

For Office Use Only:

File Number	<u>ANPL2022337</u>	Application Fee	<u>\$1599</u>
Related File Number	<u>-</u>	Conservation Authority Fee	<u>\$166.65</u>
Pre-consultation Meeting	<u>-</u>	Well & Septic Info Provided	<u>N/A</u>
Application Submitted	<u>December 15, 2022</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>January 9, 2022</u>	Public Notice Sign	<u>-</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 331049310037700**A. Applicant Information****Name of Owner** Barb Little

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 6 Brant St. Box 107

Town and Postal Code Scotland ON N0E 1R0

Phone Number 519-429-1090

Cell Number 519-429-1090

Email 1babslittle@gmail.com

Name of Applicant Steve Little

Address 6 Brant St. Box 107

Town and Postal Code Scotland ON N0E 1R0

Phone Number 519-865-5362

Cell Number 519-865-5362

Email stevelittle_@hotmail.com

Name of Agent	Steve Little
Address	6 Brant St. Box 107
Town and Postal Code	Scotland ON N0E 1R0
Phone Number	519-865-5362
Cell Number	519-865-5362
Email	stevelittle_@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner
 ☐ Agent
 ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Barb Little
 6 Brant St. Box 107 Scotland ON
 N0E 1R0

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 159 Reg. Plan 190
 Geographic Township of Charlotteville, County of Norfolk

Municipal Civic Address: 12 Landon Street

Present Official Plan Designation(s): Resort Residential OP

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes
 ☒ No
 If yes, please specify:

3. Present use of the subject lands:

Existing cottage was present.

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

There is currently a 640 sqft cottage with front and side yard deck present with a 48 sqft shed. Both these structures are to be demolished.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

A new constructed two story cottage with covered & uncovered porch's

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
No less than 80 years

9. Existing use of abutting properties:
Vacant Land & Resort Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information	Existing	Proposed
Please indicate unit of measurement, for example: m, m ² or %		
Lot frontage	16.781m	16.781m
Lot depth	33.528m	33.528m
Lot width	16.781m	16.781
Lot area	562.26m ²	562.26m ²
Lot coverage	16.33%	30.4%
Front yard	1.96m	6m
Rear yard	20.94m	13.5m
Left Interior side yard	1.46m	1.59m
Right Interior side yard	5.64m	3m
Exterior side yard (corner lot)	N/A	N/A

2. Please outline the relief requested (assistance is available):

Requested relief:

1) Lot Area : Relief of 3437.38 m². (Proposed (existing)= 562.26m²), (Required 4000 m²)

2) Lot Coverage: Relief of 15.4%. (Proposed = 30.4%), (Max. Permitted 15%)

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The existing Lot Area does not comply with the required zoning that is currently in place and will continue as a RR use. With regards to Lot Coverage, it is very difficult to build a modest size cottage in today's building standards. Reasonable small build compared to a lot of other cottages built in the past and present.

4. Description of land intended to be severed in metric units:

Frontage: N/A

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: N/A

Description of land intended to be retained in metric units:

Frontage: N/A

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: N/A

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: N/A

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐Yes ☒No ☐Unknown
If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐Yes ☒No ☐Unknown

3. Provide the information you used to determine the answers to the above questions:
Through conversation with previous owner and the fact that it has been a cottage for 80 plus years.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

The existing use will remain as it currently stands as resort residential. The proposed construction will be completed to meet all regulations and applicable law. All surrounding areas will remain as is and will not be impacted.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

A proposed grading plan will be submitted and completed to avoid any impact on adjacent lands or source water protection. The existing use of the land will remain as resort residential which currently has no impact.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 1m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance 2m

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☒ within 500 meters – distance 2m

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☐ Individual wells

Private water supplier

☐ Communal wells

☒ Other (describe below)

Sewage Treatment

☐ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order ☒ Other (describe below)

Proposed New Septic Tank & Filter Bed As Per the OBC

Storm Drainage

☐ Storm sewers

☐ Open ditches

☒ Other (describe below)

Contained with in property

2. Existing or proposed access to subject lands

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

Barbara Little
Owner/Applicant/Agent Signature

Nov. 6, 2022
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Barb Little am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Steve Little to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Barbara Little
Owner

Nov. 6, 2022
Date

Owner

Date

K. Declaration

I, Barb Little of 12 Landon Street

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY Barbara Little
Owner/Applicant/Agent Signature

In Simcoe

This 7th day of NOVEMBER 2022

A.D., 2022

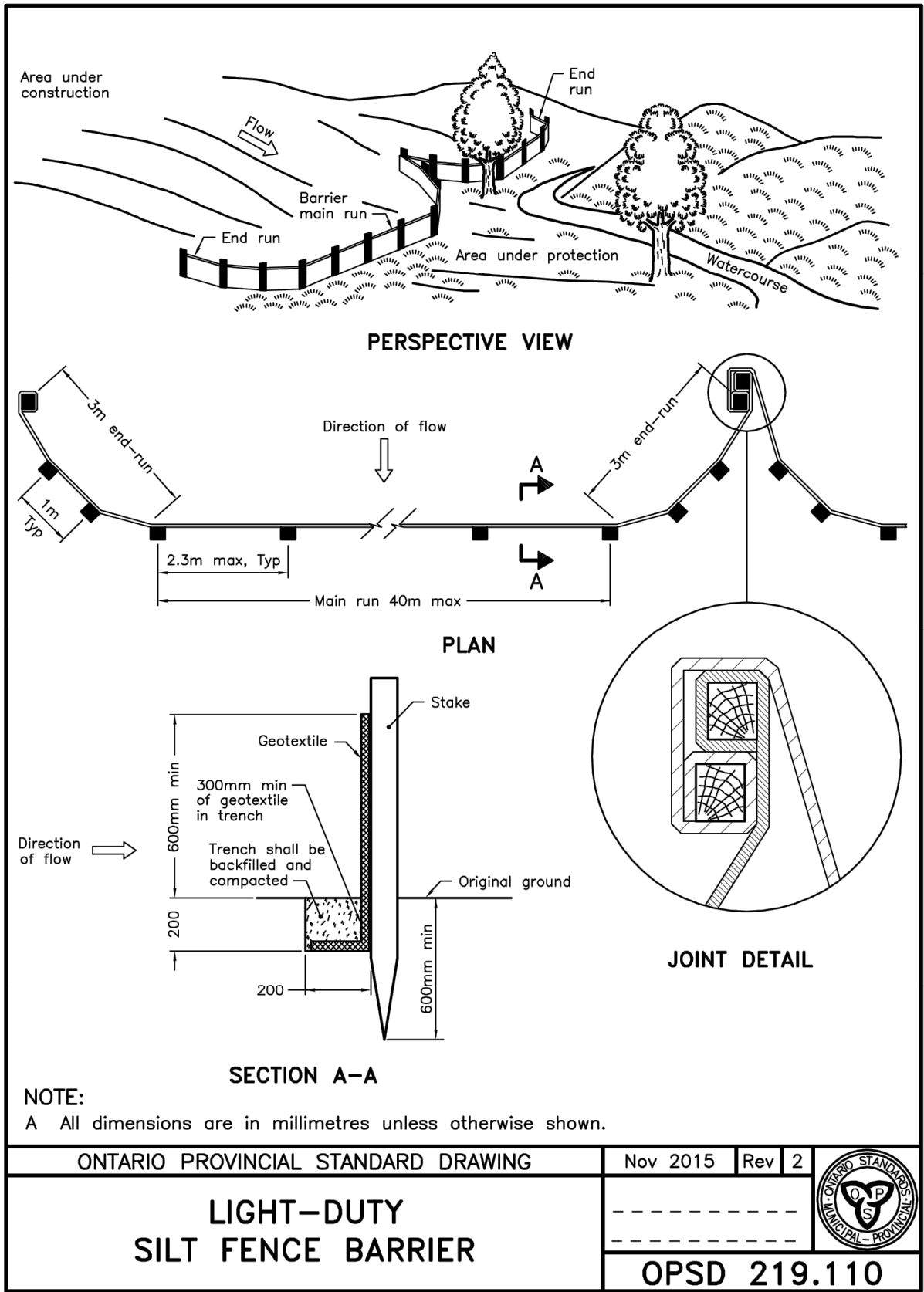
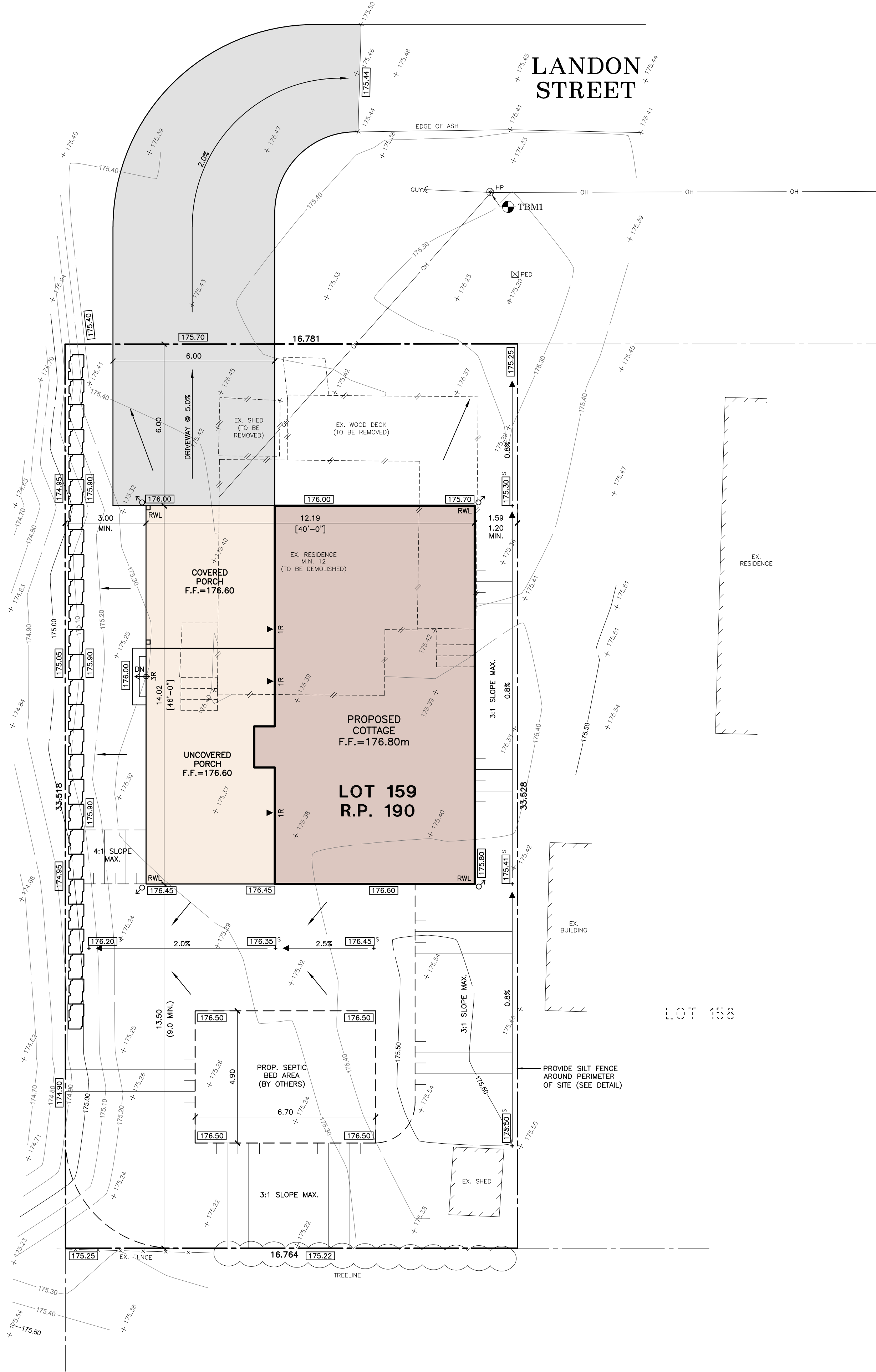
[Signature]
A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.

