

For Office Use Only:

File Number	ANPL2022292	Application Fee	\$1599.00
Related File Number	-	Conservation Authority Fee	\$514.15
Pre-consultation Meeting	-	Well & Septic Info Provided	N/A
Application Submitted	JUNE 6, 2022	Planner	Hanne Yager
Complete Application	Resubmitted Sept 22/2	Public Notice Sign	-
	Deemed complete Oct 4, 2022		

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 33607074560**A. Applicant Information****Name of Owner** Adam Reid

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1125 Cockshutt Road

Town and Postal Code Simcoe, N3Y 4K4

Phone Number 226-567-1422

Cell Number 226-567-1422

Email adamcampbellreid@outlook.com

Name of Applicant Adam Reid

Address 1125 Cockshutt Road

Town and Postal Code Simcoe, N3Y 4K4

Phone Number 226-567-1422

Cell Number 226-567-1422

Email adamcampbellreid@outlook.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Adam & Cari-Lyn Reid (same address as above)

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Renton, 1125 Cockshutt Rd, TWN CON 14 PT LOT 12 RP, 37R2206 PART 1, IRREG, 0.73AC 107.32FR D

Municipal Civic Address: 1125 Cockshutt Road, Simcoe

Present Official Plan Designation(s): Residential Hamlet, LPRCA Hazard land.

Present Zoning: Residential Hamlet, LPCRA Hazard land

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

Screened with LPCRA that garage must be minimum distance from hazard land on north and east side.

3. Present use of the subject lands:

Primary Dwelling

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Steel Storage shed on concrete pad (north west corner) for garden tools and general storage for outside equipment,

Backyard deck on cement footings at rear of house (west side),

Driveway running on south side of property. Single storey house with walkway from driveway to front door. All to be retained.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

No additions to existing buildings.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Applying to build a 12.19mX9.14m Garage to be used as storage, home gym, workspace for general home task.

single storey, no dwelling. Garage door on the east side to face driveway. Driveway to be extended up to garage door. No parking planned in garage.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

1985 house was built.

9. Existing use of abutting properties:

Farm land, orchard to the west. Residential adjacent on south side. Hazard land in front yard near the road. Wooded area to the north.

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Hazard land in front yard should not affect location of proposed build.

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area	241.86m²			353.28m²	
Lot coverage	8.19%	10%		11.96%	1.96%
Front yard		6m		64m	N/A
Rear yard		1.2m		4.57m	N/A
Height		6m		~5.37m	N/A
Left Interior side yard		1.2m		1.8m	N/A
Right Interior side yard		1.2m		22.55m	N/A
Exterior side yard (corner lot)					
Parking Spaces (number)				0. garage not used for parking.	
Aisle width					
Stall size					
Loading Spaces					
Other	12.36m² 123.51sq shed			111.42m ² proposed garage	23.78m ²

A. Reid

Amended -
11/10/2022

Existing lot area:
3029 sq. m.

Proposed 4%
- no deficiency

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Garage is too big for RH zoning. Current zoning allows for 100m² and I would like to build garage with 111.42m². Height to be approx 5.37m to truss peak which is less than the 6m RH requirement.
~~Total land coverage to be above 10% of total property at 11.96% once garage foundation and pad poured.~~

A. REID
Amended
11/10/2022

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Personal knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

Not intended to impact woodland or heritage sites. Screened with a planner.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Screened with a planner.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☒ On the subject lands or ☐ within 500 meters – distance _____

North side

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☒ Individual wells ☐ Other (describe below)

House has own well at south west corner of house. Will not be routing water to garage.

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed in good working order ☐ Other (describe below)

House has septic tank on north east side of house. Will not be connecting to garage

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☒ Other (describe below)

Culvert running south to north under driveway at front of house and to wooded area (Hazard land area.).

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Driveway has existing access to Cockshutt road. No plan to add another entrance.

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-
-
-

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature

July 6th, 2022

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Adam & Cari-Lyn Reid am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Adam & Cari-Lyn Reid to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Adam Reid

July 6th, 2022

Owner

Date

Cari-Lyn Reid

July 6th, 2022

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Adam Reid of 1125 Cockshutt Rd, Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County


