

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____**Town and Postal Code** _____**Phone Number** _____**Cell Number** _____**Email** _____**Name of Applicant** _____**Address** _____**Town and Postal Code** _____**Phone Number** _____**Cell Number** _____**Email** _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

Owner/Applicant/Agent Signature

21NOV2022

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Kimberley A Smith of Simcoe, Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

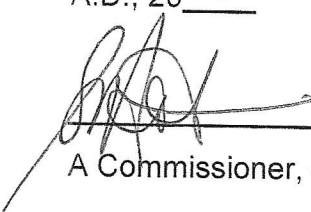
Declared before me at:

NORFOLK COUNTY

In Simcoe, Ontario

This 28th day of November

A.D., 2022


A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023


Owner/Applicant/Agent Signature

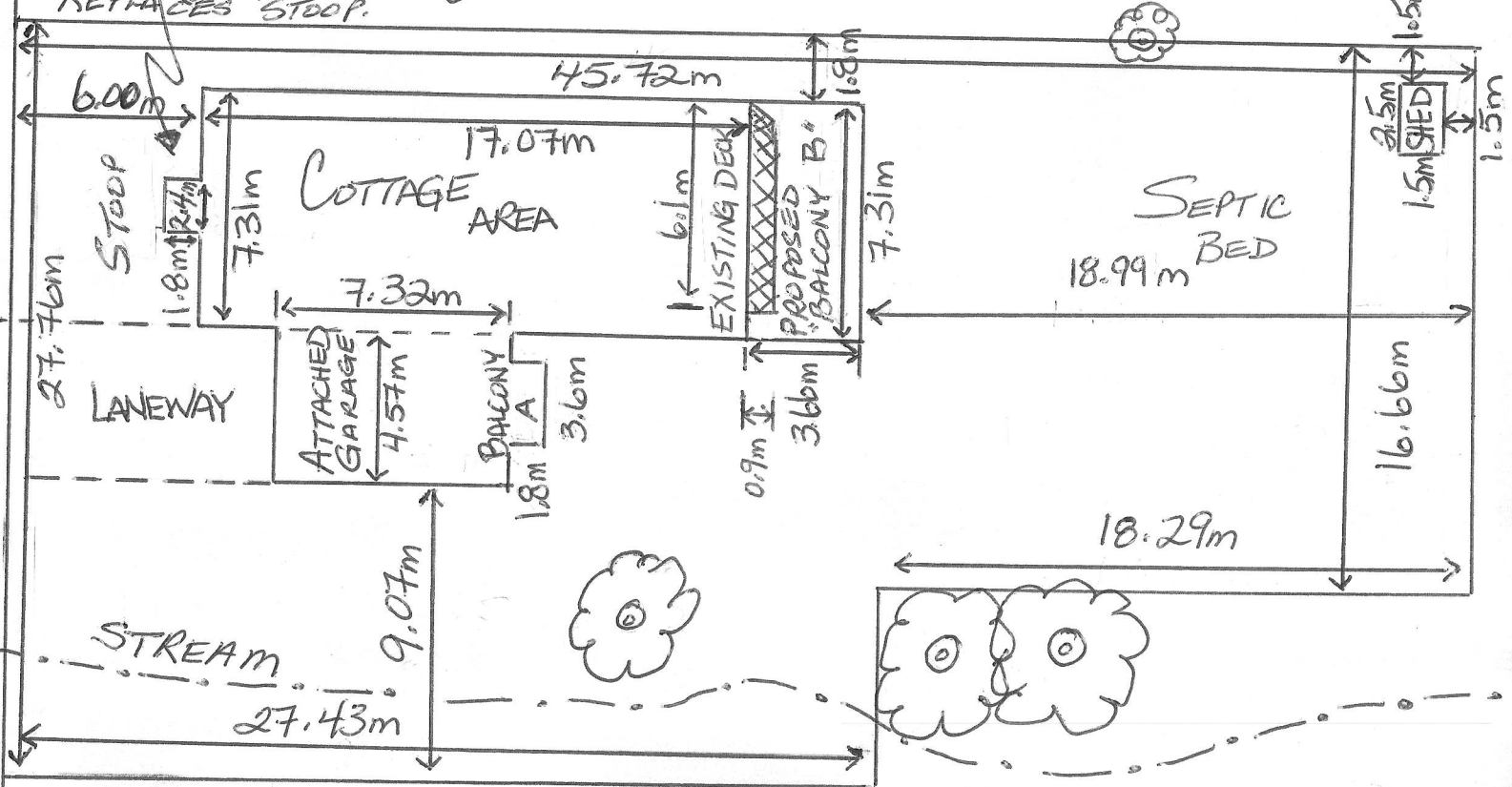
RIDGEWOOD DRIVE

LOCATION OF FUTURE
POSSIBLE WEST
ENTRY PORCH
(2.44 X 3.66m)
REPLACES STOOP.

EXISTING COTTAGE AREA = 174.52 m^2

PROPOSED COTTAGE AREA = 207.02 m^2

EXISTING LOT AREA = 928.94 m^2
(EXISTING ACCESSORY BUILDING AREA = 3.75 m^2)