SITE STATISTICS

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS	COMPLIANCE ✓ MEETS REQUIREMENTS X REZONING REQUIRED
ZONING CATEGORY	RR	RR	✓
LOT AREA (sq.m.)	562.26	4000 MIN.	X
LOT FRONTAGE (m)	16.78	15.00 MIN.	✓
GROUND FLOOR AREA (sq. m.)	170.90	N/A	✓
LOT COVERAGE	30.4%	15% MAX.	X
	0.84% (SHED)	+ ADDIT'L 10% MAX. FOR ALL ACCESSORY	✓
STREET SETBACK (m)	6.00	6.00 MIN.	✓
REAR YARD (m)	13.50	9.00 MIN.	✓
SIDE YARD (m)	3.00 & 1.59	3.00 & 1.20 MIN.	✓
BUILDING HEIGHT (m)	8.46	9.10 MAX.	✓

TURKEY POINT ROAD (UNOPENED)



THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

- LEGEND:
- EXISTING ELEVATIONS
 - PROPOSED ELEVATIONS
 - PROPOSED SWALE ELEVATIONS
 - PROPOSED SWALE
 - GENERAL DRAINAGE
 - EXISTING BELL PEDESTAL
 - EXISTING HYDRO POLE
 - EXISTING OVERHEAD HYDRO
 - PROPOSED DOWNSPOUT & DIRECTION OF FLOW

- NOTES:
- ALL ELEVATIONS SHOWN ARE METRIC.
 - BUILDER/OWNER TO VERIFY COMPLIANCE WITH ZONING BYLAWS (i.e. SIDEYARDS, SETBACKS, REARYARDS ETC.)
 - BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY JEWITT AND DYON LTD. (DRAWING 17-1644-TOP0)
 - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM CGVD 1928 VERTICAL DATUM.
 - ALL ELEVATIONS SHOWN ARE METRIC.
 - BUILDER/OWNER TO VERIFY COMPLIANCE WITH ZONING BYLAWS (i.e. SIDEYARDS, SETBACKS, REARYARDS ETC.)
 - BUILDER TO VERIFY LOCATION OF ABOVE GROUND STRUCTURES (i.e. TRANSFORMERS, STREET LIGHTS, HYDRANTS, PEDESTALS ETC.) DOES NOT CONFLICT WITH DRIVEWAY ENTRANCE LOCATION. (1.5m MINIMUM CLEARANCE)
 - THE BUILDER/CONTRACTOR IS TO ENSURE FOOTINGS ARE FOUNDED ON SOIL CAPABLE OF SUPPORTING THE ANTICIPATED LOADS.
 - DIRECT RAINWATER LEADERS TO LANDON STREET WHERE POSSIBLE.
 - THE SILTATION & EROSION CONTROL (SEC) MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT. SITE CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.
 - ALL SEC MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - OWNER/CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES THROUGHOUT SITE UNTIL A COMPLETE GRASS/VEGETATION COVER IS ACHIEVED.
 - ONLY AT THE DIRECTION OF THE ENGINEER ARE THE SEC MEASURES TO BE REMOVED.
 - CLEARING AND GRUBBING OF THE SITE SHOULD BE KEPT TO A MINIMUM AND VEGETATION REMOVED ONLY IN ADVANCE OF IMMEDIATE CONSTRUCTION.
 - STOCKPILES OF EARTH OR TOPSOIL ARE TO BE LOCATED AND PROTECTED TO MINIMIZE ENVIRONMENTAL INTERFERENCE. EROSION CONTROL FENCING IS TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES.
 - THE OWNER IS RESPONSIBLE TO ENSURE THE MUNICIPAL ROADWAYS ARE CLEARED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE, AT THE END OF EACH WORKDAY.

T.B.M. No. 1 ELEV. = 176.80m (GEO)
SPIKE IN FACE OF HYDRO POLE ON THE SOUTH SIDE OF LANDON STREET AS SHOWN.

NO. REVISION DATE (MM/DD/YY) BY

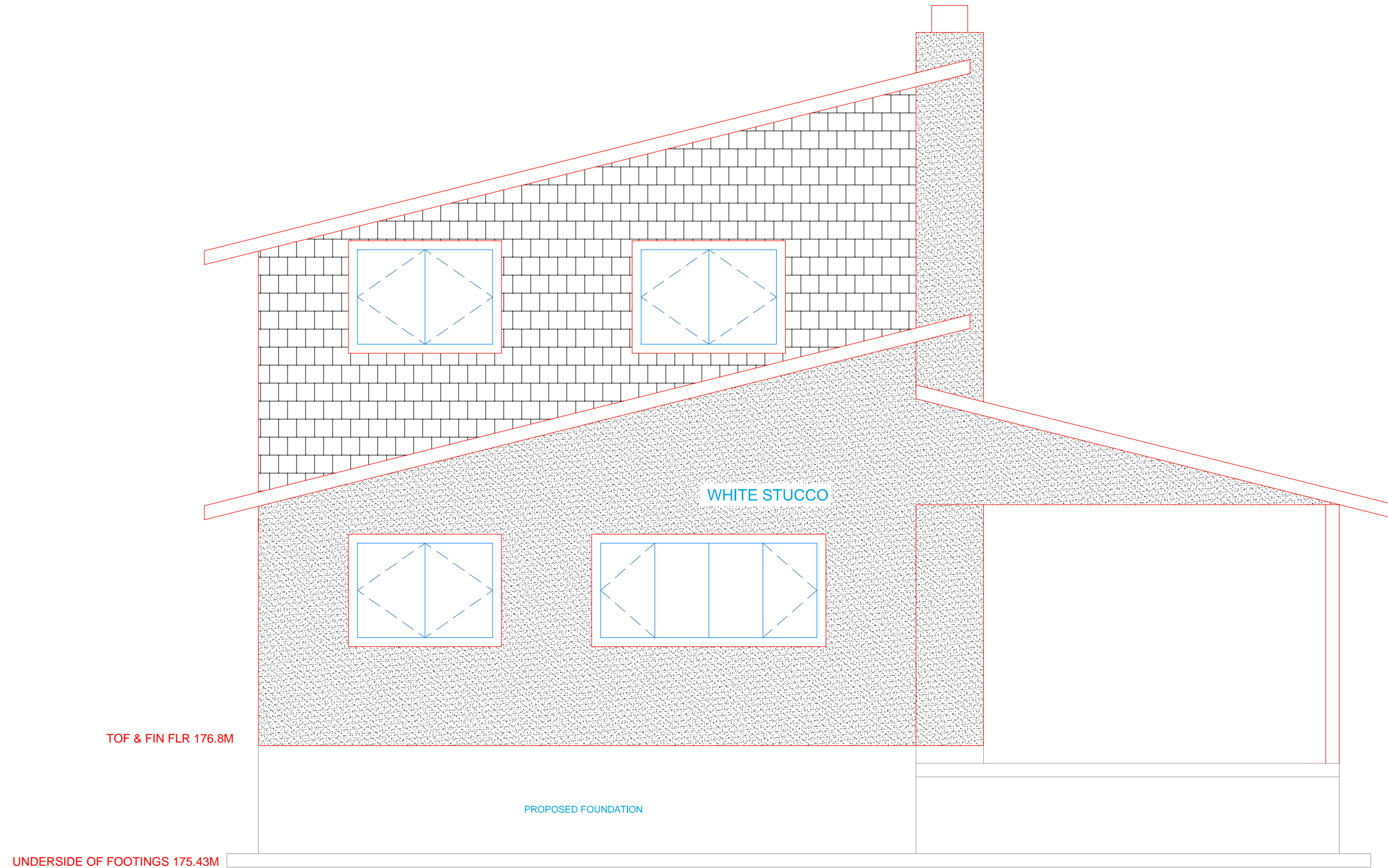
J.H. COHOON
ENGINEERING
LIMITED
CONSULTING ENGINEERS
440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohooneng.com