Owner/Applicant/Agent Signature

In Simcoe, ON

This 6TH day of July

A.D., 2022



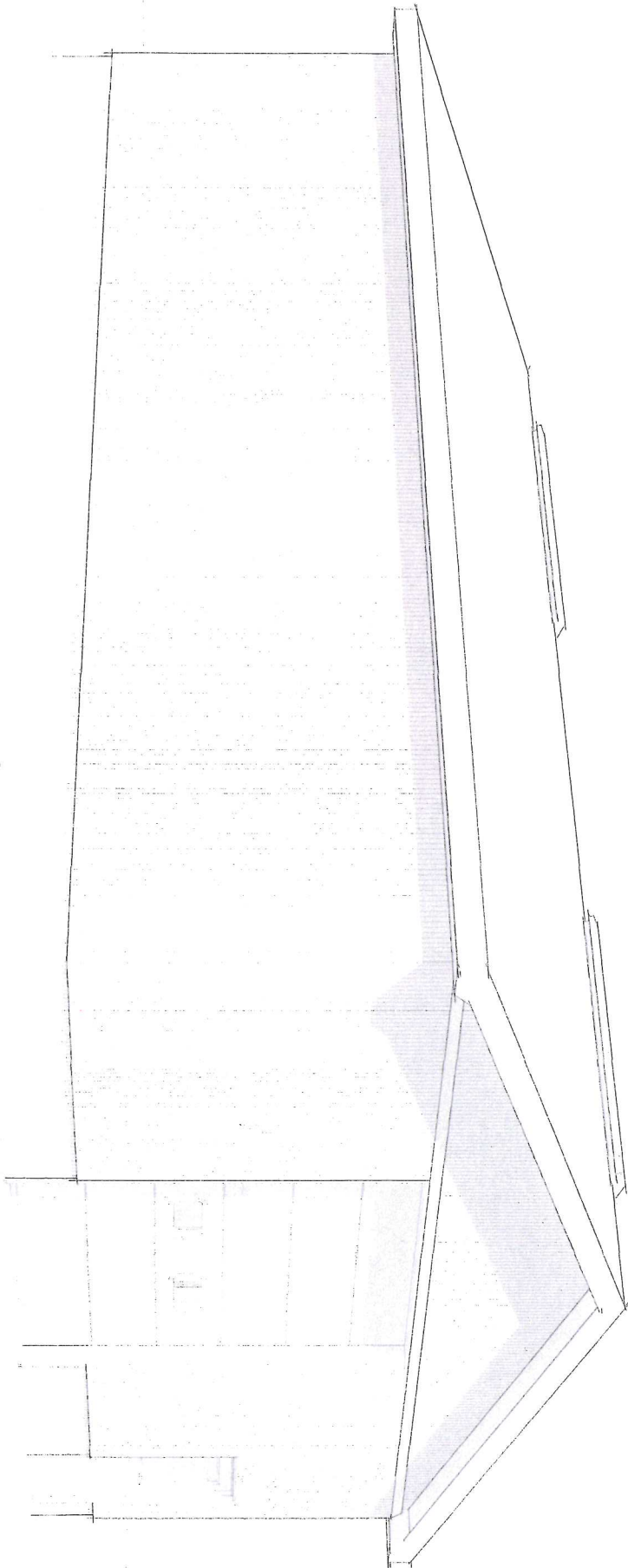
Patricia Nicole Dedrick, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires September 2, 2024.

A Commissioner, etc.

DRAWINGS PROVIDED FOR
TD CONSTRUCTION

REID SHOP

1125 COCKSHUTT ROAD, SIMCOE ONTARIO



SHEET SCHEDULE	
SHEET NO.	SHEET NAME
S-0	COVER SHEET
S-1	FOUNDATION/ GROUND/ ROOF FRAMING PLAN
S-2	BUILDING SECTION/ WALL SECTIONS
S-3	ELEVATIONS



**DESIGN LOGIX
ENGINEERING INC.**
REGISTERED PROFESSIONAL ENGINEER
P. ENG. 00012377
ALBERTA ENGINEERING SOCIETY, CAN.

ALL DRAWINGS AND ELEVATIONS TO BE REVIEWED
BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE ENGINEER



PROJECT STATUS	
NO.	DATE
1	FEB. 17, 2022
2	MARCH 1, 2022
	FOR APPROVAL
	FOR CONSTRUCTION

CONTRACTOR NAME & ADDRESS	
TD CONSTRUCTION	60 STOVER STREET, NORWICH ONTARIO
PROJECT LOCATION	PROJECT LOCATION
PROJECT NO.	PROJECT NO.
DATE	DATE
BY	BY
CHKD BY	CHKD BY
APP'D BY	APP'D BY

PROJECT NAME & ADDRESS	
REID SHOP	1125 COCKSHUTT ROAD, SIMCOE ONTARIO
PROJECT TITLE	COVER SHEET
DATE	DATE
BY	BY
CHKD BY	CHKD BY
APP'D BY	APP'D BY

[illegible]

GENERAL NOTES:

- THIS BUILDING IS DESIGNATED AGRICULTURAL, LOW HAZARD OCCUPANCY.
- ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS:
1. THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596,

