

**For Office Use Only:**

File Number ANPL2022296  
Related File Number -  
Pre-consultation Meeting -  
Application Submitted AUGUST 31/2022  
Complete Application October 19, 2022

Application Fee  
Conservation Authority Fee  
Well & Septic Info Provided  
Planner  
Public Notice Sign

✓ pd 1599 -  
pd 311.65 ✓  
N/A  
Hanne Yager  
-

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310-334-010-13700

**A. Applicant Information**

**Name of Owner** Tom Leitch

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 11 Elm Park Drive

**Town and Postal Code** Port Dover NOA 1N0

**Phone Number** \_\_\_\_\_

**Cell Number** 519-421-7987

**Email** tleitch@mcfrc.ca

**Name of Applicant** agent

**Address** \_\_\_\_\_

**Town and Postal Code** \_\_\_\_\_

**Phone Number** \_\_\_\_\_

**Cell Number** \_\_\_\_\_

**Email** \_\_\_\_\_

**Name of Agent** David McPherson

**Address** 8 Culver Lane

**Town and Postal Code** Simcoe N3Y 5C8

**Phone Number** 519-426-7295

**Cell Number** 519-427-6483

**Email** david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
\_\_\_\_\_

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 9 Plan 230

Municipal Civic Address: 11 Elm Park Drive, Port Dover

Present Official Plan Designation(s): Urbane Residential and Hazard Land

Present Zoning: R2 and Hazard Land

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

14.987

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

see attached survey

PROPOSED CABANA IS BEING BUILT.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

accessory building, details are on the attached sketch and attached architectural plans

NO DWELLING UNIT WILL BE IN CABANA

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

1 year

9. Existing use of abutting properties:

residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard		39.5m	14.987	5.68m	33.82m
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	RELIEF FROM 14.987 c) ii)				28m



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

building is sited in location approved by LPRCA

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a

Depth:

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
owner provided information

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

---

---

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

---

---

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:  
not within a WHPA

---

---

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☒ Municipal piped water ☐ Communal wells  
☐ Individual wells ☐ Other (describe below)
- 

### Sewage Treatment

- ☒ Municipal sewers ☐ Communal system  
☐ Septic tank and tile bed in good working order ☐ Other (describe below)
- 

### Storm Drainage

- ☒ Storm sewers ☐ Open ditches  
☐ Other (describe below)
- 

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway  
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Elm Park Drive

---

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

---

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

see attached premise and justification report

---

---

---



#### **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### I. Transfers, Easements and Postponement of Interest

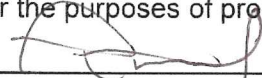
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

  
\_\_\_\_\_

Owner/Applicant/Agent Signature

Aug 13/22  
\_\_\_\_\_

Date

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Tom Leitch am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize DAVID MCPHERSON to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_

Owner

Aug 13/22  
\_\_\_\_\_

Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

**K. Declaration**

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe



Owner/Applicant/Agent Signature

In Norfolk County

This 30th day of August

A.D. 2022



A Commissioner, etc.

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires January 5, 2023.

## **Premise and Justification of Minor Variance Application at 11 Elm Park Drive, Port Dover**

This application is for a proposed residential accessory building within lands zoned as Hazard Land on the subject property.

Special Provision 14.987 permits the proposed accessory structure within the Hazard Land (23-Z-2020).

Special Provision 14.987 (C) requires a rear yard setback of 39.5m.

LPRCA has already approved and issued work permit LPRCA-208/21 for the construction of the proposed accessory building.

The requested variance is for relief of 33.82m of the required rear yard setback to permit an accessory building, as approved and permitted by LPRCA, with a rear yard setback of 5.68m.

Attached is a drawing prepared by Jewitt & Dixon, which shows the location of the proposed accessory building and its setbacks to the rear and east property lines.

Architectural plans of the proposed accessory building are attached. The cabana proper is 15.6 sq.m. Attached to the cabana is an open, unenclosed covered porch of 17.54 sq.m and an open deck of 7.79 sq.m, for a combined area of 40.93 sq.m. The plans indicate a building height of 3.7m.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

### **Norfolk County Official Plan and Norfolk County Zoning By-law**

The subject lands are zoned Urban Residential R2 and Hazard Land. A single family dwelling and an accessory building are permitted on this property according to Special Provision 14.987. Therefore, this application conforms to the general intent and purpose of both the Norfolk County Official Plan and Norfolk County Zoning By-law 1-Z-2014, and in particular to Special Provision 14.987.

### **Is the Variance Desirable**

The single family dwelling permitted by Special Provision 14.987 has just recently been constructed. The Special Provision permits the construction of an accessory structure within the Hazard Land, provided a permit has been issued by the appropriate authority. LPRCA has approved and issued permit LPRCA-208/21 for the construction of this accessory structure. Therefore, this application is desirable as part of the overall development of this property.

### **Is the Variance Minor in Nature**

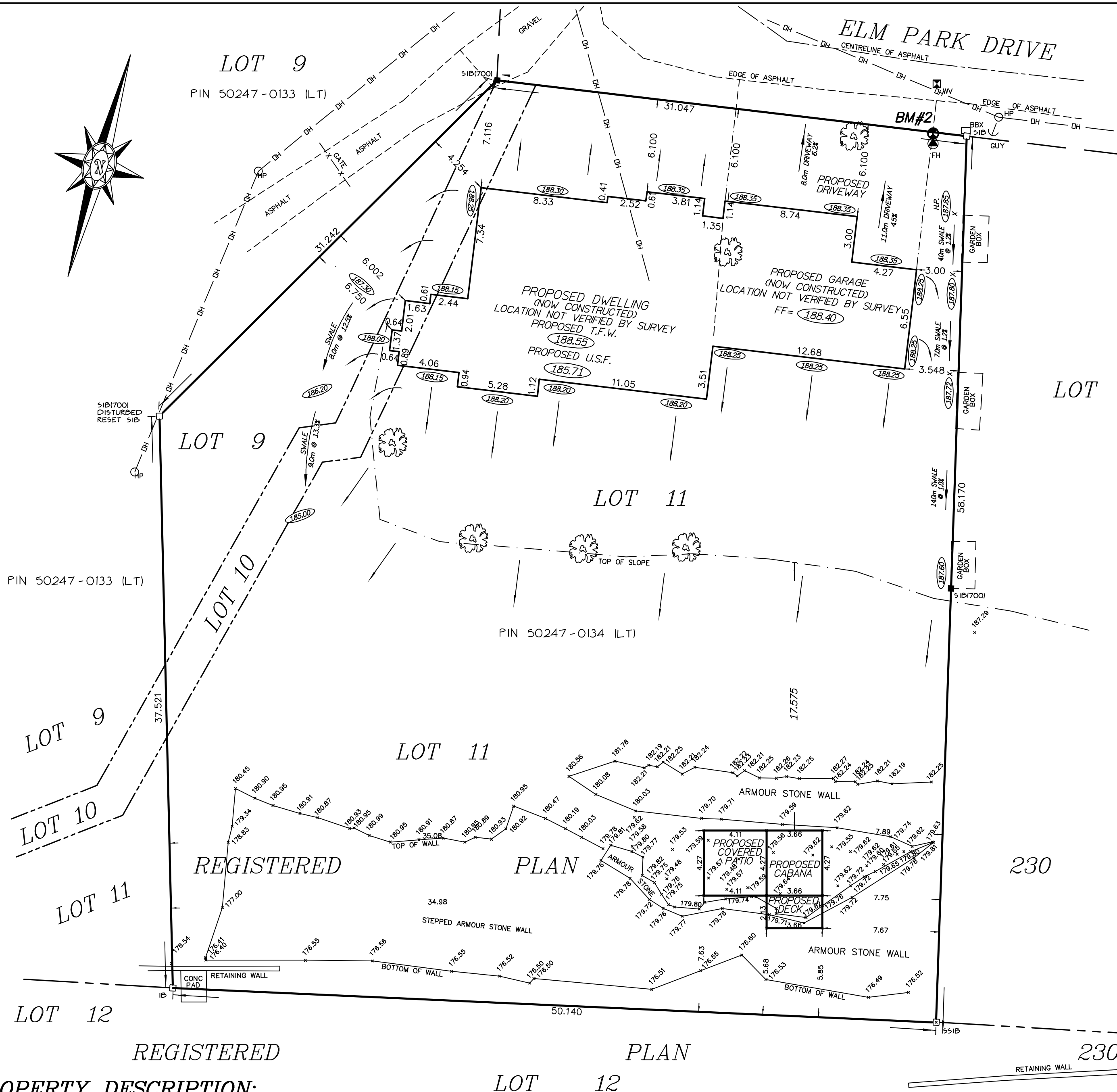
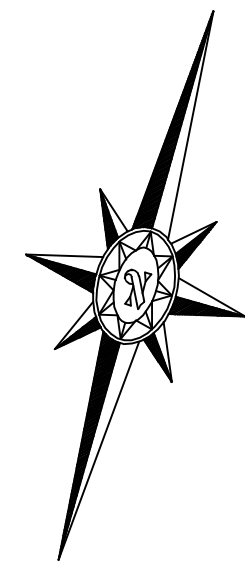
The application is minor in nature and the building site was approved by the local conservation authority, LPRCA.