PROJECT:
PROPOSED RESIDENCE
LOT 159, R.P. 190
12 LANDON STREET
(TURKEY POINT)
COUNTY OF NORFOLK

CLIENT:
STEVE LITTLE

SITE DEVELOPMENT
PLAN

DESIGN: M.J.W.	SCALE: 1:100
DRAWN: K.P.B.	JOB No: 15732
CHECKED: M.J.W.	
SHEET: 1 of 1	DWG. No: 15732-1
DATE: NOV. 4/22	



1

INT 1.0

NORTH ELEVATION PLAN (FRONT)

SCALE: 1/4" = 1'-0"

CLIENT:
LITTLE'S

PROJECT NAME:
**COTTAGE
DRAWINGS**

12 Landon St
Turkey Point ON

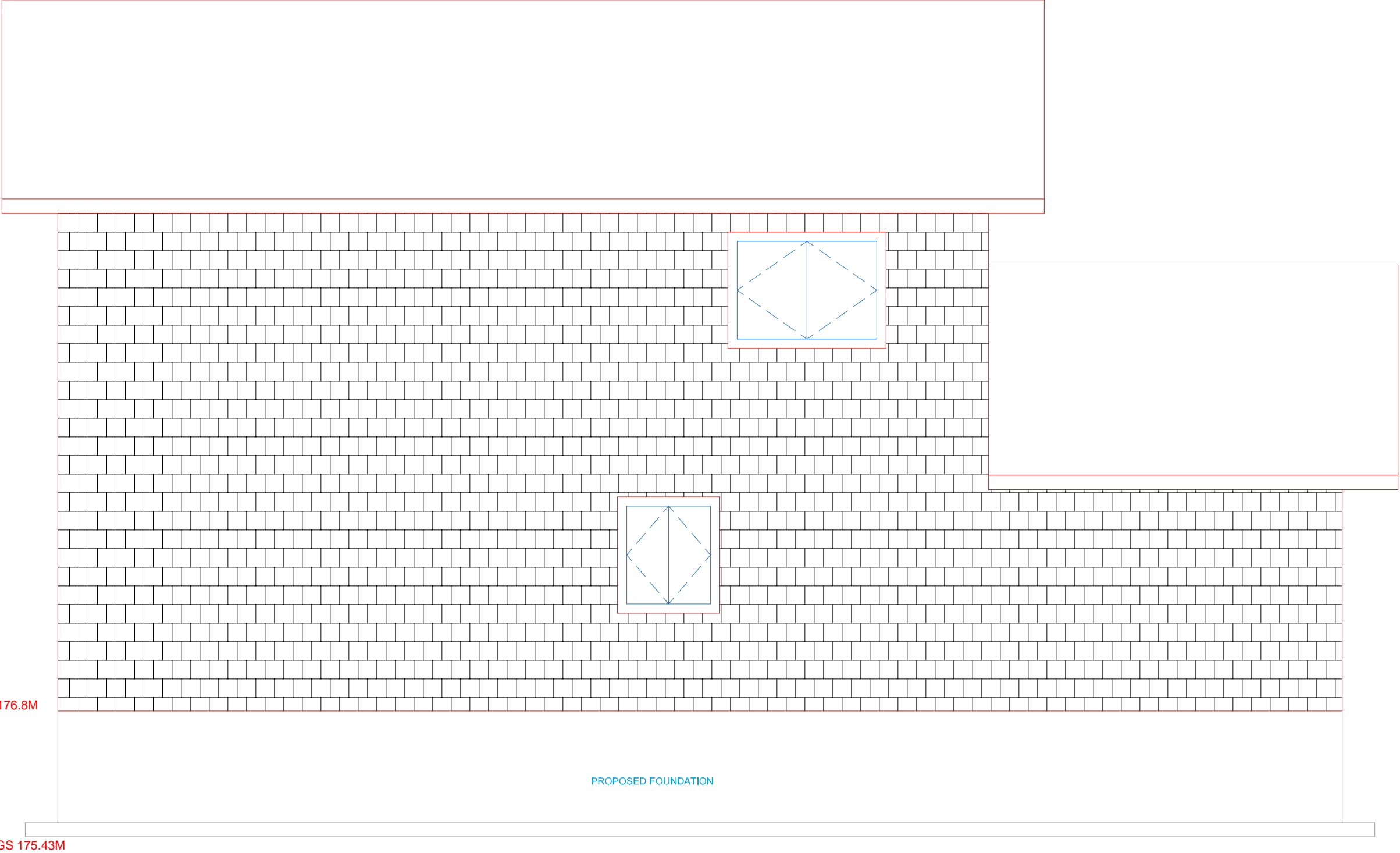
DRAWING NAME:
**FRONT
ELEVATION
PLAN**

PREPARED BY:
Owner

SCALE:
AS NOTED

DATE:
01 NOV 2022

DRAWING NO:
INT 1.0



1
INT 1.1

EAST ELEVATION PLAN (LEFT SIDE)
SCALE: 3/16" = 1'-0"

CLIENT:
LITTLE'S

PROJECT NAME:
COTTAGE
DRAWINGS

12 Landon St
Turkey Point ON

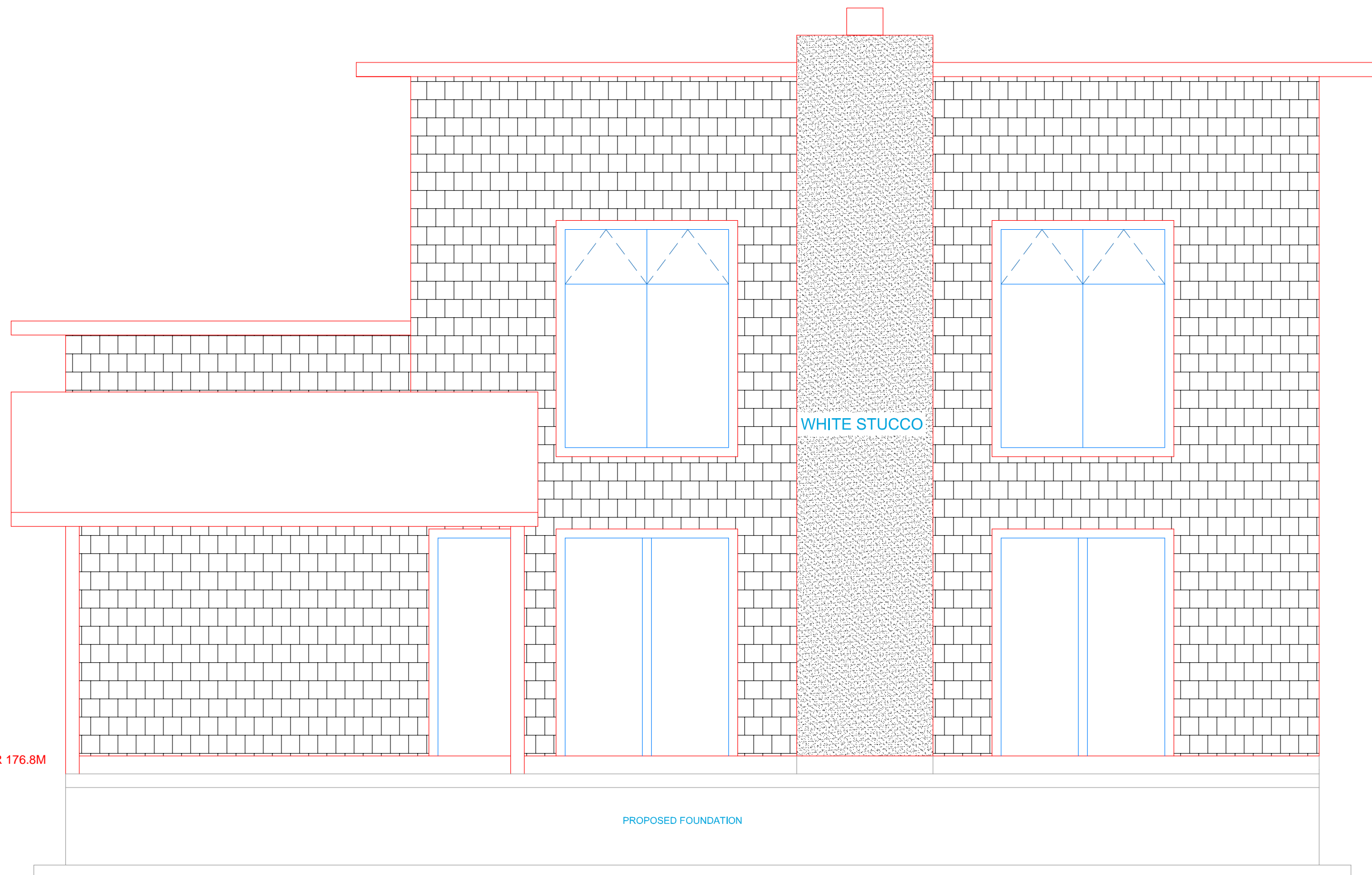
DRAWING NAME:
LEFT
ELEVATION
PLAN

PREPARED BY:
OWNER

SCALE:
AS NOTED

DATE:
01 NOV 2022

DRAWING NO:
INT 1.1



TOF & FIN FLR 176.8M

PROPOSED FOUNDATION

UNDERSIDE OF FOOTINGS 175.43M

1
INT 1.2

WEST ELEVATION PLAN (RIGHT SIDE)
SCALE: 1/4" = 1'-0"