EXCAVATION AND BACKFILL:

- [illegible]

CONCRETE:

- [illegible]

CONCRETE		SPlice LENGTH, mm (")			
REBAR SIZE		25MPa	30MPa	35MPa	35MPa
10M		400 (16")	400 (16")	400 (16")	400 (16")
15M		600 (24")	600 (24")	500 (20")	500 (20")
20M		600 (24")	700 (28")	700 (28")	700 (28")
25M		1200 (48")	1100 (44")	1100 (44")	1100 (44")

STEEL NOTES:

- ALL STEEL SHALL BE ORDERED, FABRICATED AND ERECTED IN CONFORMANCE TO CANCADA-90 AND Q.B.1. LATEST EDITIONS
- ALL STEEL MEMBERS TO BE HOT ROLLED
- ALL ROLLED STRUCTURAL TUB. MEMBERS SHALL CONFORM TO CSA-S30.40-04 AND S34.40-04 EXCEPT WHERE PLATE ECTION WHICH SHALL CONFORM TO CSA-S30.40-04 AND S34.40-04
- WELDING SHALL CONFORM TO CSA-W8.0 LATEST EDITION. ALL WELDS SHALL BE INSPECTIONED BY THE
- BOTH FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM-A588
- ALL BOLTED CONNECTIONS SHALL BE BEARING TYPE E.A.O.
- ALL CONNECTIONS SHALL BE INSPECTED AS PER CANCADA-90

WOOD NOTES:

1. UNIFORM SHALL BE IN P-28 BY 10/1/2015 OR THEREAFTER.
2. STUD WALLS SHALL BE CONSIDERED TO COMPLY WITH 10% BRACING AND 4% SPACING AND WITHIN 6" OF END OF WALL OR CORNER.
3. WALLS TO BE PROVIDED AS FOLLOWS IS STRUCTURAL MEMBER.
4. CONTRACTOR SHALL SECURE ANY TEMPORARY BRANCH OF WALLS AND THUSSES AND ASSOCIATE
5. CONTRACT SHALL BE SECURED TO PREVENT CRACKS ON WALLS
6. ALL ATTENDERS MUST 1. UNIFORM TO BE STAINLESS OR NOT DIPPED GALVANIZED
7. STRUCTURAL WALL ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CANCSA
8. (NO LATEST EDITION)
9. ALL ATTENDERS MUST 1. UNIFORM TO BE STAINLESS OR NOT DIPPED GALVANIZED
10. O.C.S. SHALL COMPLY TO CANCSA'S CANCSA-183 "WATERBORD AND STAINLESS"
11. O.C.S. SHALL COMPLY TO CANCSA'S CANCSA-183 "WATERBORD AND STAINLESS"

TRUSS NOTES:

- TRUSTEES SHALL BE DESIGNED IN ACCORDANCE WITH THE O.B.C. AND CERTIFIED BY A PROFESSIONAL ENGINEER.
- UNBALANCED LOAD COMPONENTS SHALL BE ACCOUNTED FOR
- TRUSTEES DESIGNS TO ACCOUNT FOR INCREASED SNOW LOAD DUE TO ROOF VALUITY AND GLOW SHADOWS
- TRUSTEES SNOW SHEDDING SHALL BE PROVIDED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION
- REFER TO REFINA LOAD TABLE FOR LOADS ON THIS PROJECT
- SECTION, SNOWSHEDS SHALL BE PROVIDED ON ALL NEW MEMBERS THAT REQUIRE LATERAL BRACING.
- SHOULDER BRACINGS SHALL BE LOCATED AT EACH END OF THE TRUSS MEMBER AND SPACED AS NOTED
- ALL TRUSS MEMBER BRACINGS SHALL BE PROVIDED AT 10' INTERVALS UNLESS AS NOTED
- CHORD LINE SEE DIMENSIONS FOR DETAILS

CLADDING NOTES:

1. CLADDING TO BE MINIMUM 20 GAUGE WITH RIBS SPACED AT 6"-8"
2. CLADDING TO BE FASTENED ON RIBS AT 6" CENTERS WITH HEX-HEAD ROOFING SCREWS

DESIGN LOADS:

SNOW DESIGN PARAMETERS $S_s=1.30N/P_2$ (27.2 psf), $S_{no}=0.25P_2$ (8.26 psf) (SMCCE, CRT)

**DESIGNLOGIX
ENGINEERING INC.**
AGRICULTURE - COMMERCIAL - CIVIL
P: 502-212-2377
E: office@dxengineering.com

DO NOT SCALE DRAWINGS

ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED
BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE ENGINEER