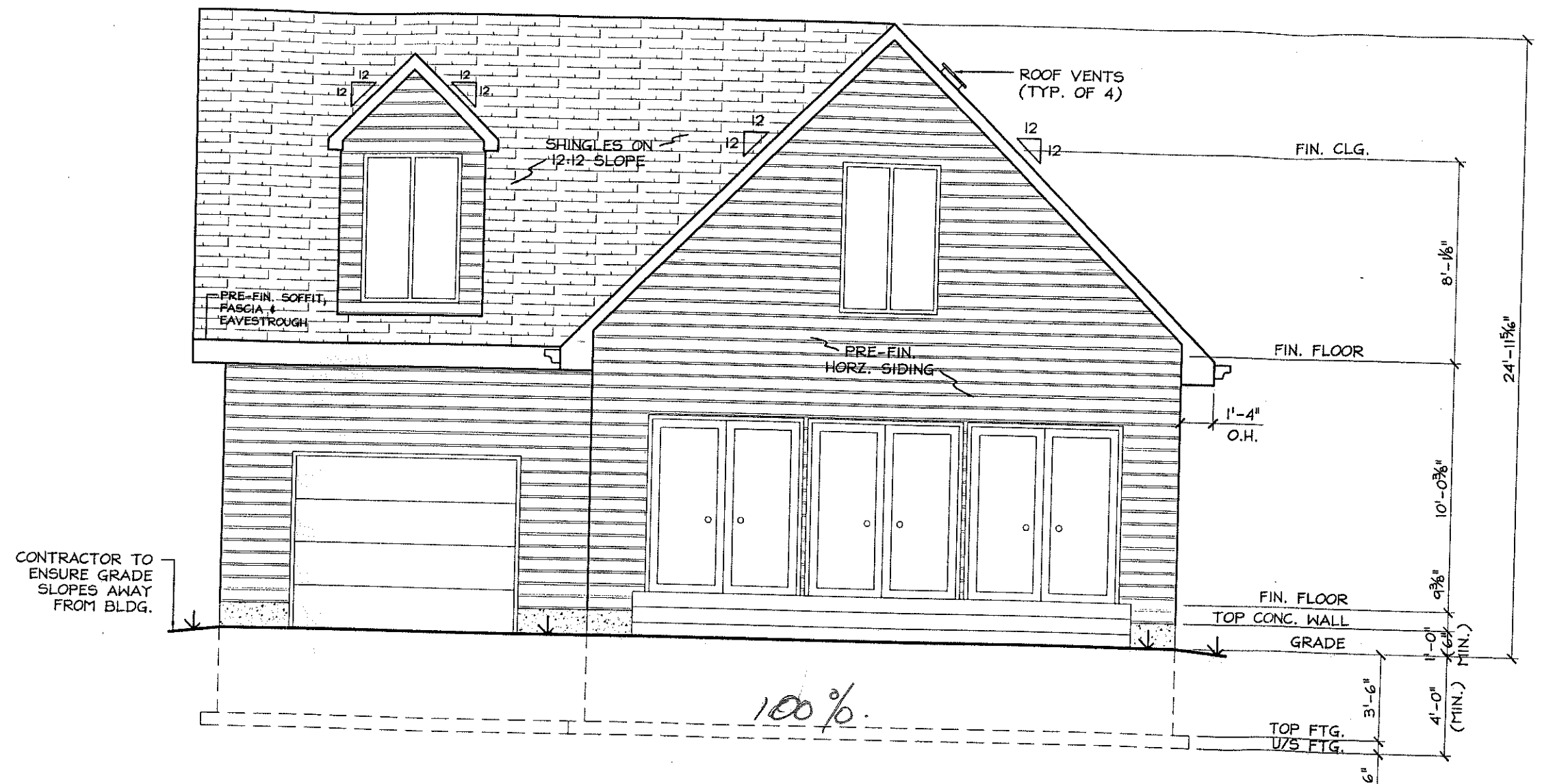
LOT 17, R.P. 344

15 DECEMBER 2022

20 RIDGEWOOD DR., TURKEY POINT

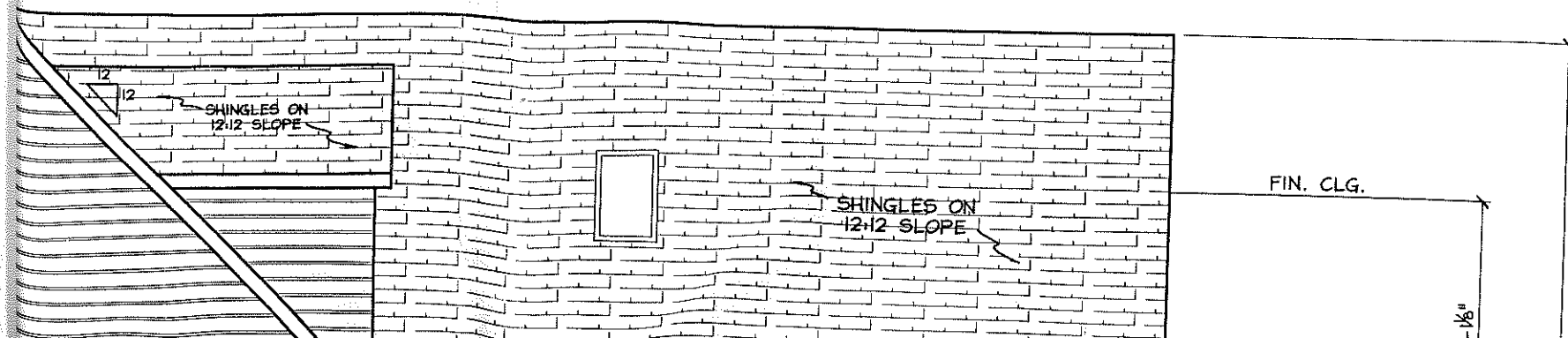
KIMBERLEY & REGINALD SMITH

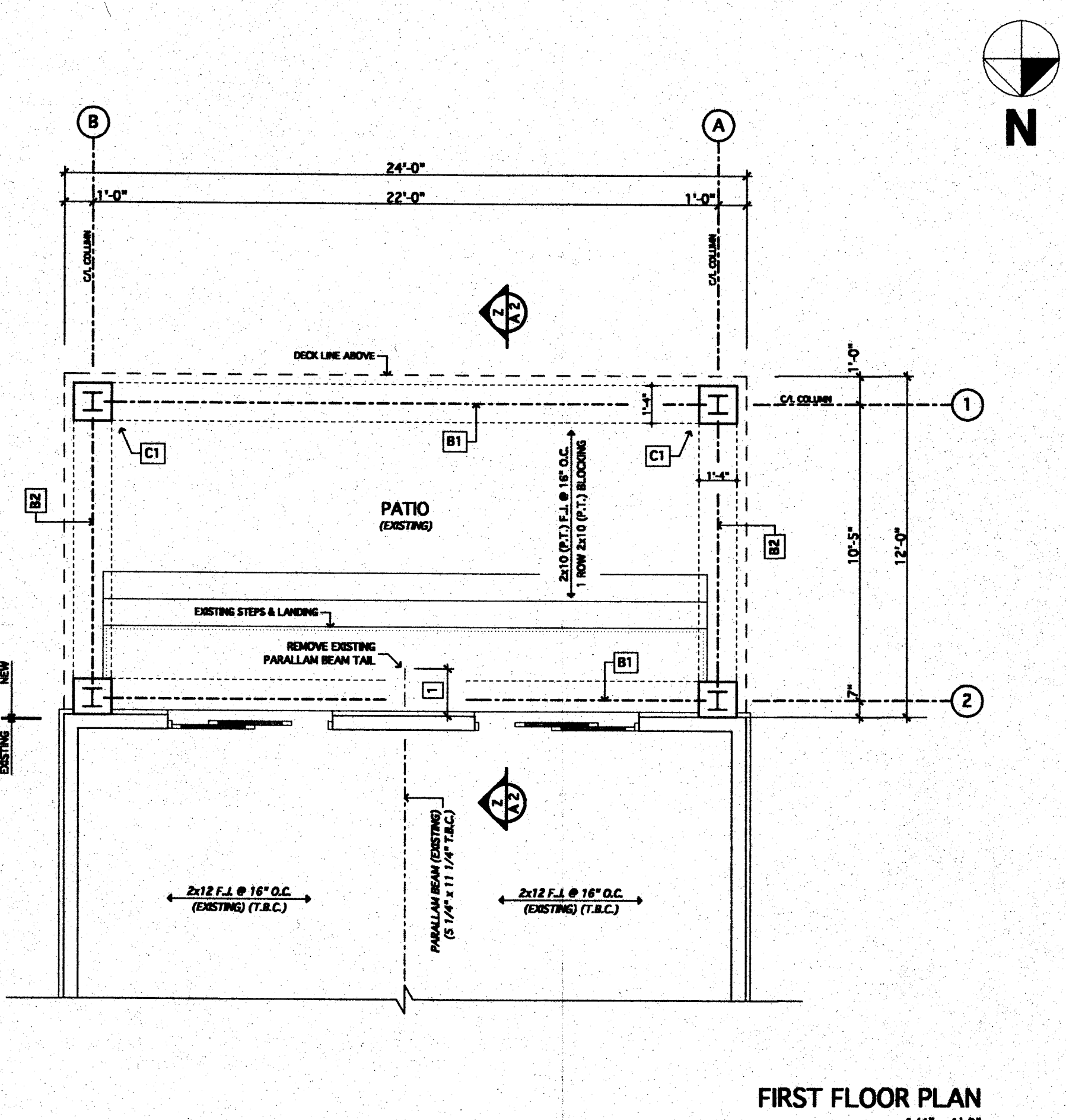
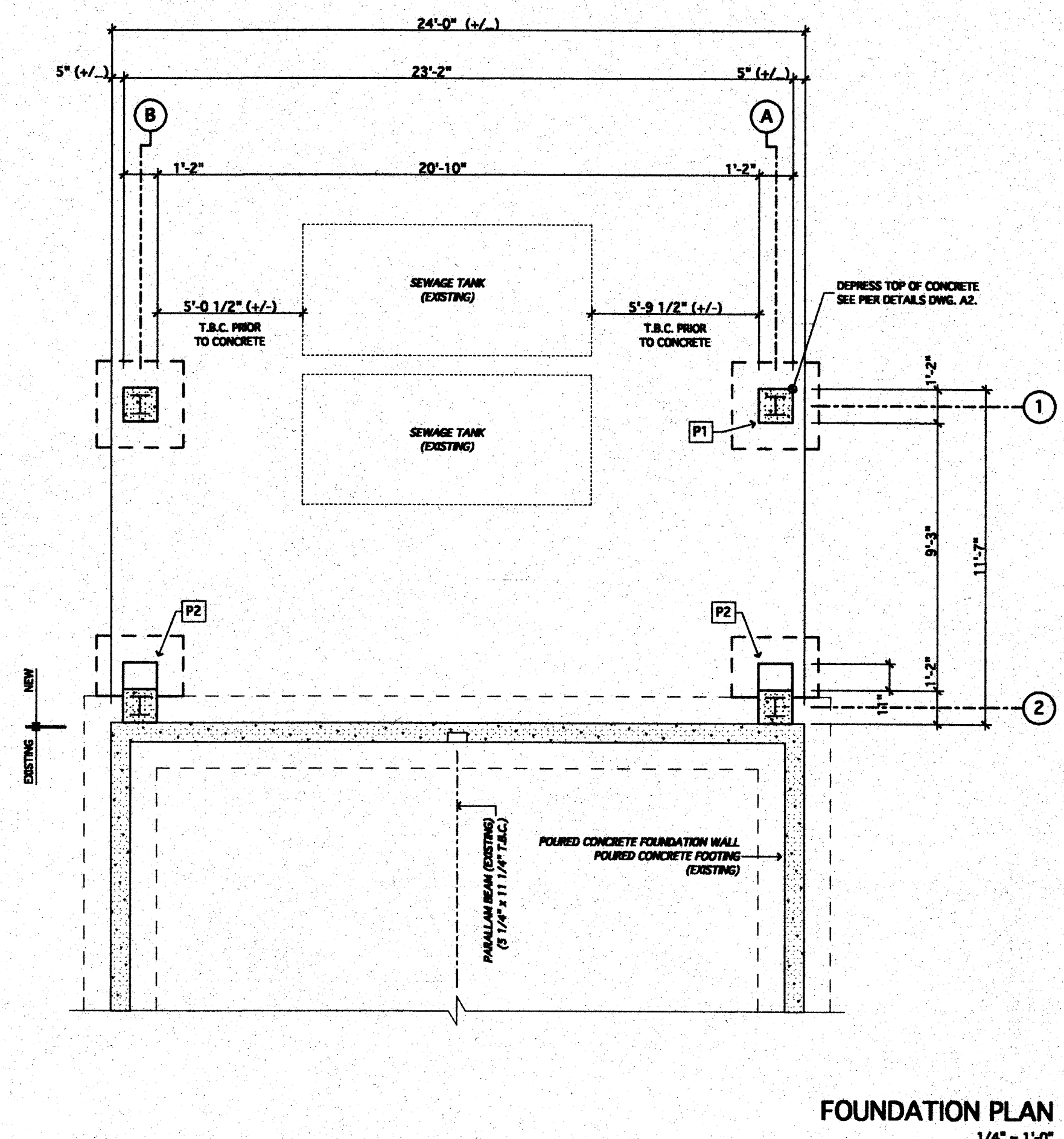
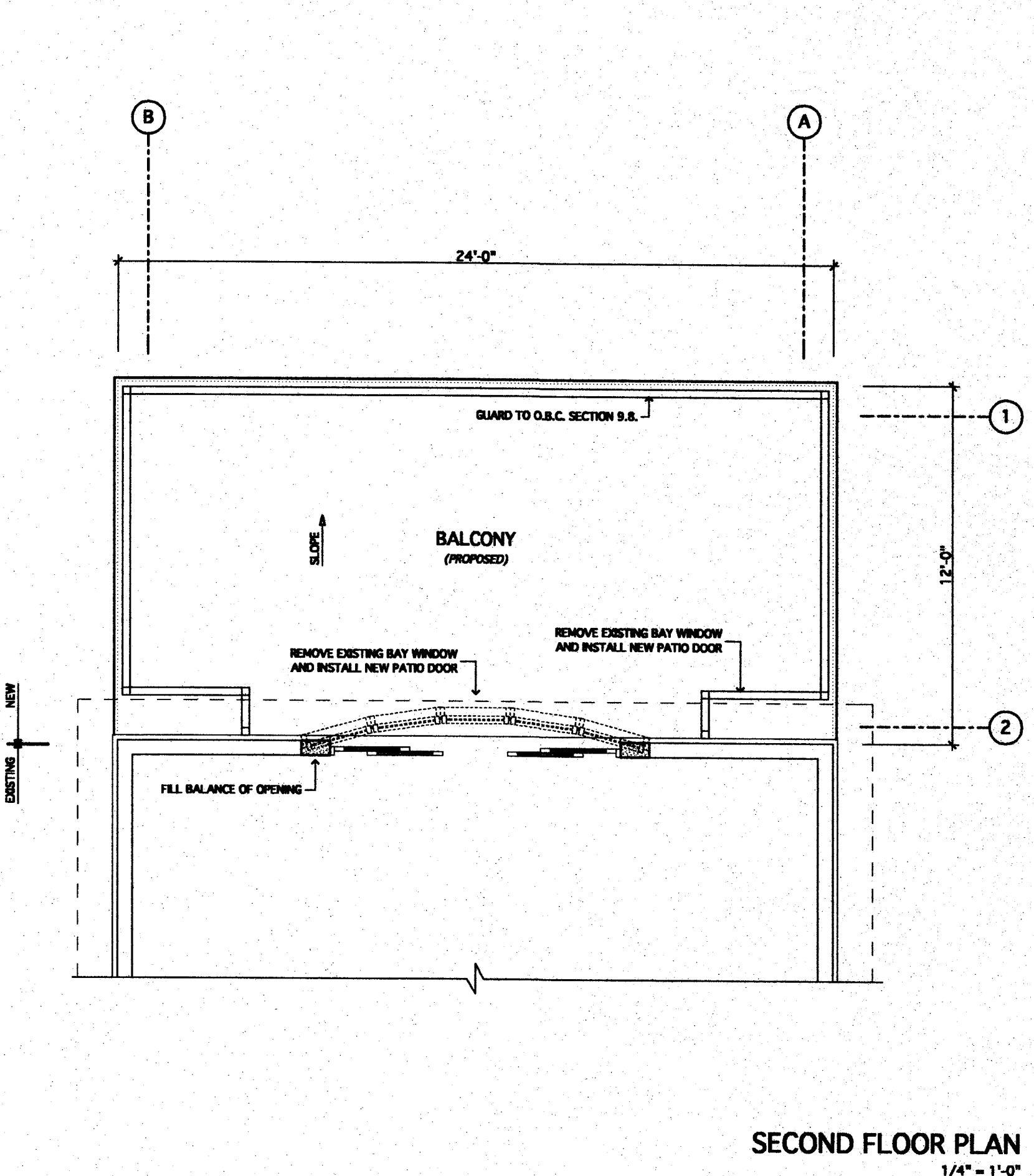
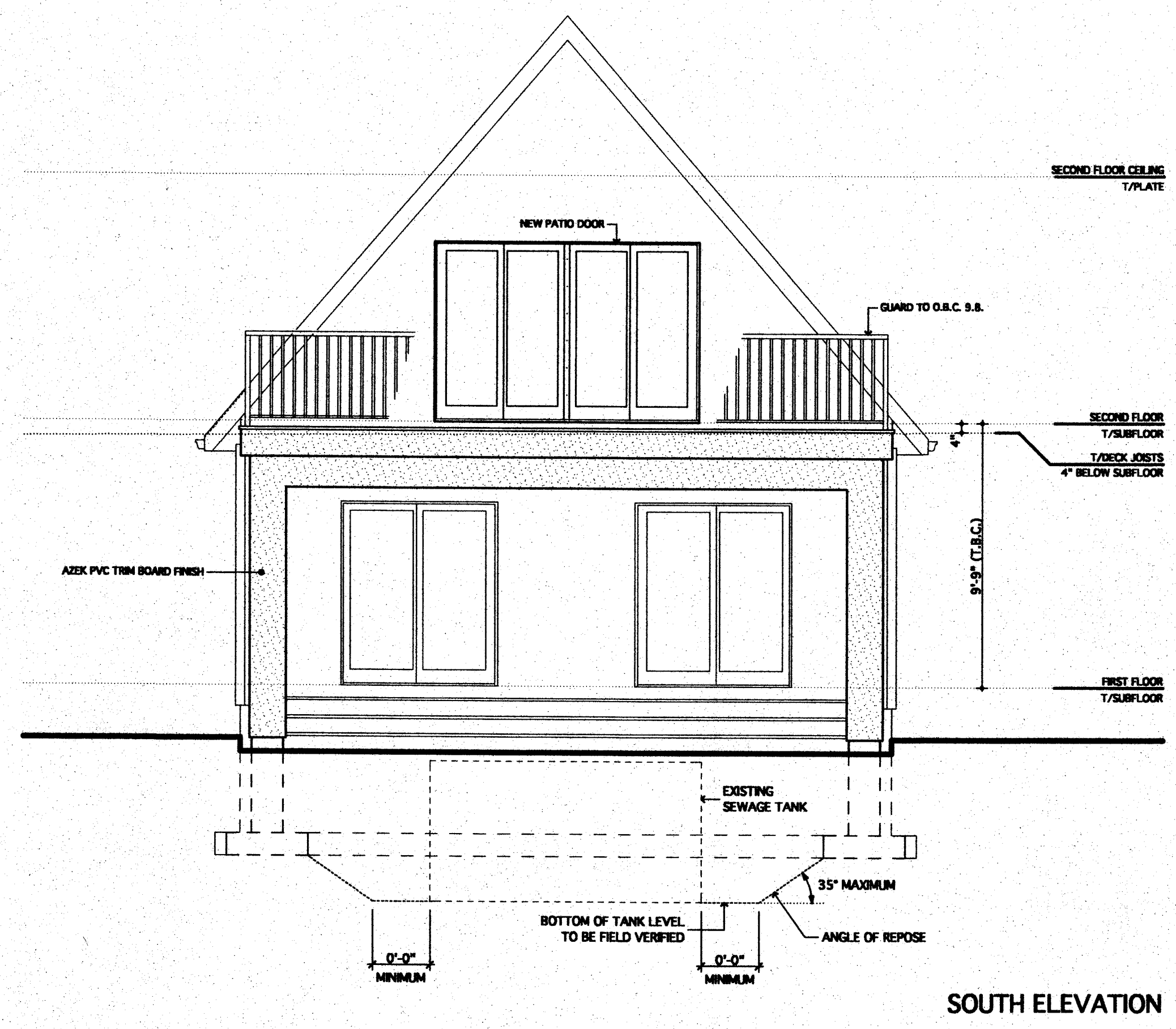
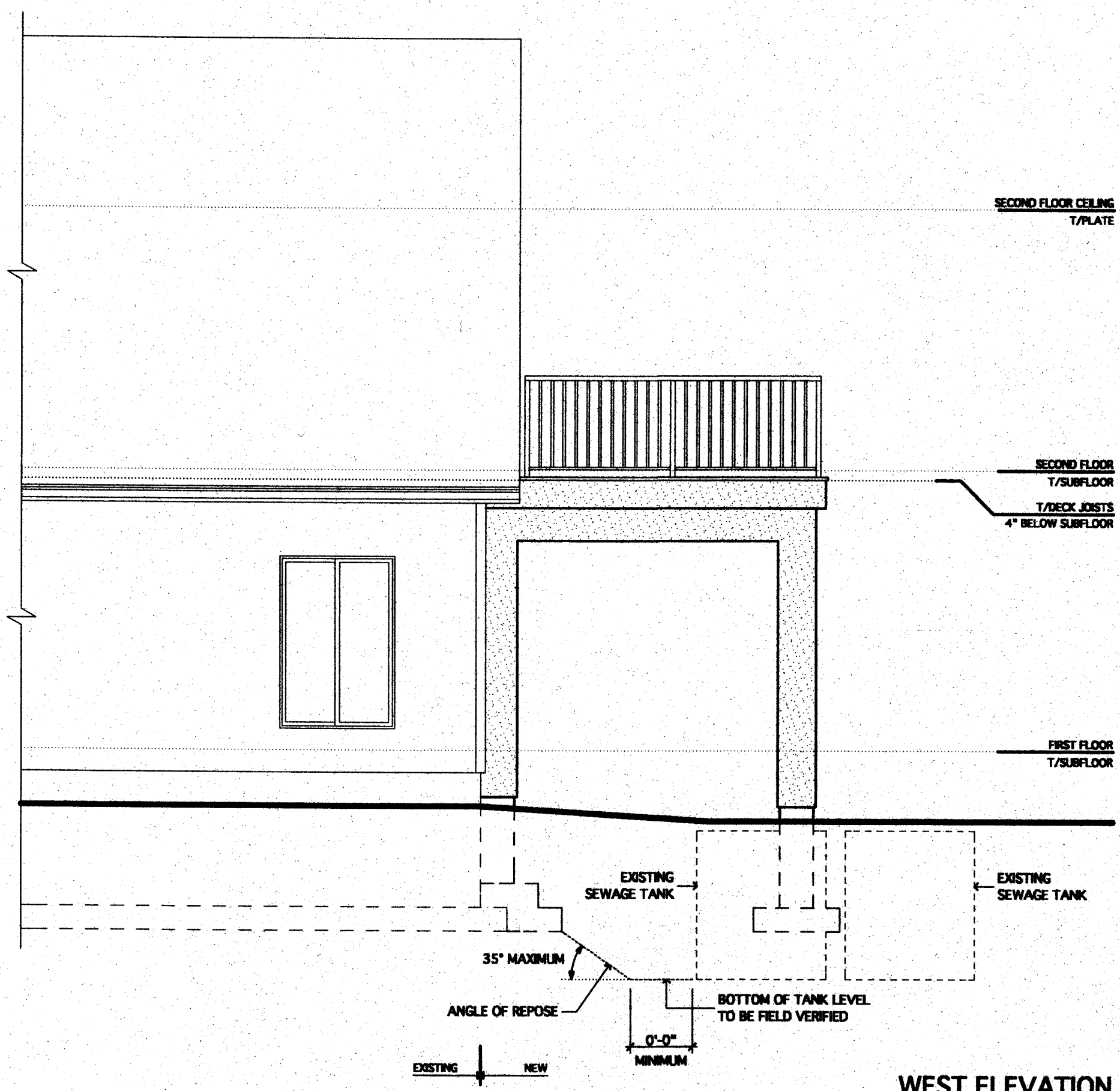
LOT COVERAGE RELIEF / MINOR VARIANCE



EAST (REAR) ELEVATION

SCALE: 3/16" = 1'-0"





GENERAL NOTES:

1. CONTENT OF THESE DRAWINGS DOES NOT RELEASE THE CONTRACTOR FROM ERRORS OR OMISSIONS OR HIS PART IN COMPLYING WITH NATIONAL AND LOCAL BUILDING CODES, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL DETERMINE FOR HIMSELF ALL LINES, LEVELS, AND DIMENSIONS OF NEW AND/OR EXISTING ELEMENTS.
3. DO NOT SCALE DRAWINGS. DIMENSIONS NOTED WITH "N.T.S." INDICATES THE SIZE OR LOCATION OF THE ELEMENTS AS SHOWN MAY NOT REFLECT THE ACTUAL SIZE OR LOCATION TO BE CONSTRUCTED.
4. DOOR AND WINDOW SIZES AS SHOWN ARE NOMINAL. EXACT S.I.D. AND CONCRETE OPENINGS AS PER MANUFACTURER. INSTALL AS PER MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
5. LEVEL DIMENSIONS IF INDICATED REFER TO FLOOR ELEVATIONS ONLY, AND DO NOT REFLECT BUILDING ELEVATIONS IN RELATION TO SITE TERRAIN OR FINISH GRADES.
6. PLAN DIMENSIONS ARE RELATIVE TO THE WALL COMPARTMENTED AS INDICATED.
7. CONTRACTOR SHALL DETERMINE QUANTITY, SIZE, AND LOCATION OF FOOTINGS AND FOUNDATION WALL STEPS IN CONJUNCTION WITH SITE GRADING PLAN AND ELEVATIONS.
8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF SERVICES, FIXTURES AND EQUIPMENT. LOCATIONS OF THE SAME IF SHOWN SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF CABINETS, VANITIES, AND APPLIANCES PRIOR TO CONSTRUCTION. LOCATIONS IF SHOWN SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

BEAM SCHEDULE:

[B1] W 200x24 (WB24). SEE DETAILS DRAWING A2, A3, A4 & A5.

[B2] W 200x22 (WB22). SEE DETAILS DRAWING A2, A3, A4 & A5.

COLUMN SCHEDULE:

[C1] W 200x46 (WB21). SEE DETAILS DRAWING A2, A3, A4 & A5.

PIER SCHEDULE:

[P1] POURED CONCRETE PIER. SEE DETAILS DRAWING A2.