CLIENT:
LITTLE'S

PROJECT NAME:
COTTAGE
DRAWINGS

12 Landon St
Turkey Point ON

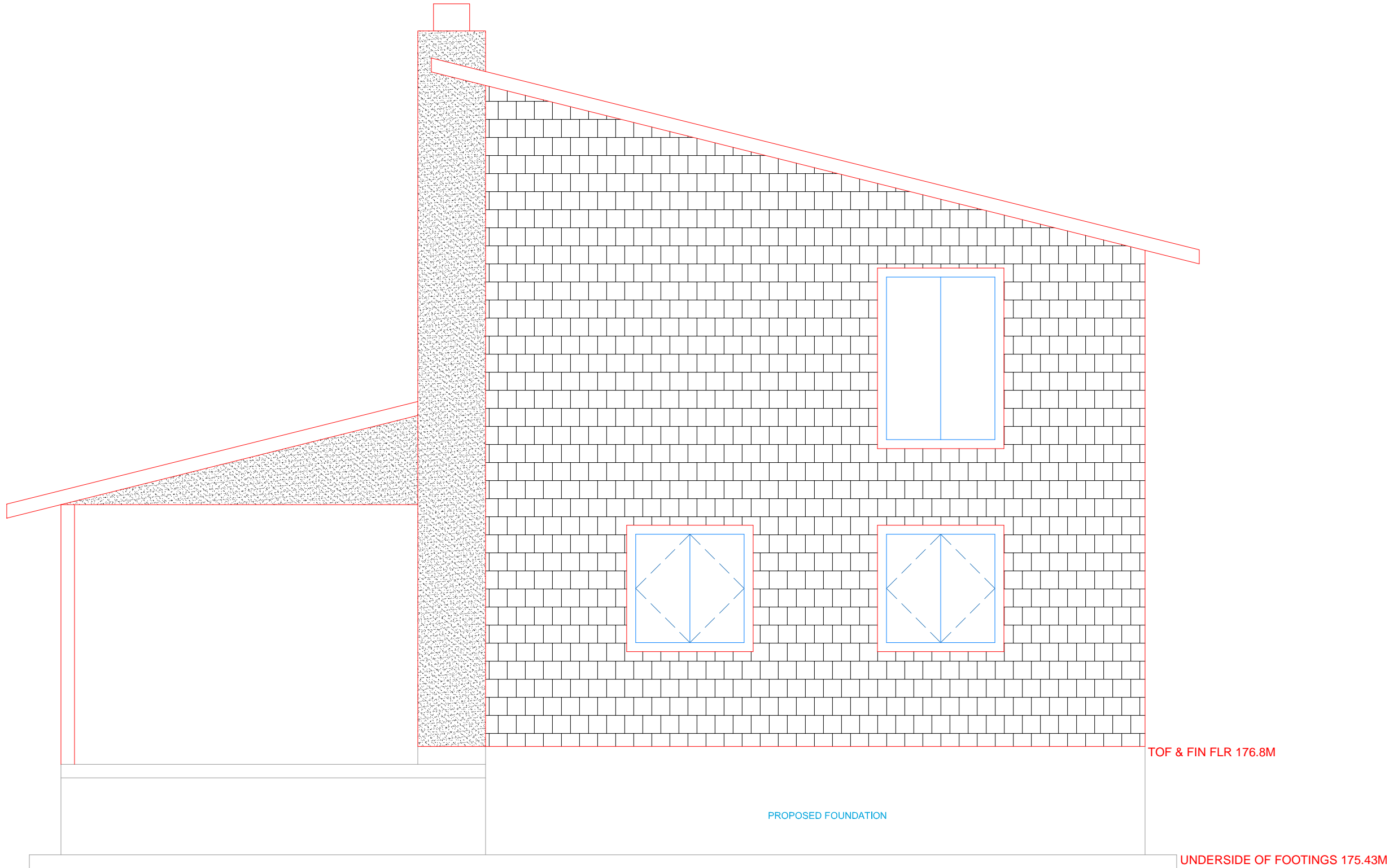
DRAWING NAME:
RIGHT
ELEVATION
PLAN

PREPARED BY:
OWNER

SCALE:
AS NOTED

DATE:
01 NOV 2022

DRAWING NO:
INT 1.2



CLIENT:
LITTLE'S

PROJECT NAME:
**COTTAGE
DRAWINGS**

12 Landon St
Turkey Point ON

DRAWING NAME:
**REAR
ELEVATION
PLAN**

PREPARED BY:
OWNER

SCALE:
AS NOTED

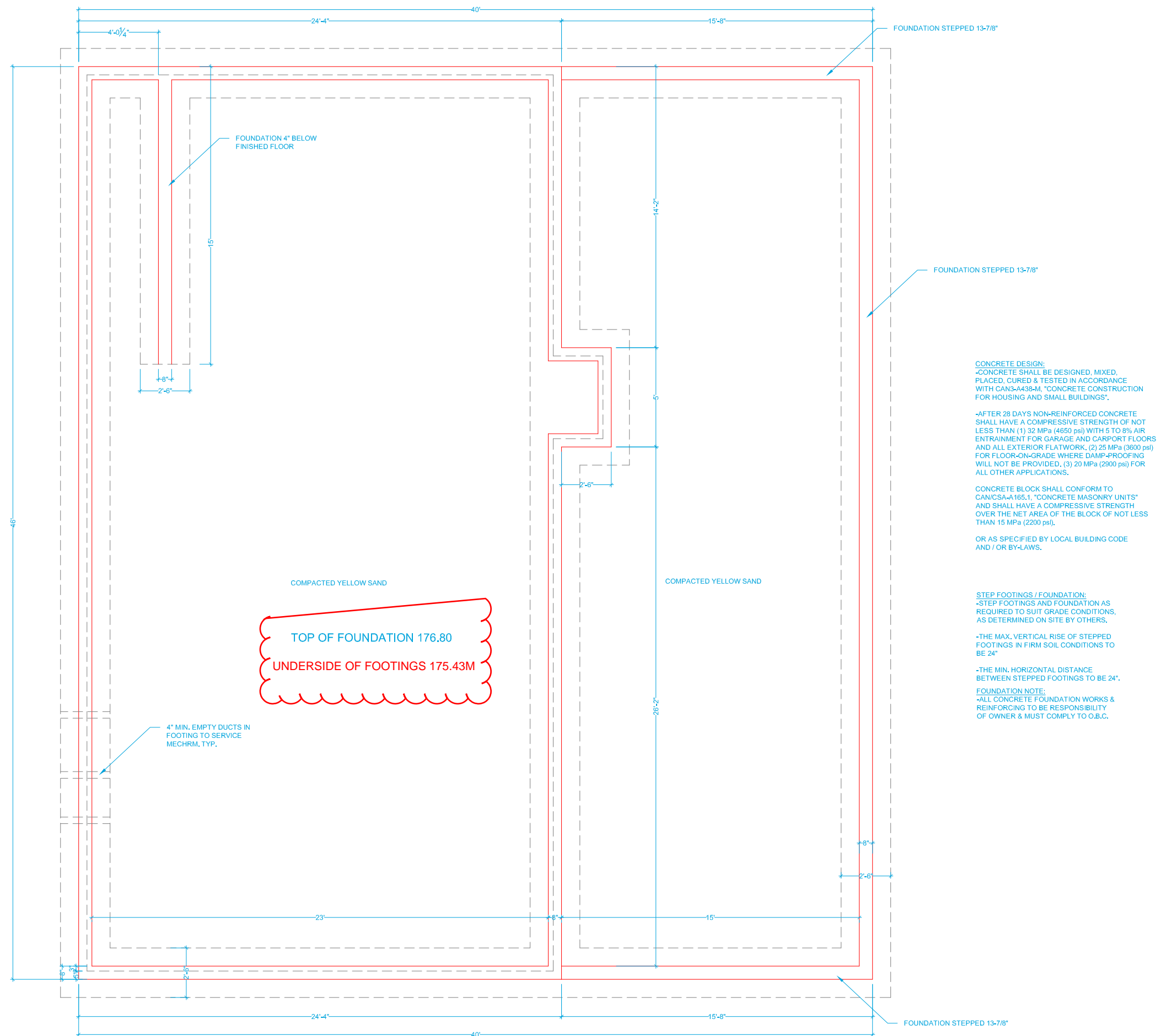
DATE:
01 NOV 2022

DRAWING NO:
INT 1.3