## **Conclusion**

The requested relief in rear yard setback for the proposed accessory building is minor in nature, appropriate for the neighborhood, and generally meets the intent of the Norfolk County Official Plan, the Norfolk County Zoning By-law, and in particular Special Provision 14.987.

David McPherson



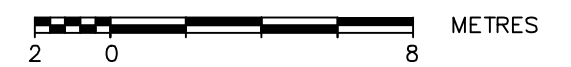


SKETCH PREPARED FOR BUILDING  
PERMIT APPLICATION

FOR: TOM LEITCH  
11 ELM PARK DRIVE  
PORT DOVER

PIN 50247-0134 (LT)

SCALE: 1 : 200



JEWITT AND DIXON LTD.

**SITE  
B.M. #1**  
SPIKE IN  
WEST FACE  
OF HYDRO  
POLE  
ELEVATION  
**188.248**

**SITE  
B.M. #2**  
TOP OF MAIN  
OUTLET  
OF FIRE  
HYDRANT  
ELEVATION  
**188.530**

**LEGEND**

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	●
CATCH BASIN	SHOWN	CB	■
FINISHED FLOOR ELEVATION	SHOWN	FF	—
FIRE HYDRANT	SHOWN	FH	⊙
WATER VALVE	SHOWN	WV	⊠
HYDRO POLE	SHOWN	HP	○
GAS METER	SHOWN	GM	⊞
MANHOLE	SHOWN	MH	⊠

**CAUTION**

UNDERSIDE OF FOOTING BASED ON 8'10" WALL  
WITH 6" FOOTING (2.84m) TO BE VERIFIED BY  
CONTRACTOR PRIOR TO CONSTRUCTION

**NOTES**

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (188.00) AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (8) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (9) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 28th DAY OF SEPTEMBER, 2016
- (10) - ADDITIONAL TOPOGRAPHIC DATA GATHERED ON THE 22nd DAY OF NOVEMBER, 2021 SHOWING THE NEWLY CONSTRUCTED LOCATION OF THE STEPPED ARMOURSTONE RETAINING WALL

**PROPERTY DESCRIPTION:**

PART OF LOTS 9, 10 & 11  
REGISTERED PLAN 230  
GEOGRAPHIC TOWNSHIP OF WOODHOUSE  
COUNTY OF NORFOLK

**CAUTION**

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED  
FOR TRANSACTION OR FINANCING PURPOSES

© COPYRIGHT JEWITT AND DIXON LTD. 2021

THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART,  
WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY PROHIBITED

LAKE ERIE

DECEMBER 30, 2021

KIM HUSTED, O.L.S.  
THIS COPY IS NOT VALID UNLESS  
EMBOSSED WITH THE SURVEYOR'S SEAL.

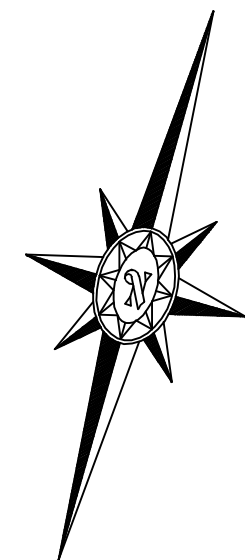
**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**

R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034  
E-mail: surveyors@amtelecom.net

F.W.	-	J.P.H.
BOOK	-	LL
CALC.	-	J.L.M.
PLAN	-	J.L.M.
CHECK	-	K.H.
CLIENT	-	LEITCH
PROJECT No.	-	16-1270

P2003A9888-2



ELM PARK DRIVE

SKETCH PREPARED FOR BUILDING PERMIT APPLICATION

FOR: TOM LEITCH  
11 ELM PARK DRIVE  
PORT DOVER

PIN 50247-0134 (LT)  
SCALE: 1 : 200

2 0 8 METRES

JEWITT AND DIXON LTD.

**SITE B.M. #1**  
SPIKE IN WEST FACE OF HYDRO POLE  
ELEVATION 188.248

**SITE B.M. #2**  
TOP OF MAIN OUTLET OF FIRE HYDRANT  
ELEVATION 188.530

LEGEND	
BELL BOX	SHOWN BBX □
BENCH MARK	SHOWN BM ●
CATCH BASIN	SHOWN CB ■
FINISHED FLOOR ELEVATION	SHOWN FF
FIRE HYDRANT	SHOWN FH ●
WATER VALVE	SHOWN WV ⊠
HYDRO POLE	SHOWN HP ○
GAS METER	SHOWN GM ⊠
MANHOLE	SHOWN MH ●

**ZONING REVIEW**  
10/14/2022  
lambrecht-r  
reviewed & approved  
THE CORPORATION OF NORFOLK COUNTY

**CAUTION**  
UNDERSIDE OF FOOTING BASED ON 8'10" WALL WITH 6" FOOTING (2.84m) TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION

- NOTES**
- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
  - (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
  - (3) - PROPOSED FINAL GRADES ARE SHOWN (189.00) AND ARE IN METERS
  - (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
  - (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
  - (6) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
  - (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
  - (8) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
  - (9) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 28th DAY OF SEPTEMBER, 2016
  - (10) - ADDITIONAL TOPOGRAPHIC DATA GATHERED ON THE 22nd DAY OF NOVEMBER, 2021 SHOWING THE NEWLY CONSTRUCTED LOCATION OF THE STEPPED ARMOURSTONE RETAINING WALL

**PROPERTY DESCRIPTION:**  
PART OF LOTS 9, 10 & 11  
REGISTERED PLAN 230  
GEOGRAPHIC TOWNSHIP OF WOODHOUSE  
COUNTY OF NORFOLK

**CAUTION**  
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

© COPYRIGHT JEWITT AND DIXON LTD. 2021  
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY PROHIBITED

PIN 50247-0139 (LT)