EXCAVATION:

1. ALL EXCAVATION TO O.B.C. 9.12.

FOUNDATION NOTES:

1. PLACEMENT OF FOOTINGS SUSPECTED TO BE LESS THAN A 24" ABOVE HIGH WATER TABLE. DO NOT REDUCE SIZE OF FOUNDATION AS SHOWN.
2. ALL FOOTINGS TO BE FOUND ON UNDISTURBED SOIL.
3. ALL FOOTINGS TO BE POURED CONCRETE.
4. SEE WALL SECTION FOR REINFORCING DETAILS.
5. CONTRACTOR TO DETERMINE FOR HIMSELF HEIGHT AND LOCATION OF FOUNDATION WALL STEPS IN CONJUNCTION WITH SITE GRADING PLAN AND ELEVATIONS.
6. CONSULT SITE GRADING PLAN FOR DEPTHS OF WALK-OUT FOOTINGS.
7. TRUSS LAYOUT INCLUDING POINT LOAD LOCATIONS TO BE CONFIRMED PRIOR TO INSTALLATION OF FOUNDATIONS.

CONCRETE:

1. ALL CONCRETE TO O.B.C. 9.3. AND 9.16.4.
2. FOOTINGS, FOUNDATION WALLS, AND PIERS:
15MPa (2200 p.s.i.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE, 6" MAXIMUM SLUMP.
3. FLOORS ON GROUND:
25 MPa (3600 p.s.i.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE, 4" MAXIMUM SLUMP.
4. GARAGE, CARPORT FLOORS, AND EXTERIOR FLATWORK:
32 MPa (4650 p.s.i.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE, 4" MAXIMUM SLUMP, 5-8% AIR ENTRAINMENT.

STAIRS, RAMPS, HANDRAILS & GUARDS:

1. ALL STAIRS, RAMPS, HANDRAILS & GUARDS TO O.B.C. 9.8.

FRAMING NOTES:

1. FOR WINDOW INSTALLATION HEIGHTS SEE ELEVATIONS.
2. JOIST MATERIAL: S.P.S. SPRUCE, PINE, AND NO. 2.
3. CONTRACTOR SHALL REVIEW FOR HIMSELF ALL PRE-FABRICATED STRUCTURAL COMPONENTS - ENGINEERS REPORTS AND SHOP DRAWINGS, AND FURNISH THE SAME FOR BUILDING INSPECTORS REVIEW.
4. INSTALL FULL BEARING WIDTH STUD POSTS BELOW ALL GIRDER TRUSSES.
5. CARRY ALL POINT LOADS TO FOUNDATION.
6. SEE ROOF PLAN, BUILDING & WALL SECTIONS FOR TRUSS DETAILS AND NOTES.

LEGEND:

D.N.A.	- DO NOT ADJUST.	F.L.	- FLOOR LINE.
S.D.	- SMOKING DETECTOR.	S.P.	- SPRUCE, PINE, FIR.
C.D.	- CARBON MONOXIDE DETECTOR.	S.S.	- SELECT STRUCTURAL.
C.H.	- CEILING HEIGHT.	L.V.L.	- LAMINATED VENEER LUMBER.
F.D.	- FLOOR DRAIN.	G.L.T.	- BLUE LAMINATED TIMBER.
R.L.B.	- RAIL TAP BEAM.	P.T.	- PRESSURE TREATED.
R.L.C.	- RAIL TAP COLUMN.	T.B.C.	- TO BE CONFIRMED.
S.P.	- STUD POST.	W.W.F.	- WELDED WIRE FABRIC.
P.L.	- POINT LOAD.	G.S.	- GAUGE.
F.M.	- FLUSH MOUNTED MEMBER.	L.S.	- INSULATED STEEL DOOR.
U.P.	- UNDERSE.	F.D.	- FRENCH DOOR.
T.	- TOP OF MEMBER.	F.P.	- FRENCH POCKET DOOR.
T.H.W.	- THROUGH WINDOW.	F.S.D.	- FRENCH SLIDING DOOR.
A.F.F.	- ABOVE FIRST FLOOR SURFLOOR.		
A.S.F.	- ABOVE SECOND FLOOR SURFLOOR.		

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW.	08/25/22
B	ISSUED FOR CONSTRUCTION.	10/04/22
0	ISSUED FOR CONSTRUCTION.	10/11/22
1	ANGLE OF REPOSE ADDED (vs. SEWAGE TANK).	11/30/22

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PRODUCED FOR THE PURPOSE OF ASSISTING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION:
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED 32259
NAME S.G.I.N.

QUALIFICATION INFORMATION:
SCOTT GILES 21608
NAME S.G.I.N.

SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0E 1Y0
519-443-7950

PROJECT: PROPOSED BALCONY ADDITION
FOR
Mr. & Mrs. Reg Smith
20 WIDEWAY DRIVE, TURKEY POINT, COUNTY OF NORFOLK.

DESIGNED	S. GILES	1
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0"	A1
DATE	08/19/22	DRAWING



Long Point Region Conservation Authority

PERMIT No. LPRCA-257/22

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Owner:	<u>Kimberley and Reginald Smith</u>	Telephone:	<u>519-754-6425</u>
Address:	<u>20 Ridgewood Drive, Turkey Point</u>	Postal Code:	<u>N0E 1T0</u>
Agent:	<u></u>	Telephone:	<u></u>
Address:	<u></u>	Postal Code:	<u></u>
Location/Address of works: <u>20 Ridgewood Drive - 331049311016800</u>			
Lot:	<u>17</u>	Plan:	<u>344</u> Municipality: <u>Norfolk County</u>
Description of Works:	<u>Construct a 26.8m² second storey balcony, replace the at grade deck and construct erosion control on the adjacent drain.</u>		
Type of fill:	<u>25 cubic yards of clean fill.</u>		

This permit is valid on the above location only for the period of:

DATE: November 16th, 2022 to November 16th 2024

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS :

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated November 2, 2022 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -
Office Use Only

Owner's Name: _____

Mailing Address: _____

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone: _____

Alternate Phone: _____

Email: _____

Applicant's Name: _____

☐ Check if same as above

Mailing Address: _____

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone: _____

Alternate Phone: _____

Email: _____

Location of Proposed Work

Lot: _____ Concession/Plan: _____ Municipality: _____

Municipal Address: _____

Street Address

Tax Assessment Roll Number: _____

Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☐ Site grading
- ☐ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe) _____

Quantity of fill: _____

Proposed square footage: _____

Existing square footage: _____

Description of Proposed Works:

PROPOSED START DATE: _____ PROPOSED COMPLETION DATE: _____

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.


Applicant Signature

Date

Agent Signature

Date

APPLICATION CHECKLIST

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, or by fax, email or mail.

Office Use Only
 Application # LPRCA-_____
 List Issued: _____

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

<u>Applicable</u>	<u>Submitted</u>	
-------------------	------------------	--

- | | | |
|---|--------------------------|--|
| ✓ | <input type="checkbox"/> | A completed, signed and dated application form; |
| ✓ | <input type="checkbox"/> | Written authorization (if the applicant is not the owner of the property where the work is being done) |
| ✓ | <input type="checkbox"/> | Written authorization (if the property owner is assigning another party as an agent for the project); |
| ✓ | <input type="checkbox"/> | Application fee (see fee schedule, fees subject to change without notice); |
| ✓ | <input type="checkbox"/> | A scaled and detailed site plan; |
| ✓ | <input type="checkbox"/> | A scaled cross-sectional drawing and floor plans; |

Drawings: One copy of all project drawings, reports, unless otherwise requested. Hardcopy drawings must be provided and readable on sheets no larger than 11" x 17". Electronic submission of drawings and reports is preferred. The drawings should include (either as part of the illustration or as notes).

- | | | |
|---|--------------------------|---|
| ✓ | <input type="checkbox"/> | Legal description of the property (e.g. roll number, lot, concession, municipality); |
| ✓ | <input type="checkbox"/> | Scale, date, and directional arrow; |
| ✓ | <input type="checkbox"/> | Dimensions of the property (a copy of a legal survey may be required); |
| ✓ | <input type="checkbox"/> | Location, dimensions and geodetic elevations of all existing and proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes on or adjacent to the property; |
| ✓ | <input type="checkbox"/> | Location and type of sediment and erosion control measures (e.g. silt fence) and soil stabilization measures (e.g. seeding, sodding, planting) |

Technical reports: One or more of the following technical reports may be required (as advised by LPRCA staff).

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations). |
| <input type="checkbox"/> | <input type="checkbox"/> | Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands) |
| <input type="checkbox"/> | <input type="checkbox"/> | Hydraulic analysis by a qualified professional engineer addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations). |
| <input type="checkbox"/> | <input type="checkbox"/> | Complex and large-scale proposals may require additional technical studies and plans. |

For Office Use Only	
Application Submitted:	
Complete Application:	
Application Fee:	Paid:
Board Approval Required Date of Board Meeting:	

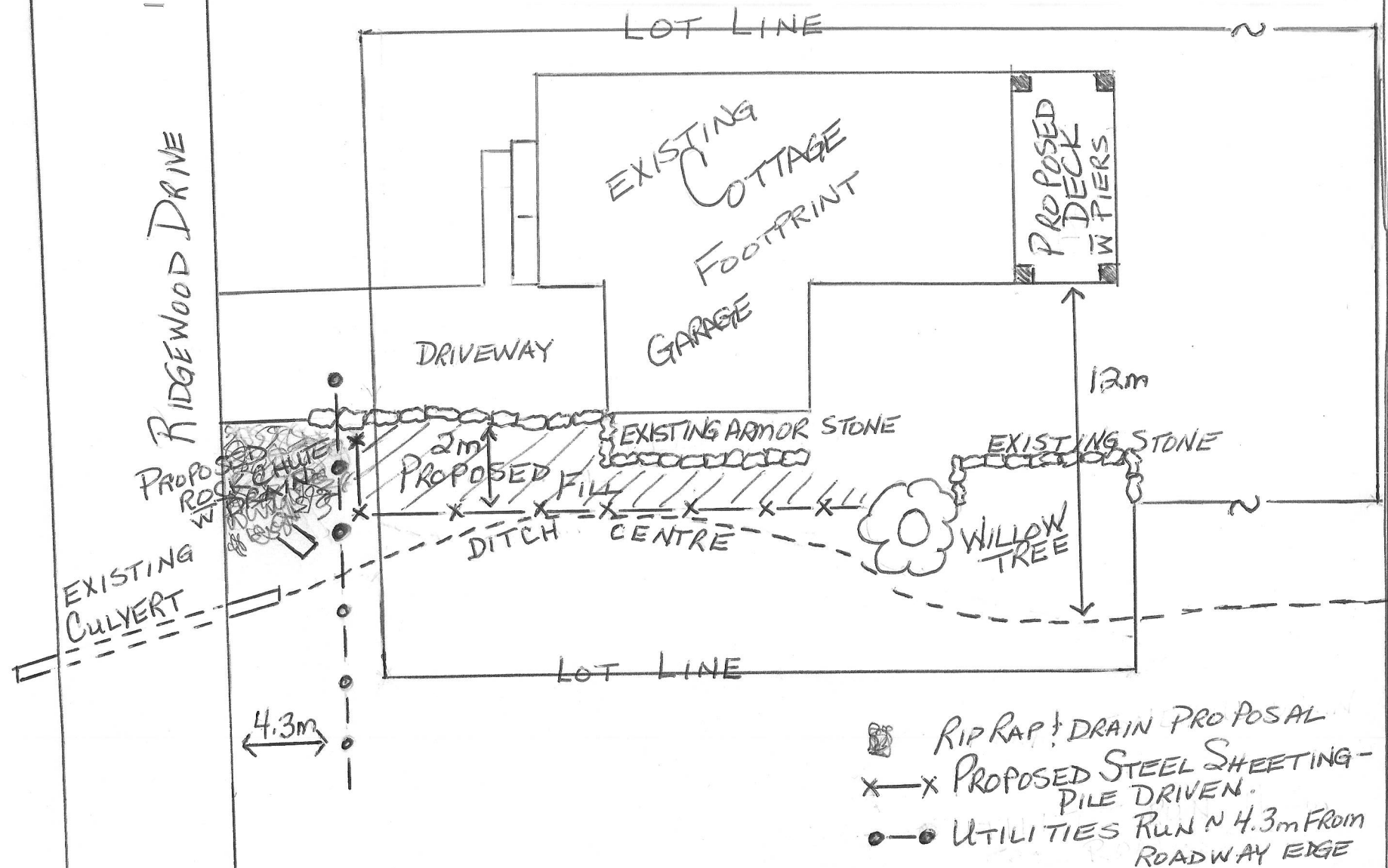
GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
 - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - a) the works are not in conformance with the intent of the permission granted;
 - b) the information presented to obtain a permit is false;
 - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.

20 RIDGEWOOD DRIVE
TURKEY POINT.
KIMBERLEY SMITH
DECK + RETAINING WALL
LOT PLAN

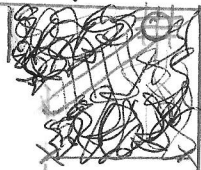




existing culvert.

ridgewood rd.
ROCK CHUTE &
DRAIN AREA COVERED
WITH RIPRAP

surface water sewer drain to ditch
Diameter \Rightarrow 6" pipe - SOLID BIG "O".



20' ridge wood
(lane)