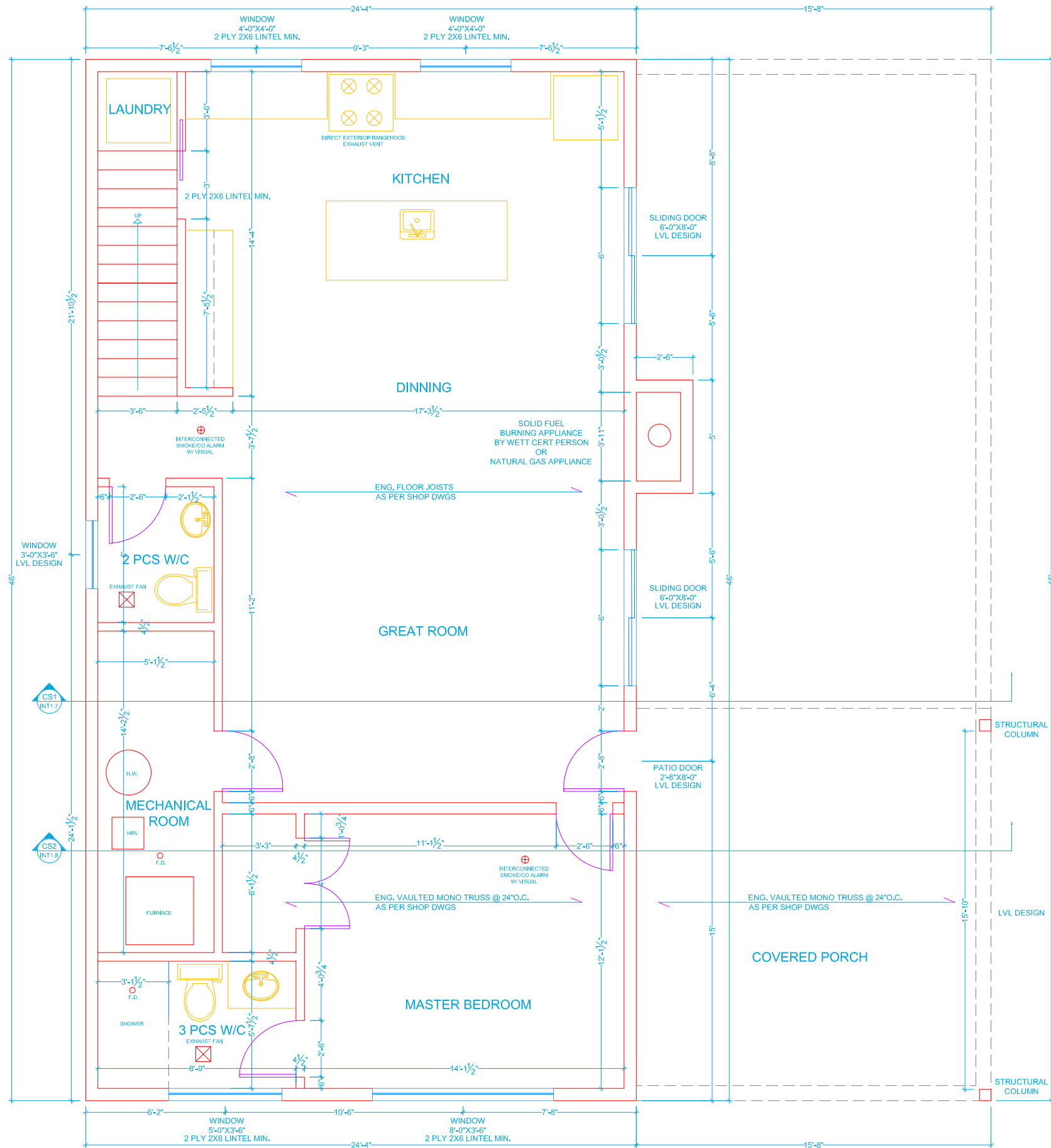
1
INT 1.3
SOUTH ELEVATION PLAN (REAR)
SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN INT 1.4 SCALE: 3/16" = 1'-0"



DRAWING NO:
INT 1.4



CLIENT:
LITTLE'S

PROJECT NAME:
**COTTAGE
DRAWINGS**

12 Landon St
Turkey Point ON

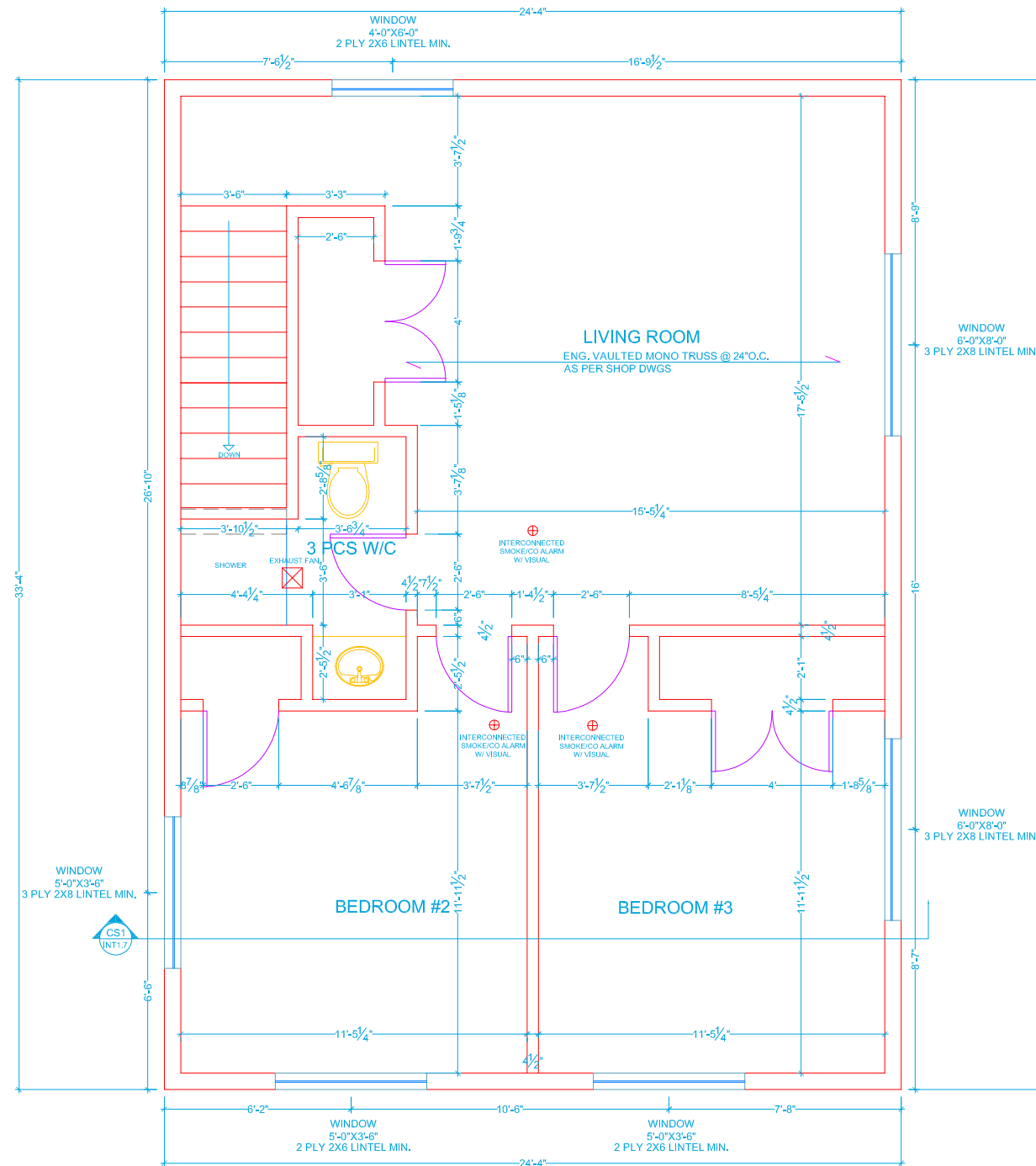
DRAWING NAME:
**MAIN FLOOR
PLAN**

PREPARED BY:
OWNER

SCALE:
AS NOTED

DATE:
01 NOV 2022

DRAWING NO:
INT 1.5



1 2ND FLOOR PLAN
INT 1.6 SCALE: 3/16" = 1'-0"