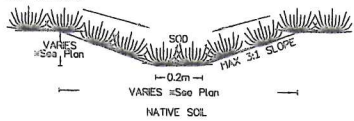
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PROJECT STATUS:		
NO:	DATE:	STATUS:
1	FEB 17, 2022	FOR APPROVAL
2	MARCH 3, 2022	FOR CONSTRUCTION

CONTRACTOR NAME & ADDRESS: TD CONSTRUCTION 60 STOVER STREET, NORWICH ONTARIO	Project #:	DX22-147
	Drawn by:	J.B.
	Checked by:	
PROJECT NO: 101	TRUE NO: 101	

PROJECT NAME & ADDRESS	REID SHOP 1125 COCKSHUTT ROAD, SIMCOE ONTARIO	
	Date FEB. 17, 2022	Scale 1/2" = 1'-0"
DRAWING TITLE:	DESIGN NOTES/ SITE LAYOUT	
Sheet No.	NT	

SWALE DETAIL



NOTE: DISTANCE FROM TOP OF FOUNDATION WALL TO UNDERSIDE OF FOOTING EQUALS 1.52m OR 5 FT TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.



SITE B.M. #1
FINISHED CONCRETE
FLOOR OF GARAGE
ELEV = 213.765
(GEODETIC)

SKETCH PREPARED FOR BUILDING
PERMIT APPLICATION

FOR: ADAM REID
1125 COCKSHUTT ROAD
SIMCOE

PIN 50284-0244 (LT)

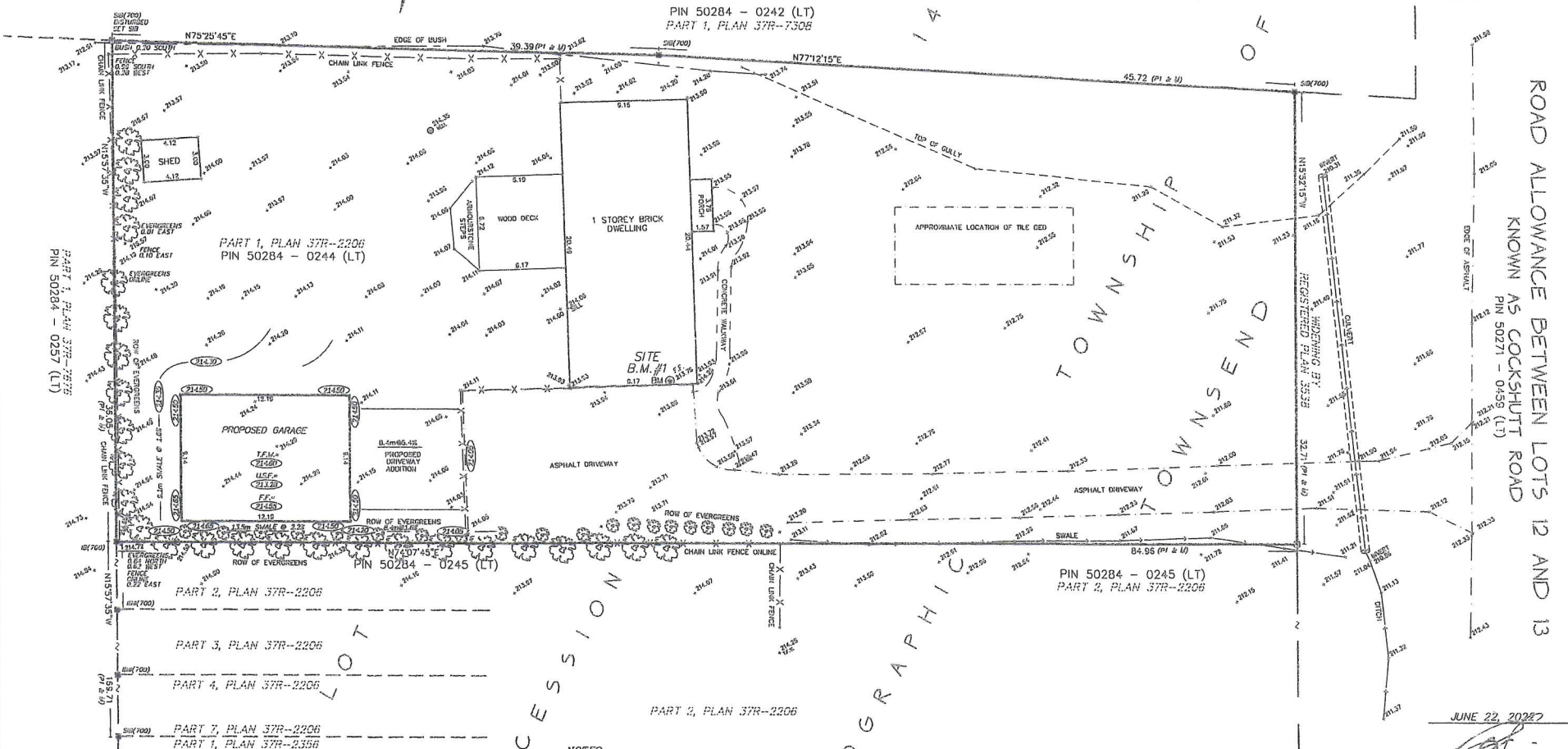
SCALE: 1 : 200

2 0 8 METRES

JEWITT AND DIXON LTD.