House

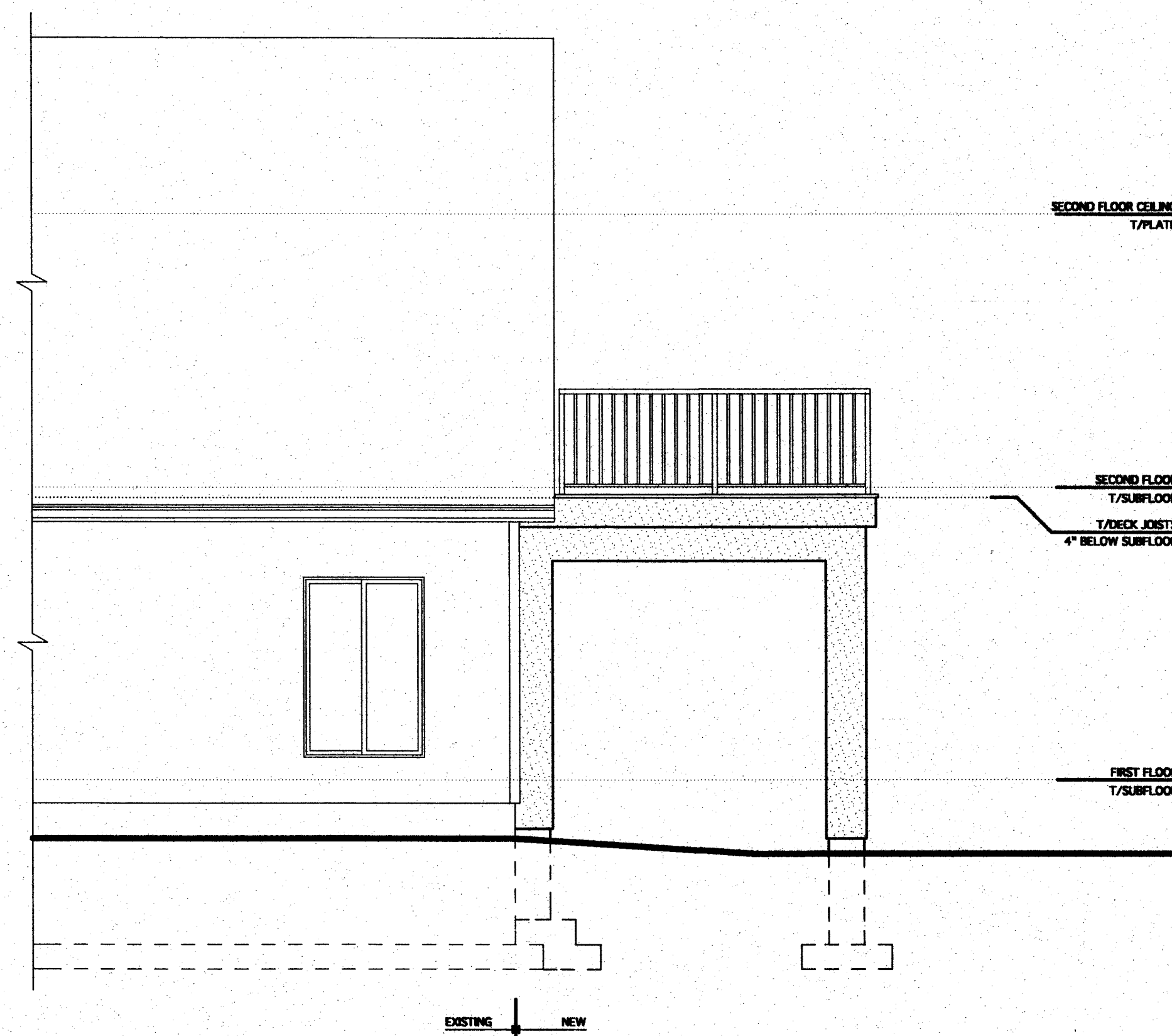
ditch

← proposed retaining wall

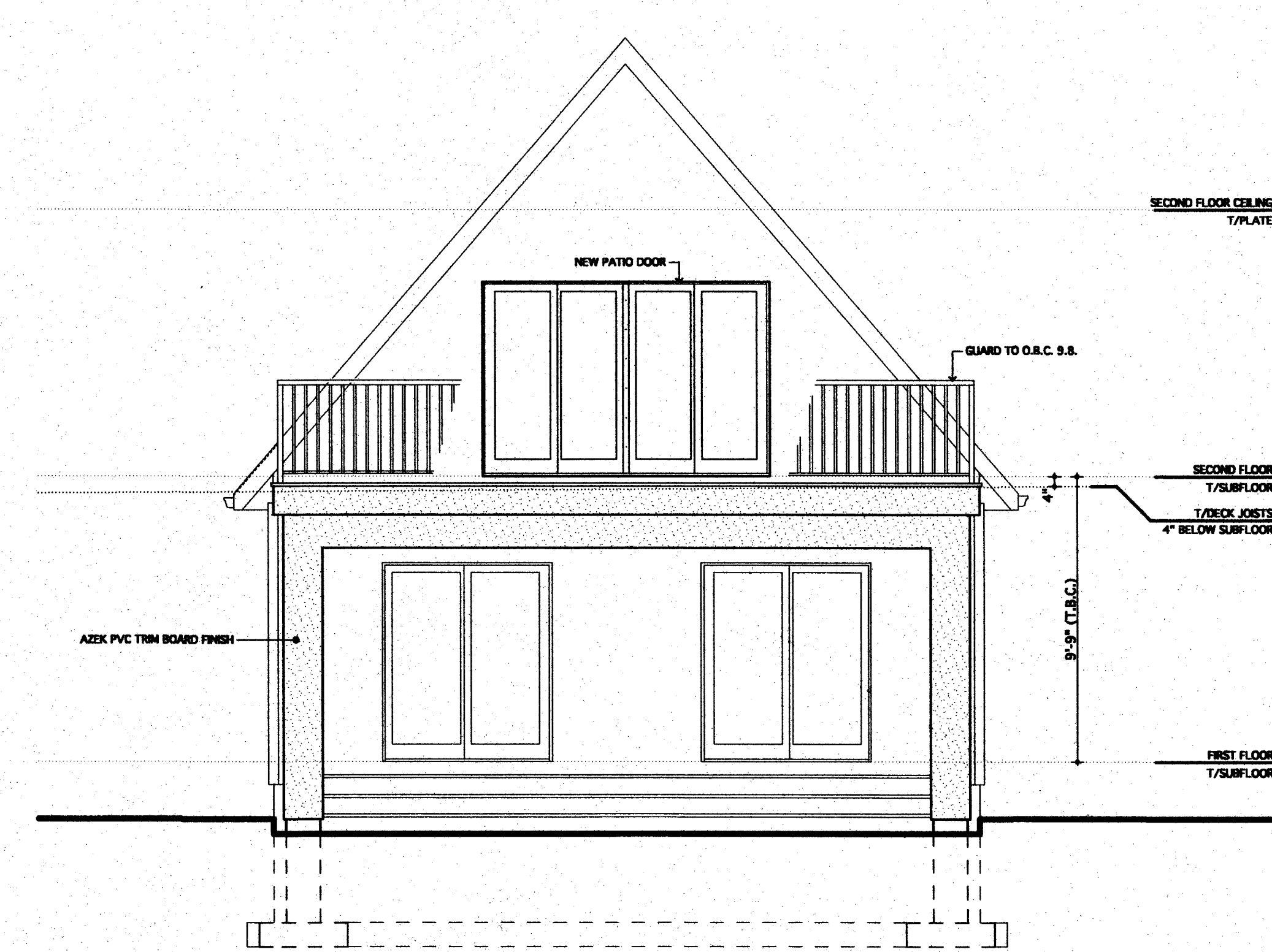
ridgewood rd. 20' ridge wood



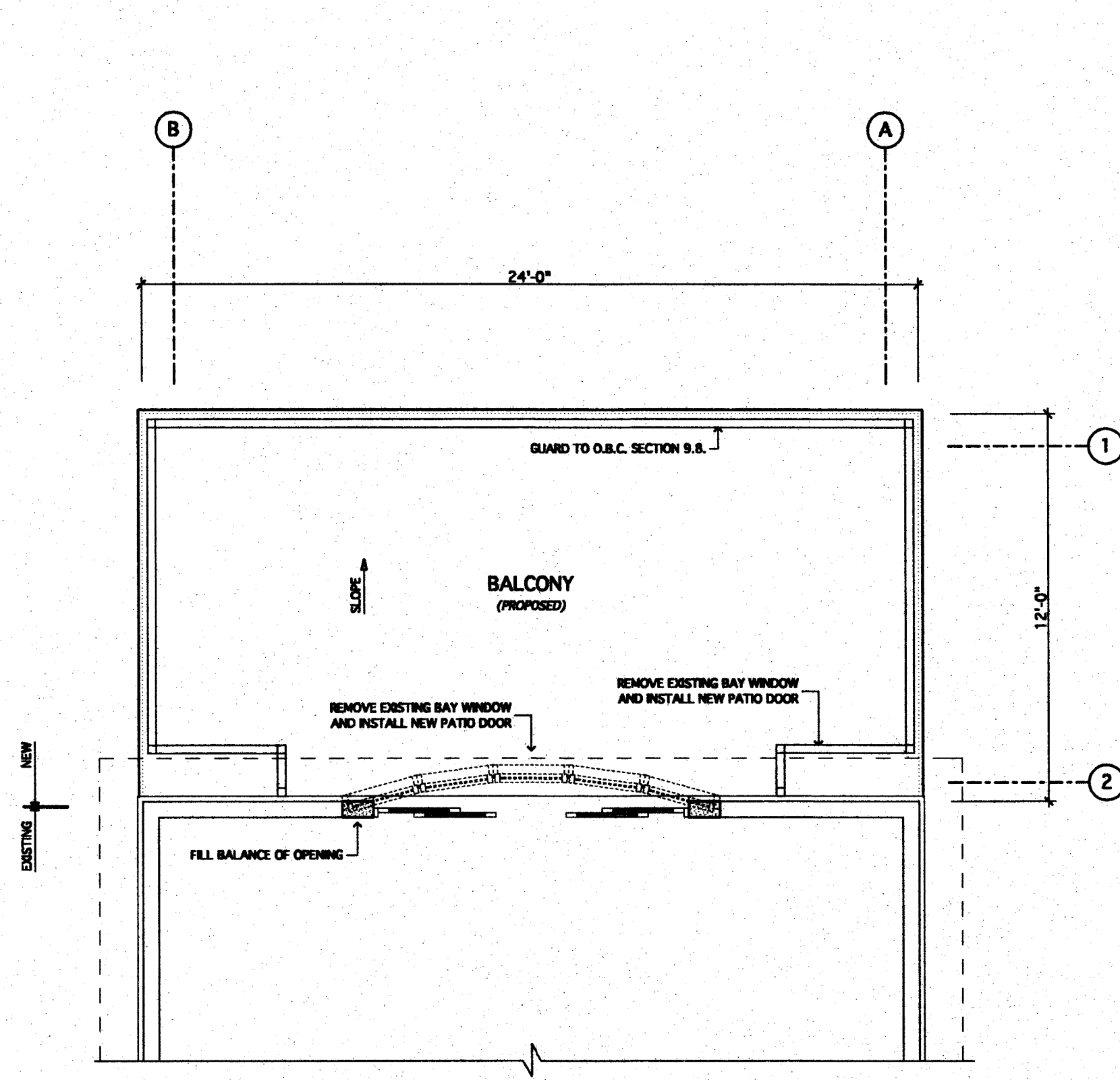
solid pipe surface
drain with steel grate
and rodent baffle.
Installed 1" below surface
grade (road/lane), with
landscape graded downwards
(sloped) to inlet.
cross section



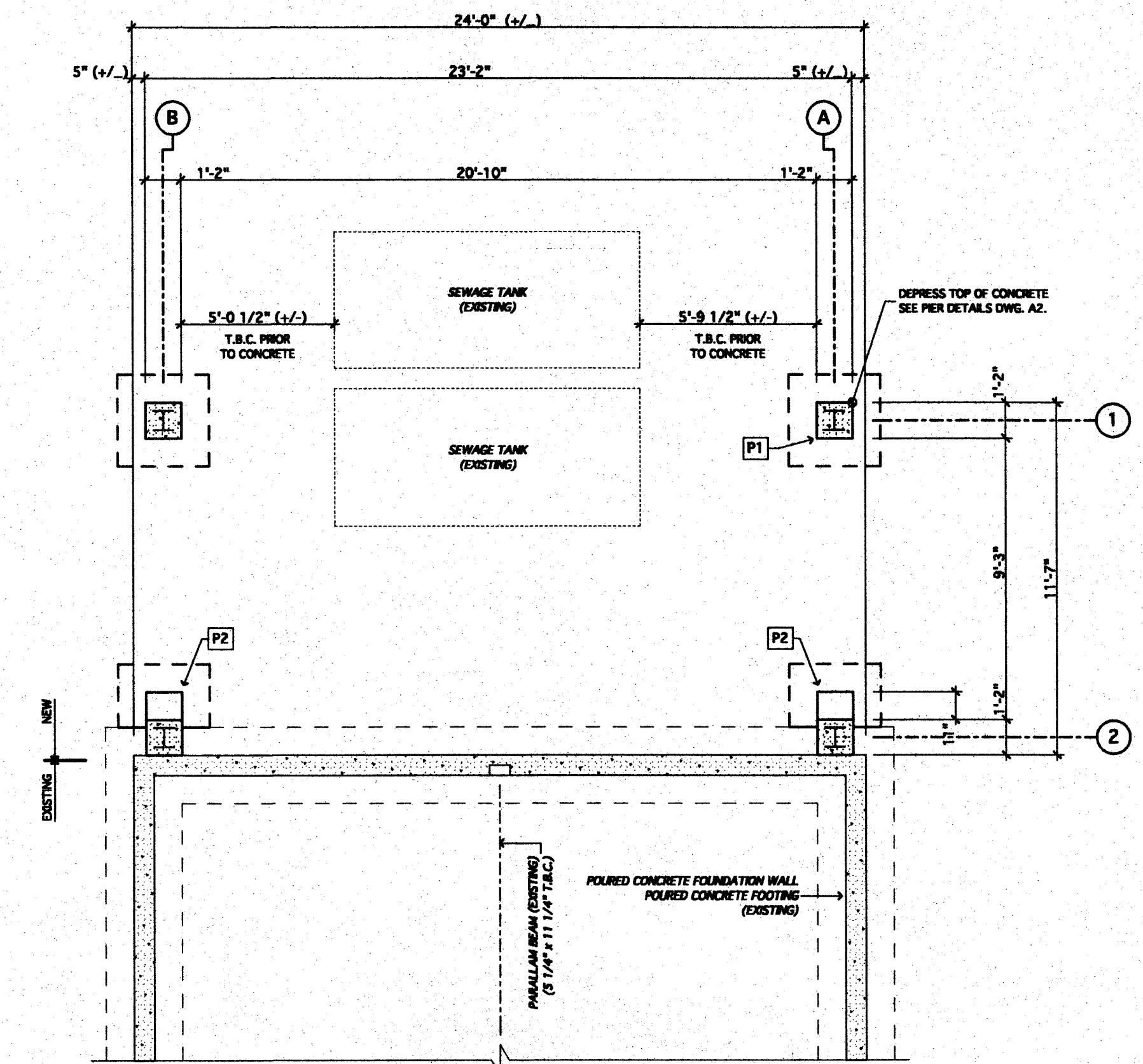
WEST ELEVATION



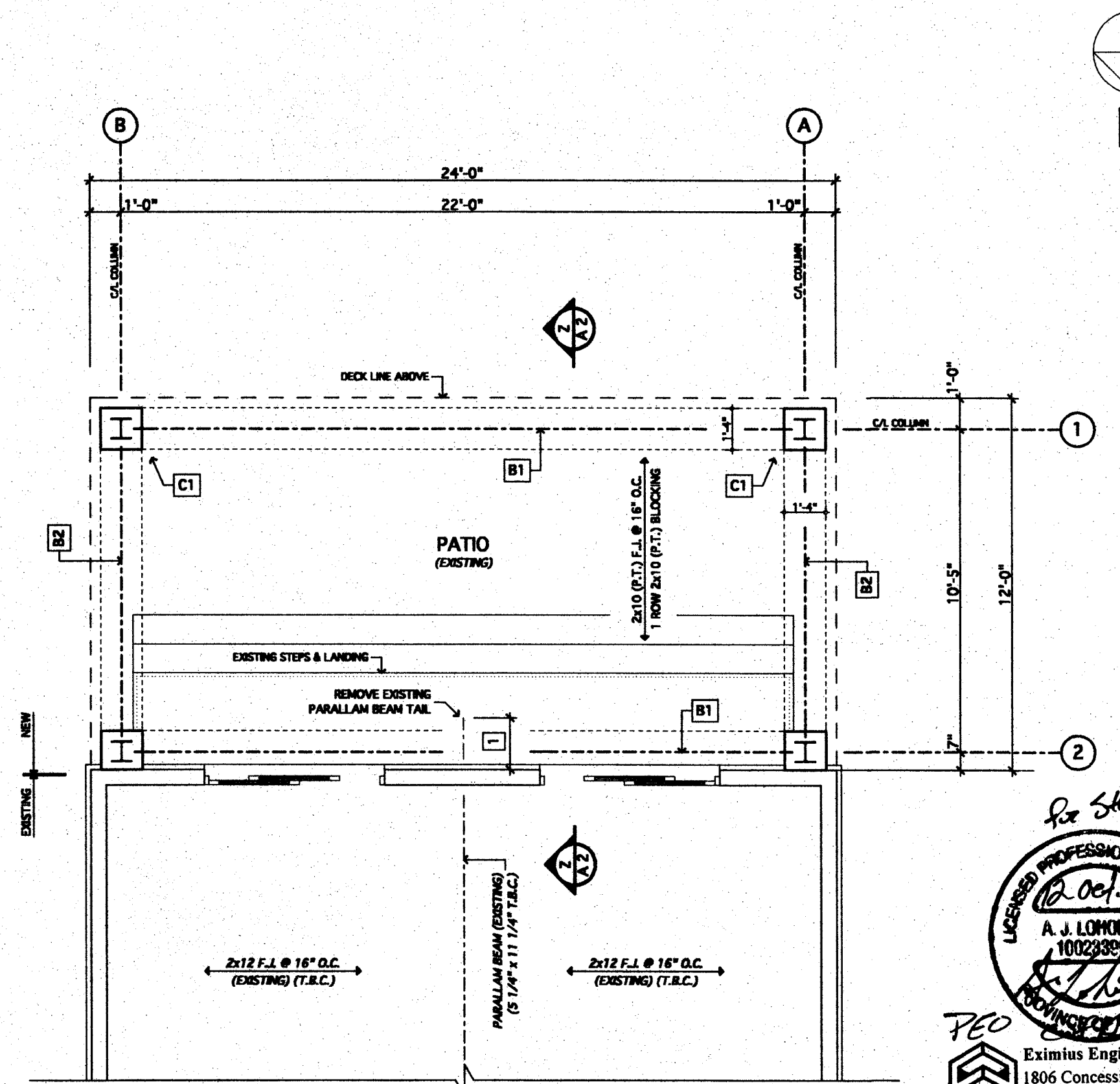
SOUTH ELEVATION



SECOND FLOOR PLAN
1/4\"/>



FOUNDATION PLAN
1/4\"/>



FIRST FLOOR PLAN
1/4\"/>

- GENERAL NOTES:**
1. CONTENT OF THESE DRAWINGS DOES NOT RELEASE THE CONTRACTOR FROM ERRORS OR OMISSIONS ON HIS PART IN COMPLIANCE WITH NATIONAL AND LOCAL BUILDING CODES, REGULATIONS, AND AUTHORITIES' JURISDICTION.
 2. CONTRACTOR SHALL DETERMINE FOR HIMSELF ALL LINES, LEVELS, AND DIMENSIONS OF NEW WORK OR EXISTING ELEMENTS.
 3. DO NOT SCALE DRAWINGS. DIMENSIONS NOTED WITH * A.T.S. * INDICATES THE SIZE OR LOCATION OF THE ELEMENT(S) AS SHOWN MAY NOT REFLECT THE ACTUAL SIZE OR LOCATION TO BE CONSTRUCTED.
 4. DOOR AND WINDOW SIZES AS SHOWN ARE NOMINAL. EXACT R.S.D. AND CONCRETE OPENINGS AS PER MANUFACTURER. INSTALL AS PER MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
 5. LEVEL DIMENSIONS IF INDICATED REFER TO FLOOR FINISH ELEVATION ONLY, AND DO NOT REFLECT BUILDING ELEVATIONS IN RELATION TO SITE TERRAIN OR FINISH GRADE.
 6. PLAN DIMENSIONS ARE RELATIVE TO THE WALL COMPOSITIONS AS INDICATED.
 7. CONTRACTOR SHALL DETERMINE QUANTITY, SIZE, AND LOCATION OF FOOTINGS AND FOUNDATION WALL STOPS IN RELATION TO SITE CONDITIONS.
 8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF SERVICES, FUTURES AND EQUIPMENT. LOCATION OF THE SAME IF SHOWN SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
 9. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF CABINETS, VANITIES, AND APPLIANCES PRIOR TO CONSTRUCTION LAYOUTS IF SHOWN SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