CLIENT:
LITTLE'S

PROJECT NAME:
**COTTAGE
DRAWINGS**

12 Landon St
Turkey Point ON

DRAWING NAME:
**2ND
FLOOR
PLAN**

PREPARED BY:
OWNER

SCALE:
AS NOTED

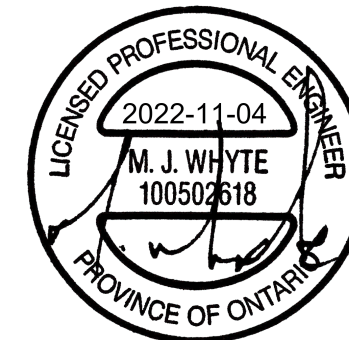
DATE:
01 NOV 2022

DRAWING NO:
INT 1.6



**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

JOB No. 15732
DATE: 2022-11-04



**ENGINEER SEAL FOR
FOUNDATION AND FOOTINGS
ONLY**

CLIENT:
LITTLE'S

PROJECT NAME:
**COTTAGE
DRAWINGS**

12 Landon St
Turkey Point ON

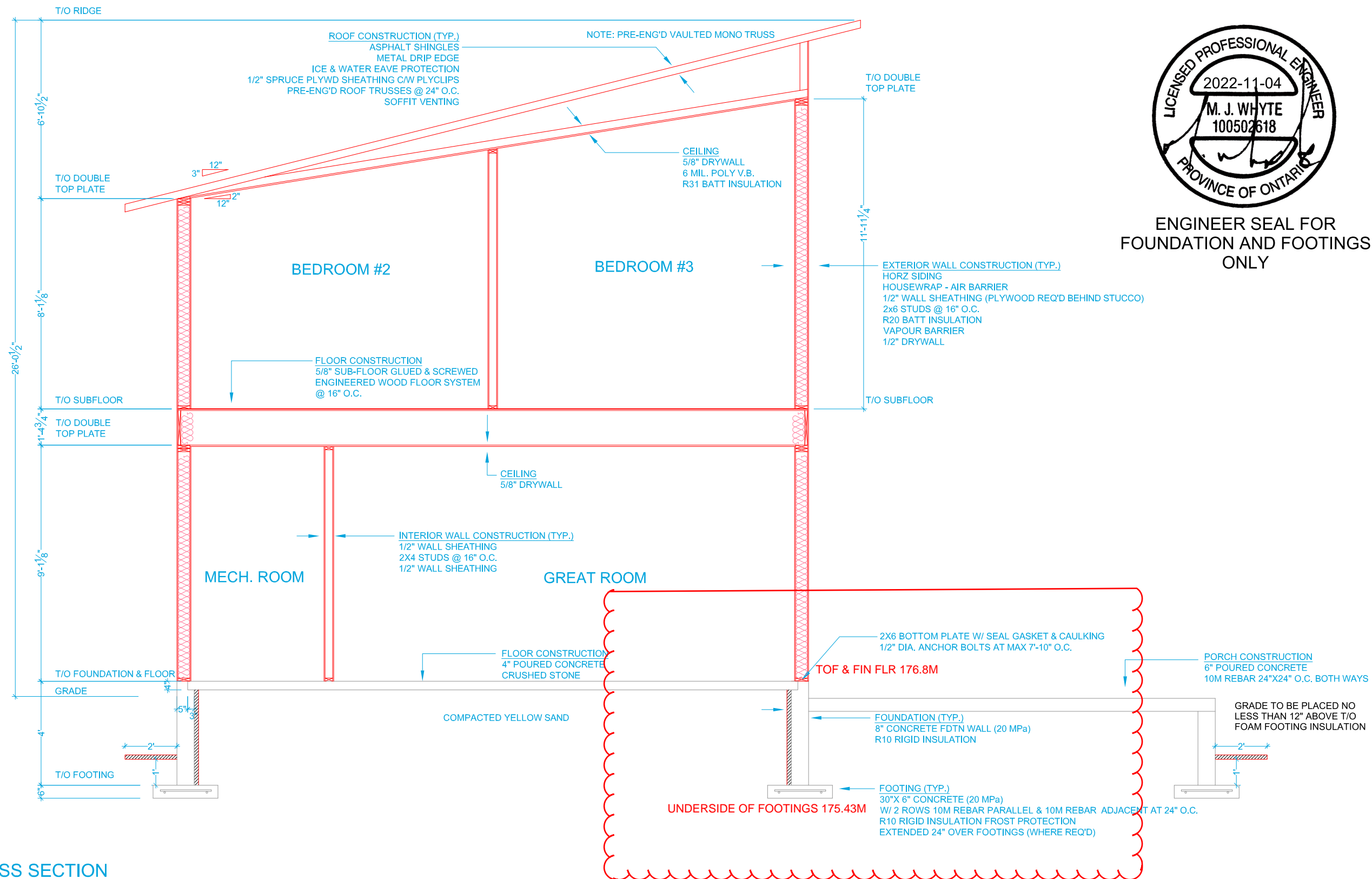
DRAWING NAME:
**CROSS
SECTION
PLAN**

PREPARED BY:
OWNER

SCALE:
AS NOTED

DATE:
01 NOV 2022

DRAWING NO:
INT 1.7



CS1 CROSS SECTION
INT 1.7 SCALE: 1/4" = 1'-0"



CROSS SECTION
SCALE: 1/4" = 1' 0"

ROOF CONSTRUCTION (TYP.)
ASPHALT SHINGLES
METAL DRIP EDGE
ICE & WATER EAVE PROTECTION
1/2" SPRUCE PLYWD SHEATHING C/W PLYCLIPS
PRE-ENG'D ROOF TRUSSES @ 24" O.C.
SOFFIT VENTING

NOTE: PRE-ENG'D VAULT- THREE BEARING POINT TRUSS

CEILING
5/8" DRYWALL
6 MIL. POLY V.B.
R31 BATT INSULATION

INTERIOR WALL CONSTRUCTION (TYP.)
1/2" WALL SHEATHING
2X4 STUDS @ 16" O.C.
1/2" WALL SHEATHING

EXTERIOR WALL CONSTRUCTION (TYP.)
HORZ SIDING
HOUSEWRAP - AIR BARRIER
1/2" WALL SHEATHING (PLYWOOD REQ'D BEHIND STUCCO)
2x6 STUDS @ 16" O.C.
R20 BATT INSULATION
VAPOUR BARRIER
1/2" DRYWALL

MECH. ROOM

MASTER BEDROOM

FLOOR CONSTRUCTION
4" POURED CONCRETE
CRUSHED STONE

TOF & FIN FLR 176.8M

UNDERSIDE OF FOOTINGS 175.43M

FOUNDATION (TYP.)
8" CONCRETE FDTN WALL (20 MPa)
R10 RIGID INSULATION

FOOTING (TYP.)
30"x 6" CONCRETE (20 MPa)
W/ 2 ROWS 10M REBAR PARALLEL & 10M REBAR ADJACENT AT 24" O.C.
R10 RIGID INSULATION FROST PROTECTION
EXTENDED 24" OVER FOOTINGS (WHERE REQ'D)

EXTERIOR COLUMN (TYP.)
6"x6" STRUCTURAL COLUMN
SUPPORTING LVL (D.B.O.)
SECURED AT BASE

PORCH CONSTRUCTION
6" POURED CONCRETE
10M REBAR 24"x24" O.C. BOTH WAYS

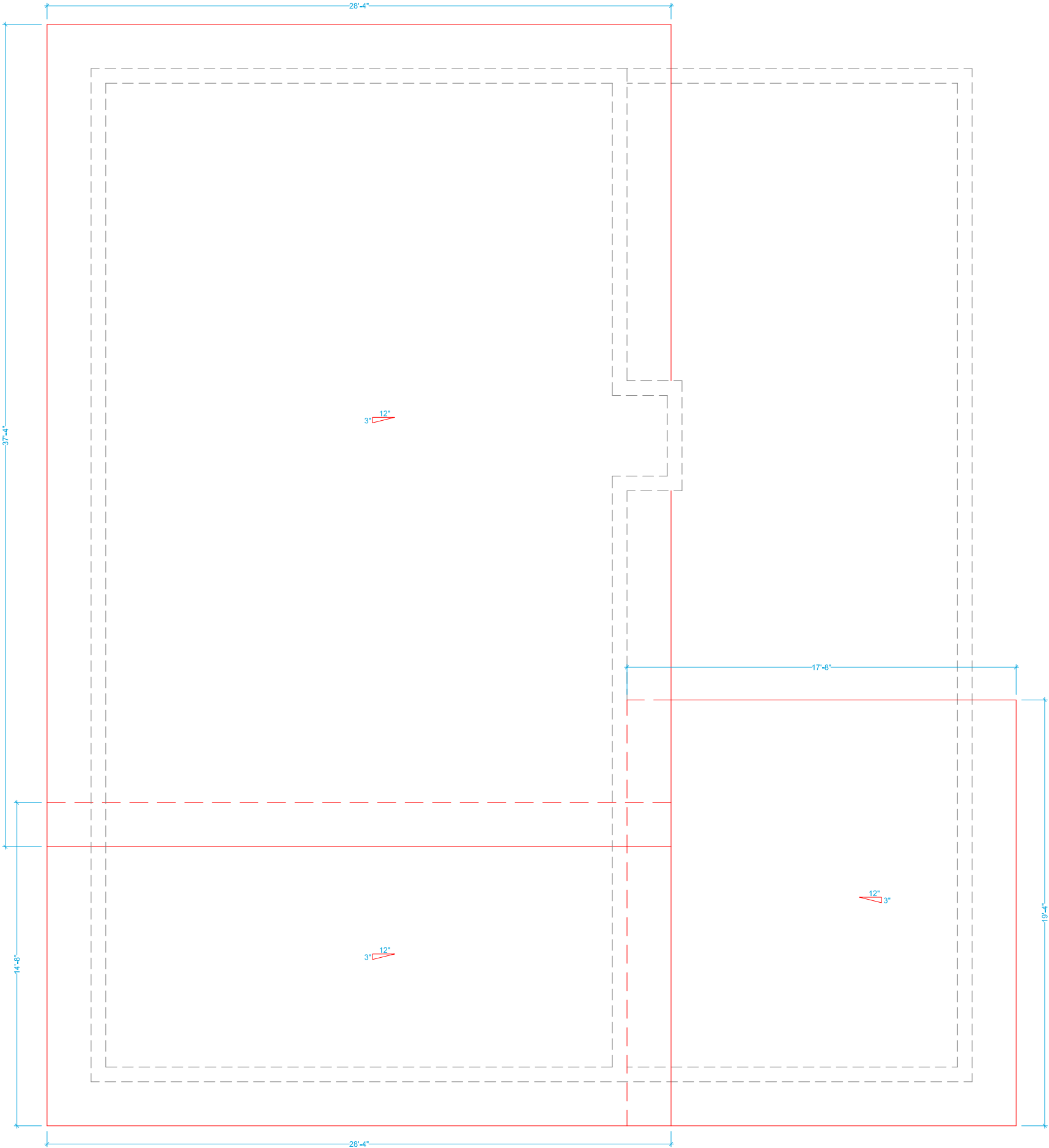
GRADE TO BE PLACED NO LESS THAN 12" ABOVE T/O FOAM FOOTING INSULATION

COMPACTED YELLOW SAND

T/O RIDGE
T/O DOUBLE TOP PLATE
T/O FOUNDATION & FLOOR GRADE
T/O SUBFLOOR
T/O FOOTING

Dimensions: 44', 6'-10 1/2", 12", 3", 12", 2", 9'-1 1/8", 16'-6 5/8", 9'-1 1/8", 4', 2', 6", 5'-3 3/8", 2', 2'.

