

For Office Use Only:

File Number	<u>ANPL2022339</u>	Application Fee	<u>\$1599.00</u>
Related File Number	<u>-</u>	Conservation Authority Fee	<u>N/A</u>
Pre-consultation Meeting	<u>-</u>	Well & Septic Info Provided	<u>N/A</u>
Application Submitted	<u>Nov. 2, 2022</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>Nov. 21, 2022</u>	Public Notice Sign	<u>-</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 33/0493060185000000**A. Applicant Information****Name of Owner** HARRY DAYE

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1495 OLD BROCK ST**Town and Postal Code** VICTORIA ON NOE1W0**Phone Number** _____**Cell Number** 905-715-2738**Email** harry-daye021@sympatico.ca**Name of Applicant** _____**Address** _____**Town and Postal Code** _____**Phone Number** _____**Cell Number** _____**Email** _____

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

NONE

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

N/A

Municipal Civic Address: 1495 OLD BROCK ST VICTORIA ON N0E1W0

Present Official Plan Designation(s): HAMLET

Present Zoning: RH

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

2 STORY 3 BDRM HOME - (RETAINED)
SEE SKETCH A FOR DIM'S

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

ONE STORY TALL 2 CAR GARAGE
SEE SKETCH A & B FOR DIM'S

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

OVER 50 YEARS

9. Existing use of abutting properties:

MOSTLY FARM LAND

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	27.3 m				
Lot depth	73.7 m				
Lot width	27.3 m				
Lot area	0.05 ACRE				
Lot coverage					
Front yard					
Rear yard					
Height GARAGE		6 m		4.572	
Left Interior side yard					
Right Interior side yard		3 m		15.09 m	
Exterior side yard (corner lot)		6 m		5 m	1 m
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other UPA		100 sq m		39.04 sq m	

USABLE FLOOR AREA

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

SIDE ENTRANCE STAIRS TO HOUSE WOULD BE TOO CLOSE TO GET LAWN TRACTORS, ETC INTO BACK YARD -

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

MY NEIGHBOURS WERE PREVIOUS OWNERS WHEN HOUSE
FIRST BUILT - THEY SAID IT WAS PREVIOUSLY
VACANT OR FARM

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☒ Individual wells ☒ Other (describe below)

HYDRO AVAILABLE

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☐ Septic tank and tile bed in good working order ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☐ Other (describe below)

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

OLD BROCK ST VICTORIA

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

1 STORY GARAGE - NO DWELLING UNIT IN GARAGE
- PARKING FOR 2 SMALL CARS

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- 1. Concept/Layout Plan
- 2. All measurements in metric
- 3. Existing and proposed easements and right of ways
- 4. Parking space totals – required and proposed
- 5. All dimensions of the subject lands
- 6. Dimensions and setbacks of all buildings and structures
- 7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
- 8. Names of adjacent streets
- 9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

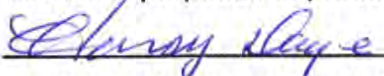
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

Oct 31/22

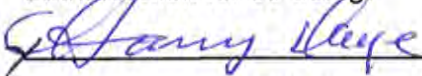
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

Nov 2/22

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, HARRY DAYE of VICTORIA

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE, ONT.

X Harry Daye

Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 2nd day of November 2022

A.D., 20

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.

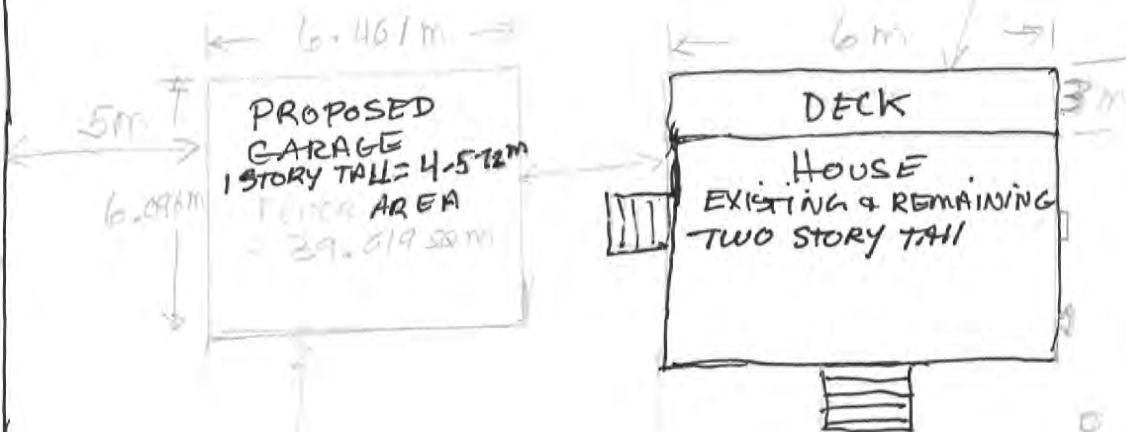
[Signature]
A Commissioner, etc.

SKETCH A

TREES

NOTE: DWG NOT TO SCALE

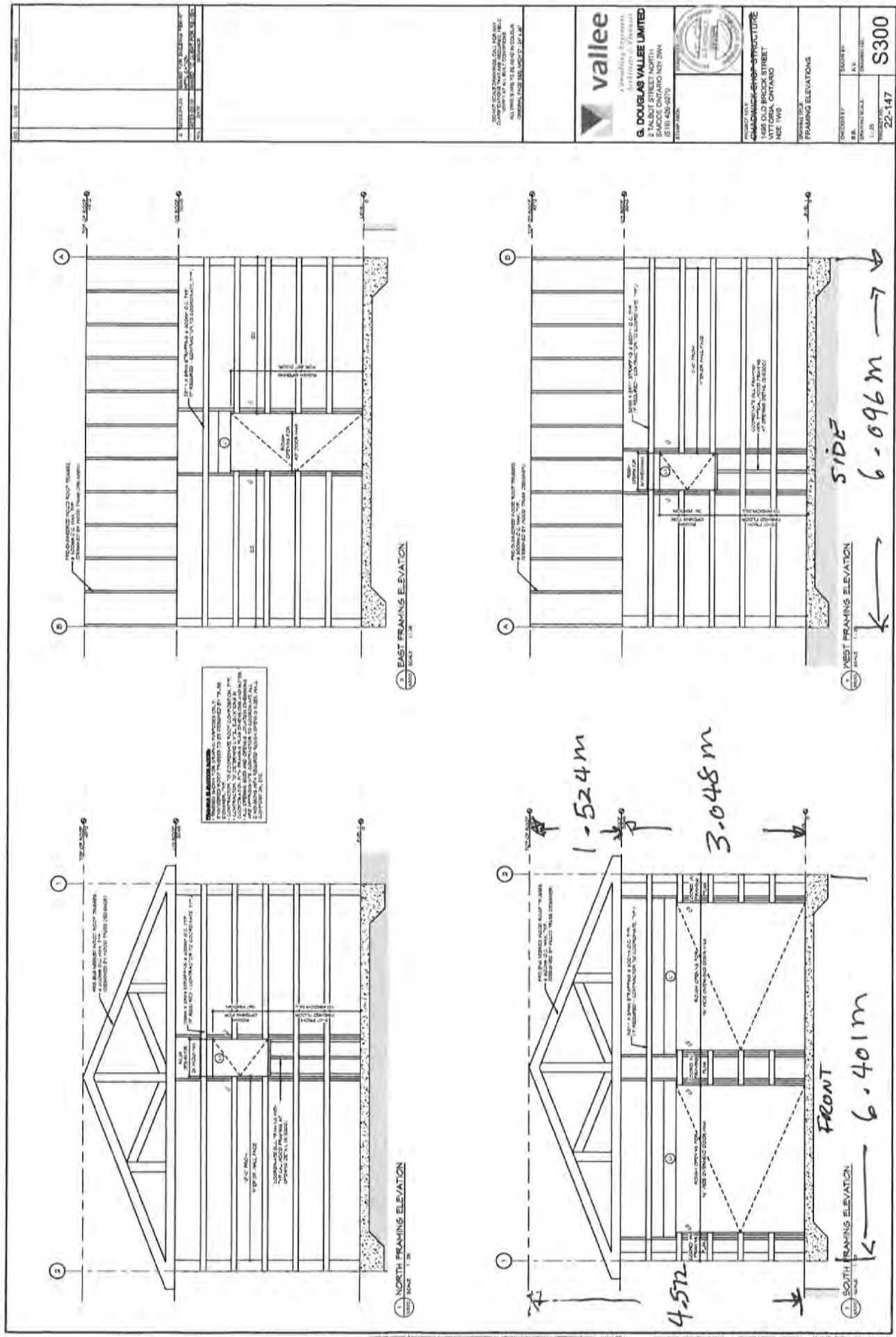
CUT
ST



OLD BROCK ST

FARM LAND

Sketch B



FLOOR AREA = 39.04 SQM

HAERY
DAYE
CARAGE
ED



Norfolk County
185 Robinson Street
Suite 100
Simcoe ON N3Y 5L6

RECEIPT OF PAYMENT

Page 1

DAYE HARRY DAVID
1495 OLD BROCK ST
VITTORIA, ON N0E 1W0

Receipt Number: 242501

Tax Number:

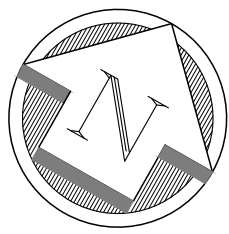
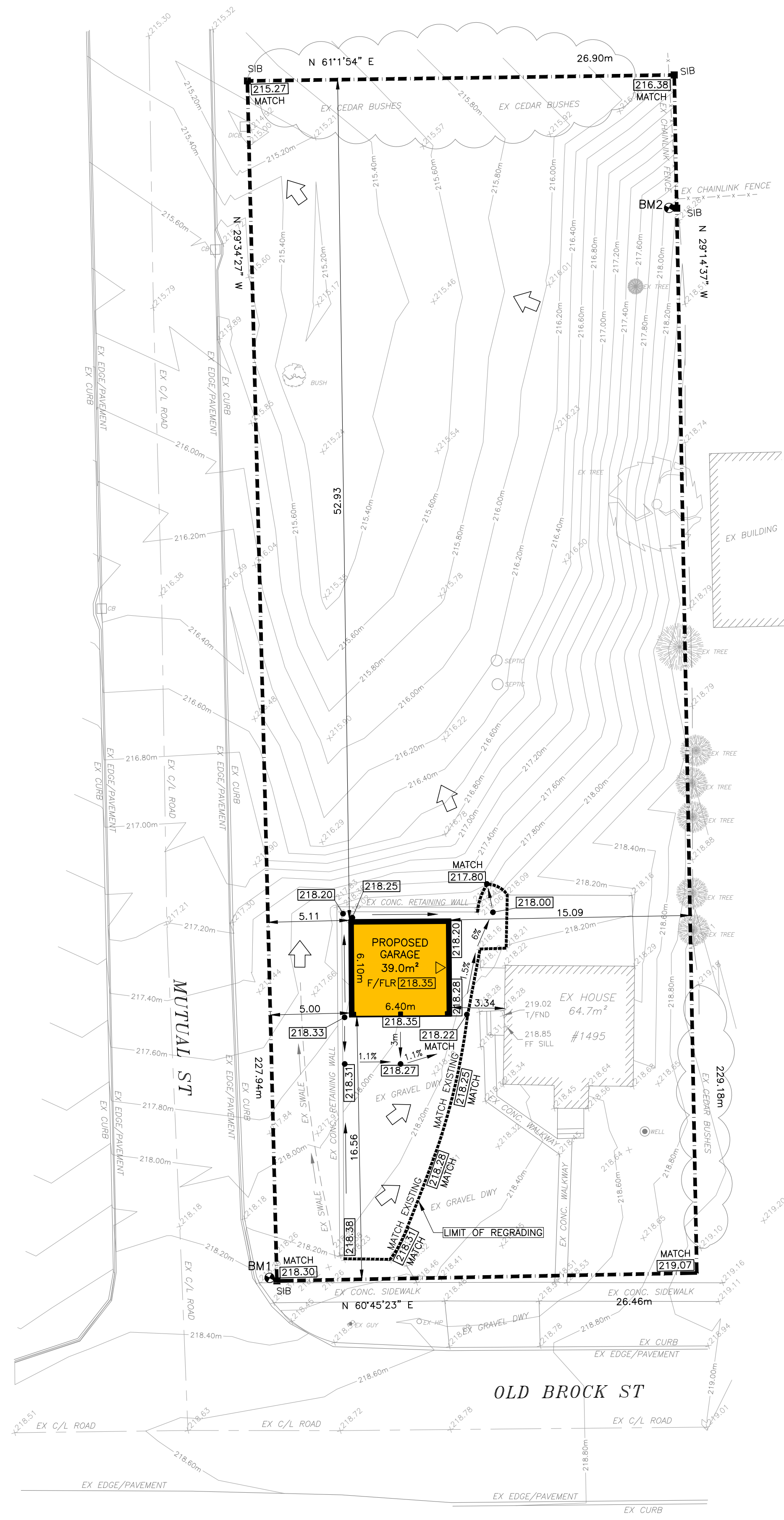
Date: November 2, 2022

Initials: GM

Type	Account / Ref. #	Description	Quantity	Amount Paid
General	DMVA	PD CP ShareMinor Variance 1495 Old Brock	1	\$1,546.00
General	DMVAB	PD Bldg Share Minor Variance	1	\$53.00
Subtotal:				\$1,599.00
Taxes:				\$0.00
Total Receipt:				\$1,599.00
*General-Mc:				\$1,599.00

Credit Card: Deposit 2801

Total Amount Received:	\$1,599.00
Rounding:	\$0.00
Amount Returned:	\$0.00



LEGEND	
189.64	PROPOSED SPOT ELEVATION
	LOT FLOW DIRECTION
	PROPERTY LINE FLOW DIRECTION AND SLOPE
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR ELEVATION

NOTES
CONTRACTOR TO ENSURE THAT HOUSE FOUNDATION IS PLACED ON SUITABLE, DRY SOIL.
ACCORDING TO NORFOLK COUNTY REQUIREMENTS ALL FINAL GRADING MUST BE INSPECTED AND CERTIFIED BY AN ENGINEER OR ONTARIO LAND SURVEYOR. THE BUILDER SHALL ENSURE THAT THE REQUIRED INSPECTIONS ARE CARRIED OUT IN ACCORDANCE WITH COUNTY REQUIREMENTS.
ALL DISTANCES AND ELEVATIONS ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
BUILDER TO CONFIRM BOTTOM OF FOOTING ELEVATION AND TOP OF FOUNDATION ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, AT LEAST 0.15m OF FOUNDATION WALL MUST REMAIN EXPOSED.
ALL ROOF LEADERS TO BE DIRECTED TO THE ROAD.