- BEAM SCHEDULE:**
- | | | |
|------|-------------------|--------------------------------------|
| [B1] | W 200x36 (WB244). | SEE DETAILS DRAWING A2, A3, A4 & A5. |
| [B2] | W 200x22 (WB15). | SEE DETAILS DRAWING A2, A3, A4 & A5. |

- COLUMN SCHEDULE:**
- | | | |
|------|------------------|--------------------------------------|
| [C1] | W 200x46 (WB31). | SEE DETAILS DRAWING A2, A3, A4 & A5. |
|------|------------------|--------------------------------------|

- PIER SCHEDULE:**
- | | |
|------|---|
| [P1] | POURED CONCRETE PIER. SEE DETAILS DRAWING A2. |
|------|---|

- EXCAVATION:**
1. ALL EXCAVATION TO O.B.C. 9.12.

- FOUNDATION NOTES:**
1. PLACEMENT OF FOOTINGS SUSPECTED TO BE LESS THAN A 24\"/>

- CONCRETE:**
1. ALL CONCRETE TO O.B.C. 9.3. AND 9.1E.4.
 2. FOOTINGS, FOUNDATION WALLS, AND PERS;
15MPa (2200 p.s.i.) @ 28 DAYS, 3/4\"/>
 3. FLOORS ON GROUND;
25 MPa (3600 p.s.i.) @ 28\"/>
 4. GARAGE, CARPORT FLOORS, AND EXTERIOR FLATWORK;
32 MPa (4650 p.s.i.) @ 28\"/>

- STAIRS, RAMPS, HANDRAILS & GUARDS:**
1. ALL STAIRS, RAMPS, HANDRAILS & GUARDS TO O.B.C. 9.8.

- FRAMING NOTES:**
1. FOR WINDOW INSTALLATION HEIGHTS SEE ELEVATIONS.
 2. EXIST MATERIAL: - S.F.F. GUTTER, PINE, FR No. 1, AND No. 2.
 3. CONTRACTOR SHALL REVIEW FOR HIMSELF ALL PREFABRICATED STRUCTURAL COMPONENTS - ENGINEERS REPORTS AND SHOP DRAWINGS, AND FURNISH THE SAME FOR BUILDING INSPECTORS REVIEW.
 4. INSTALL FULL BEARING WIDTH STUD POSTS BELOW ALL ORDER TRUSSES.
 5. CHART ALL POINT LOADS TO FOUNDATION.
 6. SEE ROOF PLAN, BUILDING & WALL SECTIONS FOR TRUSS DETAILS AND NOTES.

- LEGEND:**
- | | | | |
|--------|--------------------------------|--------|---------------------------|
| S.D.A. | - DO NOT ADJUST. | F.L. | - FLOOR LINE. |
| S.D. | - SMOKE DETECTOR. | S.F.F. | - SPRUCE, PINE, FR |
| C.D. | - CARBON MONOXIDE DETECTOR. | S.S. | - SELECT STRUCTURAL |
| C.H. | - CHIMNEY HEIGHT. | L.V.L. | - LAMINATED VENEER LUMBER |
| F.D. | - FLOOR DRAIN. | S.L.T. | - BLUE LAMINATED TIMBER. |
| R.L.L. | - RIB-TUP BEAM. | P.T. | - PRESURIZED TREATED |
| R.L.C. | - RIB-TUP COLUMN. | T.A.C. | - TO BE CONFIRMED |
| S.P. | - STUD POST. | W.F. | - WELDED WIRE FABRIC |
| P.L. | - POINT LOAD. | GA. | - GAUGE |
| F.M. | - FLUSH MOUNTED MEMBER. | I.S. | - INSULATED STEEL DOOR |
| U.S. | - UNFINISHED. | F.D. | - FRENCH DOOR |
| T. | - TOP OF MEMBER. | F.P. | - FRENCH POCKET DOOR |
| T.W. | - TRANSOM WINDOW. | F.S.D. | - FRENCH SLIDING DOOR |
| A.F.F. | - ABOVE FIRST FLOOR SURFLOOR. | | |
| A.S.F. | - ABOVE SECOND FLOOR SURFLOOR. | | |

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW.	08/25/22
B	ISSUED FOR CONSTRUCTION.	10/04/22
0	ISSUED FOR CONSTRUCTION.	10/11/22

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PROVIDED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

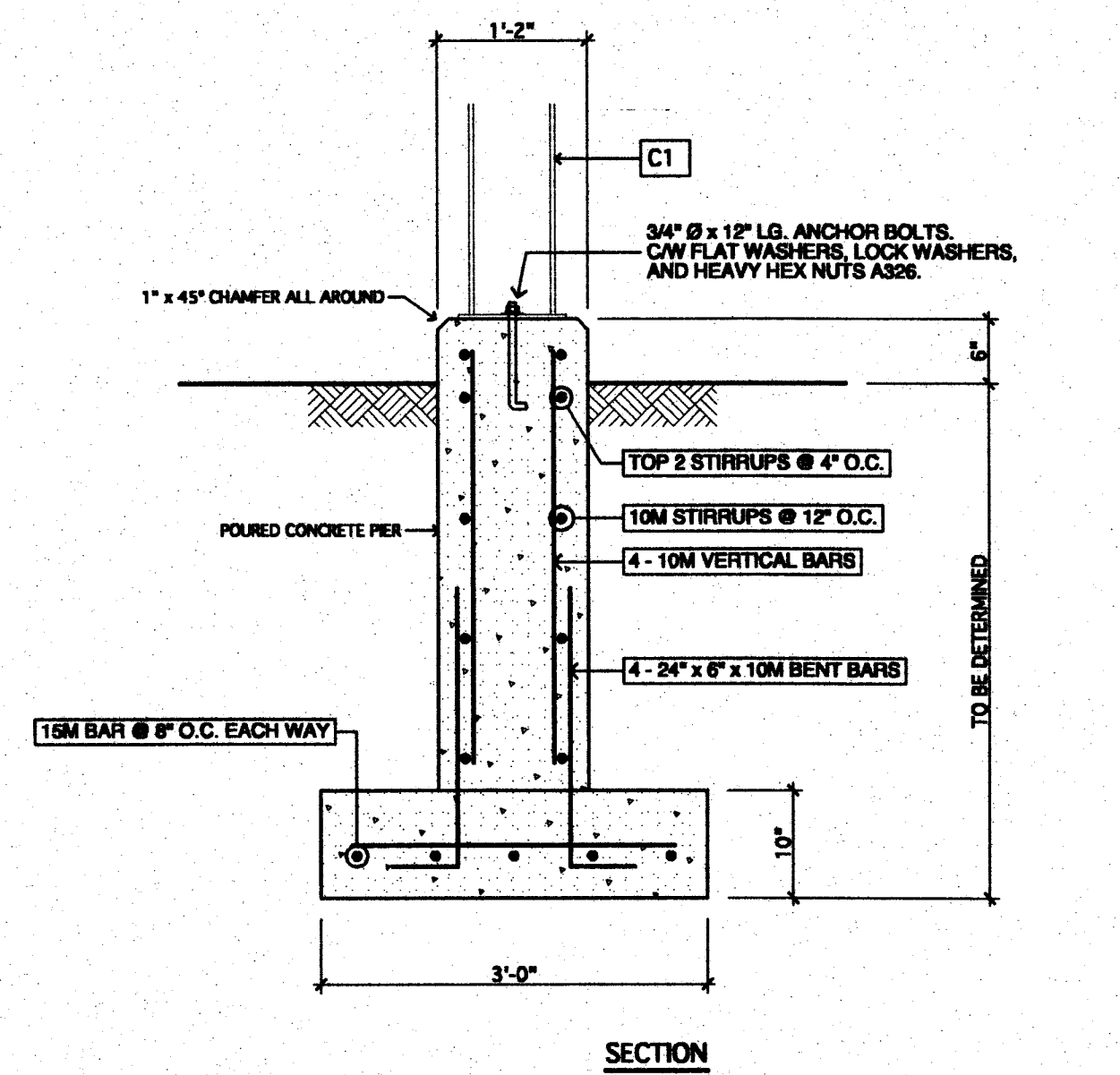
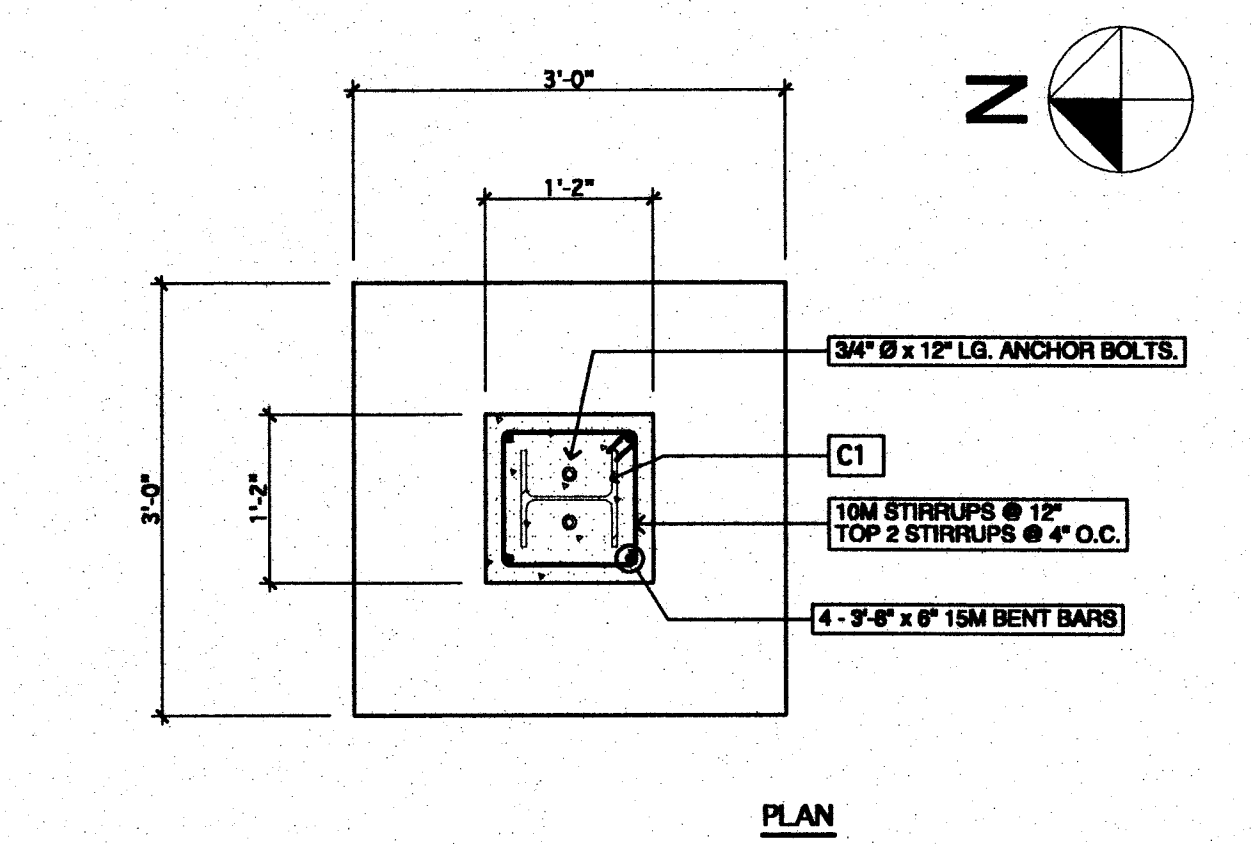
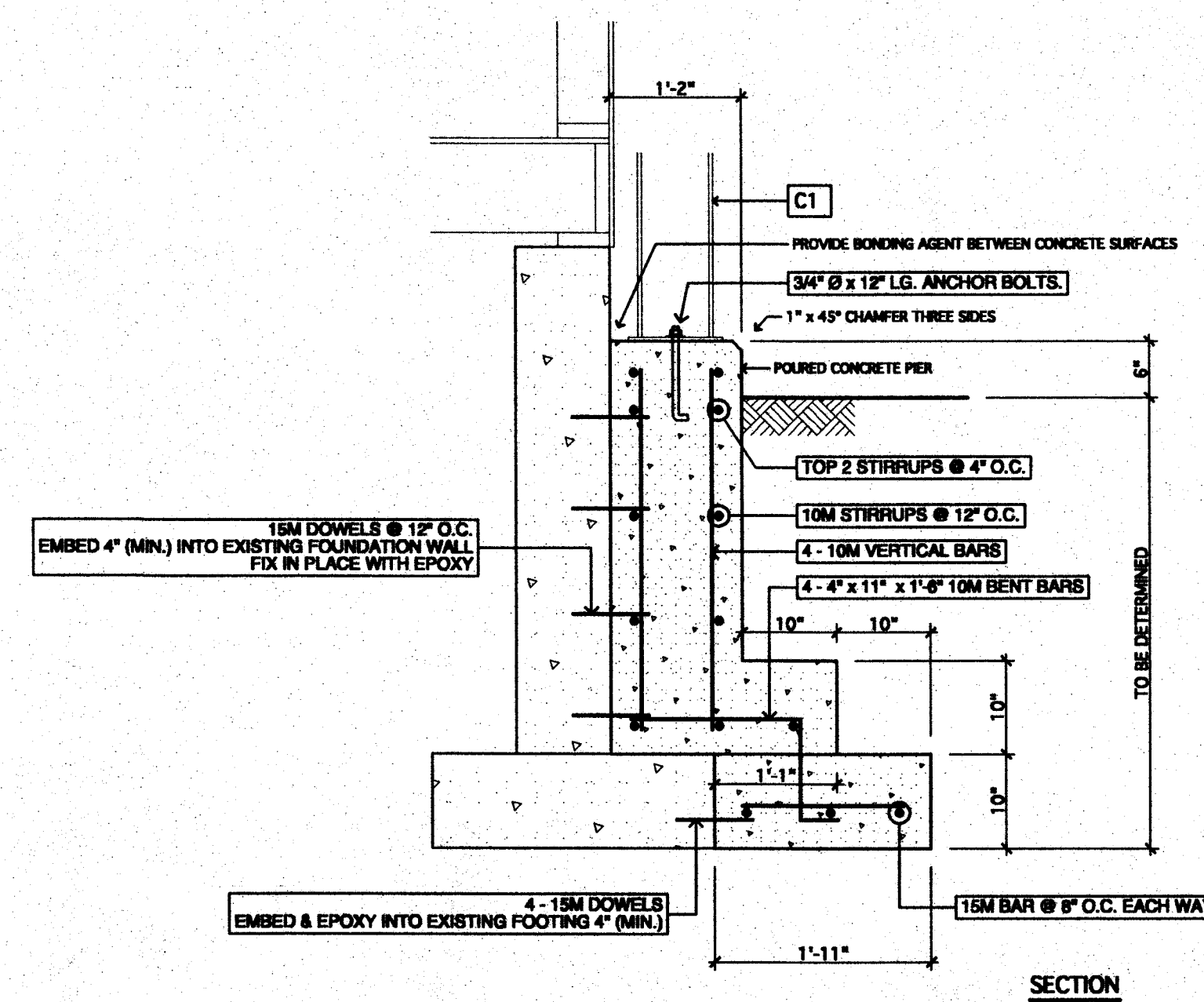
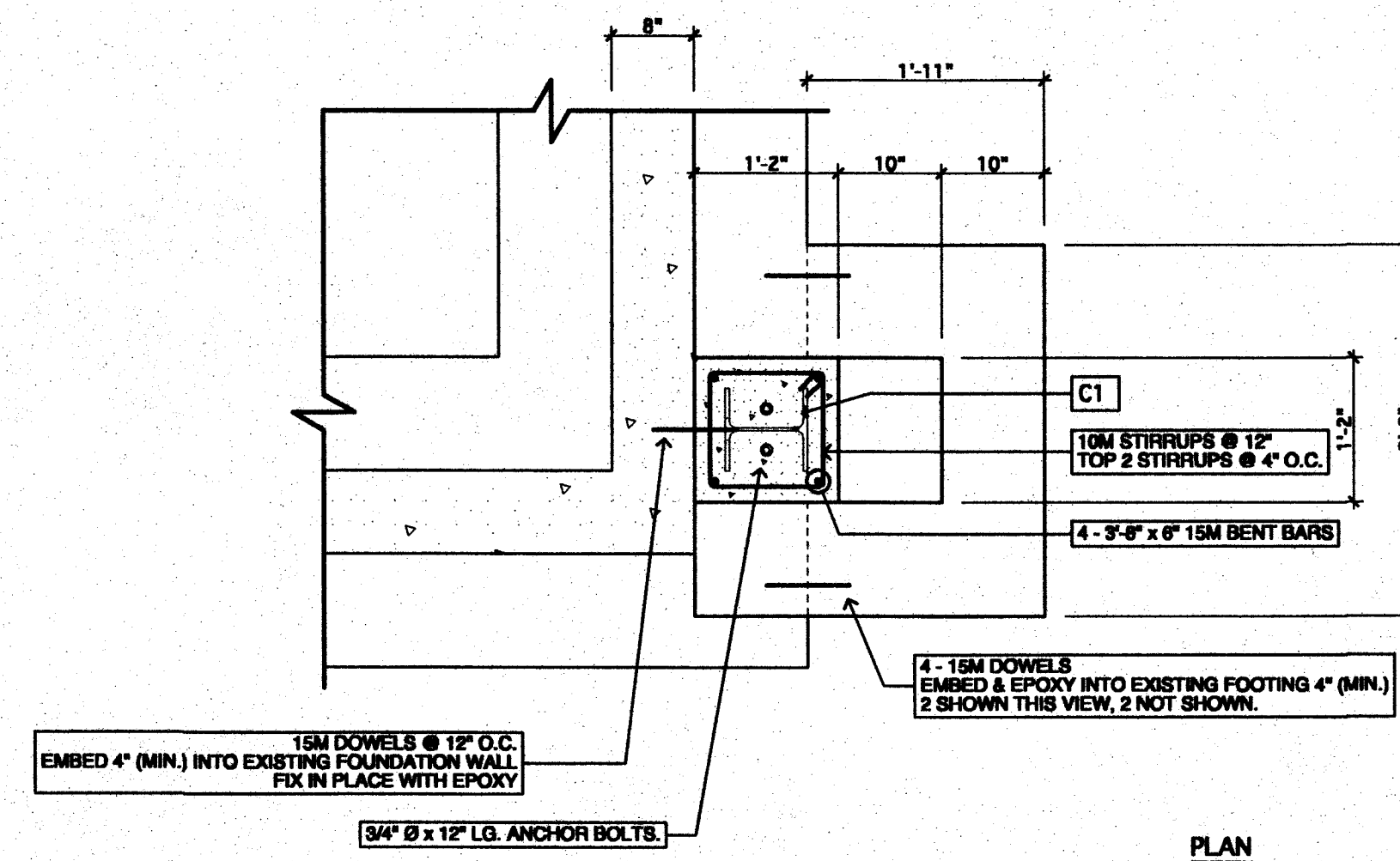
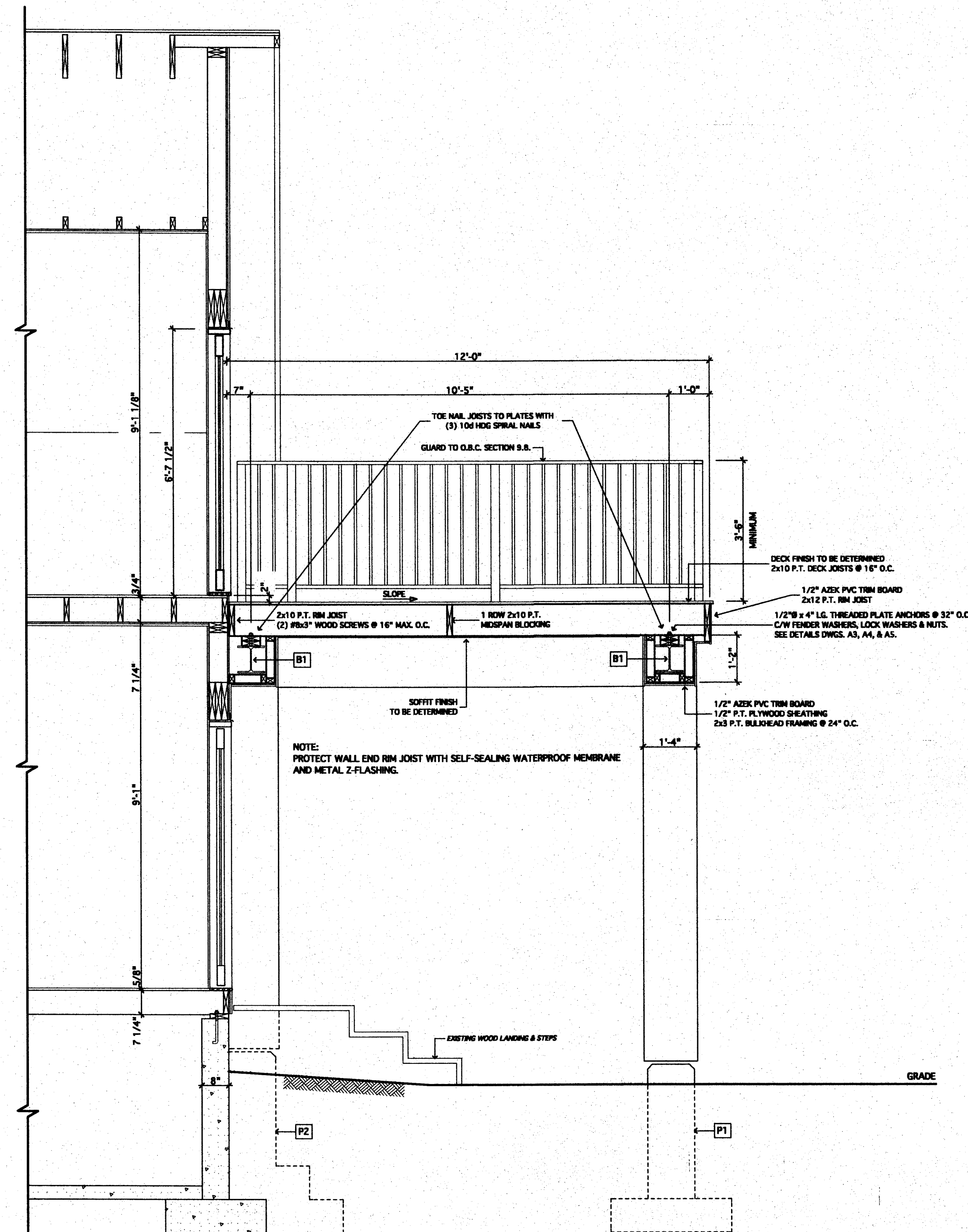
REGISTRATION INFORMATION
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED 32259
NAME S.C.G. S.C.J.K.

