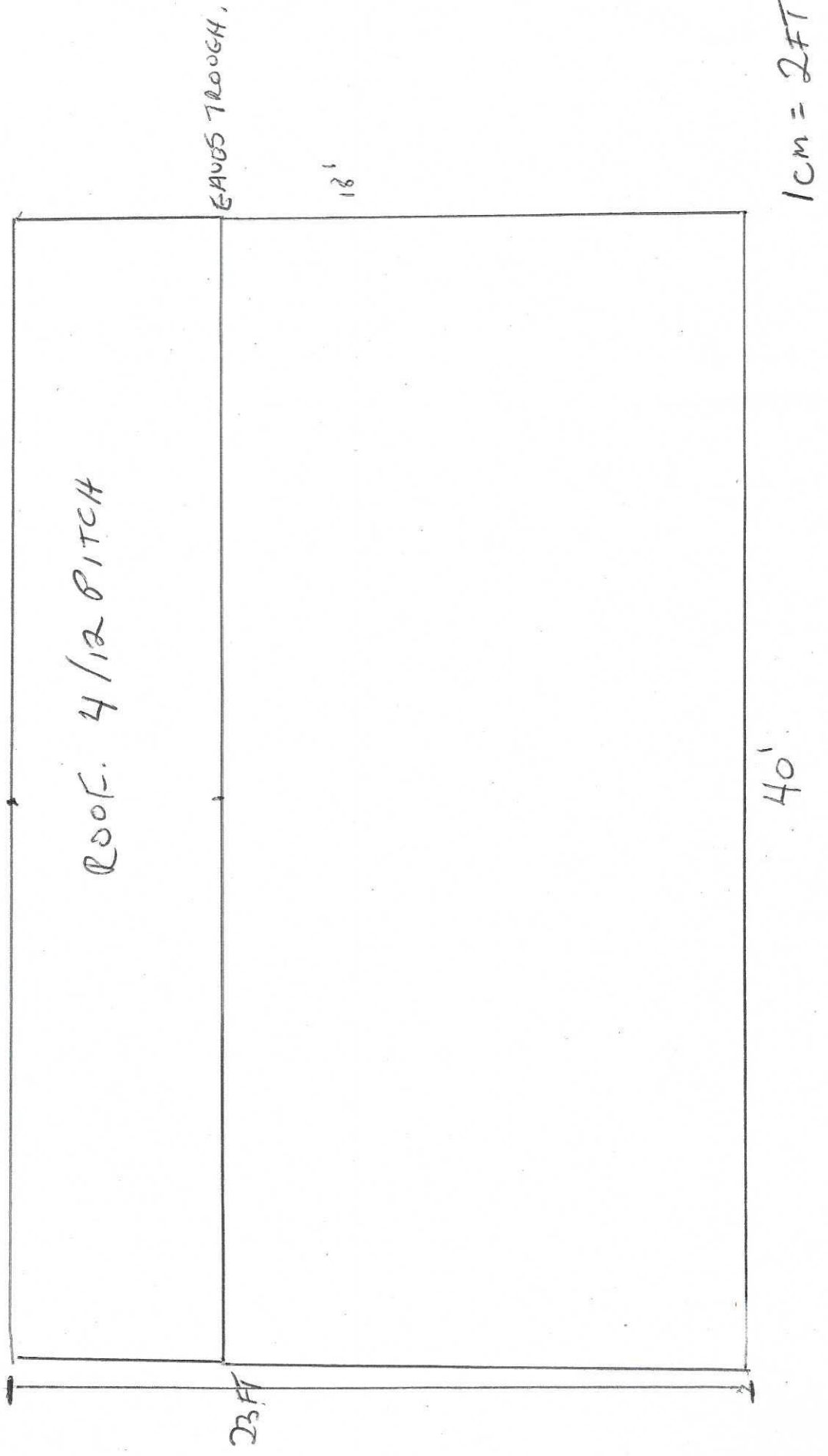
FRONT VIEW

23' TO PEAK.



$$1 \text{ CM} = 2 \text{ FT}$$

SIDE VIEW



243 Owen St - proposed accessory building



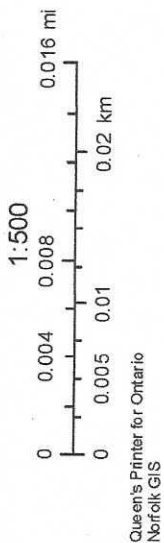
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Zones 1-Z-2014