LAKE ERIE

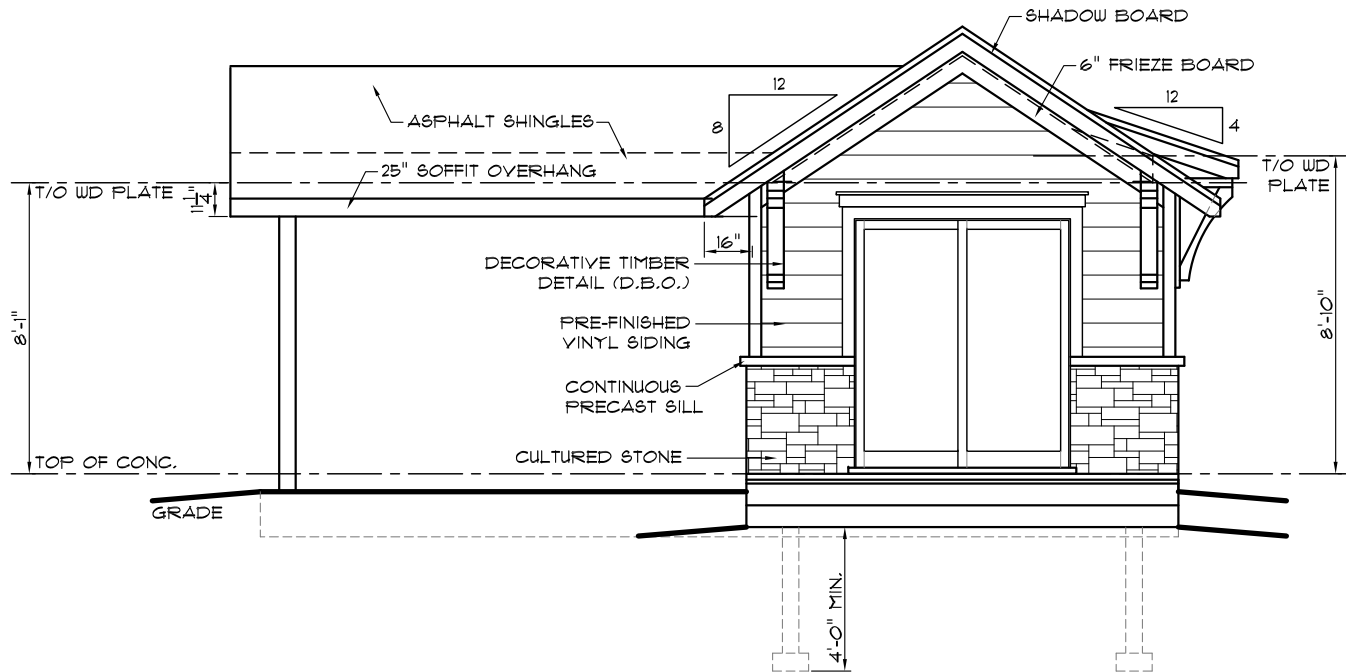
DECEMBER 30, 2021

KIM HUSTED, O.L.S.  
THIS COPY IS NOT VALID UNLESS  
EMBOSSED WITH THE SURVEYOR'S SEAL.

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**  
R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

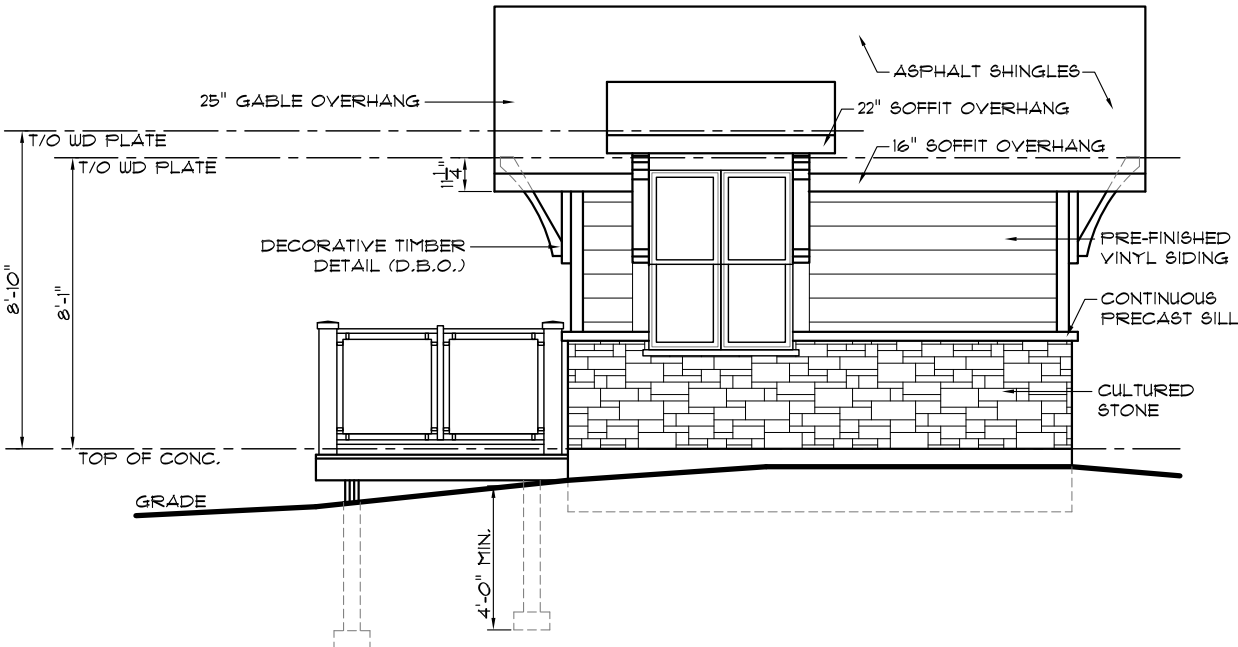
PHONE: (519) 426-0842 FAX: (519) 426-1034  
E-mail: surveyors@amtelecom.net

F.W.	-	J.P.H.
BOOK	-	LL
CALC.	-	J.L.M.
PLAN	-	J.L.M.
CHECK	-	K.H.
CLIENT	-	LEITCH
PROJECT No.	-	16-1270
P2003A9888-2		



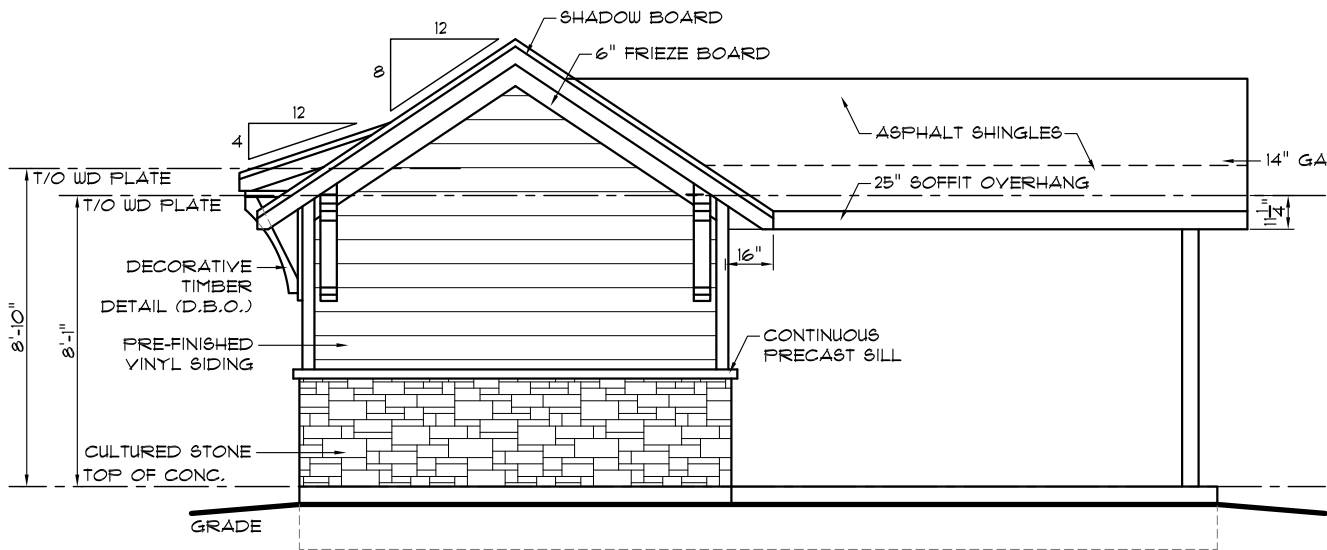
FRONT ELEVATION

SCALE: 3/16"=1'-0"



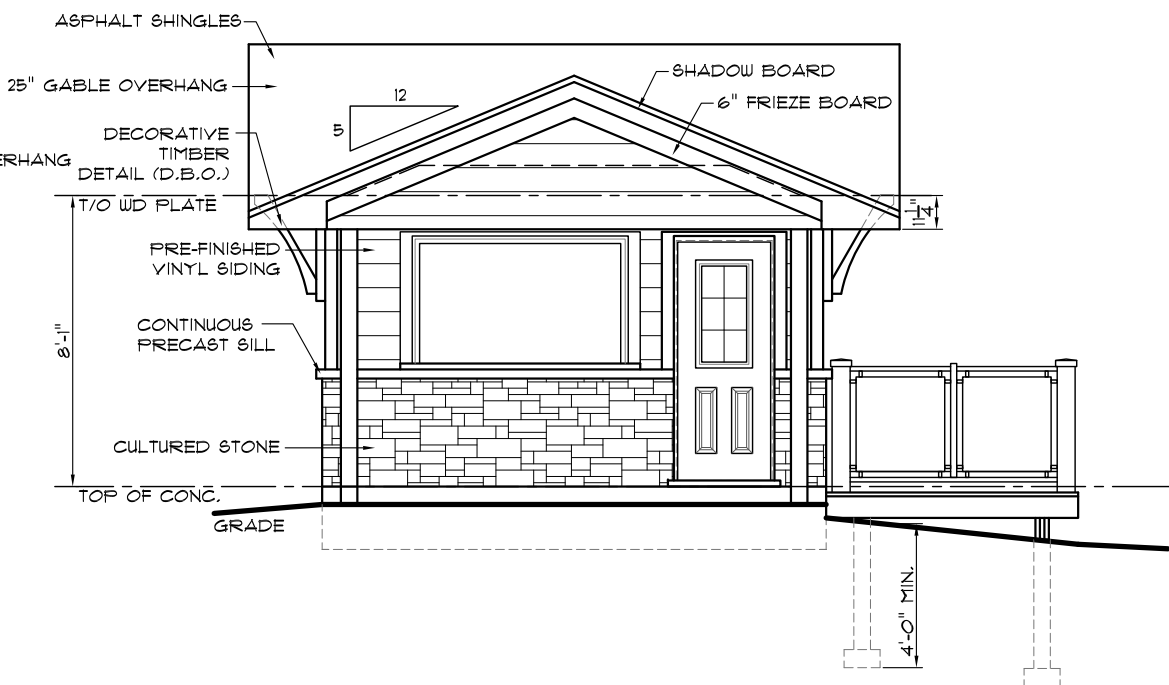
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"