QUALIFICATION INFORMATION
SCOTT GILES 21608
NAME S.C.G. S.C.J.K.

SCOTT GILES
BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, NOE 1Y0
519-445-7350

PROJECT
PROPOSED BALCONY ADDITION
FOR
Mr. & Mrs. Reg Smith
20 RIDGEWAY DRIVE, TURKEY POINT, COUNTY OF NORFOLK.

DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0"	A 1
DATE	08/19/22	DRAWING



for structural steel
A. J. LOHUNYAI
PROFESSIONAL ENGINEER
P.E. C.S.A. #10051170
Esimius Engineering Ltd.
1806 Concession 11 Twn
Waterford, ON
N0E 1Y0

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW.	08/25/22
B	1. CONSTRUCTION NOTES ADDED. 2. PIER REINFORCING CHANGED.	10/04/22
0	ISSUED FOR CONSTRUCTION.	10/11/22

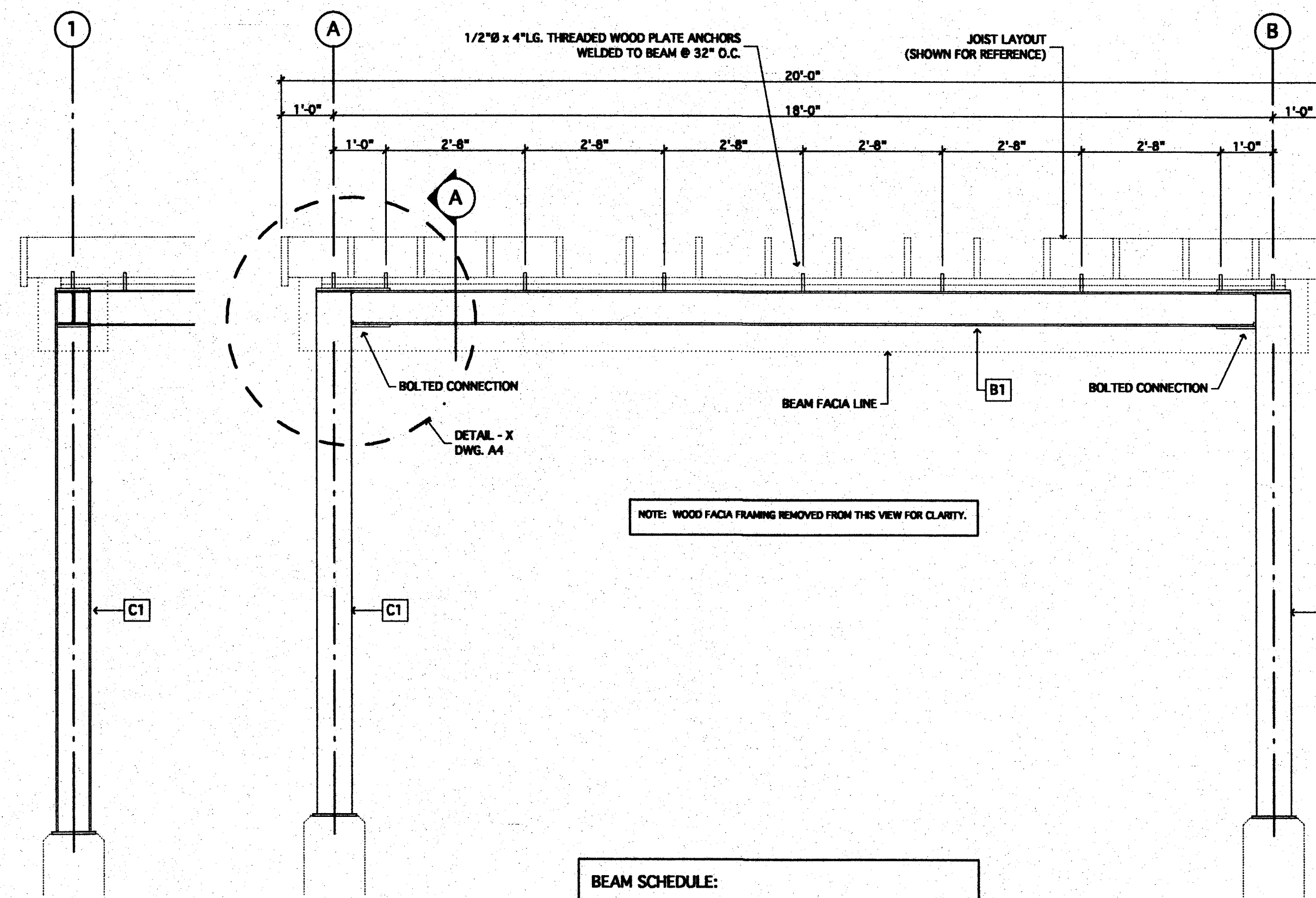
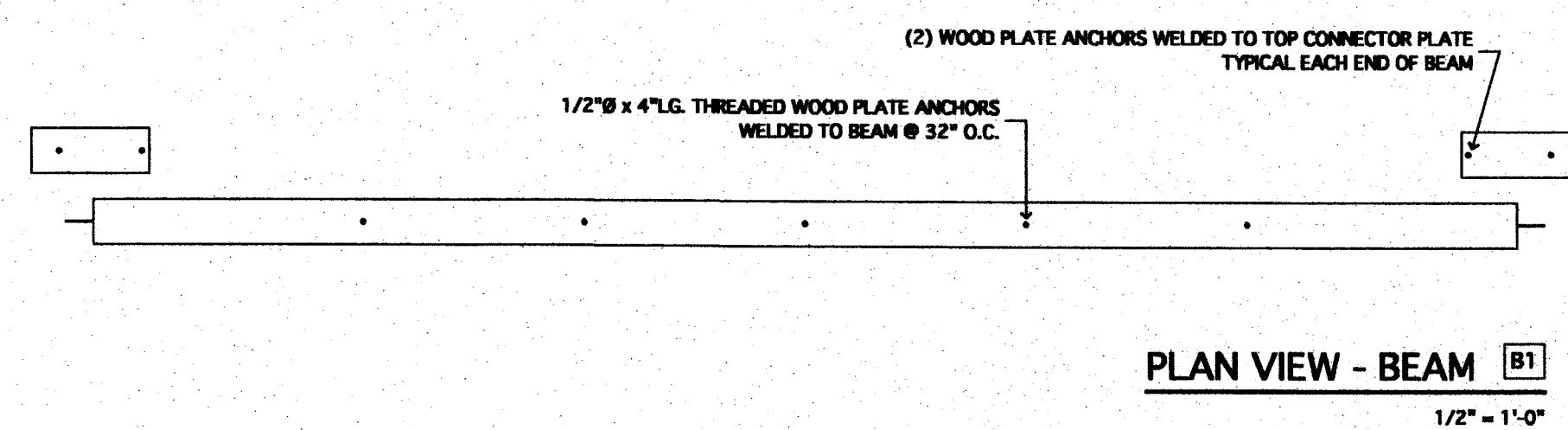
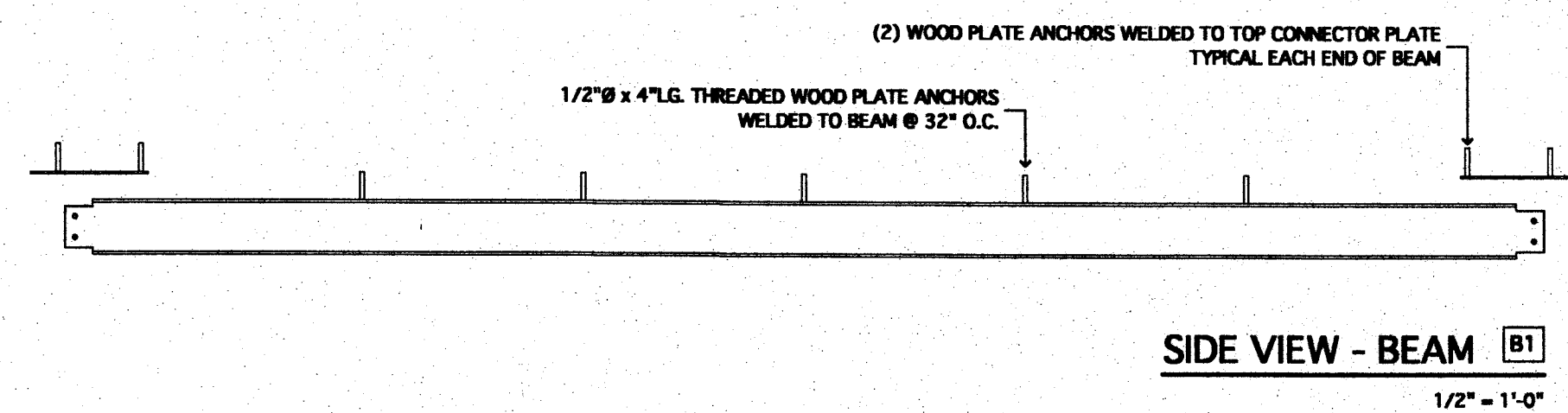
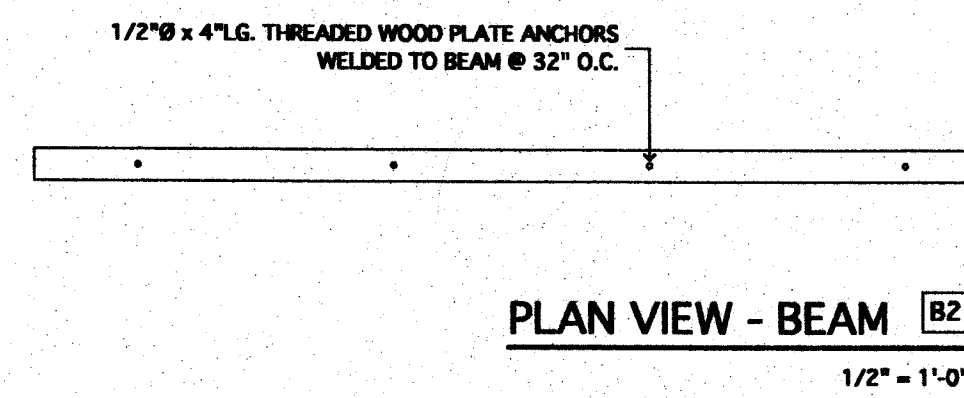
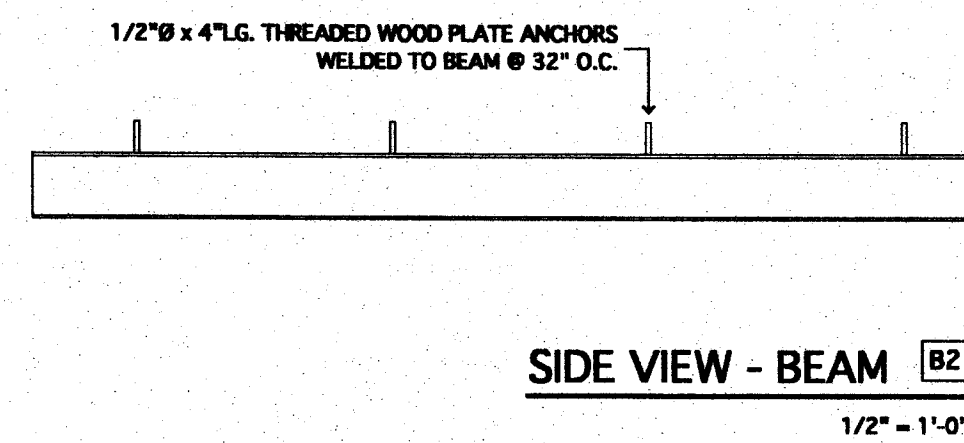
THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PRODUCED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION	SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32239
NAME	SCOTT GILES	ECJC
QUALIFICATION INFORMATION	SCOTT GILES	21608
NAME	SCOTT GILES	ECJC