- ☐ Zone
- ☒ Zone with Holding Provision

- ☒ Special Provisions
- ☐ Site Plan Control
- ☐ Lakeshore Erosion Prone Areas

- ☐ Land Parcels
- ☐ Plan Lines
- ☐ DraftPlan




MAP A
CONTEXT MAP
 Urban Area of SIMCOE

ANPL2022277

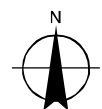


Legend

 Subject Lands

2020 Air Photo

10/17/2022



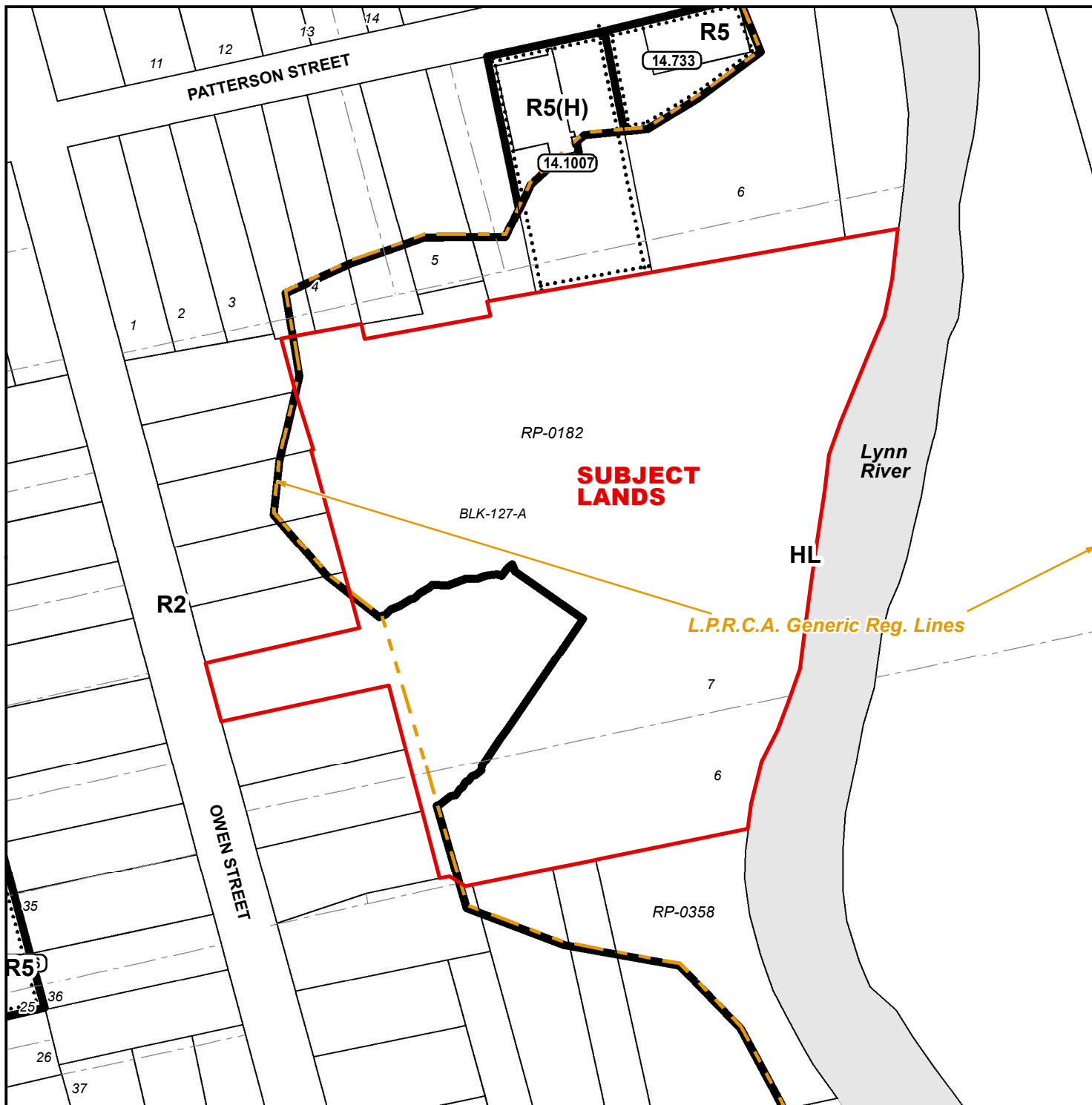
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MAP B