- GENERAL NOTES**
- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
  - DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
  - ALL CONSTRUCTION, MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
  - ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
  - REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
  - 1 1/2" MIN. CONC. REBAR COVERAGE
  - MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
  - STEEL STRENGTH - 400 MPa (60 ksi)
  - ASSUMED SOIL BEARING CAPACITY - 1570 psf
  - CONSTRUCTION SEQUENCING:
    - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (30cm) LIFTS
    - EVENLY AROUND STRUCTURE
    - COMPACT BACKFILL TO 95% STANDARD PROCTOR.
  - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
  - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

- DESIGN NOTES**
- DESIGN DATA LOCATION: SIMCOE
- GROUND SNOW LOAD: 1.3 KPa (27.2 psf)
- SPECIFIED SNOW LOAD: 1.12 KPa (23.4 psf)
- DEAD LOAD: 0.48 KPa (10 psf)
- WIND LOAD (150): 0.45 KPa (9.4 psf)
- 1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
- 1/4" CONTROL JOINTS @ 20' o.c. E.W. IN POURED CONC. SLABS
- ALL WOOD NO. 2 SPRUCE OR BETTER
- ALL BOLTS GALVANIZED STEEL

REVISIONS		
No.	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROPOSED POOL SHED FOR  
CW LEE CARPENTRY  
11 ELM PARK DR.

PROJECT-NUMBER  
2143-01

**djDESIGN**  
Architectural • Energy • HVAC

Phone: (519) 539-2981 318 Hunter Street  
E-mail: plans@djdesign.ca Woodstock, ON  
Website: www.djdesign.ca N46 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE BUILDING CODE

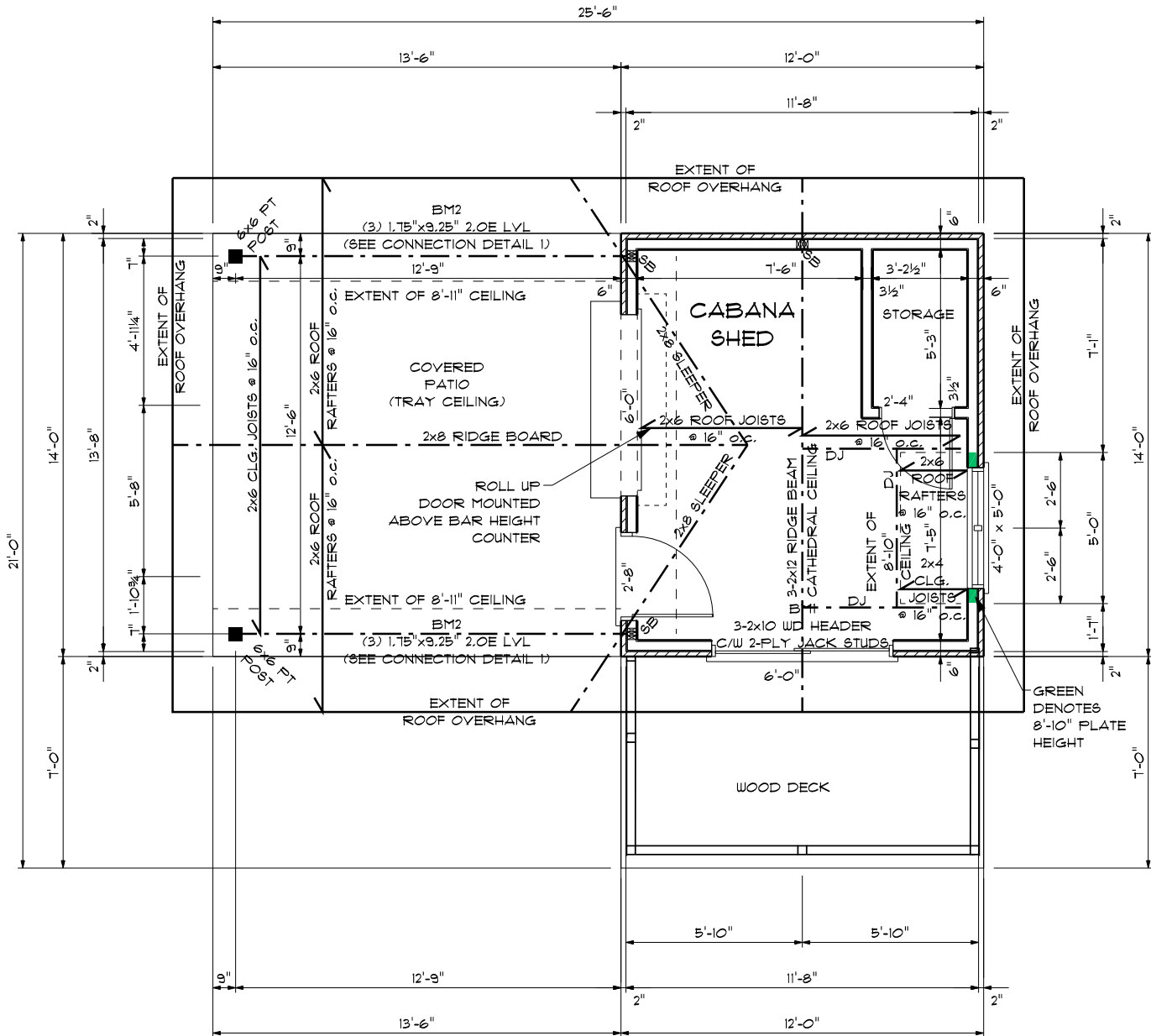
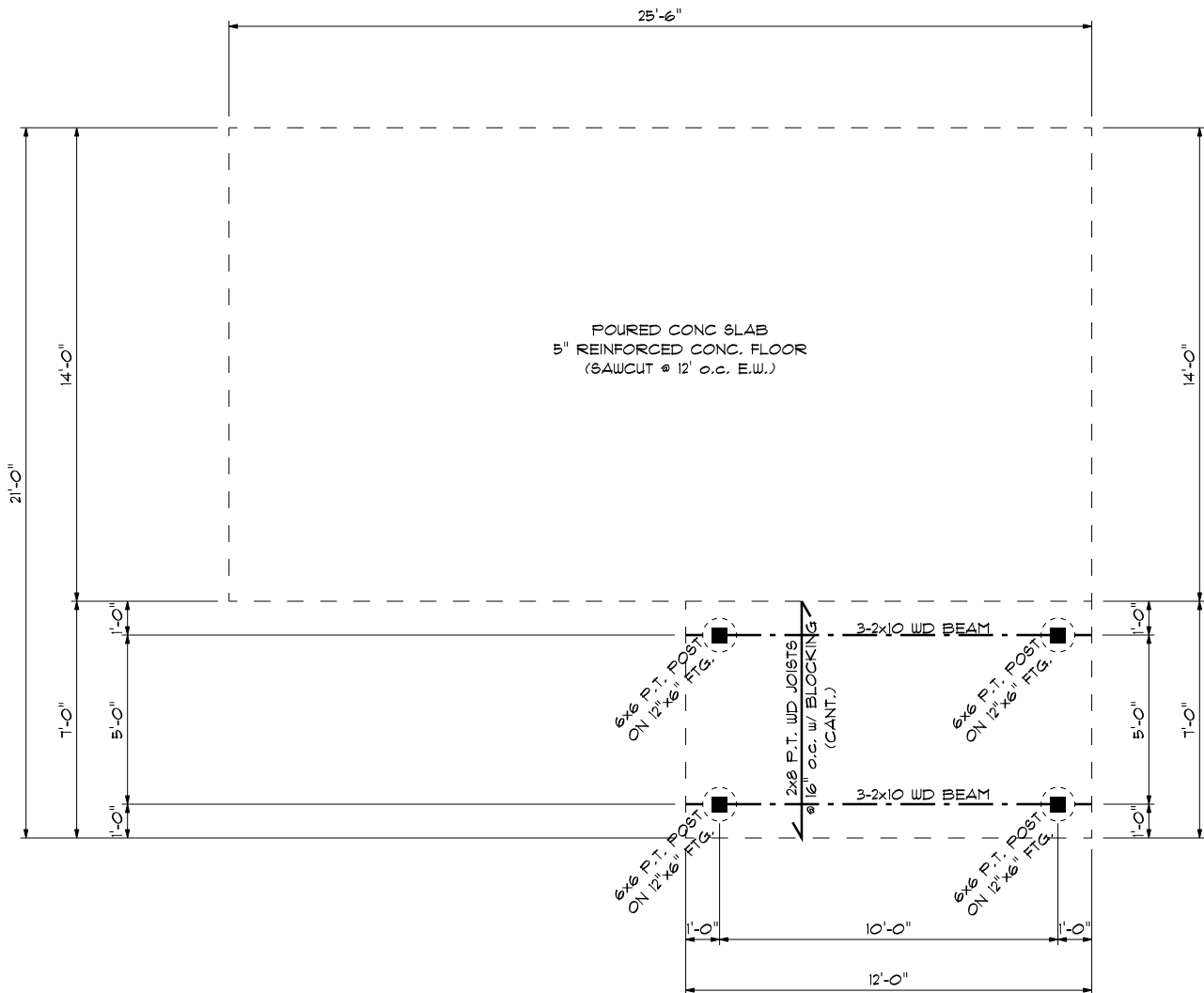
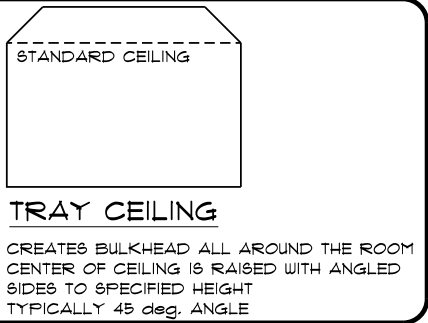
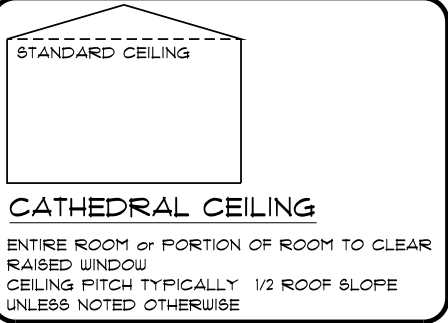
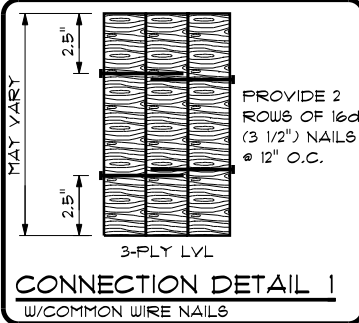
DEREK JUKEMA 21759  
NAME BCIN