SCOTT GILES
BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0E 1Y0
519-443-7950

PROJECT	PROPOSED BALCONY ADDITION FOR Mr. & Mrs. Reg Smith 20 RIDGEWAY DRIVE, TURKEY POINT, COUNTY OF NORFOLK.	
DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION
SCALE	AS NOTED	A 2
DATE	08/22/22	DRAWING

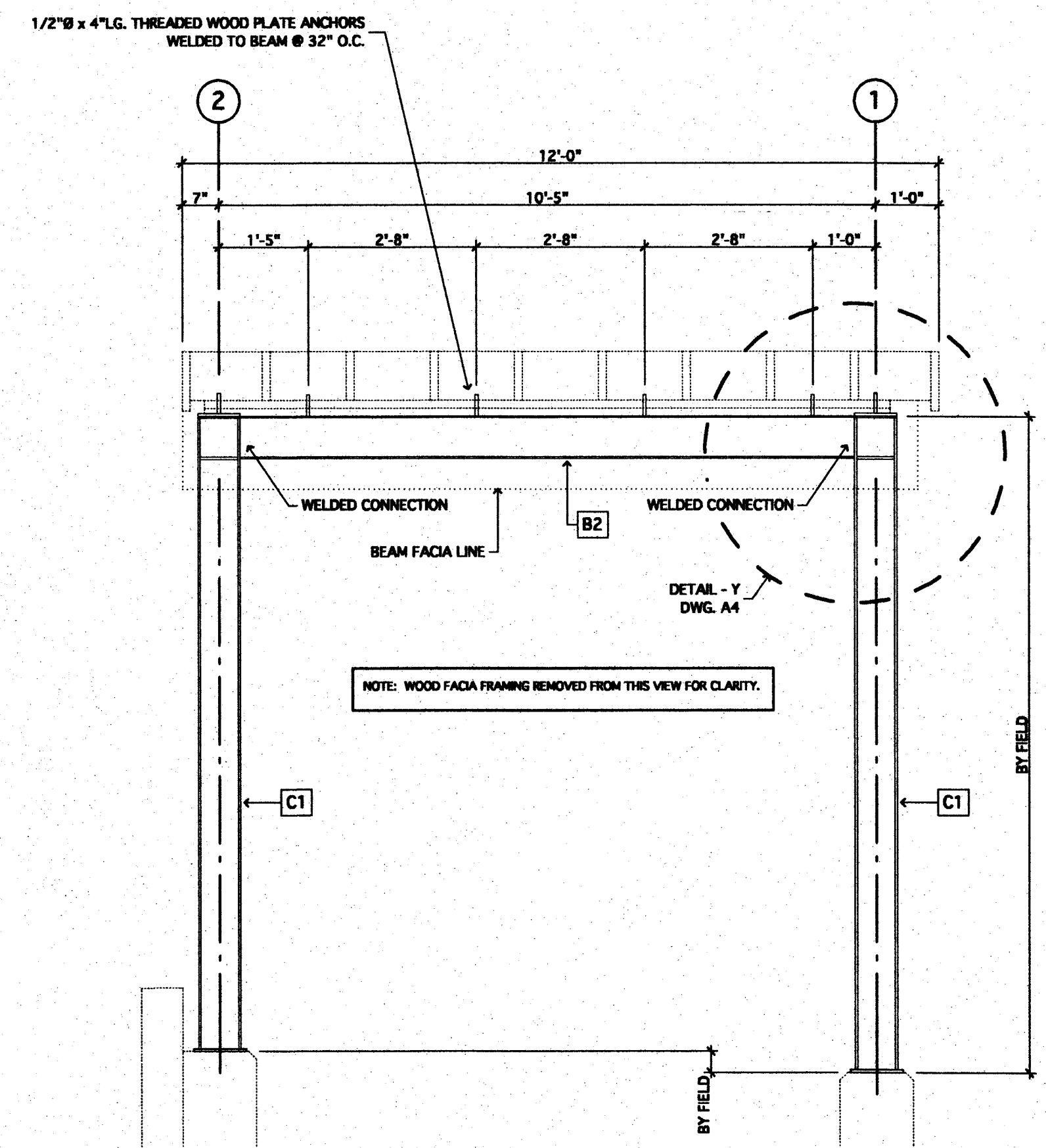


BEAM SCHEDULE:

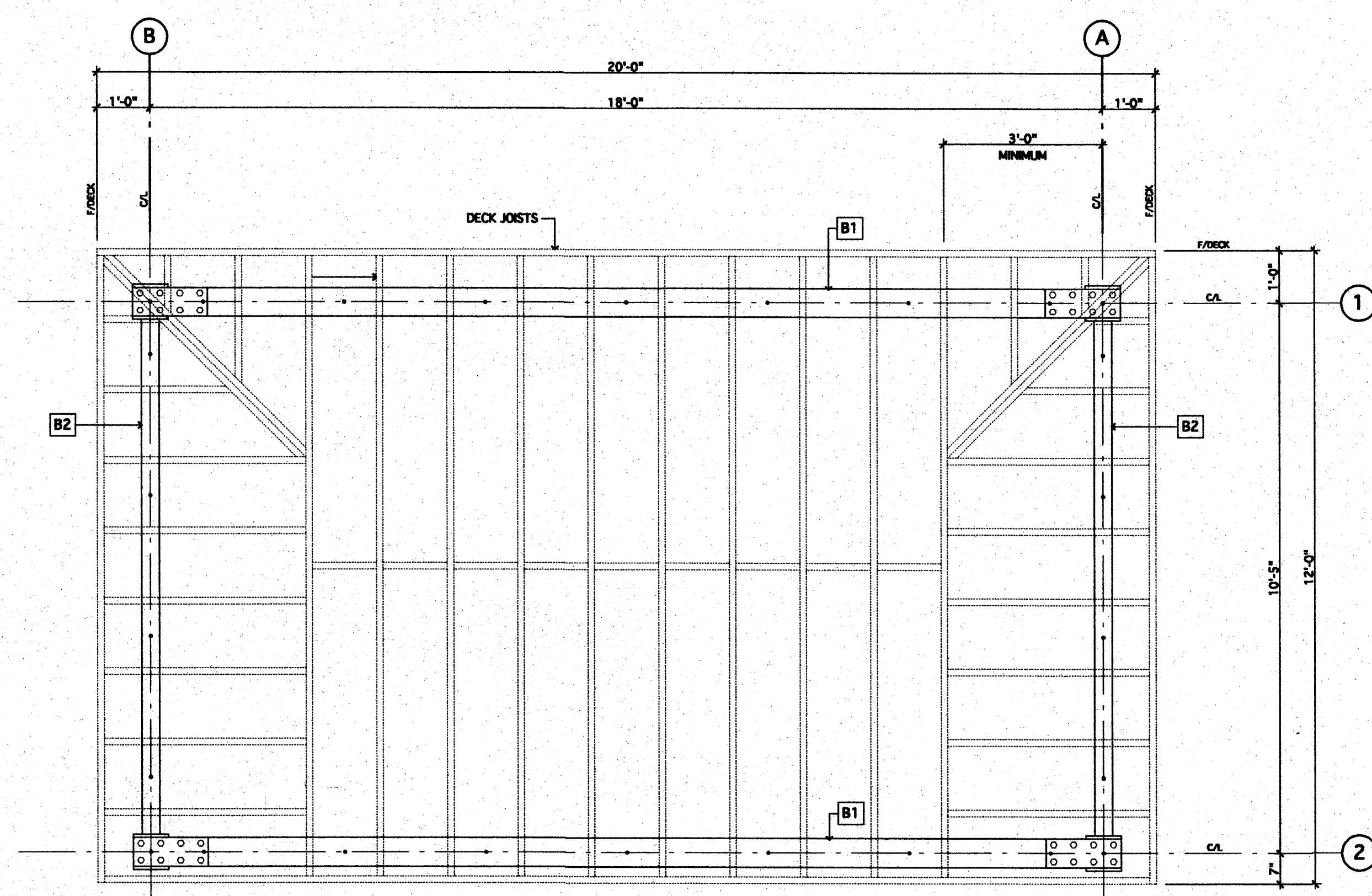
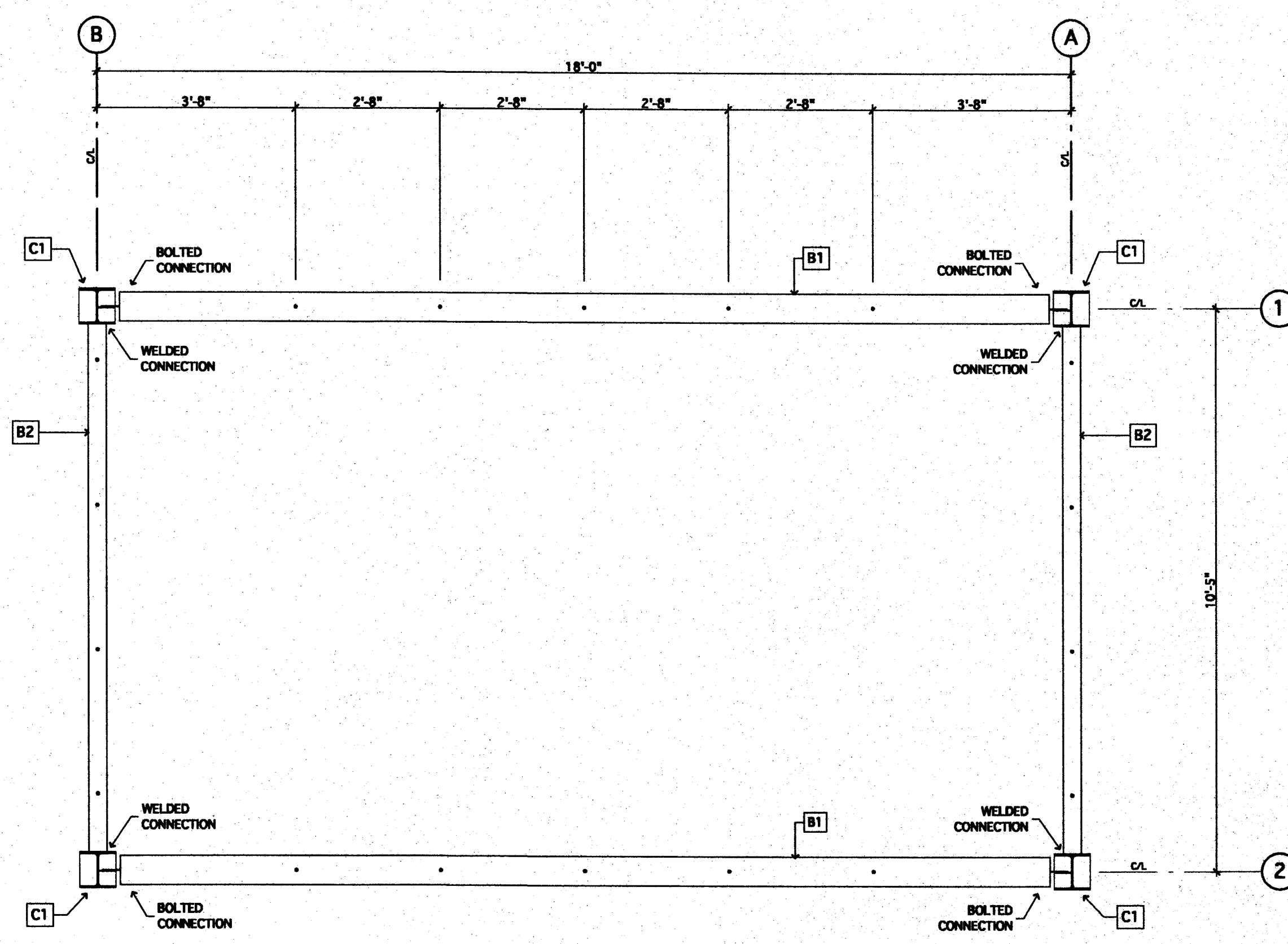
B1	W 200x36 (WB24)	SEE DETAILS DRAWING A2, A4 & A5.
B2	W 200x22 (WB15)	SEE DETAILS DRAWING A2, A4 & A5.

COLUMN SCHEDULE:

C1	W 200x46 (WB31)	SEE DETAILS DRAWING A2, A4 & A5.
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WEST SIDE VIEW
1/2" = 1'-0"



- STRUCTURAL STEEL ASSEMBLY NOTES:**
1. CONNECTION OF BEAM B1 TO COLUMN C1 TO BE BOLTED.
 2. CONNECTION OF BEAM B2 TO COLUMN C1 TO BE WELDED.
- STEEL NOTES:**
1. ALL STRUCTURAL STEEL TO ASTM A36.
 2. ALL CONNECTORS TO ASTM A325.