SETBACK REQUIREMENTS:		
	REQUIRED	ACTUAL
FRONT YARD	6.0m	16.56m
INTERIOR SIDE YARD	1.2m	15.09m
EXTERIOR SIDE YARD	6.0m	5.00m
REAR YARD	7.5m	52.93m

LOT COVERAGE:	
EXISTING HOUSE AREA	64.7 sq m
PROPOSED GARAGE AREA	39.0 sq m
TOTAL FOOTPRINT AREA	103.7 sq m
LOT AREA	2015.5 sq m
LOT COVERAGE	5.2 %

REV. No.	DATE	REVISION
0	AUG 18/22	ISSUED TO CLIENT FOR REVIEW
1	SEP 6/22	ISSUED FOR BUILDING PERMIT

1495 OLD BROCK STREET, VITTORIA
LOT 3 REGISTERED PLAN 29B BLOCK 1
IN THE TOWN OF VITTORIA
NORFOLK COUNTY

SITE BENCHMARKS:
BM1: TOP OF SIB AT SOUTHWEST CORNER OF PROPERTY AT OLD BROCK ST AND MUTUAL ST. ELEVATION 218.35m
BM2: TOP OF SIB NORTH EAST SIDE OF PROPERTY NEXT TO CHAINLINK FENCE AT BACK OF ADJACENT PROPERTY TO THE EAST. ELEVATION 218.16m



vallee
Consulting Engineers,
Architects & Planners
G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE, ONTARIO N3Y 3W4
(519) 426-6270



Project Title
CHADWICK SHOP STRUCTURE
1495 OLD BROCK STREET
VITTORIA, ONTARIO N0E 1W0
VITTORIA - NORFOLK COUNTY

Drawing Title	
SITE GRADING PLAN	
Designed by : TJC	Drawn By : TJC
Checked by : JTI	Date Started : AUGUST 4, 2022
Drawing Scale : AS NOTED	Drawing No. C100
Project No. 22-147	

GENERAL STRUCTURAL NOTES

1. THIS DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE LATEST EDITION.
2. ALL PRE-ENGINEERED, PREFABRICATED BUILDING SYSTEMS AND COMPONENTS SHALL BE DESIGNED BY P.ENG. (PEO) AND CONFIRMED ON SEALED SHOP DRAWINGS TO BE SUBMITTED TO CONSULTANT FOR REVIEW. THE CONSULTANT SHALL NOT ASSUME RESPONSIBILITY FOR SUCH COMPONENTS OR SYSTEMS THAT ARE DESIGNED BY OTHERS.
3. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR TEMPORARY CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR THE STRESSED & INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY FOR ALL SUCH MEASURES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR STRUCTURES AFFECTED BY THIS WORK.
4. DIMENSIONS PROVIDED ON DRAWINGS MUST BE CHECKED AND VERIFIED WITH ALL OTHER DRAWINGS. WHERE DISCREPANCIES ARE DISCOVERED, THESE SHALL BE REPORTED TO THE PROJECT CONSULTANT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
5. THESE DRAWINGS ARE TO BE COORDINATED AND READ IN CONJUNCTION WITH THE LOT GRADING PLAN.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O.Reg.213.
7. WHERE THERE IS A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS THE MORE STRINGENT SHALL APPLY UNLESS APPROVED OTHERWISE IN WRITING BY THE PROJECT ENGINEER.
8. DO NOT SCALE THE DRAWINGS.

DESIGN LOADS

1. LOCATION
VITTORIA, ONTARIO
2. ROOF DEAD LOADS = 1.0 kPa
3. FLOOR DEAD LOADS = 1.0 kPa
4. LIVE (OCCUPANCY-OBC TABLE 4.1.5.3)
- | LOCATION | SPECIFIED LOAD (kPa) |
|-------------------------------------|----------------------|
| ROOF | 1.0 |
| GARAGE W/ VEHICLES >4000kg (<9000kg | 6.0 |
| 5. SNOW (OBC CL. 4.1.6) | |

- S_s = 0.4kPa
S_h = 1.9kPa
I_s = 1.00 (NORMAL)
C_D = 0.9
C_W = 1.0
C_s = 1.0
C_a = 1.0 FOR FLAT ROOF
S = 16 [S_s (C_DC_WC_sC_a) + S_h] = 1.44 kPa

6. WIND (OBC CL. 4.1.7)

- p = W q C_e C_p C_t
q 1/10 = 0.36 kPa
q 1/30 = 0.47 kPa
W = 1.00 (NORMAL)
C_e = 0.90
C_pC_s = VARIES
C_t = 1.0

FOUNDATIONS

1. ASSUMED SOIL BEARING CAPACITY Q_{ult,s}=100kPa Q_{ult,f}=150kPa.
2. ALL FOUNDATION DESIGNS MAY BE SUBJECT TO CHANGE BASED ON UNFORSEEN SOIL CONDITIONS. ALL FOUNDING SOILS SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO FOUNDATION INSTALLATION.
3. SOIL CONDITIONS, REINFORCING STEEL AND FORMWORK SHALL BE INSPECTED BY THE ENGINEER BEFORE POURING CONCRETE. CONTRACTOR SHALL GIVE ENGINEER A MINIMUM 24 HOURS NOTICE TO CARRY OUT INSPECTION.
4. THE LINE OF SLOPE BETWEEN ADJACENT FOOTING OR EXCAVATIONS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10 UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.
5. DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL LATERAL SUPPORTING FLOORS HAVE BEEN CONSTRUCTED. UNLESS BRACING DETAILS ARE SUBMITTED, WHERE POSSIBLE BACKFILL BOTH SIDES OF WALLS SIMULTANEOUSLY FOR BURIED FOUNDATIONS.

CONCRETE

1. DESIGN & CONSTRUCTION CODES/STANDARDS
- CAN/CSA A23.1 CONCRETE MATERIALS & METHODS OF CONCRETE CONSTRUCTION
CAN/CSA A23.2 METHODS OF TEST & STANDARD PRACTICES FOR CONCRETE
CAN/CSA A23.3 DESIGN OF CONCRETE STRUCTURES
CAN/CSA A23.4 PRE-CAST CONCRETE
2. ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 35 MPa MINIMUM AND EXPOSURE CLASS OF TYPE N UNLESS OTHERWISE SPECIFIED. CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION.
3. REINFORCEMENT SHALL BE DEFORMED BARS AND CONFORM TO CAN/CSA G30.10, GRADE 400MPa.
4. REINFORCING STEEL SHALL BE DETAILED, BENT, PLACED AND SUPPORTED TO CONFORM TO ACI STANDARDS 315 AND THE MANUAL OF STANDARD PRACTICE PUBLISHED BY THE REINFORCING STEEL INSTITUTE OF ONTARIO.
5. WELDED LAPS AND SPLICES OF REINFORCING STEEL SHALL NOT BE PERMITTED.
6. MINIMUM REINFORCEMENT LAP LENGTHS
- | BAR SIZE | MIN. SPLICE LAP LENGTH |
|----------|------------------------|
| 10M | 400mm |
| 15M | 600mm |
| 20M | 900mm |
| 25M | 1300mm |
7. ALL REINFORCEMENT LAPS TO BE "CLASS B" UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
8. CONCRETE SLABS ON GRADE TO BE REINFORCED WITH WELDED WIRE MESH REINFORCING IN ADDITION TO THE SPECIFIED REINFORCEMENT, UNLESS OTHERWISE NOTED.
9. REINFORCEMENT SPACING SHOWN ON DRAWINGS TO BE A MAXIMUM. ENSURE MINIMUM 1-15M TOP AND BOTTOM CONTINUOUS AT ALL SLAB EDGES BY ADJUSTING BAR LENGTH OR PROVIDING ADDITIONAL TOP/BOTTOM EDGE BARS AS REQUIRED.
10. PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING IN ACCORDANCE WITH THE LATEST EDITIONS OF CSA A23.1 AND A23.3. CHAIRS TO BE PLASTIC, PLASTIC TIPPED OR CONCRETE. ALL TIE WIRE, CHAIRS AND BAR SUPPORTS USED FOR COATED REINFORCING SHALL BE NON-METALLIC OR PROTECTED WITH AN ACCEPTABLE COATING. CHAIRS SHALL BE SPACED AT 1200mm O.C. MAXIMUM.
11. ALL REINFORCING STEEL FABRICATION AND PLACEMENT DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE FABRICATION.
12. CONCRETE COVER FOR REINFORCEMENT SHALL CONFORM TO CSA STANDARD A23.1, AS FOLLOWS, UNLESS OTHERWISE NOTED.

	EXPOSED TO WEATHER	NOT EXPOSED TO WEATHER
CAST AGAINST EARTH	75 mm +/- 12mm (3" +/- 1/2")	75 mm +/- 12mm (3" +/- 1/2")
BEAMS, SLABS, WALLS, AND COLUMNS	50 mm +/- 12mm (2" +/- 1/2")	40 mm +/- 12mm (1-1/2" +/- 1/2")

13. SLAB ON GRADE TO BE PLACED ON COMPACT GRANULAR MATERIAL. COMPACTION TESTS ON FILL MATERIAL TO BE CARRIED OUT PRIOR TO SLAB ON GRADE PLACEMENT.
14. PROVIDE 10mm ASPHALT IMPREGNATED FIBRE BOARD AND CAULKING AROUND ALL COLUMNS AND ALONG ALL WALLS.
15. PROVIDE CHAMFERS, REGLETS, RIVETS, REVEALS, RECESSES AND THE LIKE AS SHOWN ON THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
16. ALL CONCRETE FORMS TO BE WETTED THOROUGHLY BEFORE POURING CONCRETE.
17. MAINTAIN MINIMUM SPECIFIED THICKNESS AT ALL DEPRESSIONS AND CHANGES IN ELEVATIONS. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR EXTENT AND LOCATIONS OF ALL FINISHES AND DEPRESSIONS.
18. DO NOT ADD WATER TO CONCRETE ON SITE UNLESS WRITTEN APPROVAL IS GIVEN BY THE ENGINEER. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.

19. CONTRACTOR TO COORDINATE THE MAGNITUDE AND DIRECTION OF ALL FLOOR SLOPES, TYP.

20. ALL REQUIRED OPENINGS SHALL BE SLEEVED OR FORMED PRIOR TO PLACING CONCRETE. CORING OR SAW CUTTING FOR OPENINGS AFTER CASTING SHALL NOT BE PERMITTED AS AN ALTERNATE METHOD OF PROVIDING OPENINGS. ALL DRAINS SHALL BE SET PRIOR TO CONCRETE PLACING.
21. FOR OPENINGS GREATER THAN 300mmX300mm (12"x12") REINFORCE AROUND THE OPENING IN ACCORDANCE WITH THE TYPICAL DETAILS UNLESS OTHERWISE NOTED.

22. CURING

REINFORCED CONCRETE ELEMENTS TO BE WET-CURED AS PER ACI 308 AND THE DURATIONS SPECIFIED BELOW UNLESS DIRECTED OTHERWISE BY THE ENGINEER.

CONCRETE SLABS: 7 DAYS MINIMUM
EXPOSED CONCRETE WALLS: 4 DAYS MINIMUM

23. ALL HONEYCOMBS SHALL BE CUT OUT AND FILLED TO THE SATISFACTION OF THE ENGINEER.

24. PROVIDE SAWCUTS WITHIN 24 HOURS OF FINISHING AT LOCATIONS SHOWN ON DRAWINGS. SAWCUT DEPTH TO BE 1/4 OF SLAB THICKNESS. SAWCUT AS CLOSE TO COLUMNS OR WALLS AS PRACTICAL. FILL SAWCUTS WITH NON-METALLIC JOINT FILLER (STERNSON LOADFLEX OR EQUAL).

25. SPACING OF SAW-CUT CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 4.5m (14'-6") O.C.

26. SUBMIT PROPOSED SAW-CUT CONTROL JOINT LOCATION TO THE ENGINEER FOR APPROVAL UNLESS SHOWN ON DRAWINGS.

27. OPENINGS AND DRIVEN FASTENERS REQUIRED IN THE CONCRETE AFTER THE CONCRETE IS PLACED, SHALL BE APPROVED BY THE ENGINEER BEFORE PROCEEDING.

28. NON-SHRINK GROUT SHALL BE AN APPROVED PREMIXED PROPRIETARY PRODUCT.

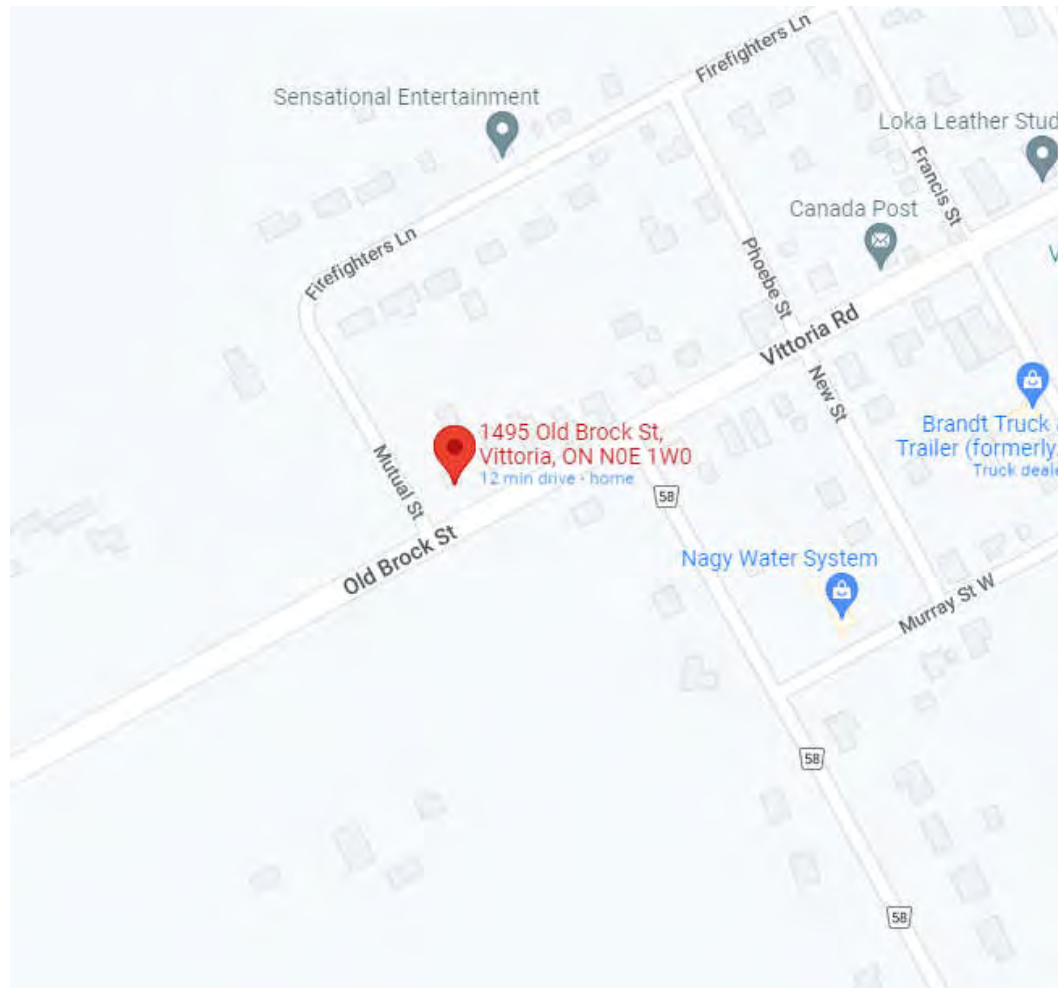
29. DRY-PACKED GROUT SHALL BE 1 PART PORTLAND CEMENT TO 1.5 PARTS OF SAND TO 2 PARTS OF 9mm FEA GRAVEL WITH ONLY SUFFICIENT WATER TO DAMPEN THE MIXTURE. COMPRESSIVE STRENGTH SHALL BE 50MPa AT 28 DAYS.