ZONING BY-LAW MAP

Urban Area of SIMCOE

ANPL2022277



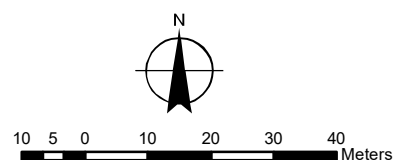
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

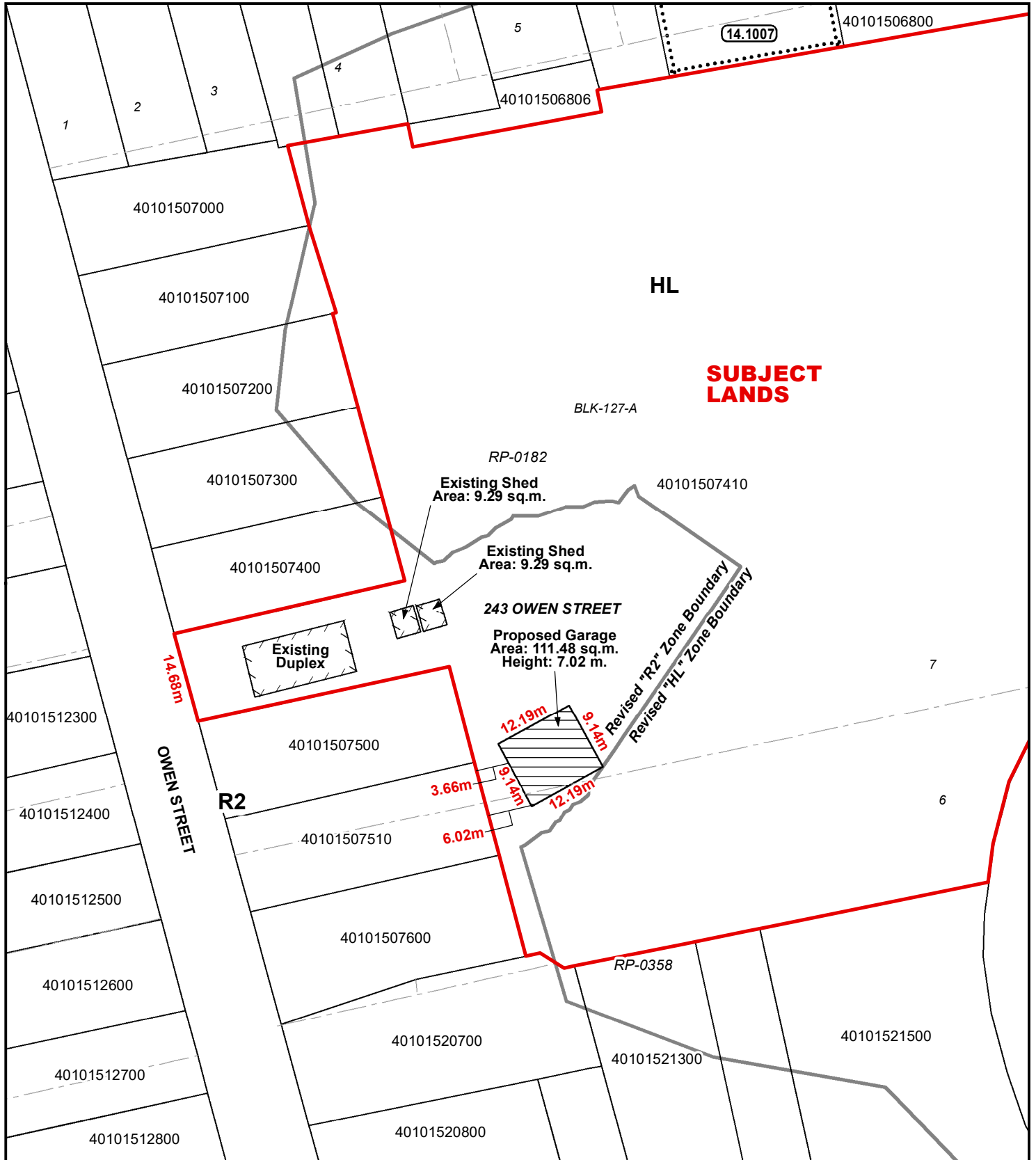
10/17/2022

- (H) - Holding
- HL - Hazard Land Zone
- R2 - Residential R2 Zone
- R5 - Residential R5 Zone