LEGEND

BELL BOX	SHOWN	BEX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	△
HYDRO POLE	SHOWN	HP	⊕
GAS METER	SHOWN	GM	⊕
MANHOLE	SHOWN	MH	⊕



PROPERTY DESCRIPTION:
PART OF LOT 12, CONCESSION 14
GEOGRAPHIC TOWNSHIP OF TOWNSEND
COUNTY OF NORFOLK

CAUTION
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED
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NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN AND ARE IN METERS
- (4) - T.F.M. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - SITE BENCH-MARK - CONCRETE FINISHED FLOOR OF GARAGE HAVING A GEODETIC ELEVATION OF 1 meters
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CSVD 1928 VERTICAL DATUM
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0042
E-mail: info@jewittanddixon.com

JUNE 22, 2022

R. C. DIXON, O.L.S.
THIS COPY IS NOT VALID UNLESS
EMBOSSED WITH THE SURVEYOR'S SEAL.

F.W.	- J.D.
BOOK	- LL
CALC.	- J.L.M.
PLAN	- J.L.M.
CHECK	- K.H.
CLIENT	- REID
PROJECT No.	- 22-3434
22-3434-GP	



Long Point Region
Conservation Authority

1125 Cockshutt Road
Norfolk County

Legend

Regulation Limit

Hazard Land

1125 Cockshutt rd

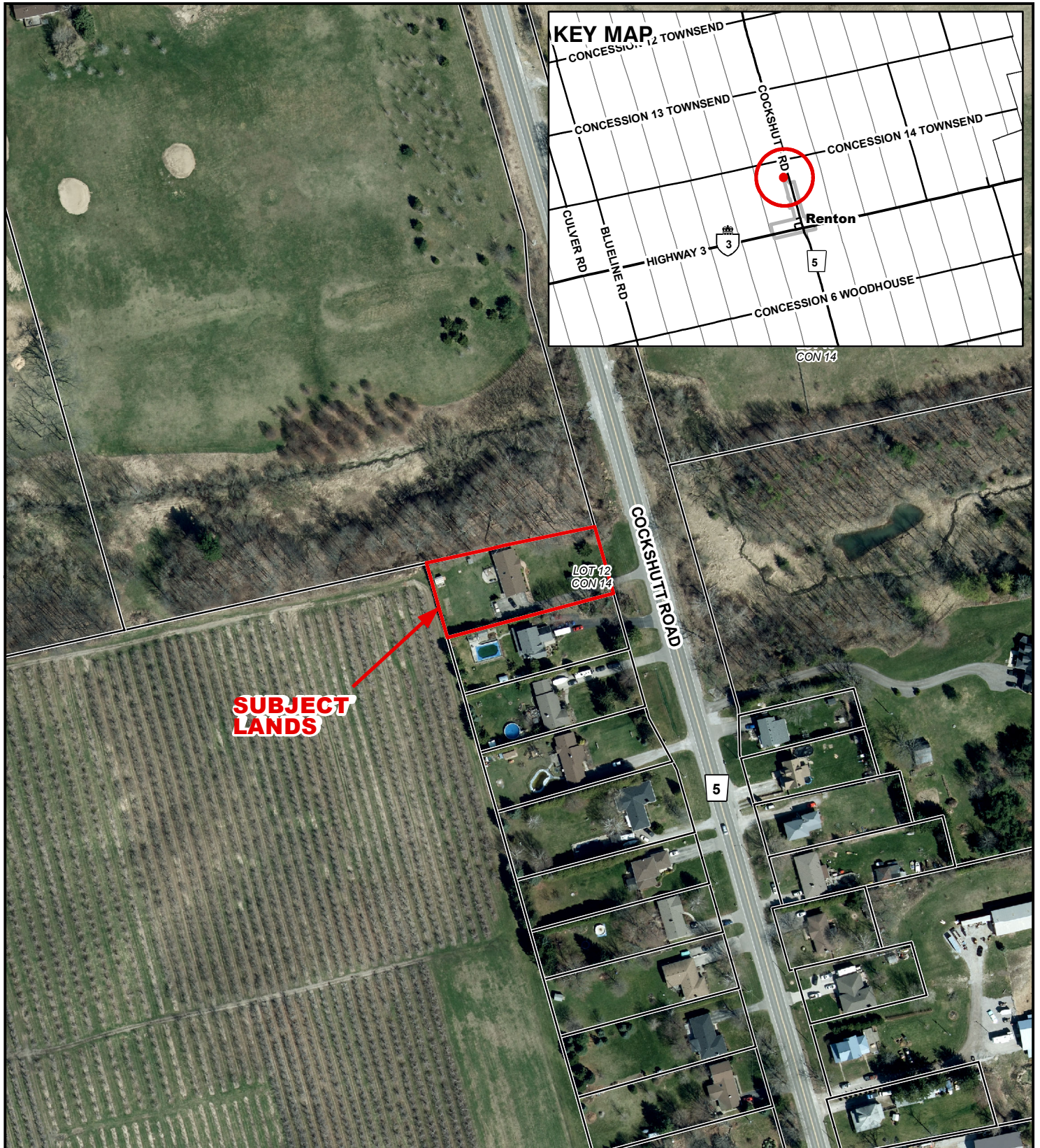
Watercourse

Users of the LPRCA's maps and data are cautioned to consider the provisional nature of the information before using it for decisions that concern personal or public safety or the conduct of business. LPRCA assumes no responsibility for the correctness of the information contained in this map nor liability to any user of such information, regardless of the purpose.


0 10 20 m

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Long Point Region
Conservation Authority