SIGNATURE

**ELEVATIONS**

Scale: AS SHOWN	<b>A-1</b>
Date: 2021-10-13	
Drawn By: DB, JA	
Designed By: DB	
Checked By: ATW	





**GENERAL NOTES**

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1570 psf
- CONSTRUCTION SEQUENCING:
  - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 15 (30cm) LIFTS
  - EVENLY AROUND STRUCTURE.
  - COMPACT BACKFILL TO 95% STANDARD PROCTOR.
  - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
  - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

**DESIGN NOTES**

DESIGN DATA LOCATION: SIMCOE

GROUND SNOW LOAD: 1.3 KPA (27.2 psf)  
SPECIFIED SNOW LOAD: 1.2 KPA (25.4 psf)  
DEAD LOAD: 0.48 KPA (10 psf)  
WIND LOAD (150): 0.48 KPA (10.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS  
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS  
ALL WOOD No. 2 SPRUCE OR BETTER  
ALL BOLTS GALVANIZED STEEL

**MAX. BRICK LINTEL SPANS**  
4" BRICK/STONE O.B.C. 9.20.5.2.

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"  
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"  
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"  
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

**STAIR INFO.**

RISE: MAX. 7 1/8"  
RUN: MIN. 8 1/4"  
TREAD: MIN. 9 1/4"  
NOSING: MAX. 1"  
HEADROOM: MIN. 6'-8"  
T.J. TRIPLE JOIST  
UNIFORM RISE/RUN

**LEGEND**

SOLID BEARING  
8B FOR GIRDER  
POINT LOAD  
SINGLE JOIST  
DOUBLE JOIST  
TRIPLE JOIST  
DOUBLE CEILING JOIST

**STRUCTURAL NOTES**

- ALL EXTERIOR & INTERIOR BEARING LINTELS TO BE MIN. (2) FLY 2X10 C/W 2X4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE

**REVISIONS**

No.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**DESIGNER DISCLAIMER**

- THESE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE.
- IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

**PLAN AREAS**

SHED = 168 sq.ft.  
COVERED PATIO = 189 sq.ft.  
LOT COVERAGE = 357 sq.ft. (33.1m2)

GREEN DENOTES 8'-10" PLATE HEIGHT

**PROPOSED POOL SHED FOR**  
CW LEE CARPENTRY  
11 ELM PARK DR.

**PROJECT NUMBER**  
2143-01

**djDESIGN**  
Architectural • Energy • HVAC

Phone: (905) 939-9987 378 Hunter Street  
E-mail: plans@djdesign.ca Woodstock, ON  
Website: www.djdesign.ca N4S 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C, 3.2.5.1. OF THE BUILDING CODE

DEREK JUKEMA 21759  
NAME SIGNATURE BCGN

**MAIN FLOOR PLAN**

Scale: 3/16"=1'-0"  
Date: 2021-10-13  
Drawn by: DE, JA  
Designed by: DE  
Checked by: ATW

**A-2**

PROVIDE HANDRAIL ON STAIRS  
 MORE THAN THREE RISERS  
 I. 2'-10" OR MAX. 3'-2" HIGH

MAX. 3'-2"  
 MIN. 2'-10"

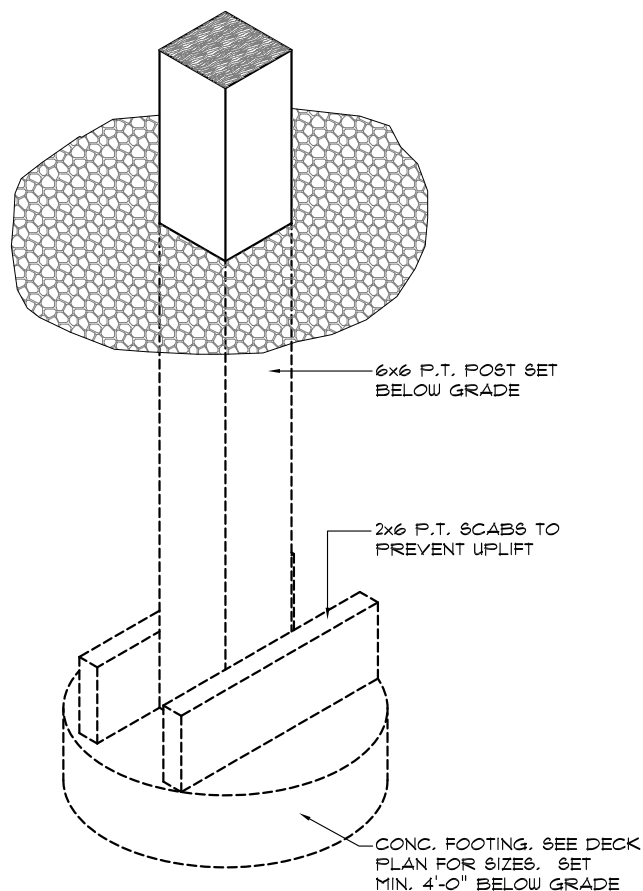
1" MAX.  
 1" MIN.  
 3 1/2" MIN.  
 9 1/4" MIN.  
 8 1/4" MIN.