WOOD

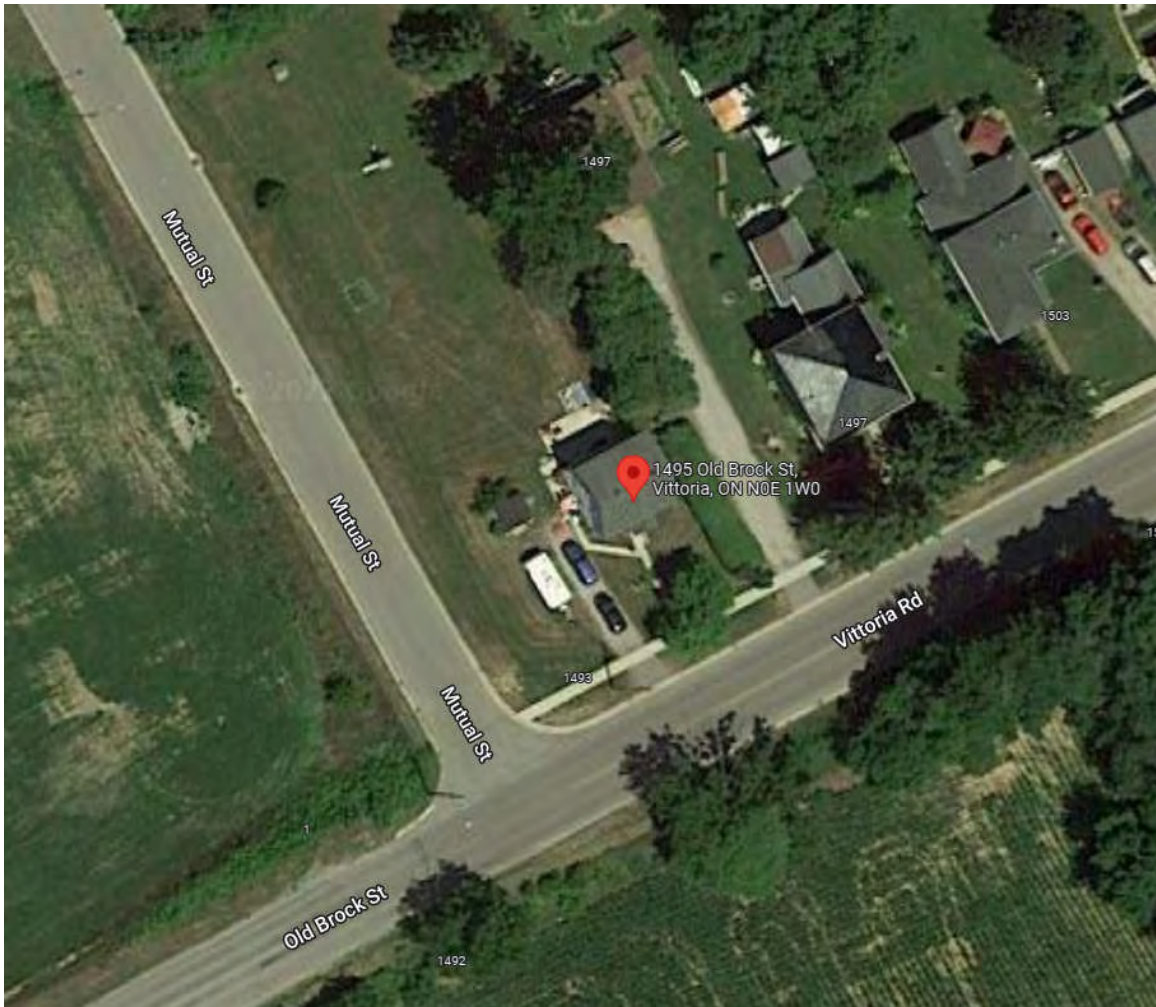
1. DESIGN & CONSTRUCTION CODES/STANDARDS
CAN/CSA O86 ENGINEERING DESIGN IN WOOD
2. MIN. GRADE REQUIREMENTS
- SAWN LUMBER:
- ALL STANDARD SIZE SOLID SAWN WOOD LUMBER SHALL BE A MINIMUM GRADE S.P.F.#2 UNLESS OTHERWISE NOTED.
- ENGINEERED LUMBER:
- ALL ENGINEERED WOOD PRODUCTS MANUFACTURED BY I-LEVEL (MEYERHAUSER) AS FOLLOWS:
- TIMBERSTRAND LSL: 1.95E GRADE
MICROLLAM LVL: 1.9E GRADE
PARALLAM PSL: 2.0E GRADE
TRUS JOIST T.J: AS SPECIFIED ON DRAWINGS
3. EQUIVALENT ENGINEERED LUMBER PRODUCTS ONLY TO BE USED IF APPROVED IN WRITING BY THE ENGINEER.
4. ALL WOOD MEMBER SIZES & DIMENSIONS SHALL BE AS INDICATED ON THE DRAWINGS.
5. INSTALLATION SHALL COMPLY WITH MANUFACTURERS GUIDELINES AND REQUIREMENTS.
6. PRE-ENGINEERED WOOD ROOF TRUSSES & GIRDERS SHALL BE DESIGNED BY P.ENG. (PEO) AND CONFIRMED ON SEALED SHOP DRAWINGS TO BE SUBMITTED TO CONSULTANT FOR REVIEW. THE CONSULTANT SHALL NOT ASSUME RESPONSIBILITY FOR SUCH COMPONENTS OR SYSTEMS THAT ARE DESIGNED BY OTHERS.
7. ALL ROOF TRUSS CONNECTORS ARE ASSUMED TO BE DESIGNED BY ROOF TRUSS DESIGNER. OTHERWISE, ROOF SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEER FOR REVIEW AND TRUSS CONNECTOR DESIGN PRIOR TO FABRICATION.
8. LATERAL WOOD BRACINGS TO BE DESIGNED AND SPECIFIED BY THE ROOF TRUSS DESIGNER AND CONFIRMED BY SHOP DRAWINGS.
9. ALL BUILT-UP ENGINEERED WOOD LINTELS TO BE FASTENED TOGETHER AS PER MANUFACTURERS SPECIFICATIONS.

ABBREVIATIONS

- @ - AT (SPACING C/C)
AB - ANCHOR BOLT
ADPL - ADDITIONAL
ARCH - ARCHITECTURAL
BOT - BOTTOM
BLDG - BUILDING
BL - BOTTOM LOWER LEVEL
BRG - BEARING
BUL - BOTTOM UPPER LEVEL
C - CHANNEL SECT
CJ - CONTROL JOINT
CHKR - CHECKER
C/C - CENTER TO CENTER
CL - CENTERLINE
C/M - COMPLETE WITH CONC - CONCRETE
CONT - CONTINUOUS
DL - DEAD LOAD
DIAG - DIAGONAL
DIA or Ø - DIAMETER
DIM - DIMENSION
EA - EACH
EE - EACH END
EF - EACH FACE
ELEC - ELECTRICAL
ENG'D - ENGINEERED
ES - EACH SIDE
EW - EACH WAY
ELEV - ELEVATION
EQ - EQUAL(Y)
EX or EXIST - EXISTING
EXT - EXTERIOR
FF - FRONT FACE
FDN - FOUNDATION
FIN - FINISHED
FTG - FOOTING
FLR - FLOOR
F/V - FIELD VERIFY
GALV - GALVANIZED
HCCS - HOLLOW-CORE CONCRETE SLAB
HORIZ - HORIZONTAL
H/D/G & HDS - HOT DIPPED GALVANIZED
HDWR - HEAVY-DUTY GALV. MASONRY REINF
HSS - HOLLOW STRUCTURAL SECTION
IF - INSIDE FACE
INT - INTERIOR
INCL - INCLUDING
- L - STEEL ANGLE
LL - LIVE LOAD
LLH - LONG LEG HORIZONTAL
LLV - LONG LEG VERTICAL
LNG - LONG
M - METER
mm - MILLIMETER
ML - MIDDLE LAYER
MECH - MECHANICAL
MAX - MAXIMUM
MIN - MINIMUM
MISC - MISCELLANEOUS
NF - NEAR FACE
NTS - NOT TO SCALE
OF - OUTSIDE FACE
P/T - PRESSURE TREATED
PTD - PAINTED
P - PLATE
REINF - REINFORCED, REINFORCING OR REINFORCEMENT
REQD - REQUIRED
REV - REVISION or REVISED
SC - SAW CUT
SECT - SECTION
SF / S.F. - STEP FOOTING
SVR - STANDARD GALV MASONRY REINF
SOS - S/O/G - SLAB ON GRADE
STD - STANDARD
STRUCT - STRUCTURAL
SIM - SIMILAR
SYM - SYMMETRICAL
SP - SPACED or SPACING
SPRIDD - STD. PROCTOR MAX. DRY DENSITY
TEMP - TEMPERATURE
TLL - TOP UPPER LEVEL
TJ - TIE JOIST
T/O - TOP OF
TLL - TOP LOWER LEVEL
TYP - TYPICAL
UNO - UNLESS NOTED OTHERWISE
U/N - UNDERNEATH
U/S - UNDERSIDE
VERT - VERTICAL
VOS - VERIFY ON SITE
W - ROLLED STEEL BEAM
WB - WOOD BEAM
WD - WOOD
WVF - WELDED WIDE FLANGE
WWM - WELDED WIRE MESH



KEY MAP



SITE MAP

ANNOTATIONS LEGEND

- SHEET VIEW REFERENCE**
- VIEW NAME
SCALE 1/8" = 1'-0"
SCALE OF DETAIL
DWG. SHEET WHERE DETAIL IS LOCATED
- BUILDING ELEVATION REFERENCE**
- ELEV. REF. NUMBER
DETAIL SIMILAR BUT NOT NECESSARILY IDENTICAL
DWG. SHEET WHERE DETAIL IS LOCATED
- BUILDING SECTION REFERENCE**
- DETAIL REF. NUMBER
DETAIL SIMILAR BUT NOT NECESSARILY IDENTICAL
DWG. SHEET WHERE DETAIL IS LOCATED
- WALL SECTION REFERENCE**
- DETAIL REF. NUMBER
DETAIL SIMILAR BUT NOT NECESSARILY IDENTICAL
DWG. SHEET WHERE DETAIL IS LOCATED
- SECTION DETAIL REFERENCE**
- DETAIL REF. NUMBER
DETAIL SIMILAR BUT NOT NECESSARILY IDENTICAL
DWG. SHEET WHERE DETAIL IS LOCATED
- INTERIOR ELEV. REFERENCE**
- DETAIL REF. NUMBER
DWG. SHEET WHERE DETAIL IS LOCATED
- LEVEL ELEVATION
ELEVATION
A/F/F LEVEL # (ABOVE FINISHED FLOOR)
DATUM REFERENCE
- GRID LINE & IDENTIFICATION

CONSULTANT LIST



CONTACTS:
STRUCTURAL:
RYAN ELLIOTT, P. ENG., BDS
BEN BUCHWALD, M. ENG., P. ENG.,
ANDREW VALLEE, B.Eng.

DRAWING LIST

STRUCTURAL	STRUCTURAL GENERAL NOTES
5000	FOOTING, FOUNDATION, SOG PLAN
5100	LEVEL 1 FRAMING PLAN
5200	LEVEL 1 FRAMING PLAN
5300	FRAMING ELEVATIONS

DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS.
ALL DWG.'S ARE TO BE READ IN COLOUR
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2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

STAMP ARCH.



PROJECT TITLE:
CHADWICK SHOP STRUCTURE
1495 OLD BROCK STREET
VITTORIA, ONTARIO
N0E 1W0

DRAWING TITLE:
STRUCTURAL GENERAL NOTES

CHECKED BY:

B.B.

DRAWING SCALE:

As indicated

PROJECT NO.:
22-147

DRAWN BY:

A.V.

DRAWING NO.:

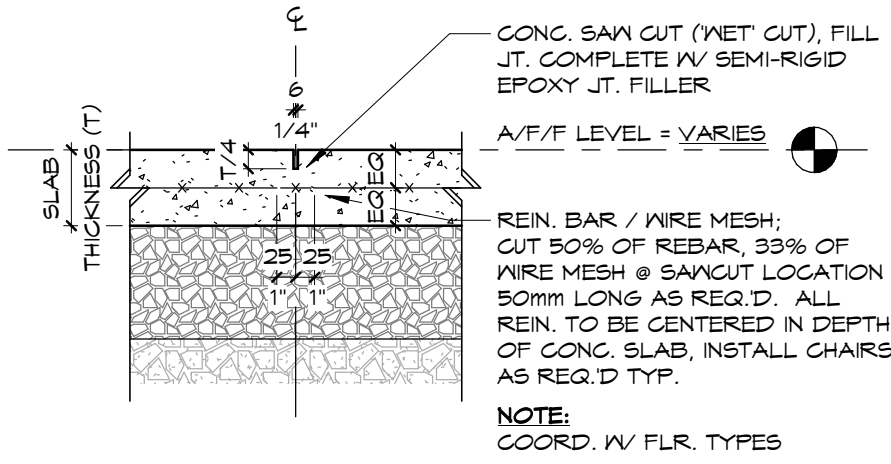
S000

FOOTING, FOUNDATION & SOG LEGEND

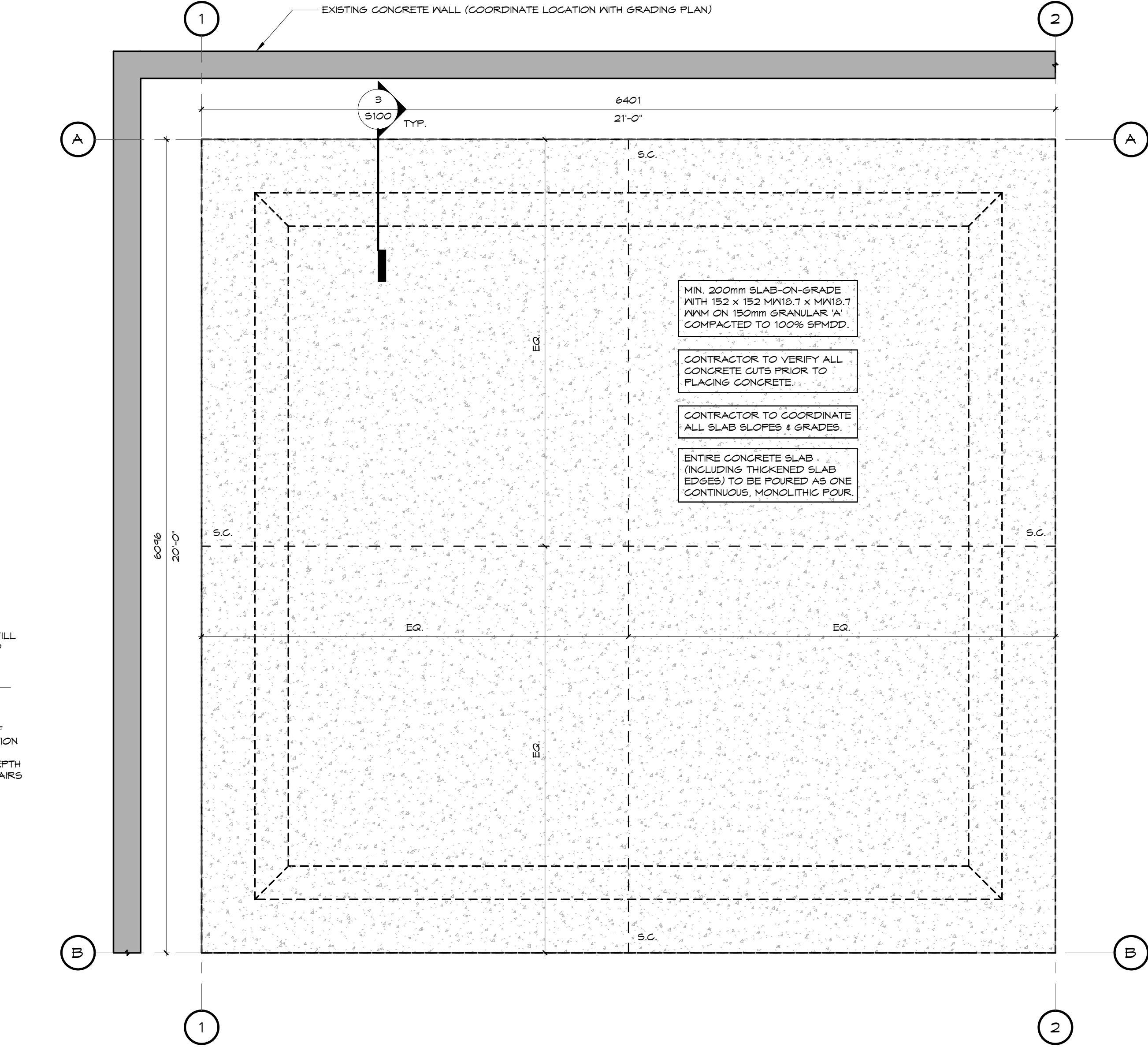
- S/O/S SAW CUT LINES (SC)
- WF# WALL FTG. TAG & IDENTIFICATION
(COORD. IV WALL FTG. SCH.)
- FDTN. WALL TAG & IDENTIFICATION
(COORD. IV FDTN. SCH.)
- SONO TUBE FDTN. TAG & IDENTIFICATION
(COORD. IV CONG. PIER SCH.)
- CONG. PIER TAG & IDENTIFICATION
(COORD. IV CONG. PIER SCH.)
- CONG. FTG. TAG & IDENTIFICATION
(COORD. IV CONG. FTG. SCH.)
- CONG. FDTN. OPENING VOID LOCATION
FOR FLR. SLAB TO BE POURED INTO