DRAWING NO:
INT 1.8



CLIENT:
LITTLE'S

PROJECT NAME:
**COTTAGE
DRAWINGS**

12 Landon St
Turkey Point ON

DRAWING NAME:
**ROOF
LAYOUT
PLAN**

PREPARED BY:
OWNER

SCALE:
AS NOTED

DATE:
01 NOV 2022

DRAWING NO:
INT 2.1

Planning Justification Report
12 Landon Street, Turkey Point
Cottage Re-Development

1.Introduction

Barb Little (the owner of 12 Landon Street, Turkey Point) is proposing to reconstruct the existing cottage at this location.

The proposed two-storey structure has two deficiencies that will require minor variances:

- lot area of 562.26m² (4000m² required in the Zoning Bylaw)
- lot coverage of 30.4% (25% permitted in Zoning Bylaw)

2.Site Location & Neighbourhood Context

This property is located at the end of Landon Street in Turkey Point. The property has cottages and a wooded area on the northwest side. A number of properties in this general area have been redeveloped with larger, two-storey structures.

Cedar Drive runs the entire length of Turkey Point (approximately 3km) parallel to the Lake Erie shore. Landon Street is a dead end street that runs northwest from Cedar and ends at a wooded area. Several properties on this street, and the surrounding streets in Turkey Point, have been redeveloped with new cottages and/or year-round homes.

On the northerly end of Cedar Drive is the commercial section and there are several duplexes and other commercial buildings scattered along the length of Cedar Drive.

Turkey Point is an area that is predominantly developed with similar detached vacation homes. Many of these homes are located on lots that are smaller and have narrower frontages than this property.

All of Turkey Point is currently developed and is intensifying as existing properties begin to redevelop. Consequently, there are many examples throughout Turkey Point with lot coverages in excess of 30%.

Recent Redevelopment in the vicinity of Landon Street







3. Current Planning Status

a. Provincial Policy Statement

The PPS was issued under Section 3 of the Planning Act and all decisions affecting land use planning matters “shall be consistent with” this document.

The proposed cottage redevelopment is consistent with the overall direction of the Provincial Policy Statement in that:

- It provides redevelopment and intensification within an established settlement area (Section 1).
- It does not impact any significant wetlands, significant woodlands or significant wildlife habitat (Section 2).
- It will be mitigated from any natural hazards by incorporating the requirements of the Long Point Region Conservation Authority (Section 3).

b. Norfolk County Official Plan

This property is designated as Resort Residential within the Norfolk County Official Plan. This designation permits the construction of vacation dwellings (Section 7.6).

The redevelopment of this cottage complies with the policy and land use directions in the Official Plan.

c. Lakeshore Secondary Plan

The Lakeshore Special Policy Secondary Plan is designed to compliment the general policies and land use designations in the Official Plan. At the same time, it gives more detailed planning and land use guidance for the waterfront.

Resort Area policies are contained in Section 11.3 of the Secondary Plan and recognizes vacation homes as the preferred type of residential development and encourages compatibly scaled infill and vacation home redevelopment where appropriate. The proposed redevelopment is in keeping with character and streetscape of the surrounding properties and as such would be considered compatibly scaled development.

d. County of Norfolk Zoning By-law

The subject property is currently zoned Resort Residential (RR). The proposed redevelopment will meet the requirements for minimum lot area, minimum interior side yard and minimum rear yard.

However, there are minor deficiencies in the following areas:

d.1. Lot Coverage

The maximum lot coverage in the Norfolk Zoning By-law is 15% (main structure) and 10% (accessory structures), in total this would equal 25%.

The proposed cottage will have a lot coverage of 30.4% which includes the main structure and exterior decks. The existing cottage and exterior decks currently occupy 16.33% of the lot.

As previously mentioned, there are many existing vacation homes/accessory structures in Turkey Point that occupy a footprint in excess of the 25% lot coverage. A proposal of this nature would be consistent with a pattern of development/redevelopment that is evolving as landowners, in keeping with the Provincial Policy Statement and Norfolk County Official Plan, redevelop and intensify within the established Turkey Point Resort Area.

The septic system has been designed by a qualified person and will meet County standards.

d.2. Lot Area

The minimum lot area in the Norfolk County Zoning Bylaw is 4,000m². The existing lot is 562.62m². There is a deficiency of 3,437.38m².

Although there is a lot area deficiency, this property is currently a legal lot of record and sits at the end of a dead end street adjacent to

a wooded area that is designated as Open Space in the Norfolk County Official Plan.

In addition, there are currently many other similar sized lots within the Turkey Point Settlement area that are fully developed.

Conclusion

The proposal to reconstruct the existing cottage at 12 Landon Street will be another positive redevelopment in the Turkey Point Resort Area.

This proposal is designed to provide a positive aesthetic appeal for neighbouring homes and will be an improvement to the streetscape along Landon Drive.

The proposal has also been designed so that it meets the septic system requirements for the County. It will not have any impact on the natural heritage features of the area and is designed to meet the requirements of the Long Point Region Conservation Authority.

It is consistent with, and conforms to, the planning policy framework in the Provincial Policy Statement and implements the Norfolk County Official Plan as well as the Lakeshore Secondary Plan. It will conform to the Norfolk County Zoning By-law with the variances proposed for the lot coverage and lot area.

This redevelopment proposal is compatible with the existing neighbourhood, with other cottage redevelopments in Turkey Point and will provide a positive economic benefit to the Turkey Point Resort Area.

Respectfully submitted,

Steve Little

Steve Little (on behalf of Barb Little)



Long Point Region Conservation Authority

PERMIT No. LPRCA-268/22

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Owner:	Barb Little	Telephone:	519-429-1090
Address:	6 Brant Street P.O. Box 107	Postal Code:	
	Scotland ON		
Agent:	Steve Little	Telephone:	519-865-5362
Address:	6 Brant Street P.O. Box 107	Postal Code:	
	Scotland ON		
Location/Address of works: 12 Landon Street - 331049310037700			
Lot:	159	Plan:	190 Municipality: Norfolk County
Description of Works:	To demolish the existing residential structure and construct an approximately 171m ² residential structure, septic system and associated grading.		
Type of fill:	n/a		

This permit is valid on the above location only for the period of:

DATE: November 30, 2022 to November 30, 2024

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS:


1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated November 4, 2022 and the associated information.

GENERAL CONDITIONS:

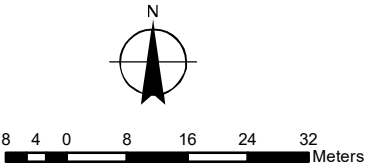
1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Legend