END NAIL STRINGER TO JOIST

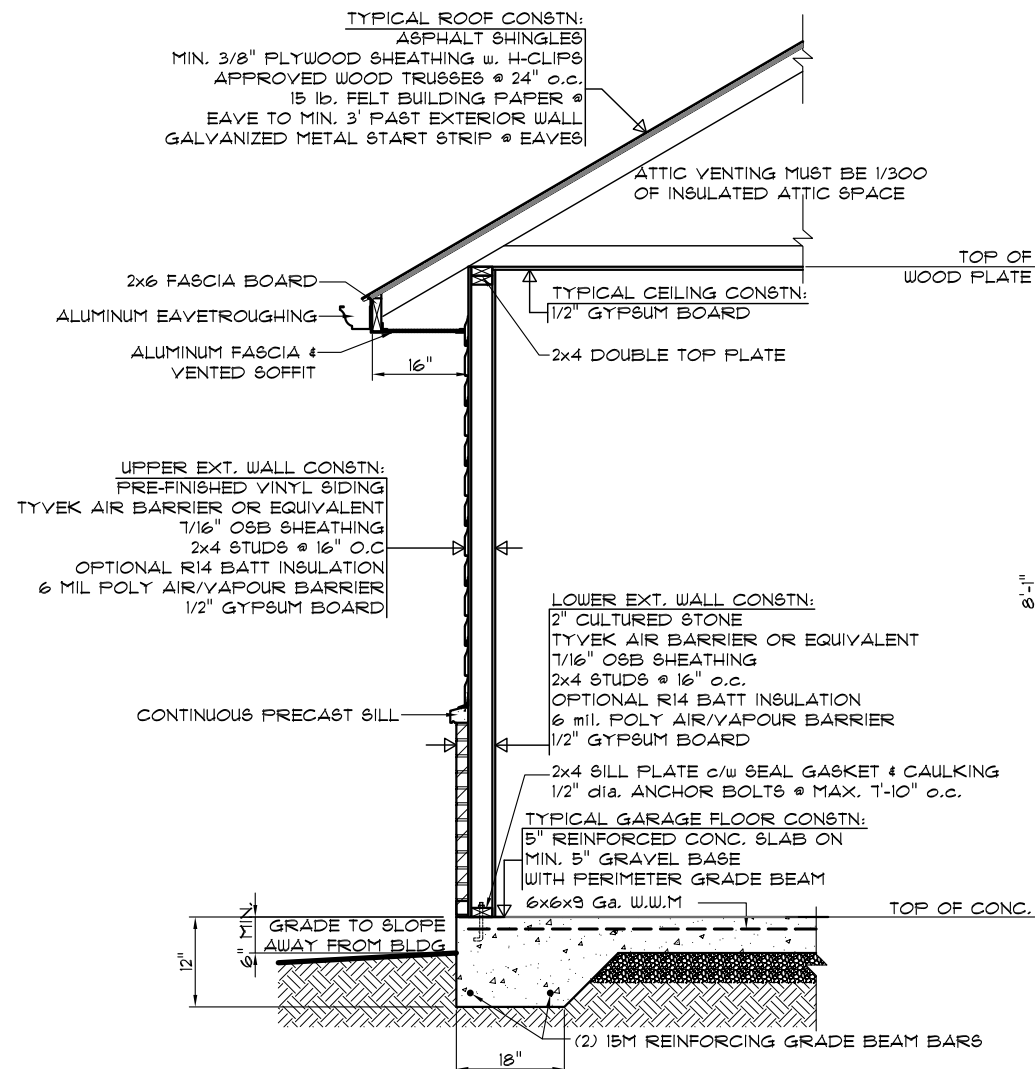
STRINGERS TO BE SUPPORTED AND  
 SECURED AT THE TOP AND BOTTOM  
 AND SPACED AT MAX. 2'-11" O.C. ,  
 4'-0" MAX. WHERE SOLID RISERS EXIST

PROVIDE PATIO SLABS AT  
 BOTTOM OF STAIRS OR ENSURE  
 STRINGERS ARE PRESSURE TREATED

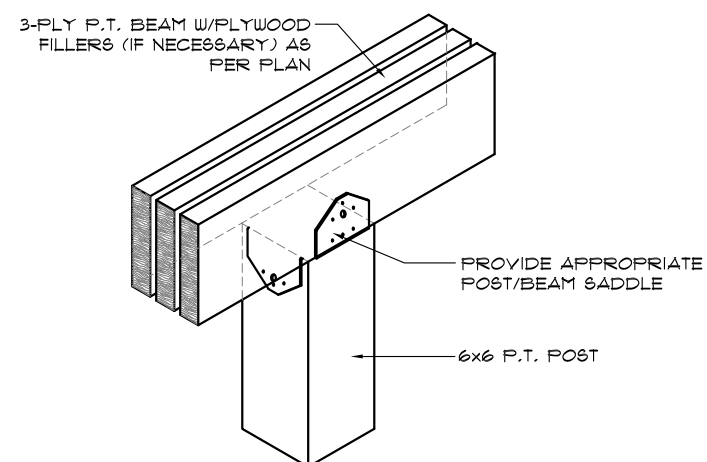
SCALE: 3/4"=1'-0"



SCALE: 1"=1'-0"



SCALE: 1/2"=1'-0"



SCALE: 1"=1'-0"

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION, MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1/12" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (58 KSI)
- ASSUMED SOIL BEARING CAPACITY - 150 kPa
- 
- CONSTRUCTION SEQUENCING:  
BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE FILLED IN 15 (30cm) LIFTS  
EVENLY AROUND STRUCTURE.  
COMPACT BACKFILL TO 95% STANDARD PROCTOR.
- 
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- 
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

## DESIGN DATA LOCATION: SIMCOE

DESIGN DATA LOCATION: 01.000

GROUND SNOW LOAD:	1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD:	1.12 KPA (23.4 psf)
DEAD LOAD:	0.48 KPa (10 psf)
WIND LOAD (150):	0.45 KPA (9.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS  
1/4" CONTROL JOINTS @ 20' o.c. E.W. IN POURED CONC. SLABS  
ALL WOOD No. 2 SPRUCE OR BETTER  
ALL BOLTS GALVANIZED STEEL

[illegible]

PROPOSED POOL SHED FOR  
CW LEE CARPENTRY  
11 ELM PARK DR.

PROJECT-NUMBER  
2143-01



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

### QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER  
DIV. C, 3.2.5.1. OF THE BUILDING CODE

DEREK JUKEMA 2175

NAME \_\_\_\_\_ B\_\_\_\_\_

\_\_\_\_\_

## WALL SECTION &amp; DETAILS

scale:

AS SHOWN

date: \_\_\_\_\_

2021-10

drawn by:  
DB JA

designed

DB

checked

ATW

A-3



EXTERIOR CONNECTION: POST BOLTED TO 2 FLOOR JOISTS

NOTES:

- MAX SPACING BETWEEN POSTS 4'-11" USING DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR  
MAX SPACING BETWEEN POSTS 3'-11" USING NORTHERN SPECIES



NOTES:

- FRONT ELEVATION

NOTES:

1. PROVIDE A SUITABLE POST, RETURN, OR SOLID SUPPORT AT EACH END OF THE GUARD.
2. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.
3. FASTEN RIM JOIST TO EACH FLOOR JOIST WITH 3 (3 $\frac{1}{2}$ " ) NAILS.
4. THE OUTER DECK BOARD SHALL NOT BE LESS THAN (6" NOMINAL) WIDE. WHERE (2" NOMINAL) THICK BOARDS ARE USED, THE LENGTH OF THE WOOD SCREWS SHALL BE NOT LESS THAN (3")