GENERAL NOTES:

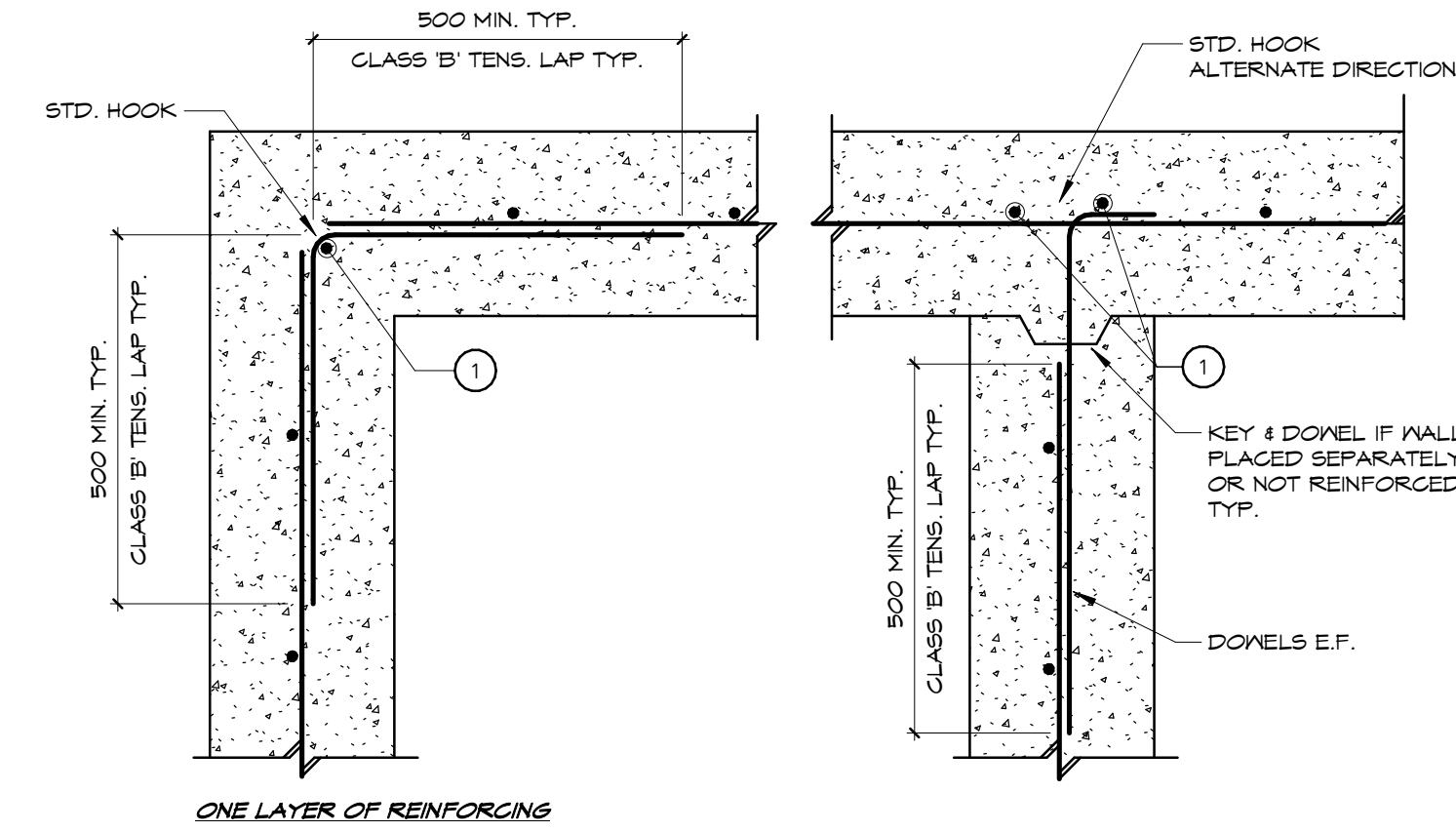
- REFERENCE - FIN. FLR. ELEV. OF LEVEL 1 IS 0000
- FTG. THICKNESS(ES) SHOWN ARE MIN. ALL SIDES OF FTG.'S ARE TO BE PROPERLY FORMED TO PREVENT OUTWARD FLOW OF CONG. BELOW FORMWORK.
- TYP. S/O/S:
 - REIN. F1/F 200mm CONG. SLAB
 - (C1 CLASS 35MPa - 5-8% AIR)
 - (192x152, MAX12.7MM/12.7 FLAT SHEETS);
 - VAPOUR BARRIER / RETARDER;
 - 75mm EPS RIGID INSULATION;
 - GRANULAR 'A' 150mm THICK COMPACTED TO 100% SFMDD;
 - GRANULAR 'B' BACKFILL @ ALL HARD SURFACES COMPACTED TO 100% SFMDD;
 - UNDISTURBED NATIVE SOIL / ENGINEERED FILL
- STEP FTG.'S DOWN @ SITE SERVICE LOCATIONS WHERE REQ'D; SF ABBR.; COORD. IV TYP. STEPPED FTG. DETAIL.
- INSTALL SAWCUT CONTROL JOINTS IN CONG. S/O/S @ 4500mm MAX. SPACING U/N/O; COORD. IV TYP. SAW CUT CONTROL JOINT DETAIL; SAW CUTS TO BE PROVIDED @ ALL DOOR OPENINGS
- CORNER & INTERSECTION SPLICE BARS SHALL BE PROVIDED IN CONG. WALLS IN ACCORDANCE W/ MANUAL OF STD. PRACTICE FOR REIN. STEEL. DETAILS TO BE SUBMITTED W/ SHOP DNG.'S (COORD. IV 5/5/100)
- INSTALL CONTROL JOINTS IN CONG. FDTN. S MORE THAN 25m LONG @ 15m MAX. INTERVALS - CJ ABBR.; COORD. IV TYP. FDTN. CONTROL JOINT DETAIL
- ALL FTG.'S SHALL BEAR ON UNDISTURBED SOIL OR APPROVED ENG'D FILL W/ A MIN. SOIL BEARING CAPACITY OF 150KPa
- APPROVED GRANULAR FILL UNDER ALL NEW FTG.'S SHALL BE COMPACTED IN 150mm LAYERS TO 100% SFMDD. TO BE CONFIRMED BY GEOTECHNICAL ENG. / TESTING & INSPECTION COMPANY PRIOR TO POURING FTG.'S



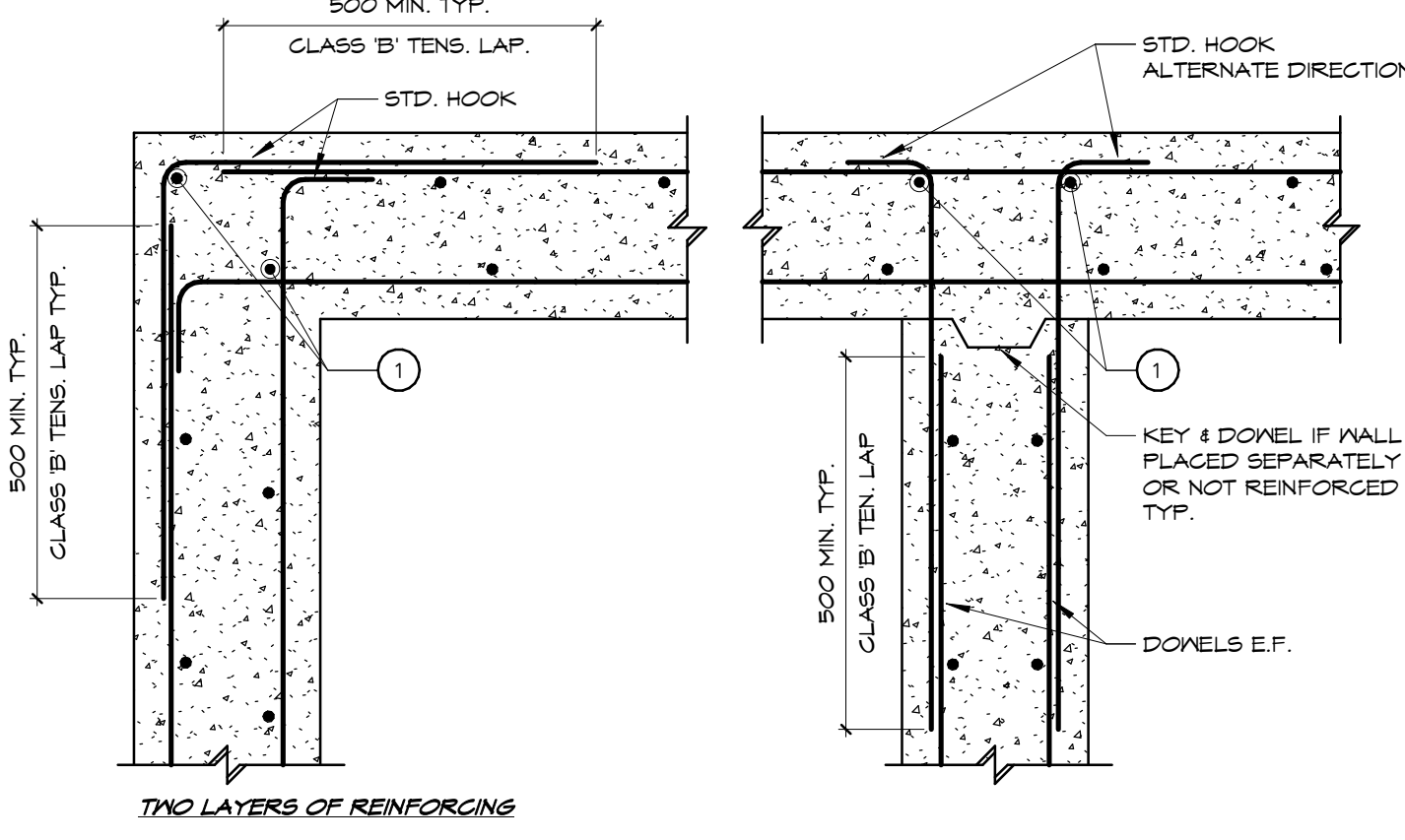
2 SLAB-ON-GRADE CONTROL JOINT
SCALE 1 : 10