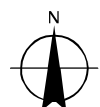


Legend

 Subject Lands

2020 Air Photo

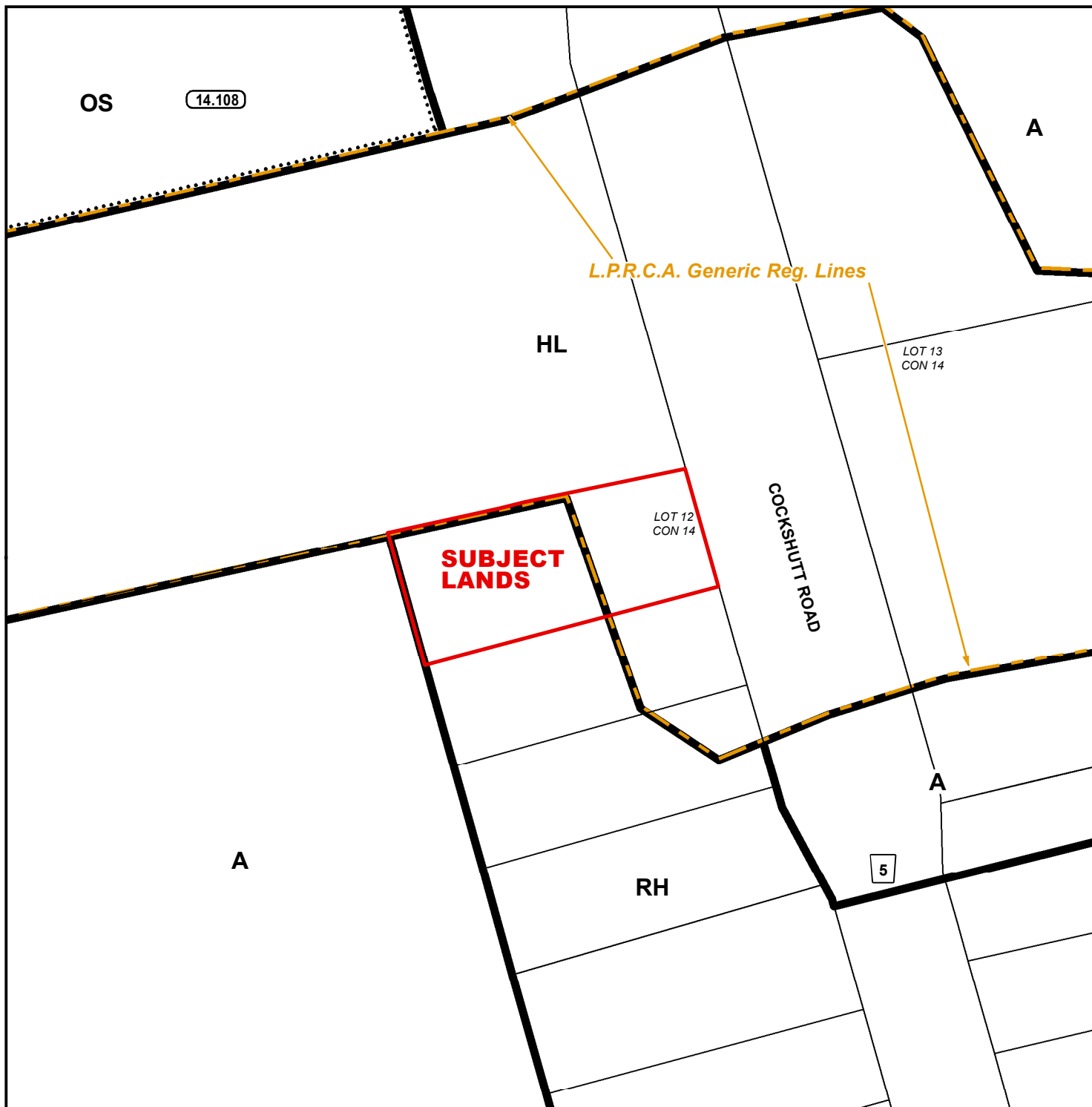
10/5/2022



20 10 0 20 40 60 80 Meters

MAP B
ZONING BY-LAW MAP
Geographic Township of TOWNSEND

ANPL2022292