## (Atw)

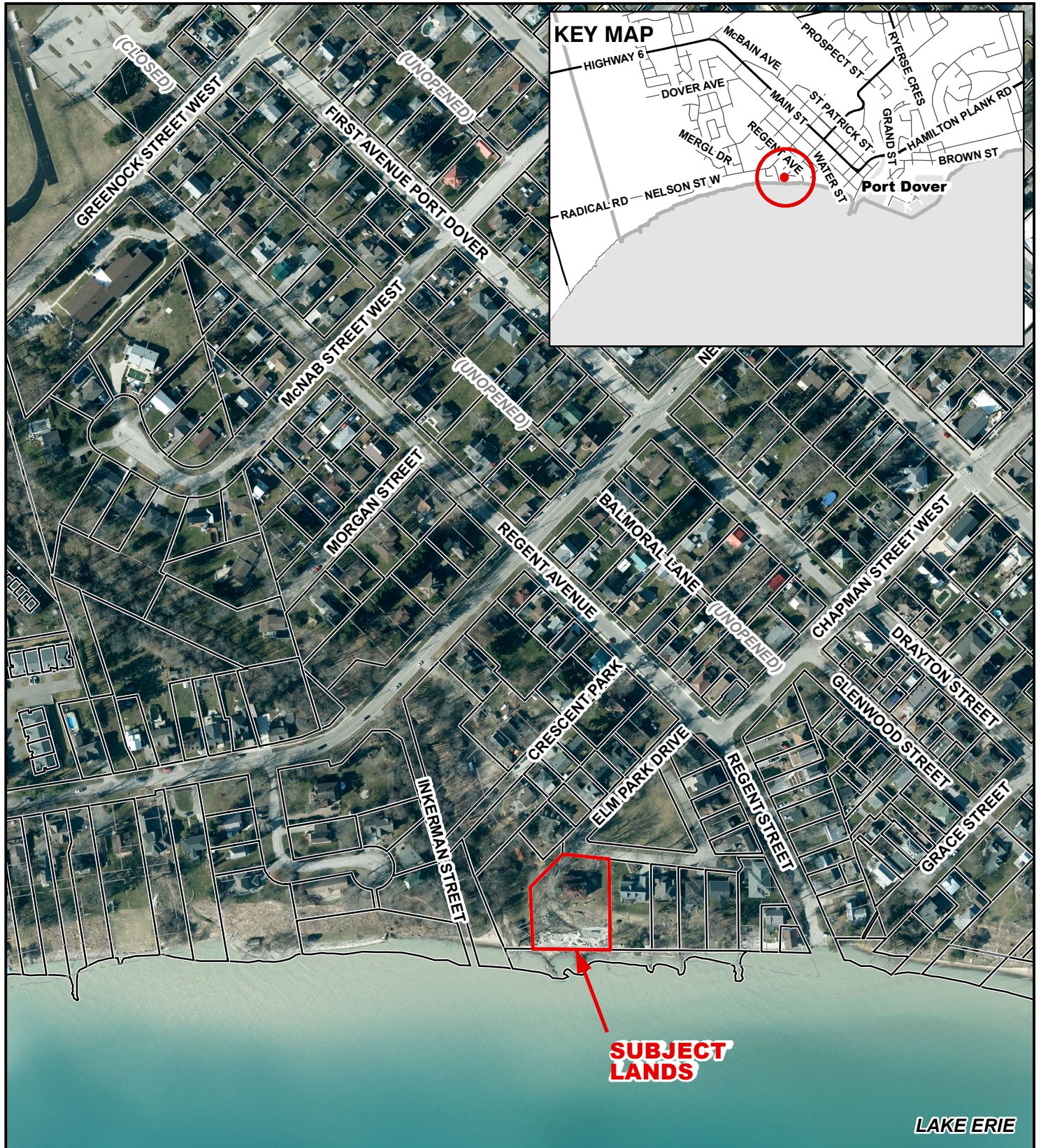


# MAP A


ANPL2022296

## CONTEXT MAP

Urban Area of PORT DOVER

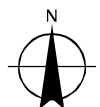


### Legend

 Subject Lands

2020 Air Photo

10/20/2022



25 12.5 0 25 50 75 100 Meters

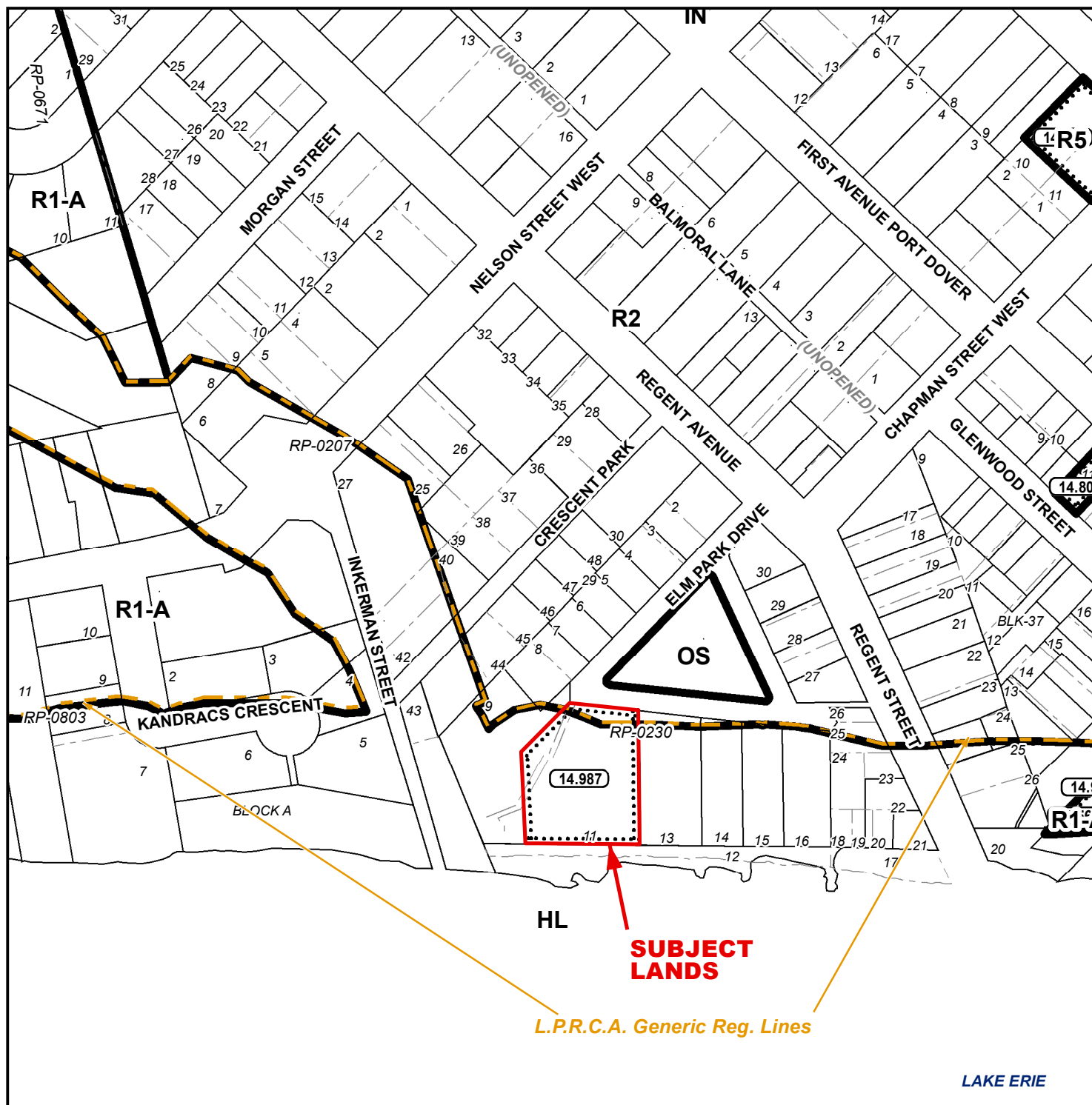


# MAP B

## ZONING BY-LAW MAP

Urban Area of PORT DOVER

ANPL2022296



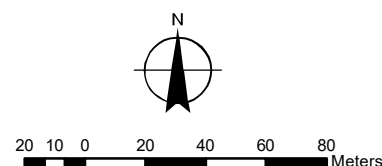
### LEGEND

- Subject Lands
- LPRCA Generic RegLines

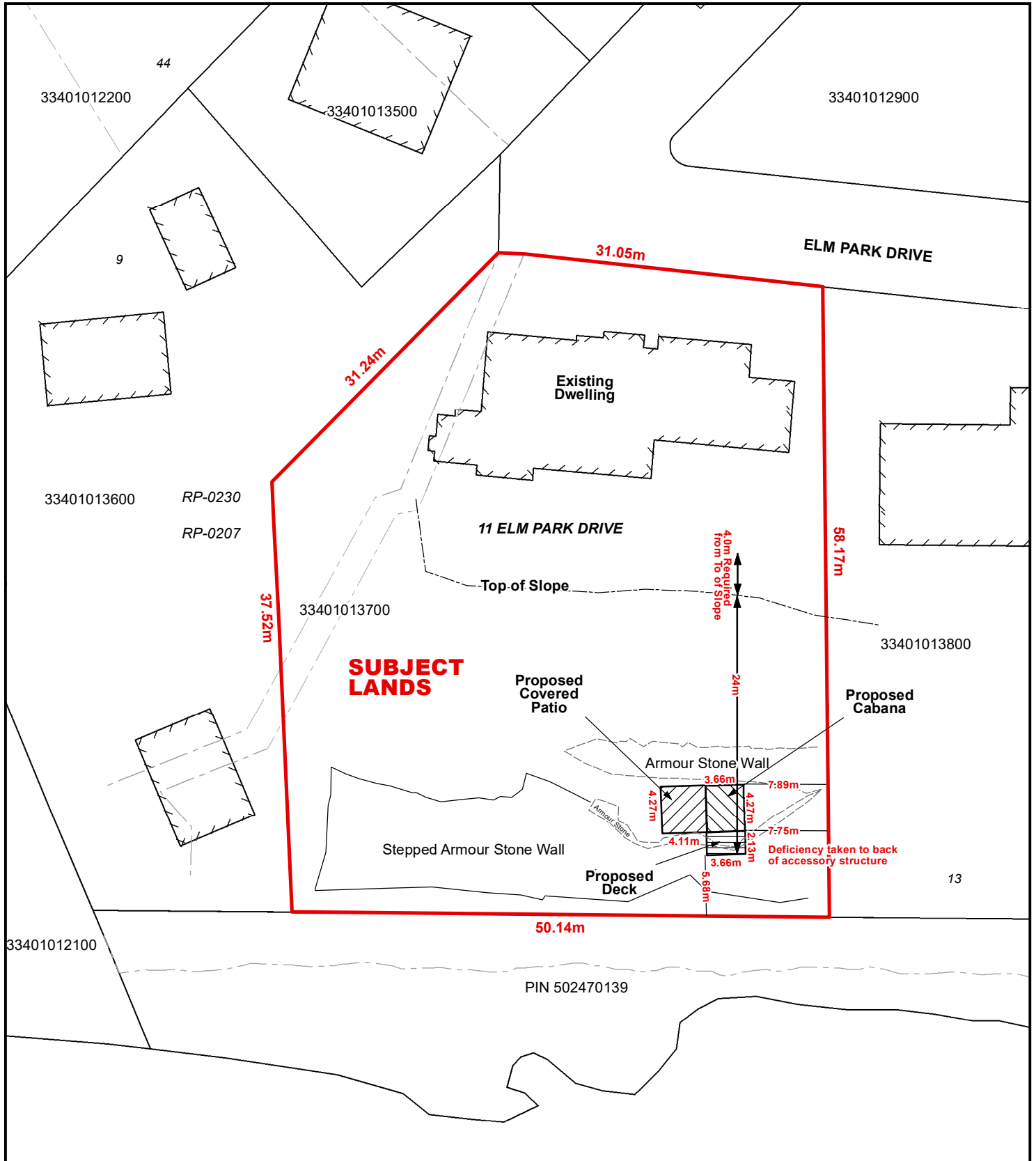
ZONING BY-LAW 1-Z-2014

10/20/2022

- (H) - Holding