 Subject Lands

2020 Air Photo

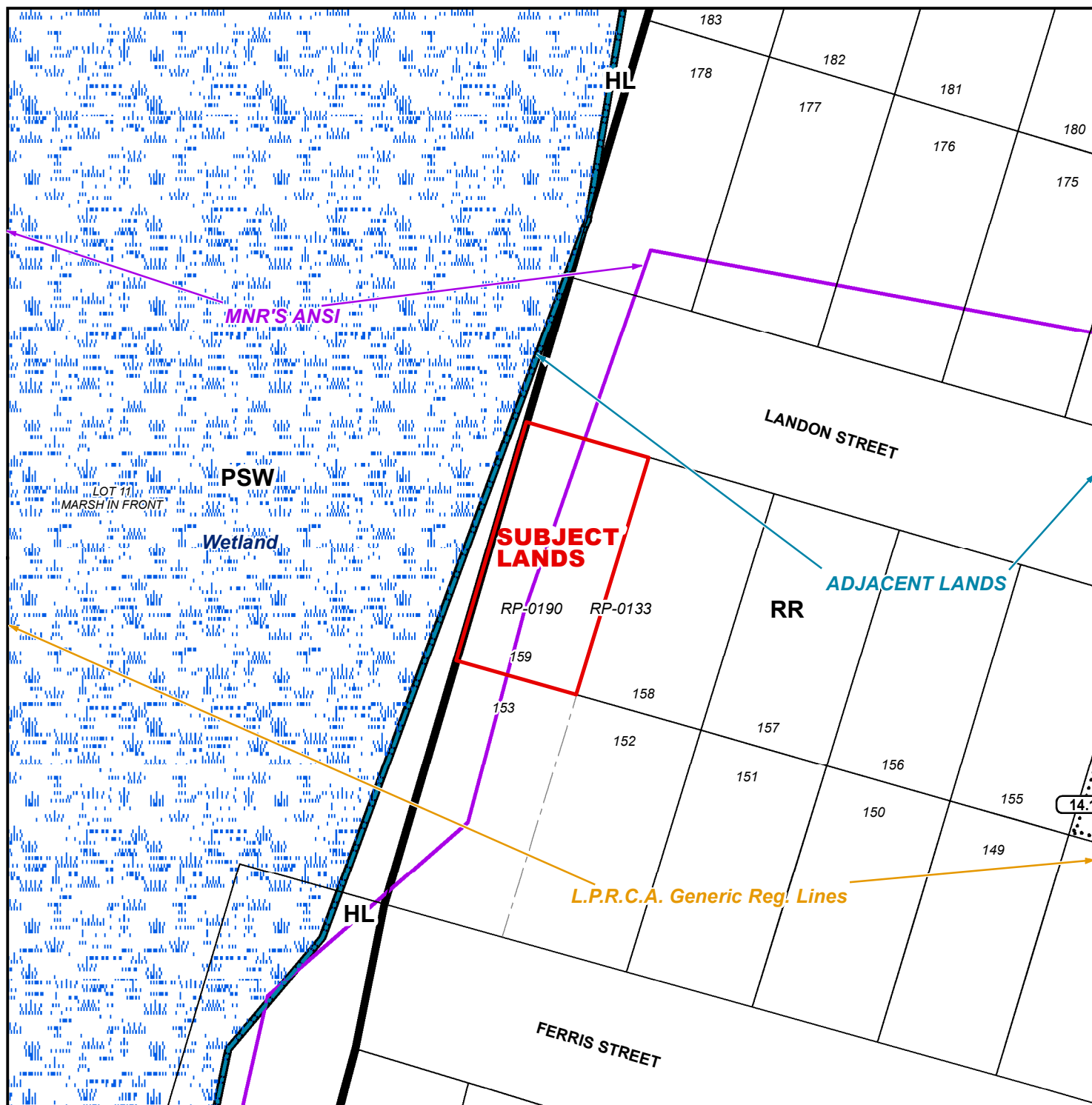


MAP B

ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2022337



LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

1/12/2023

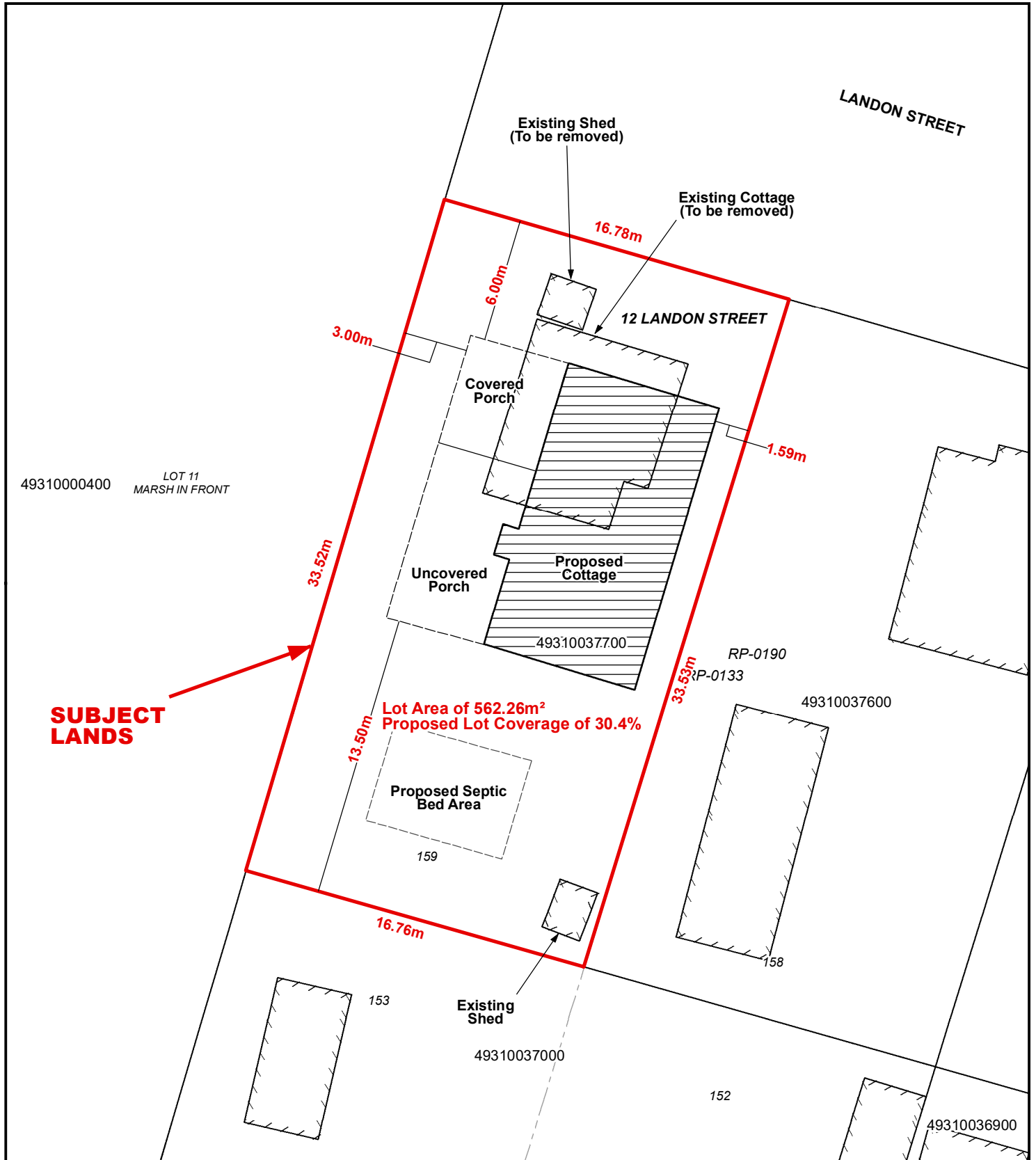
- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone



6 3 0 6 12 18 24 Meters

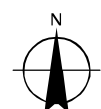
CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

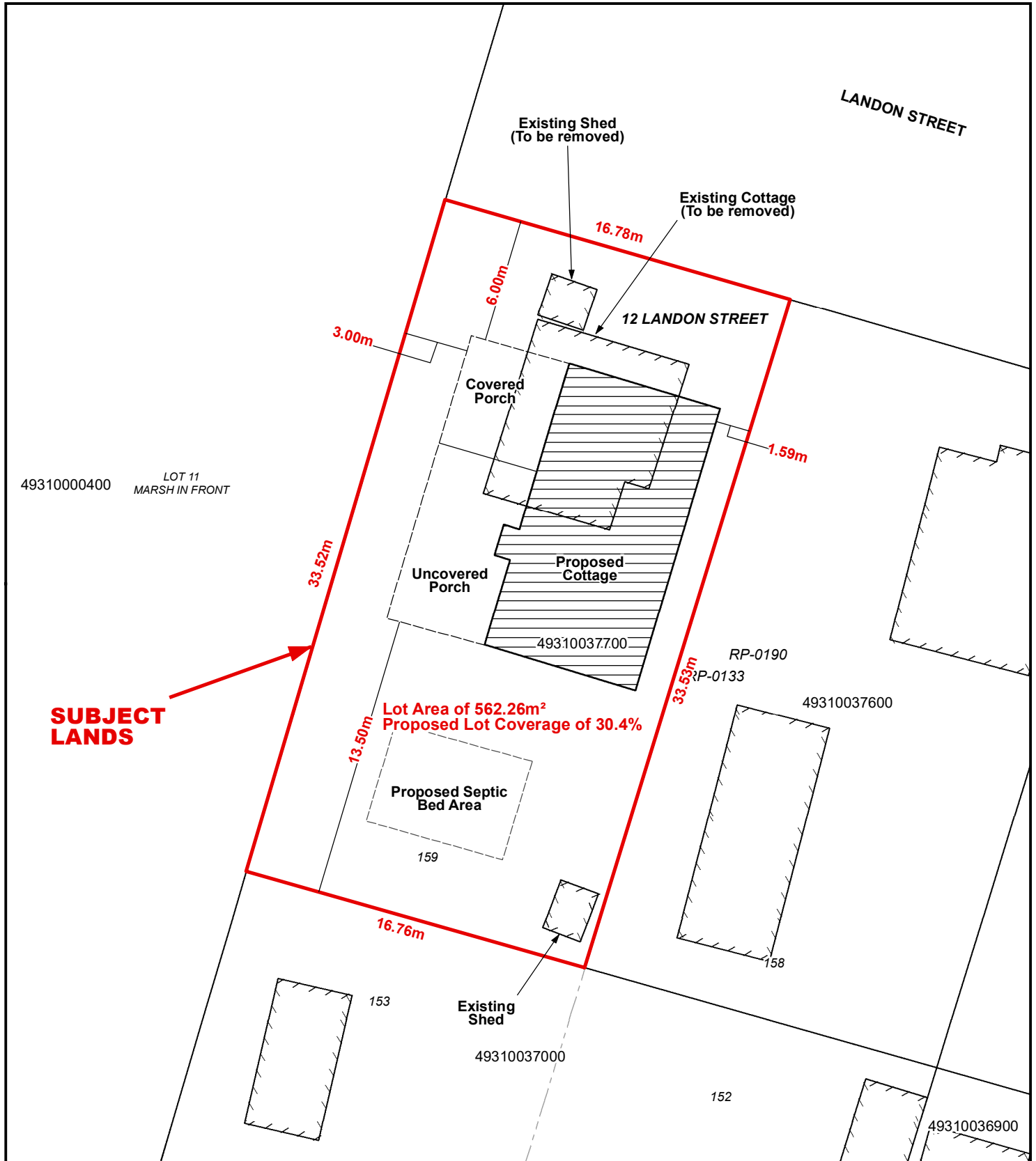


1/12/2023

2 1 0 2 4 6 8 Meters

CONCEPTUAL PLAN

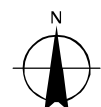
Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

1/12/2023



2 1 0 2 4 6 8 Meters