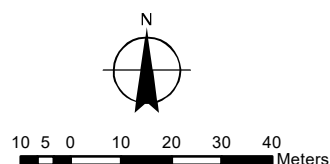


LEGEND

ZONING BY-LAW 1-Z-2014

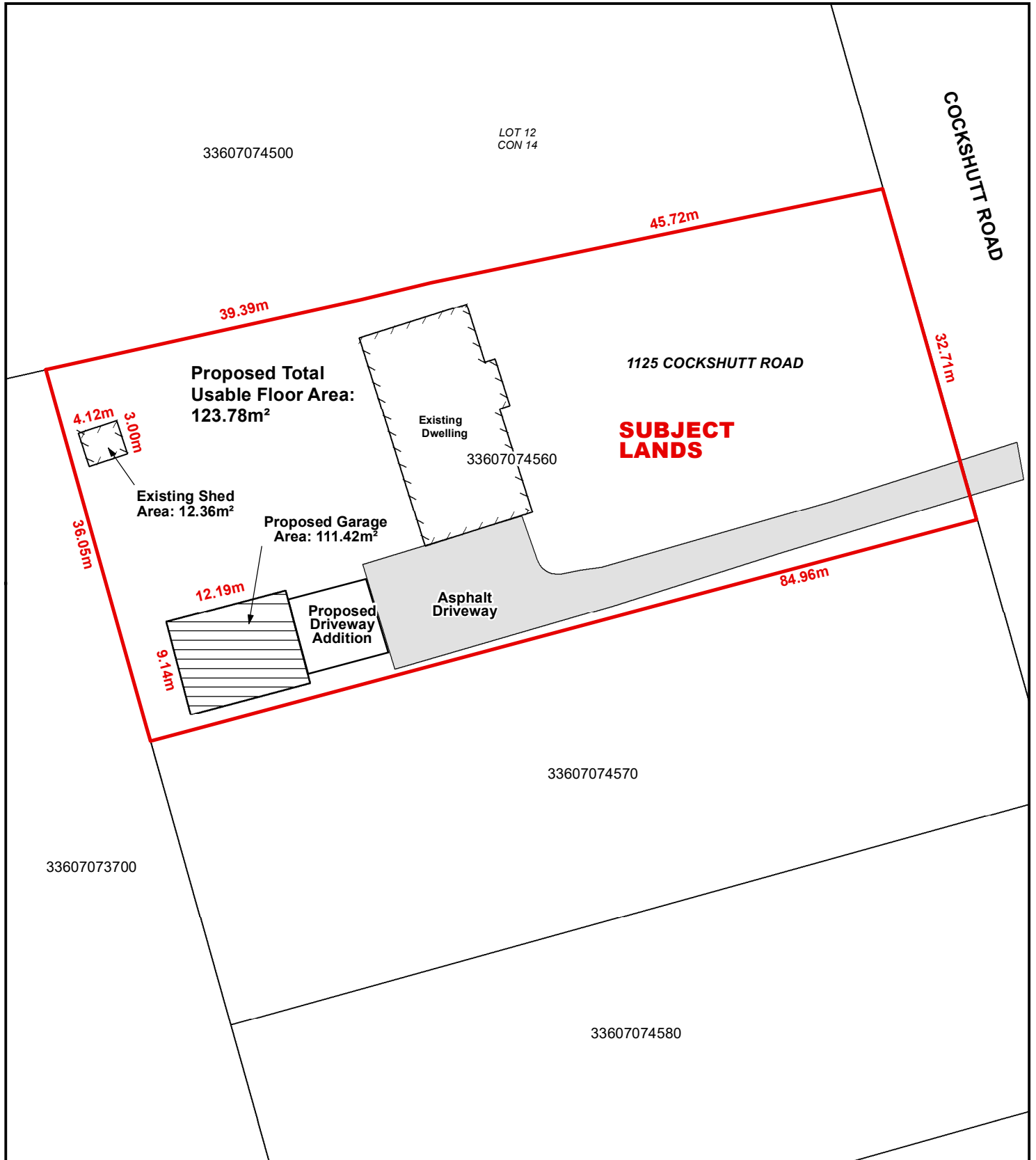
10/5/2022

- (H) - Holding
- A - Agricultural Zone
- RH - Hamlet Residential Zone
- HL - Hazard Land Zone
- OS - Open Space Zone



CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

Subject Lands

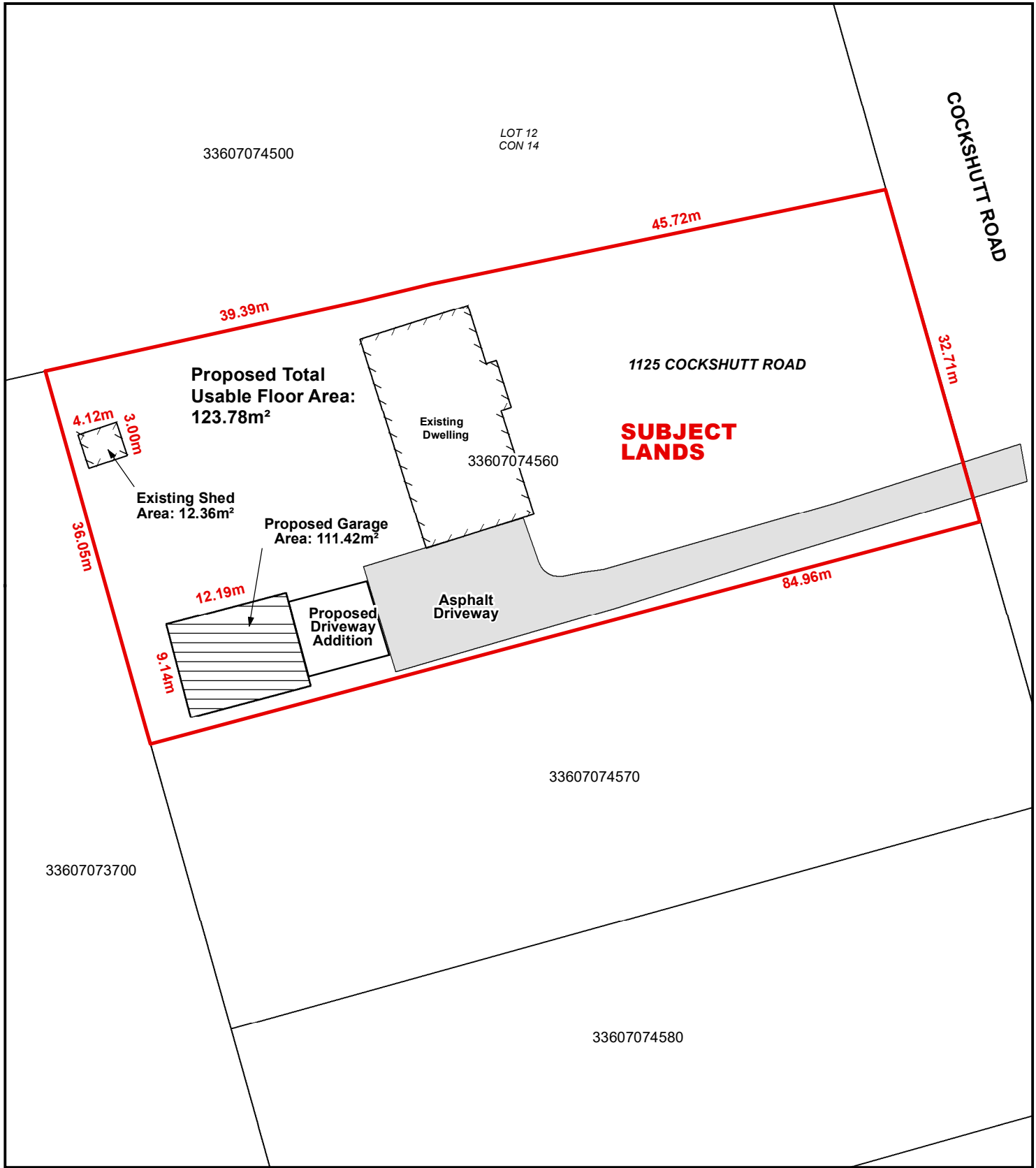
10/5/2022




4 2 0 4 8 12 16 Meters

CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

 Subject Lands

10/5/2022