- HL - Hazard Land Zone
- IN - Neighbourhood Institutional Zone
- OS - Open Space Zone
- R1-A - Residential R1-A Zone
- R2 - Residential R2 Zone
- R3 - Residential R3 Zone
- R5 - Residential R5 Zone



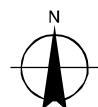
CONCEPTUAL PLAN  
Urban Area of PORT DOVER



Legend

Subject Lands

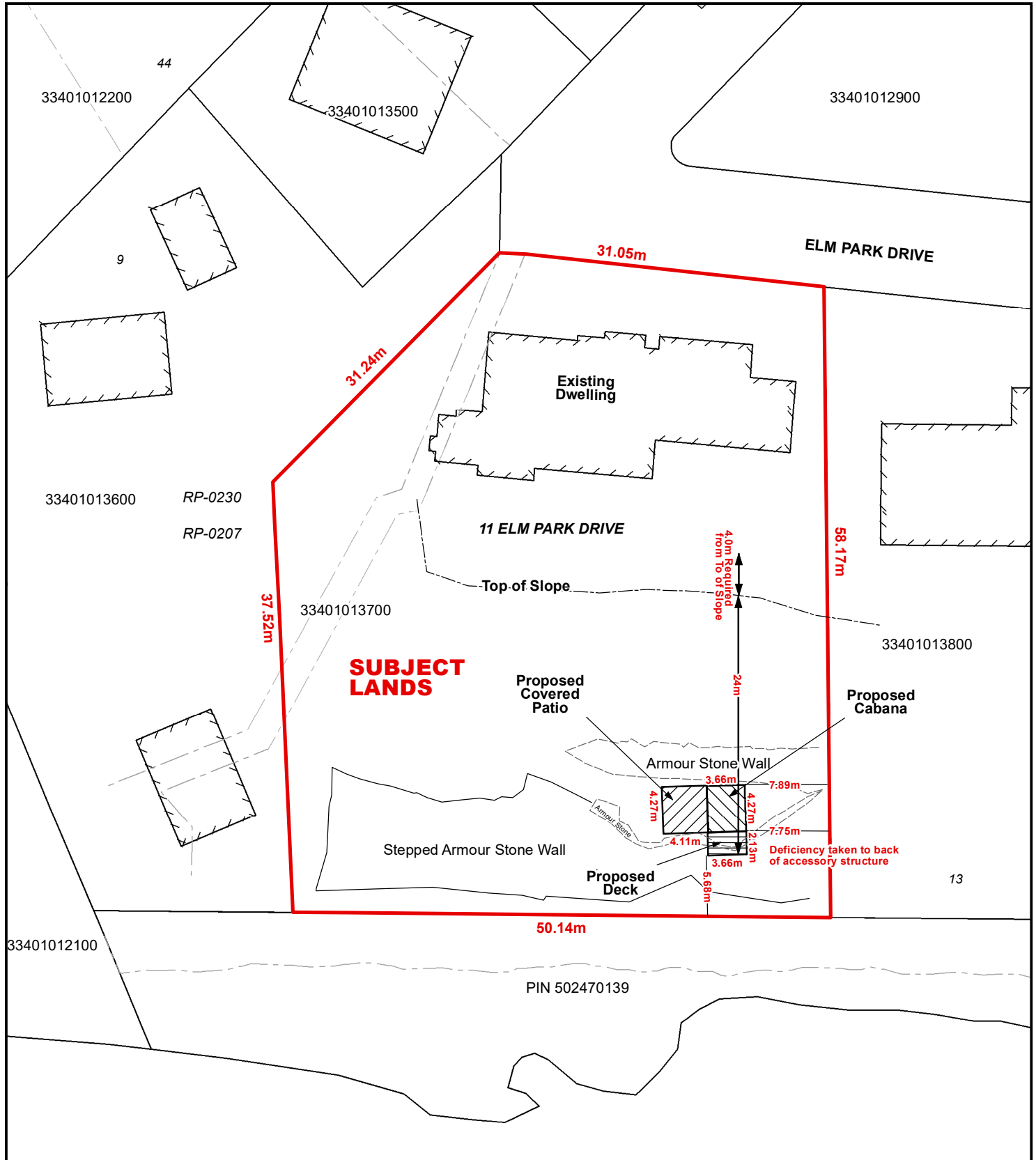
10/20/2022



4 2 0 4 8 12 16 Meters

## CONCEPTUAL PLAN

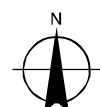
Urban Area of PORT DOVER



### Legend

Subject Lands

10/20/2022



4 2 0 4 8 12 16 Meters