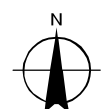
CONCEPTUAL PLAN

Urban Area of SIMCOE



Legend

Subject Lands

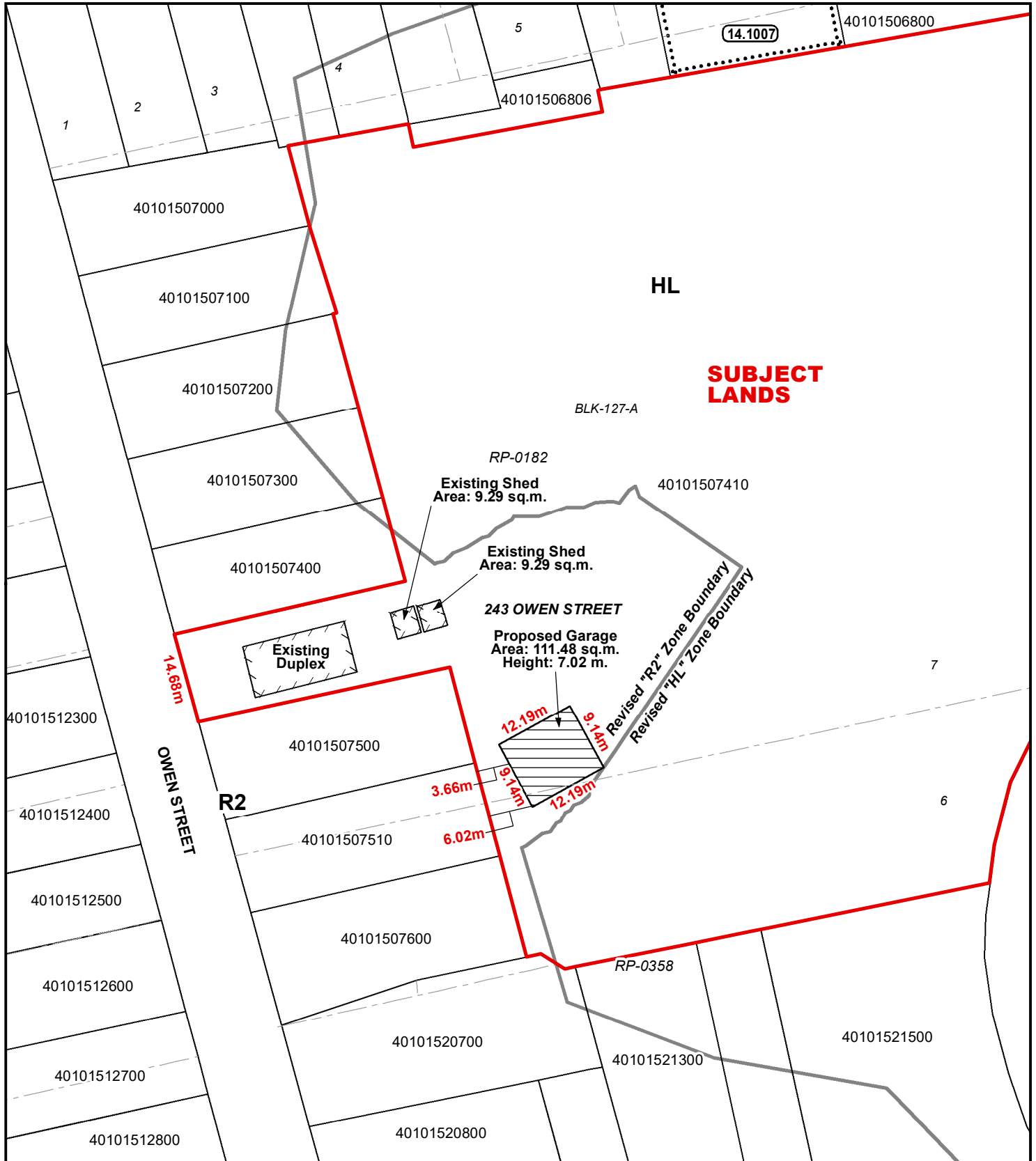


10/17/2022

6 3 0 6 12 18 24 Meters

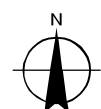
CONCEPTUAL PLAN

Urban Area of SIMCOE



Legend

Subject Lands



10/17/2022

6 3 0 6 12 18 24 Meters