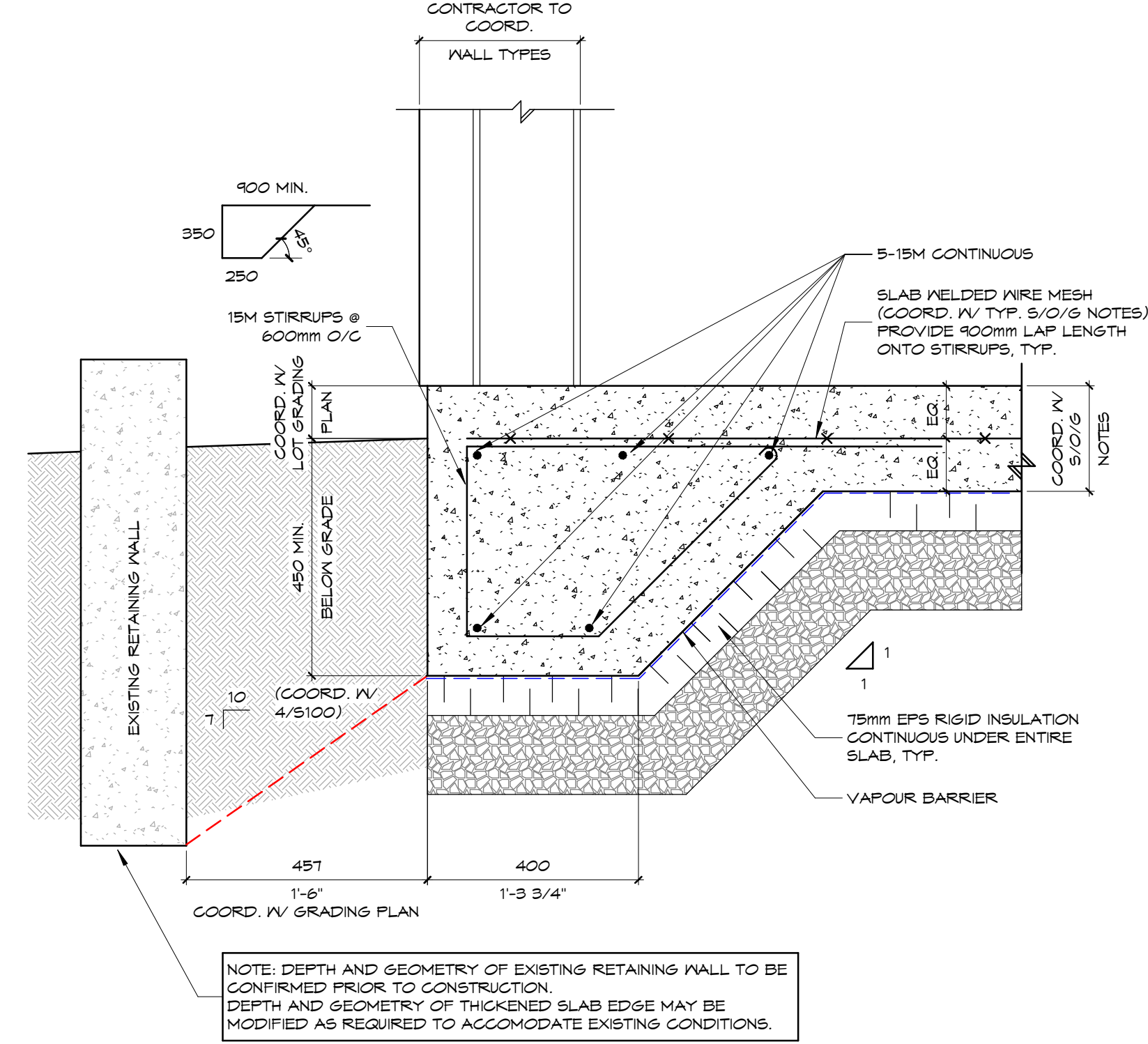
1 FOUNDATION PLAN
SCALE 1 : 25



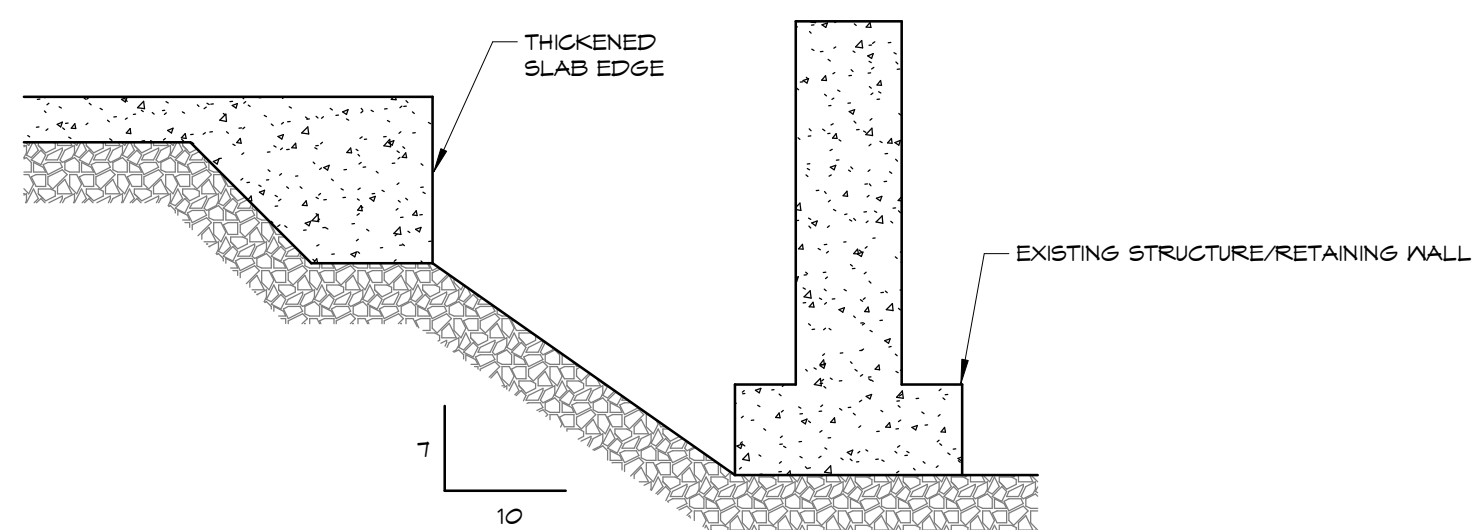
5 CONCRETE WALL REIN.
SCALE 1 : 10



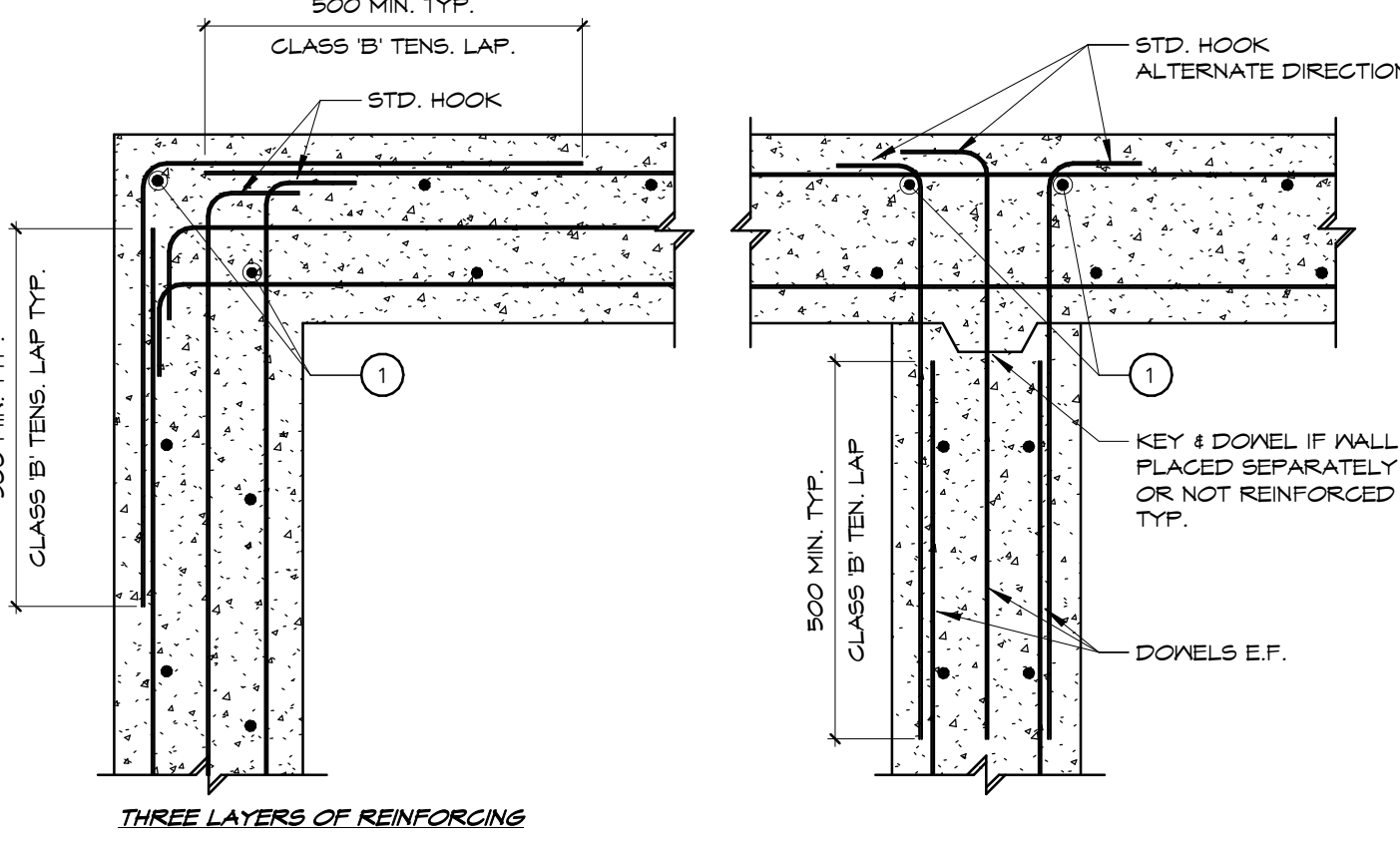
- NOTES:
- 1) DENOTES 2 CORNER BARS SAME SIZE AND SPACING AS LARGEST VERTICAL REINFORCING. ELSEWHERE PROVIDE 2-20M CORNER BARS UNLESS NOTED
 - 2) DONNELS TO BE SAME SIZE AND SPACING AS HORIZONTAL REINFORCING
 - 3) PROVIDE STANDARD HOOKS AS SHOWN



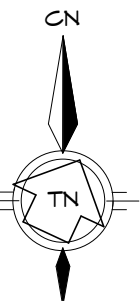
3 THICKENED SLAB EDGE SECTION DETAIL
SCALE 1 : 10



4 TYPICAL FOOTING BEARING DETAIL ADJACENT TO EXISTING STRUCTURE
SCALE 1 : 25



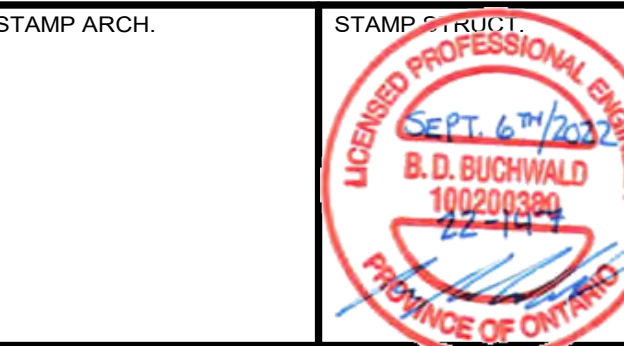
THREE LAYERS OF REINFORCING



DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS.
ALL DWG.'S ARE TO BE READ IN COLOUR
ORIGINAL PAGE SIZE ARCH D' - 24" x 36"



G. DOUGLAS VALLEE LIMITED
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SIMCOE ONTARIO N3Y 3W4
(519) 426-6270



PROJECT TITLE:
CHADWICK SHOP STRUCTURE
1495 OLD BROCK STREET
VITTORIA, ONTARIO
N0E 1W0


DRAWING TITLE:
FOOTING, FOUNDATION, SOG
PLAN

CHECKED BY: B.B.
DRAWING SCALE: As indicated
PROJECT NO.: 22-147

DRAWN BY: A.V.
DRAWING NO.: S100

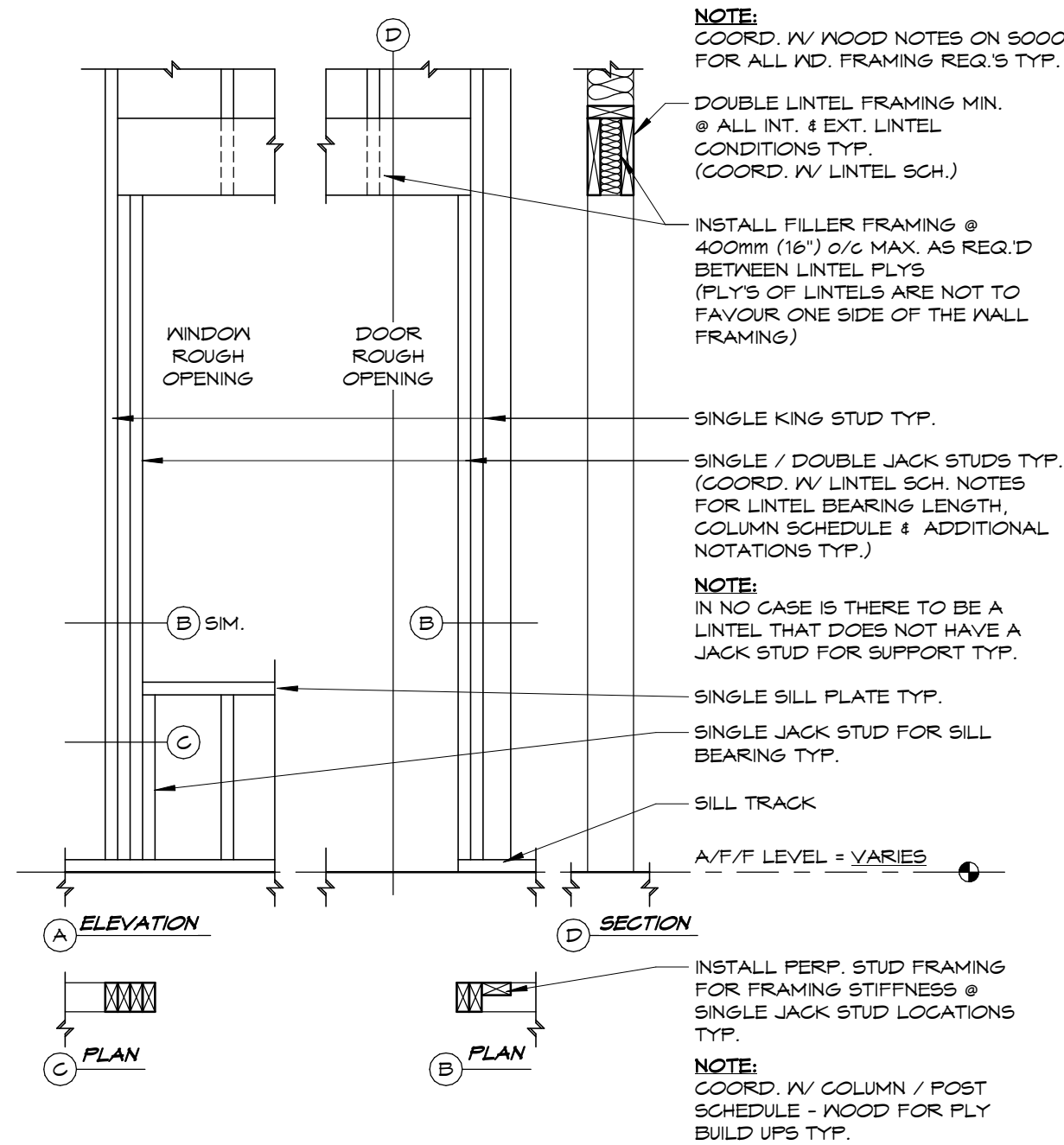
- SHOP DWG.'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)

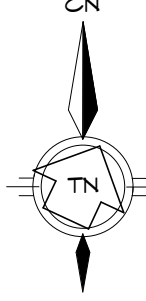


LINTEL NOTES:

- STRUCT. LINTEL (L#) 
- WHERE NOTED, LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED BY ADDITIONAL TRIMMER STUD FASTENED TO COLUMN AS PER TYP. ROUGH OPENING FRAMING
- ALL LINTELS THAT REQ. SPACERS ARE TO BE SPACED THE SAME AS THE WALL TYPE THEY ARE LOCATED IN. SPACERS ARE TO BE INSTALLED BETWEEN THE PLY'S

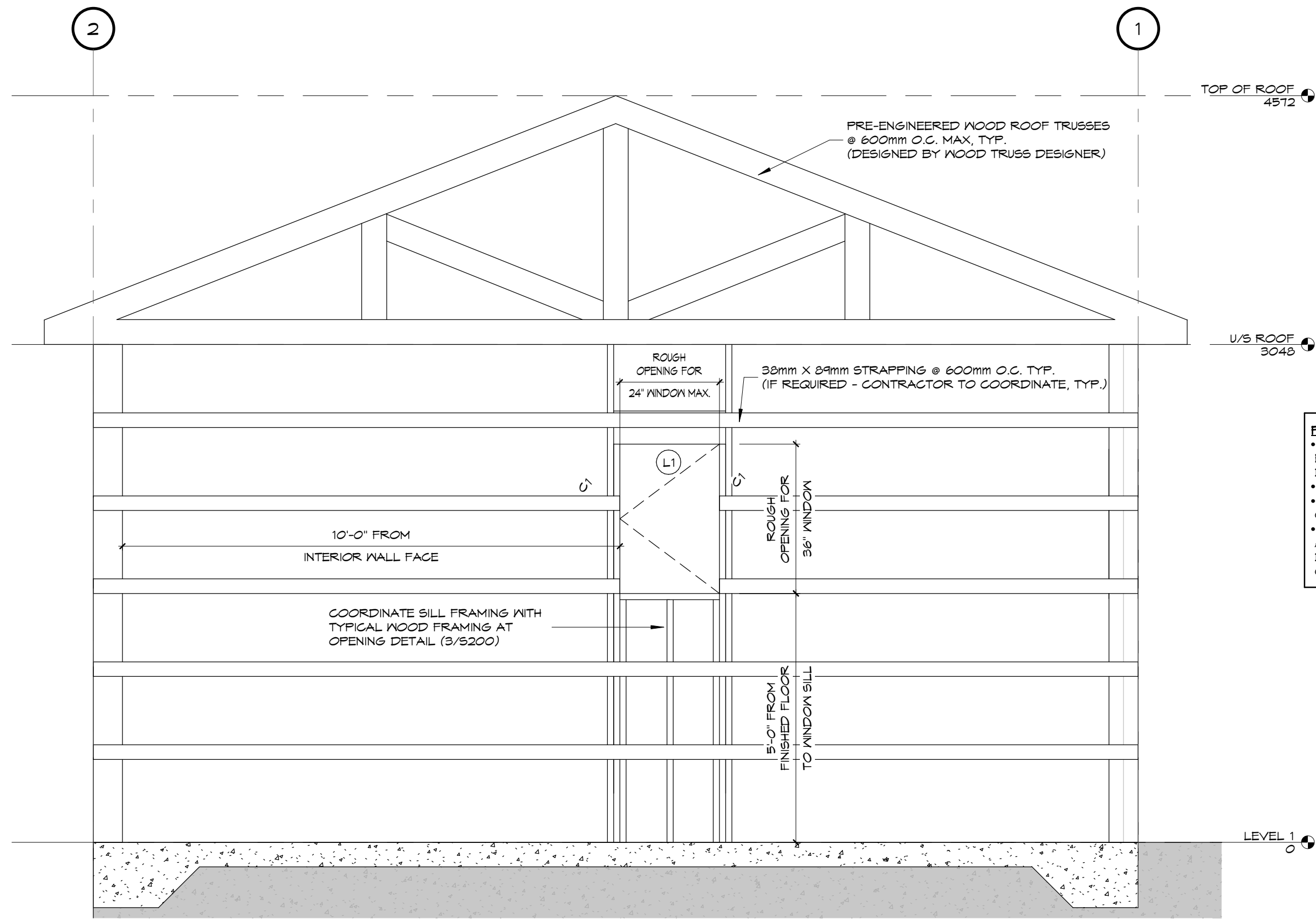
NOTES:

- * CR - BUILT UP COLUMN
- * ALL EXT. EXC'D COLUMNS TO BE PRESSURE TREATED LUMBER (P/T)
- * EXT. EXC'D COLUMNS TO BE ANCHORED TO FDTN. SYSTEM, WALL OR CONCR. ENT. SLAB TYP.
- * VERIFY ANY GIRDER TRUSS PLY IV TRUSS MANUF. b. INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF GIRDER PLYS
- * VERIFY ANY FLR. / ROOF FRAMING POINT LOADS IV FLR. / ROOF TRUSS b. INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF FRAMING PLYS
- * INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLYS OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.
- * ALL BUILT UP COLUMNS TO BE TRANSFERRED TO FDTN. SYSTEMS. INSTALL BUILT UP COLUMNS IN WALL / FLR. SYSTEM(S) SO LOADS ARE TRANSFERRED TO FDTN. SYSTEM BELOW WHETHER SHOWN OR NOT TYP.



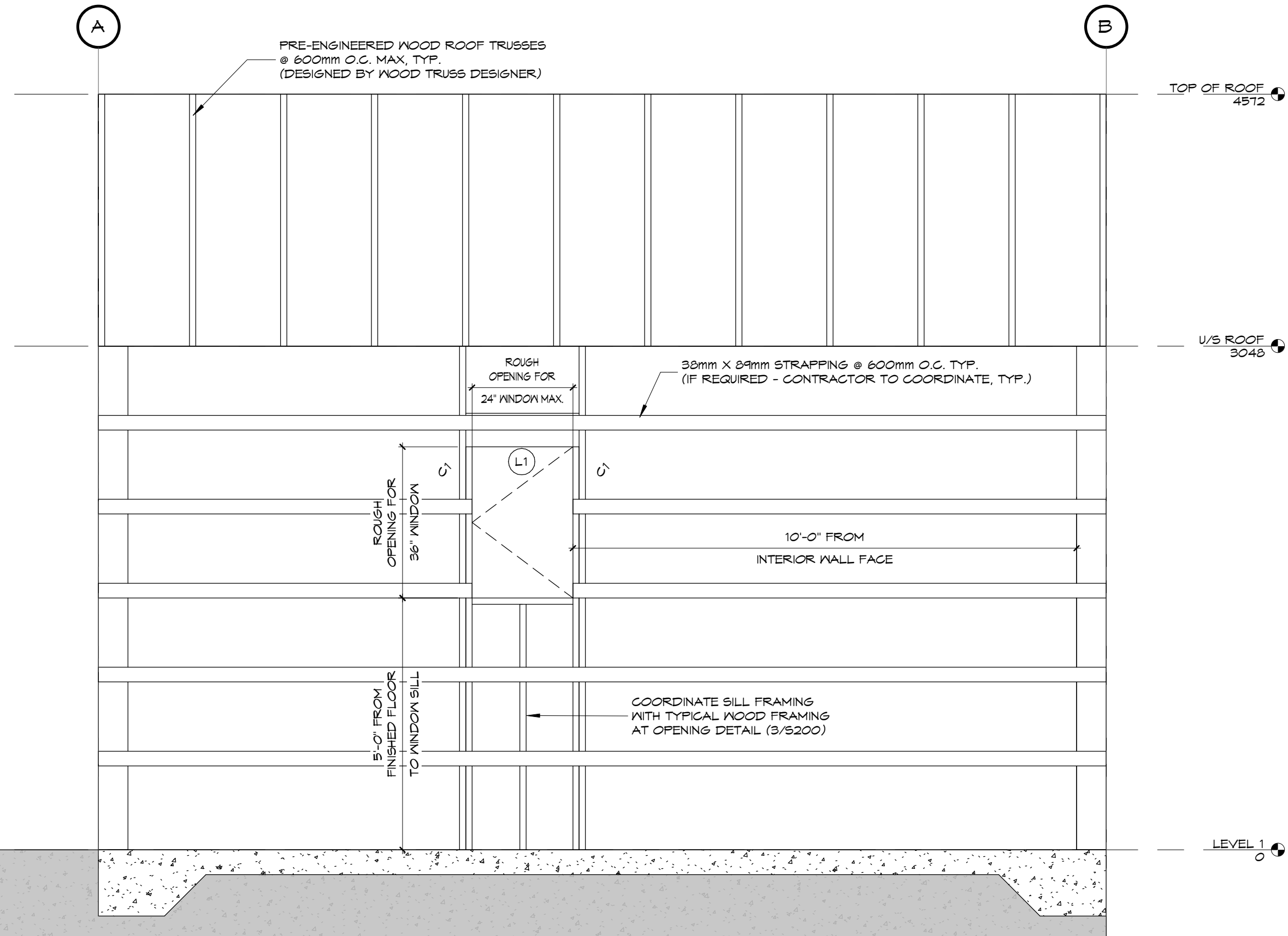
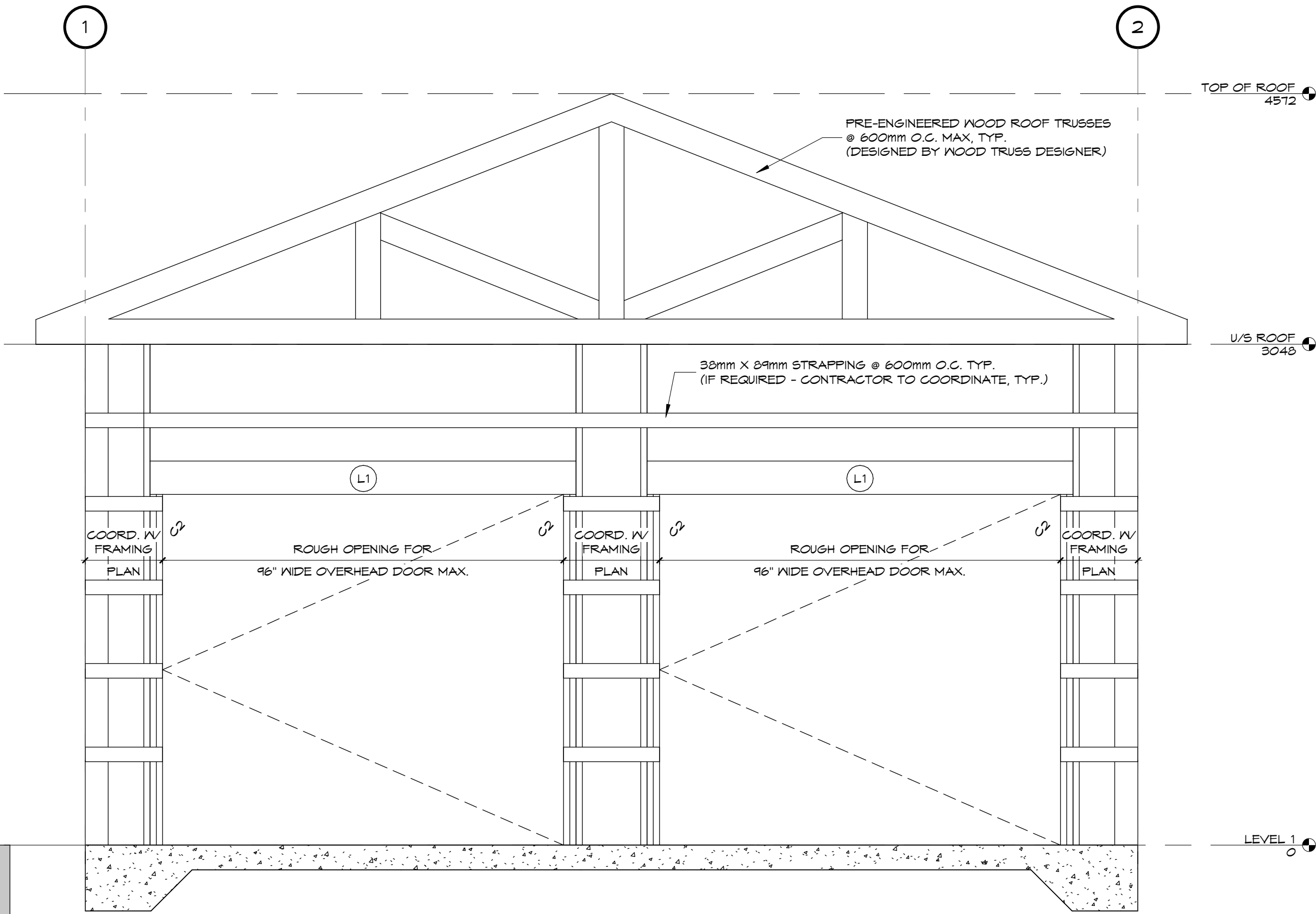
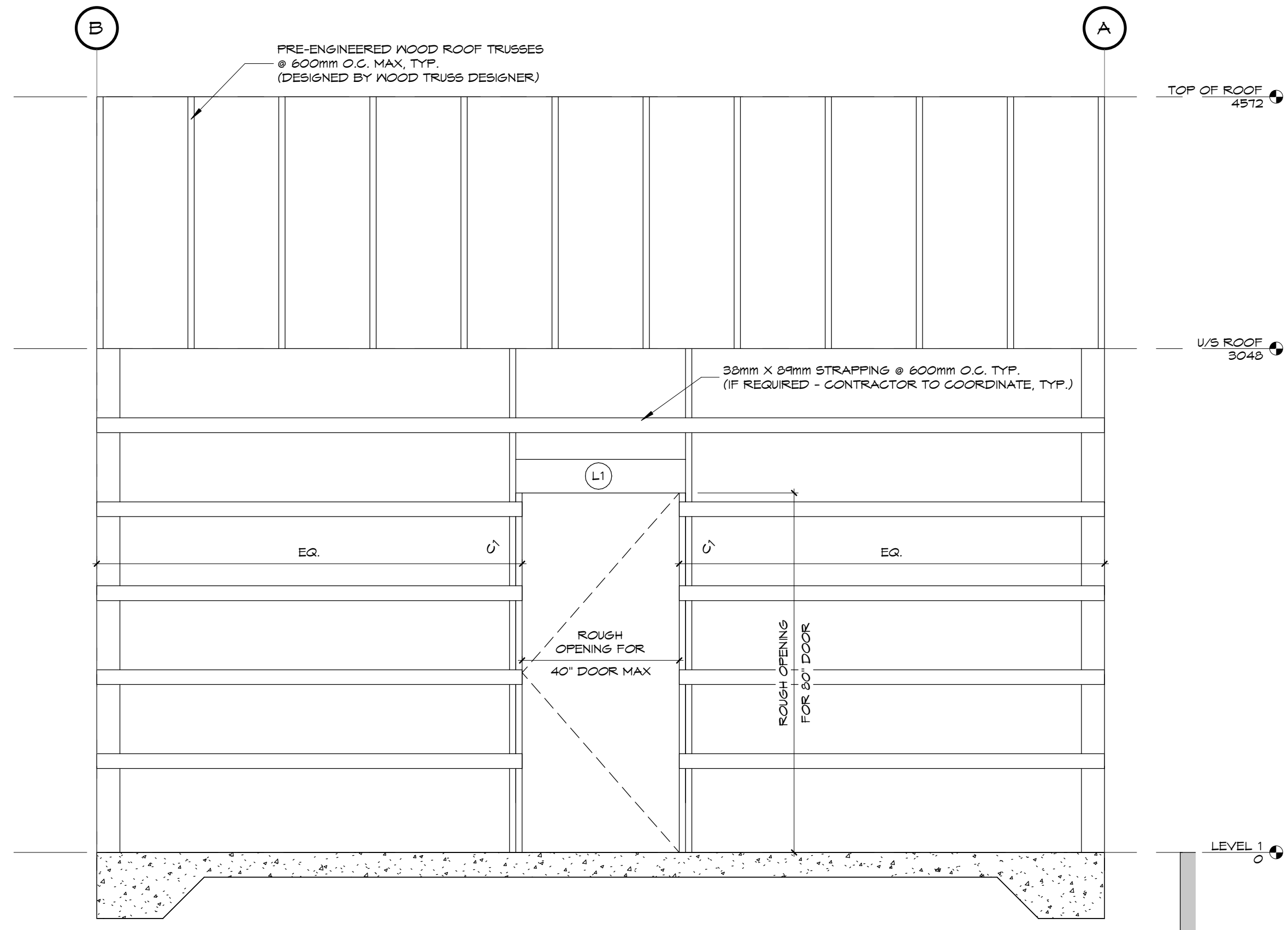
<div style="text-align: center;"><p>DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS</p><p>ALL DWG.'S ARE TO BE READ IN COLOUR</p><p>ORIGINAL PAGE SIZE ARCH 'D' - 24" x 36"</p></div>	
<div style="text-align: center;"><p>vallee</p><p><i>Consulting Engineers, Architects & Planners</i></p><p>G. DOUGLAS VALLEE LIMITED</p><p>2 TALBOT STREET NORTH SIMCOE ONTARIO N3Y 3W4 (519) 426-6270</p></div>	
<div style="text-align: center;">STAMP ARCH.</div>	<div style="text-align: center;">STAMP STRUCT.</div> <div style="text-align: center;"></div>
<p>PROJECT TITLE:</p> <p>CHADWICK SHOP STRUCTURE</p> <p>1495 OLD BROCK STREET VITTORIA, ONTARIO N0E 1W0</p>	
<p>DRAWING TITLE:</p> <p>LEVEL 1 FRAMING PLAN</p>	
<p>CHECKED BY:</p> <p>B.B.</p>	<p>DRAWN BY:</p> <p>A.V.</p>
<p>DRAWING SCALE:</p> <p>As indicated</p> <p>PROJECT NO.:</p> <p>22-147</p>	<p>DRAWING NO.:</p> <p>S200</p>

DATE PLOTTED 9/6/2022 8:27:46 AM PROJECT NUMBER & NAME 22-117 CHADWICK SHOP STRUCTURE FILE PATH: H:\Projects\2022\22-117 Chadwick Shop Structure_VitroliaDrawings\Structural\22-117 Chadwick Shop Structure_Vitrolia.rvt



FRAMING ELEVATION NOTES:

- TRUSSES SHOWN FOR GRAPHIC PURPOSES ONLY, ENGINEERED ROOF TRUSSES TO BE DESIGNED BY TRUSS DESIGNER, TYP.
- CONTRACTOR TO COORDINATE ROOF COMPOSITION, TYP.
- CONTRACTOR TO DETERMINE Lintel ELEVATIONS IN COORDINATION WITH FRAMING PLAN DIMENSIONS AND NOTES.
- ALL OPENING SIZES AND OPENING LOCATION DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH REQUIRED ROUGH OPENING SIZES, WALL COMPOSITION, ETC.



NO.	DATE	ISSUANCE
2	2022.09.06	ISSUED FOR BUILDING PERMIT APPLICATION
1	2022.08.18	ISSUED TO CLIENT FOR REVIEW

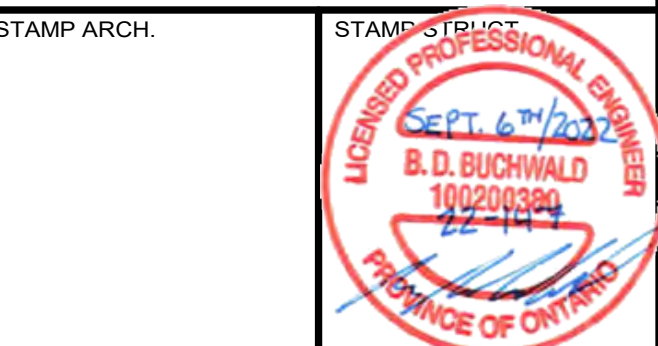
DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS.

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ORIGINAL PAGE SIZE ARCH D' - 24" x 36"



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2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270



PROJECT TITLE:
CHADWICK SHOP STRUCTURE
1495 OLD BROCK STREET
VICTORIA, ONTARIO
N0E 1W0

DRAWING TITLE:
FRAMING ELEVATIONS

CHECKED BY: B.B.	DRAWN BY: A.V.
DRAWING SCALE: 1 : 25	DRAWING NO.:
PROJECT NO.: 22-147	S300



Permit Applicant Authorization

This form must be completed for all building permit applications where the applicant is the Owner's Agent

A. Project Information			
Property Address 1495 OLD Brock ST Victoria		Unit number	Lot/con
Municipality NORFOLK COUNTY	Postal Code N0E 1W0		
B. Property Owner(s)			
Last name DAYE	First name HARRY	Corporation or partnership	
Street address 1495 OLD Brock ST Victoria		Unit number	
Municipality NORFOLK COUNTY	Postal code N0E 1W0	Province ON	E-mail harry.daye@sympatico.ca
Telephone number		Cell number 1-905-715 2738	
C. Party to be Authorized			
Last name Chadwick	First name Dakota	Corporation or partnership DCS Concrete Inc.	
Street address 129 King St East		Unit number 129	
Municipality Haliburton County	Postal code N0A 1H6	Province ON	E-mail dcsconcrete19@gmail.com
Telephone number		Cell number (905)-870-4446	
D. Declaration of Property Owner(s)			
Name of Property Owner(s) (please print) Harry Daye		hereby	
authorize and appoint the party stated in Section C of this form as my agent for the purposes of the submitted permit application. I understand that all communications and correspondence regarding this application shall be directed to the applicant.			
Date Sept 22/2022		Signature of Property Owner(s) Harry Daye	

Note:

- The Ontario Building Code states that "owner includes, in respect of the property on which the construction or demolition will take place, the registered owner, a lessee or mortgagee in possession".

Personal information contained in this form is collected under the authority of Subsection 81(1) of the Building Code Act, 1992 and will be used in the administration and enforcement of the Building Code Act, 1992.



APPLICABLE LAW CHECKLIST

The Building Code Act prohibits the issuance of a building permit if the proposed construction or demolition will contravene an applicable law as defined by the Building Code. The questions below will help you to determine if an applicable law applies to your project. No timeframe for building permit review can be established until all required applicable law approvals are completed and the approval documents are submitted to the Building Division.

If the answer is YES to any question, the relevant approval documents must be submitted with this permit application. Where any required approval has NOT been obtained, the agencies listed on the back of this form must be contacted to obtain approval, and the declaration on the bottom of this form must state accordingly.

Property Address: 1495 Beach Old Brock St Utterby Permit Number (office use) _____

Zoning By-Laws – Norfolk County Planning Department	YES	NO
Is/was relief required to permit a minor zoning variance in your proposal?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is/was rezoning required to permit the proposed building or land use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is a land division or subdivision required and not yet fully completed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are municipal services required but not yet completed or available?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Planning Approval - Norfolk County Planning Department	YES	NO
Is this property regulated by Site Plan Control under Section 41 of the Planning Act?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Heritage - Norfolk County Heritage and Culture Department	YES	NO
Are you demolishing a building that is listed on the County's heritage inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the building designated or in the process of being designated?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property located in a heritage district or study area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Construction and Fill Permits – Long Point Regional or Grand River Conservation Authority	YES	NO
Is the property located within a regulated area (i.e. abutting a ravine, watercourse, wetland, or shoreline)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building and Land Use Permits - Ontario Ministry of Transportation	YES	NO
Is the property within 45m of a highway or 180 m from any highway intersection?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property within 395m of a controlled highway intersection? (applies to Sign Permits)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is this a major traffic generating project located within 800m of a highway?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Clean Water Act – Public Works	YES	NO
Is the property located within a Source Water Protection regulated area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes: does a Water Source Protection Plan restrict the land use you are proposing? (s.59 screening form may be required)	<input type="checkbox"/>	<input type="checkbox"/>

Community Development Division- Building Department

185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 • 519-426-5870 Ext. 6016

Agriculture and Farms - Ontario Ministry of Agriculture and Food	YES	NO
Is this a farm building that will house animals or manure?		✓
Is this a milk processing plant?		✓

Crown Lands Work Permit - Ministry of Natural Resources	YES	NO
Are you proposing to construct or place a structure or combination of structures that are in physical contact with more than 15 square meters of shore lands?		✓
Are you proposing to build on Crown Land?		✓

Electrical Conductor Clearances - Electrical Safety Authority	YES	NO
Are any overhead power lines located above or within 5.5 metres of the proposed building?	✓	

Environmental Approvals - Ministry of Environment, Conservation, Parks	YES	NO
Is a Record of Site Condition required to be filed because of a change to more sensitive land use? Is the property a former waste disposal site?		✓
Is this project a major industrial, commercial, or government project?		✓
Is this a renewable energy project?		✓
Does this property have a Certificate of Property Use under the Environmental Protection Act?		✓

Child Care Centres - Ministry of Education	YES	NO
Is a daycare proposed in any part of the building?		✓

Seniors Centres - Ministry of Children, Community and Social Services	YES	NO
Is this a seniors project where Ontario Government funding is being sought?		✓

Long Term Care Centres - Ministry of Health & Long Term Care	YES	NO
Construction, alteration or conversion of building used for a nursing home?		✓

Education Act - Ministry of Education	YES	NO
Is the project being carried out on the property of an educational facility?		
If so, is any or all building on the property being fully or partially demolished?		

DECLARATION - I have considered the list of applicable laws in the Ontario Building Code as described above, and do hereby declare that:

<input type="checkbox"/>	None of these applicable law approvals apply to this project
<input type="checkbox"/>	Applicable laws checked 'yes' apply to this project, and approval documents are submitted with this application.
<input type="checkbox"/>	Applicable laws checked 'yes' apply to this project; however, all approval documents have not yet been obtained

The information provided on this form is true to the best of my knowledge. I have authority to act on behalf of the owner, corporation, or partnership with respect to this application (if applicable).

Name: Dakota Chadwick Signature: Dakota Chadwick Date: Sept 14/2022

Community Development Division - Building Department

185 Robinson Street Suite 200, Simcoe, ON N3Y 5L6 • 519-426-5870 Ext. 6016

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act, 1992

For use by Principal Authority

Application number:

Permit number (if different):

Date received:

Roll number:

Application submitted to: **Norfolk County**

(Name of municipality, upper-tier municipality, board of health or conservation authority)

A. Project Information

Building number, street name

Unit number

Lot/con.

1495 old brock street

Municipality

Postal code

Plan number/other description

Norfolk County

N0E 1W0

Project value est. \$

Area of work (m²)

\$22,000

50

B. Purpose of application



New construction



Addition to an existing building



Alteration/repair



Demolition



Conditional Permit

Proposed use of building

Current use of building

Shop/Garage

Description of proposed work

Pour a 20x21 slab on grade and construction a building msde out of wood.

C. Applicant

Applicant is:



Owner or



Authorized agent of owner

Last name

First name

Corporation or partnership

Chadwick

Dakota

Corporation

Street address

Unit number

Lot/con.

129 king street east

Municipality

Postal code

Province

E-mail

haldimand county

N3P1C3

Ontario

_dcsconcrete181@gmail.com

Telephone number

Fax

Cell number

2896920955

D. Owner (if different from applicant)

Last name

First name

Corporation or partnership

Harry

Daye

Street address

Unit number

Lot/con.

1495 old brock street

Municipality

Postal code

Province

E-mail

Norfolk County

N0E1W0

Ontario

harry.daye021@sympatico.ca

Telephone number

Fax

Cell number

9057152738

E. Builder (optional)

Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number	Fax	Cell number		

F. Tarrion Warranty Corporation (Ontario New Home Warranty Program)

- i. Is proposed construction for a new home as defined in the *Ontario New Home Warranties Plan Act*? If no, go to section G. ☐ Yes ☒ No
- ii. Is registration required under the *Ontario New Home Warranties Plan Act*? ☐ Yes ☒ No
- iii. If yes to (ii) provide registration number(s): PRBP20221058

G. Required Schedules

i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.

ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.

H. Completeness and compliance with applicable law

- i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the *Building Code* (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). ☒ Yes ☐ No
 Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the *Building Code Act, 1992*, to be paid when the application is made. ☒ Yes ☐ No
- ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the *Building Code Act, 1992*. ☒ Yes ☐ No
- iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the *Building Code Act, 1992* which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law. ☒ Yes ☐ No
- iv) The proposed building, construction or demolition will not contravene any applicable law. ☒ Yes ☐ No

I. Declaration of applicant

Dakota Chadwick declare that:
 (print name)

1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.

June 12/2022 Dakota Chadwick
 Date Signature of applicant

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, M5G 2E5 (416) 585-6666.



The Corporation of Norfolk County

By-Law 2017-04

Lot Grading and Drainage

THIS FORM IS TO BE SUBMITTED WITH EVERY LOT GRADING PLAN

Municipal Address: 1495 Old Brock Street, Vittoria

And/or

PIN: _____

SELECT THE **ONE** PURPOSE FOR SUBMITTING THIS FORM:

☒ Proposed Grading Plan for Infill Lot:

I, John Iezzi, P. Eng., a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan provides drainage in accordance with the Ontario Building Code and applicable Municipal regulations for the works to be constructed that are the subject of the Building Permit Application to which this is attached.

☐ Proposed Grading Plan within a Plan of Subdivision:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Master Grading Plan in the Plan of Subdivision Master Grading Plan, registered as:

_____(common
name of the Plan of Subdivision and Registration Number).

- ☐ Final Grading Plan for Infill Lot that fully conforms with the Proposed Grading Plan:

I, _____, a Qualified Person, submit the attached Final Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Proposed Grading Plan for the referenced property.

- ☐ Final Grading Plan for Infill Lot that does not fully conform with the Proposed Grading Plan:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Final Grading Plan does not fully conform with the Proposed Grading Plan for the referenced property. I further attest that the grading depicted in the Final Grading Plan provides adequate drainage in accordance with prevailing Acts, Regulations and by-laws.

- ☐ Final Grading Plan in a Plan of Subdivision that conforms with the Proposed Grading Plan to the extent described in Section 5 of the By-Law:

I, _____, a Qualified Person, submit the attached Final Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Proposed Grading Plan for the referenced property.

- ☐ Final Grading Plan in a Plan of Subdivision that does not fully conform with the Proposed Grading Plan to the extent described in Section 5 of the By-Law:

I, _____, the Qualified Person that designed the Master Grading Plan, under my seal confirm that the Final Grading Plan does not fully conform with the Master Grading Plan for the referenced property as described in Clause 5.3 of the By-Law. I further attest that the grading depicted in the Final Grading Plan provides adequate drainage in accordance with prevailing Acts, Regulations and by-laws.

- ☐ Exemption from Submission of Grading Plans (Must be obtained prior to making a Building Permit Application):

I, _____, a Qualified Person, under my seal, confirm that the existing property qualifies for a Lot Grading Plan exemption as described in the By-Law and that this property provides drainage in accordance with the Ontario Building Code and all other prevailing Acts, Regulations and by-laws for the works to be constructed that are the subject of the Building Permit Application attached hereto, and no changes will be made to the existing grading for the construction of those works.

Or:

I, _____, the (agent) or (owner) request that the County review the proposed works as described in the attached information which is to be the subject of a future Building Permit application and the County advise if this meets the requirements for an exemption for the submission of Proposed and Final Grading Plans. I understand that any fees provided to the County for this review are non-refundable, whether or not the exemption is granted and that in requesting this exemption, confirm that the works that are the subject of this application is eligible for an exemption under the By-Law.

Exemption is granted by (Print name): _____
(Sign name): _____ (County Staff), and this form may be provided with the supporting documentation submitted for the exemption with a Building Permit application consistent with the information in the Exemption Request.

Exemption is denied by (Print name): _____
(Sign name): _____ (County Staff). Proposed and Final Grading Plans must be submitted with the Building Permit application.

IN ANY INSTANCE ABOVE NOTING "UNDER MY SEAL", AFFIX SEAL BELOW:



SEAL (Qualified Person)

(Sign and date over the seal)

Name: John Iezzi, P.Eng.

License Number: 100189485

This form approved by the County Official under delegated authority under Norfolk County By-Law 2017-04

COMMITMENT TO GENERAL REVIEWS BY ARCHITECT AND ENGINEERS

THIS FORM TO BE COMPLETED BY THE OWNER OR OWNER'S AUTHORIZED AGENT, AND SIGNED BY ALL CONSULTANTS RETAINED FOR GENERAL REVIEWS

Part A - Owner's Undertaking

Permit Application No.

Project Description:

CHADWICK SHOP STRUCTURE

Address of Project:

1495 OLD BROCK STREET, VICTORIA, ON NOE 1W0

Municipality:

NORFOLK COUNTY

WHEREAS the Ontario Building Code requires that the project described above be designed and reviewed during construction by an architect, professional engineer or both that are licensed to practice in Ontario;

NOW THEREFORE the Owner, being the person who intends to construct or have the building constructed hereby warrants that:

1. The undersigned architect and/or professional engineers have been retained to provide general reviews of the construction of the building to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of a building permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers Ontario (PEO);
2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official, and
3. Should any retained architect or professional engineer cease to provide general reviews for any reason during construction, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption during construction.

The undersigned hereby certifies that he/she has read and agrees to the above

Name of Owner:

HARRY DAVE

Date:

Address of Owner:

1495 OLD BROCK STREET, VICTORIA, ON NOE 1W0

Telephone:

Signature of Owner (or officer of corporation):

Print Name:

Fax:

Coordinator of the work of all consultants:

Telephone:

Address:

Fax:

Part B - Consultants

The undersigned architect and/or professional engineer(s) hereby certify that they have been retained to provide general reviews of the parts of construction of the building indicated, to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of a building permit, in accordance with the performance standards of the OAA and/or PEO.

SHADED PORTION TO BE COMPLETED BY CONSULTANTS

<input type="checkbox"/> ARCHITECTURAL	<input checked="" type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
Consultant Name:	Signature:	Print Name:	Date:		
G. DOUGLAS VALLEE LIMITED		BEN BUCHWALD	SEPT. 07/22		
Telephone:	Fax:	Address:			
519 426 6270		2 TALBOT STREET NORTH, SIMCOE, ON N3Y 3W4			

<input type="checkbox"/> ARCHITECTURAL	<input type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
Consultant Name:	Signature:	Print Name:	Date:		
Telephone:	Fax:	Address:			

<input type="checkbox"/> ARCHITECTURAL	<input type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
Consultant Name:	Signature:	Print Name:	Date:		
Telephone:	Fax:	Address:			

<input type="checkbox"/> ARCHITECTURAL	<input type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
Consultant Name:	Signature:	Print Name:	Date:		
Telephone:	Fax:	Address:			



Norfolk County
185 Robinson Street
Suite 100
Simcoe ON N3Y 5L6

RECEIPT OF PAYMENT

Page 1

CHADWICK

Receipt Number: 238842

Tax Number:

Date: September 26, 2022

Initials: AF

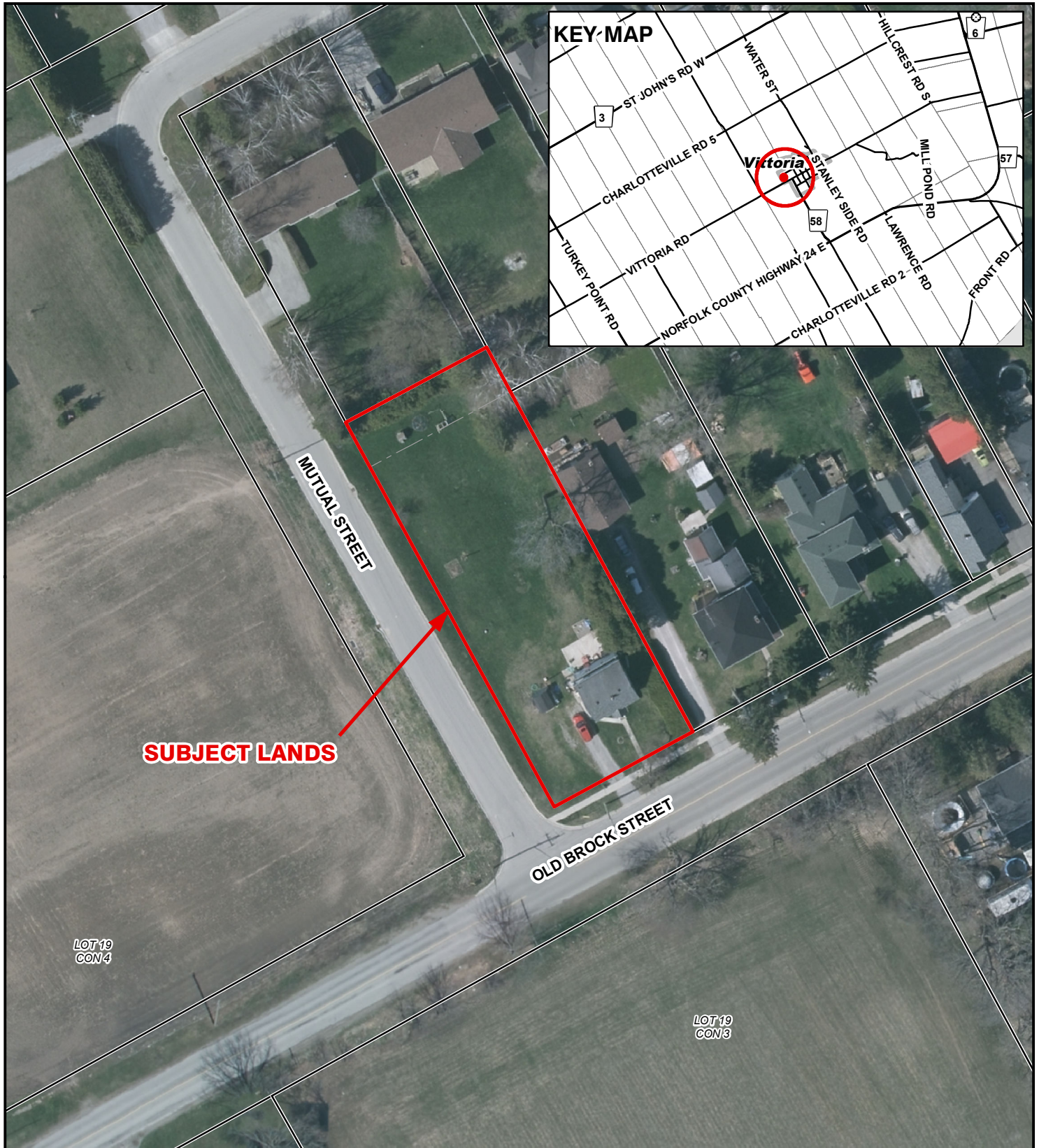
Type	Account / Ref. #	Description	Quantity	Amount Paid
General	DBLDG	PRBD20221058	N/A	\$556.00
Subtotal:				\$556.00
Taxes:				\$0.00
Total Receipt:				\$556.00
*General-Visa:				\$556.00

Credit Card: Deposit 2801


Total Amount Received:	\$556.00
Rounding:	\$0.00
Amount Returned:	\$0.00

MAP A
CONTEXT MAP
Geographic Township of CHARLOTTEVILLE

ANPL2022339

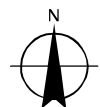


Legend

 Subject Lands

2020 Air Photo

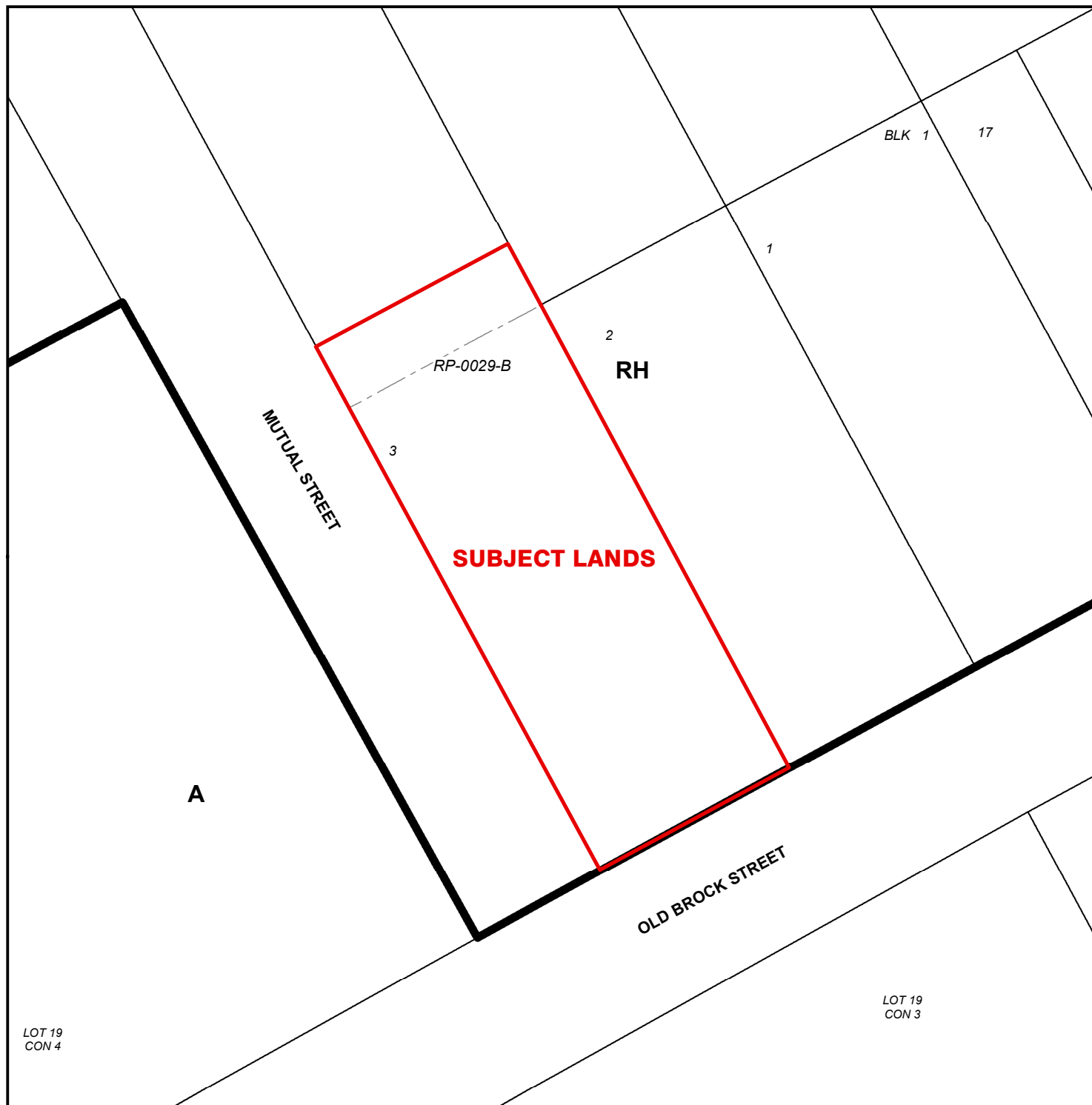
11/23/2022




7 3.5 0 7 14 21 28 Meters

MAP B
ZONING BY-LAW MAP
Geographic Township of CHARLOTTEVILLE

ANPL2022339



LEGEND

 Subject Lands

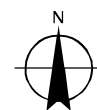
ZONING BY-LAW 1-Z-2014

11/23/2022

(H) - Holding

A - Agricultural Zone

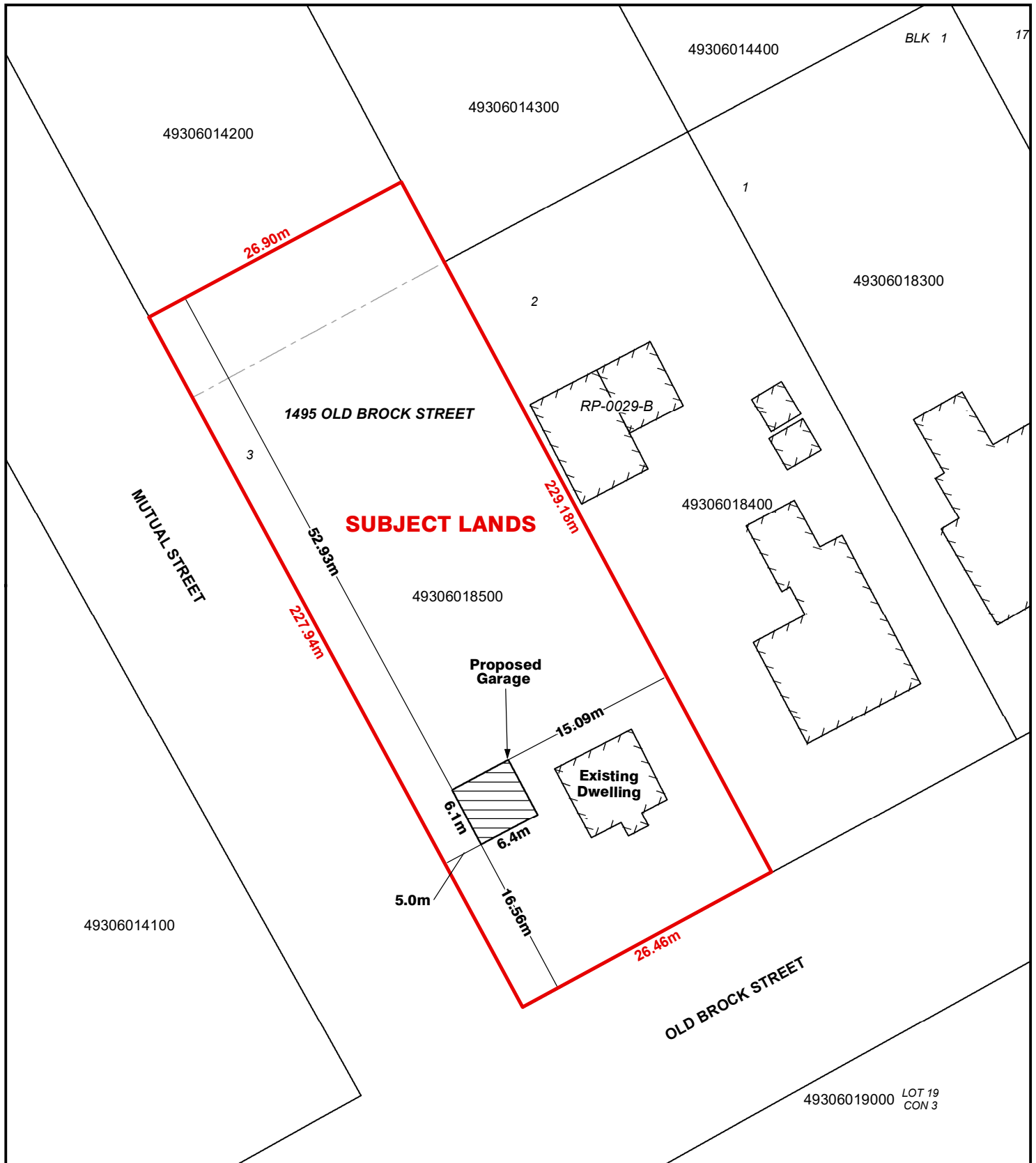
RH - Hamlet Residential Zone



5.5 2.75 0 5.5 11 16.5 22 Meters

CONCEPTUAL PLAN

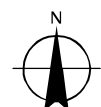
Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

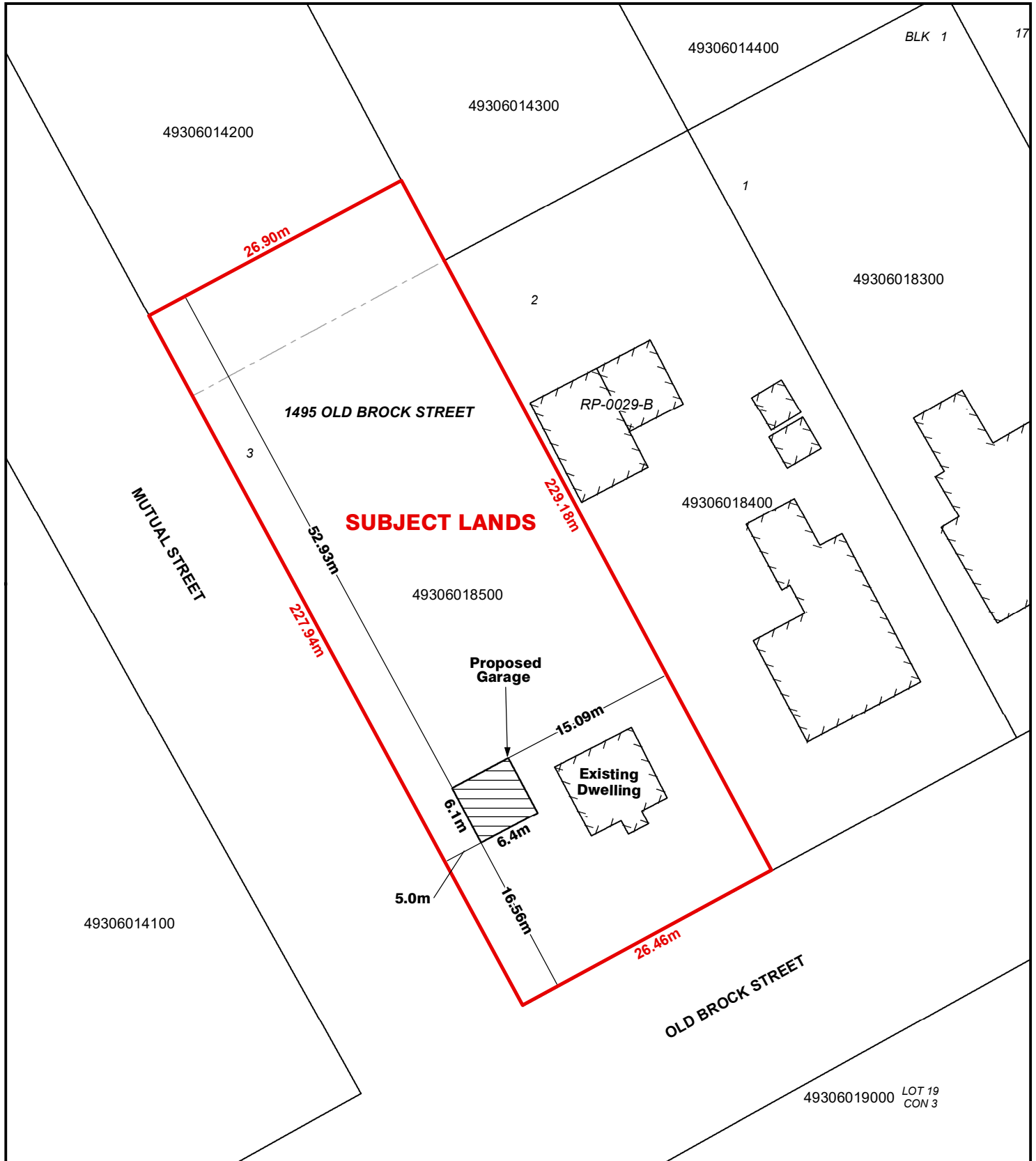
11/23/2022



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CONCEPTUAL PLAN

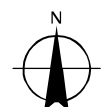
Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

11/23/2022



4 2 0 4 8 12 16 Meters