For Structural Steel

 A. J. LOHORVAI
 100233966
 PROVINCE OF ONTARIO
 Registered Professional Engineer
 EX-110
 Esimius Engineering Ltd.
 1806 Concession 11 Twn
 Waterford, ON
 NOE 1Y0

REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION.	10/11/22

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PRODUCED FOR THE PURPOSE OF ASSISTING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONSHORE BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION

SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32259
NAME	S.C.J.K.

QUALIFICATION INFORMATION

SCOTT GILES	21008
NAME	S.C.J.K.

SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED
 DESIGNERS OF FINE HOMES
 71 THOMPSON ROAD, WATERFORD, ONTARIO, NOE 1Y0
 519-445-7950

PROJECT
 PROPOSED BALCONY ADDITION
 FOR
 Mr. & Mrs. Reg Smith
 20 RIDGEWAY DRIVE, TURKEY POINT, COUNTY OF NORFOLK.

DESIGNED
 S. GILES

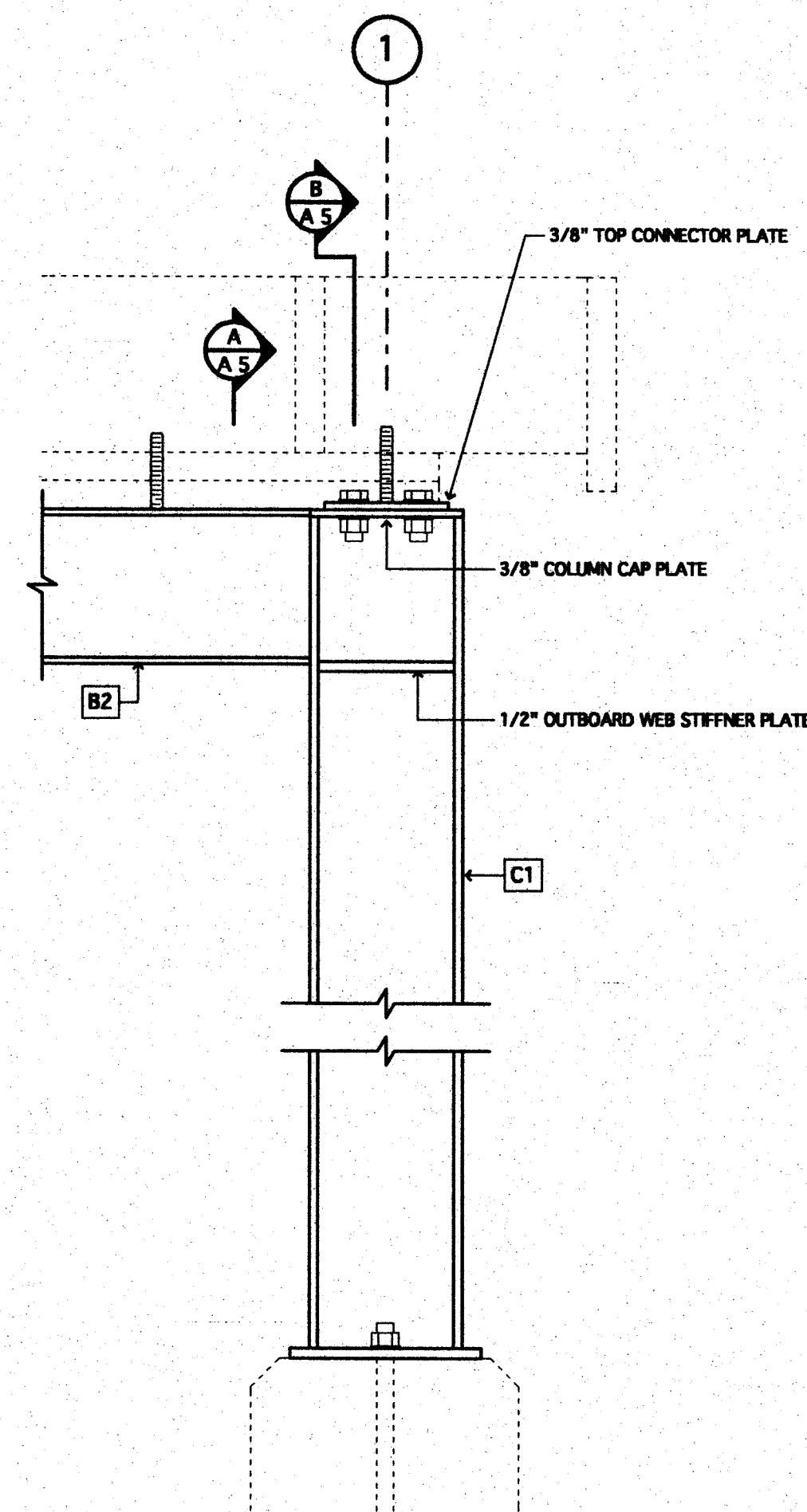
DRAWN
 S. GILES

SCALE
 AS NOTED

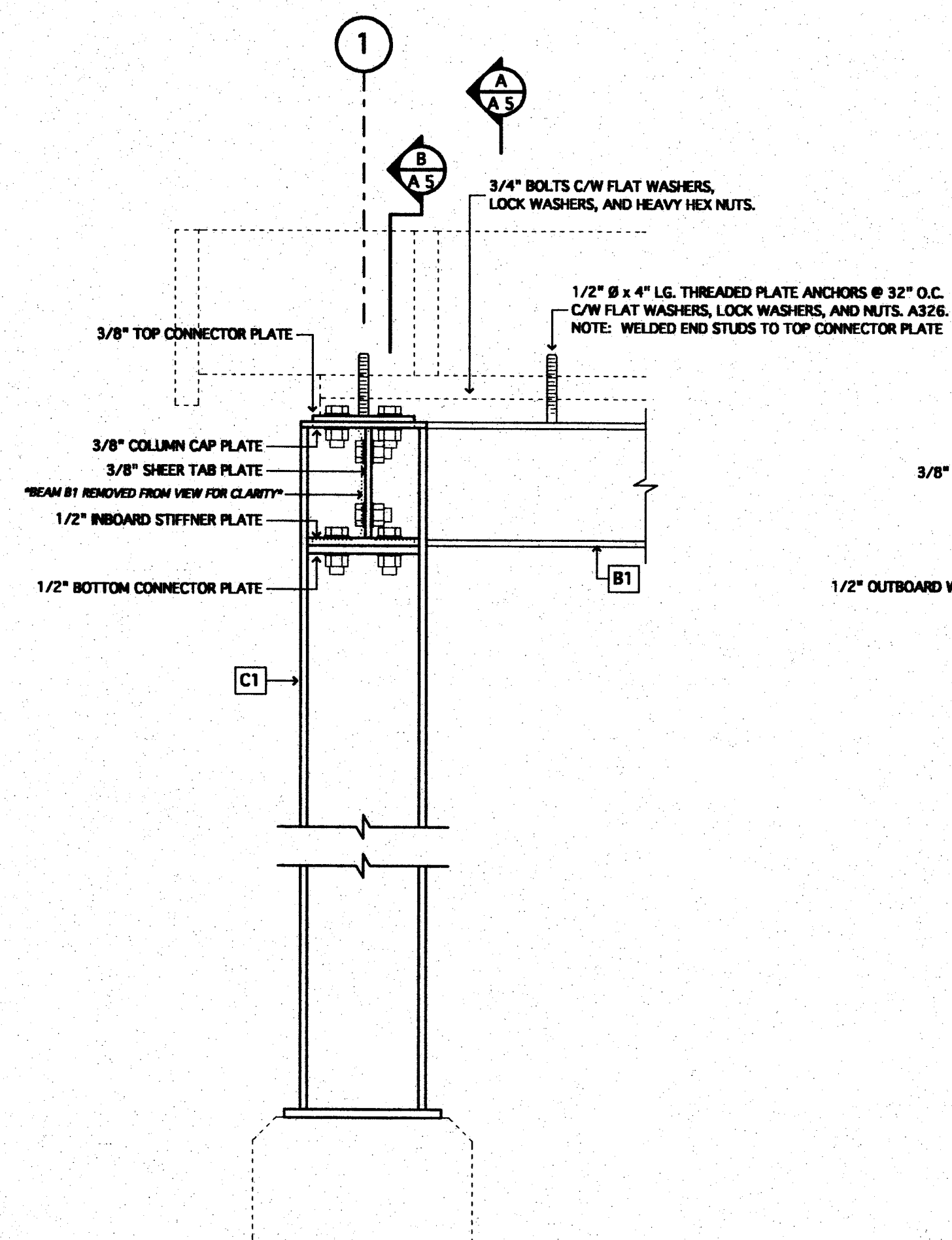
DATE
 08/22/22

0
 REVISION

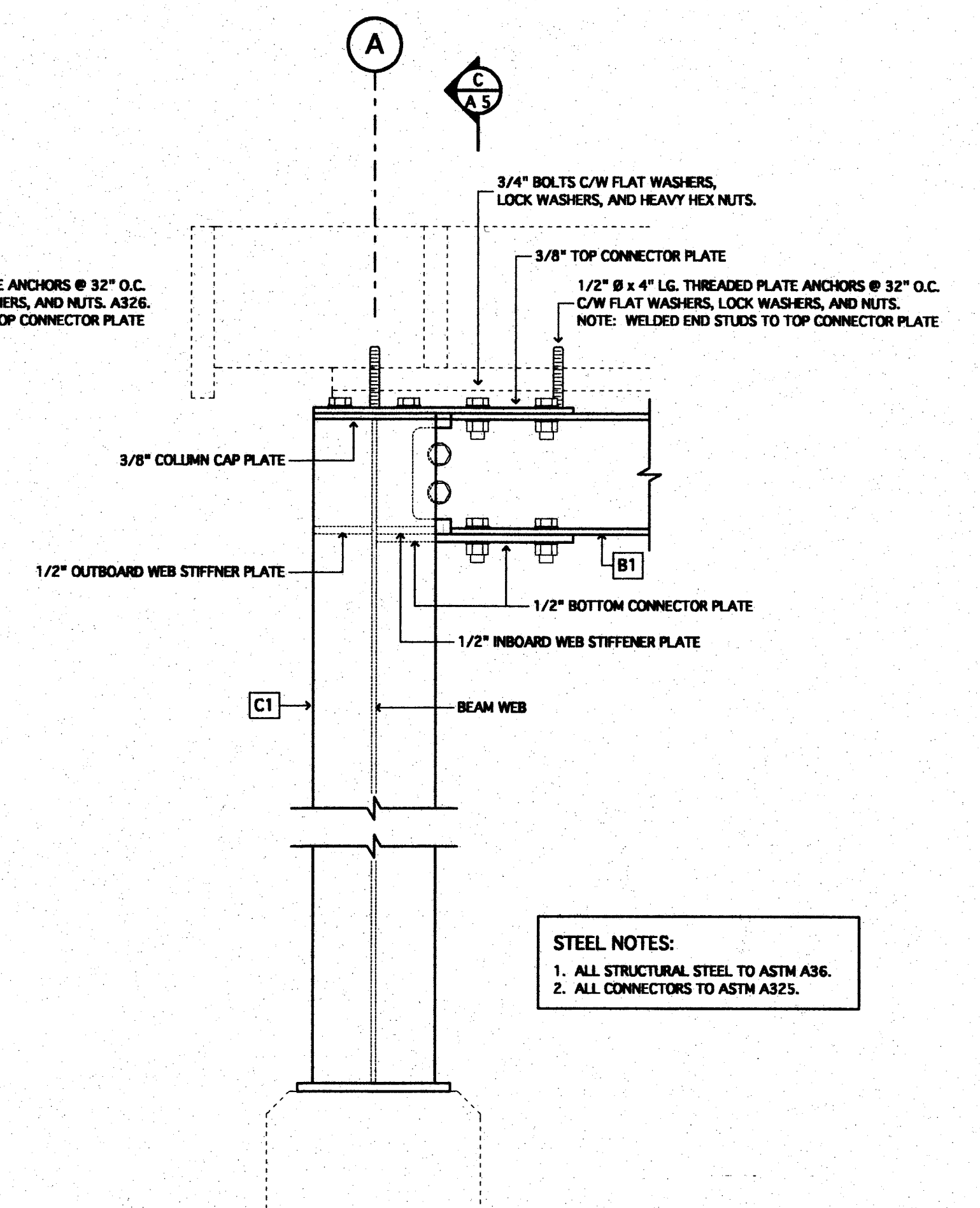
A 3
 DRAWING



DETAIL Y
ASSEMBLY WEST SIDE VIEW
A 3

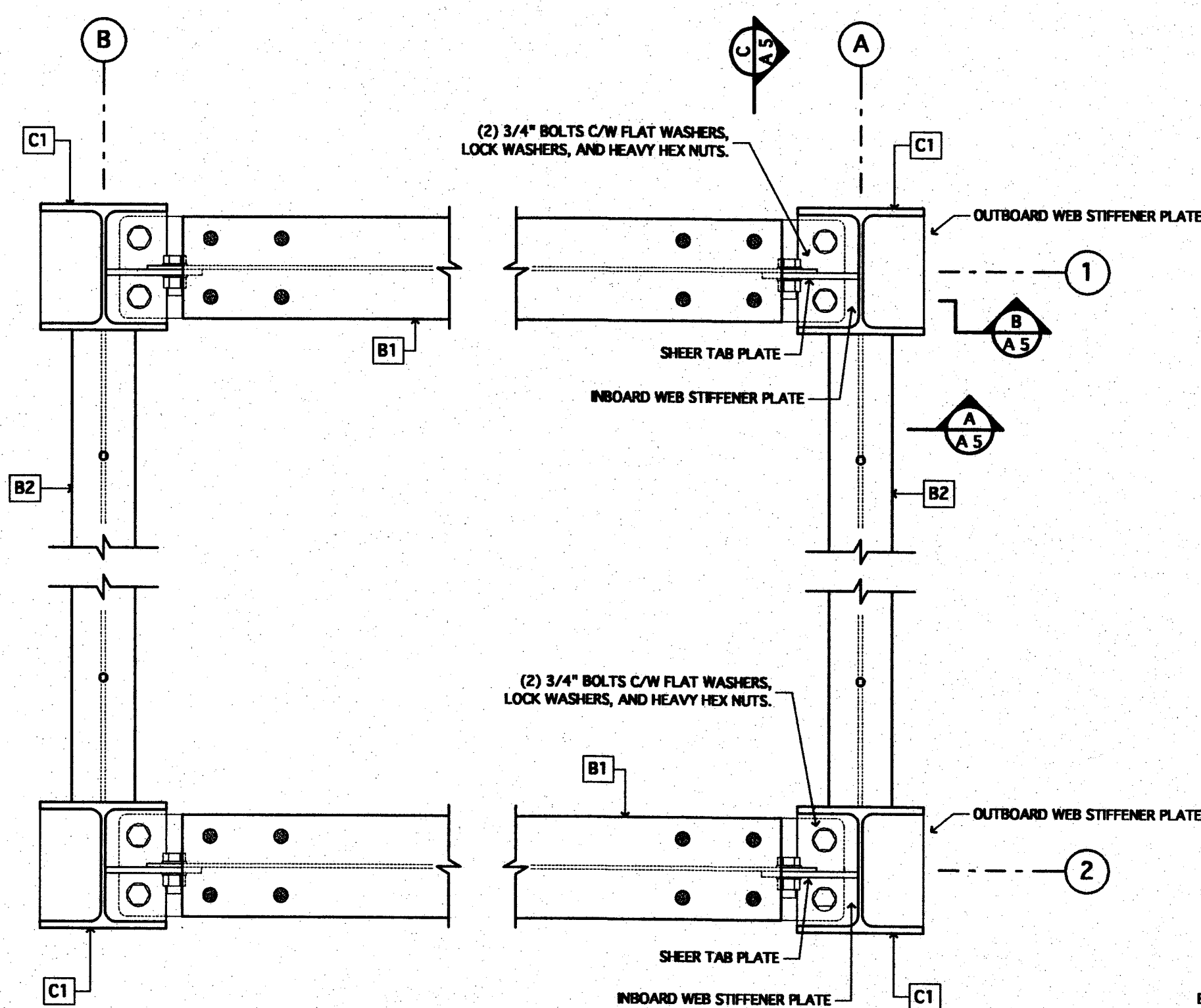


VIEW ON INBOARD SIDE OF COLUMN

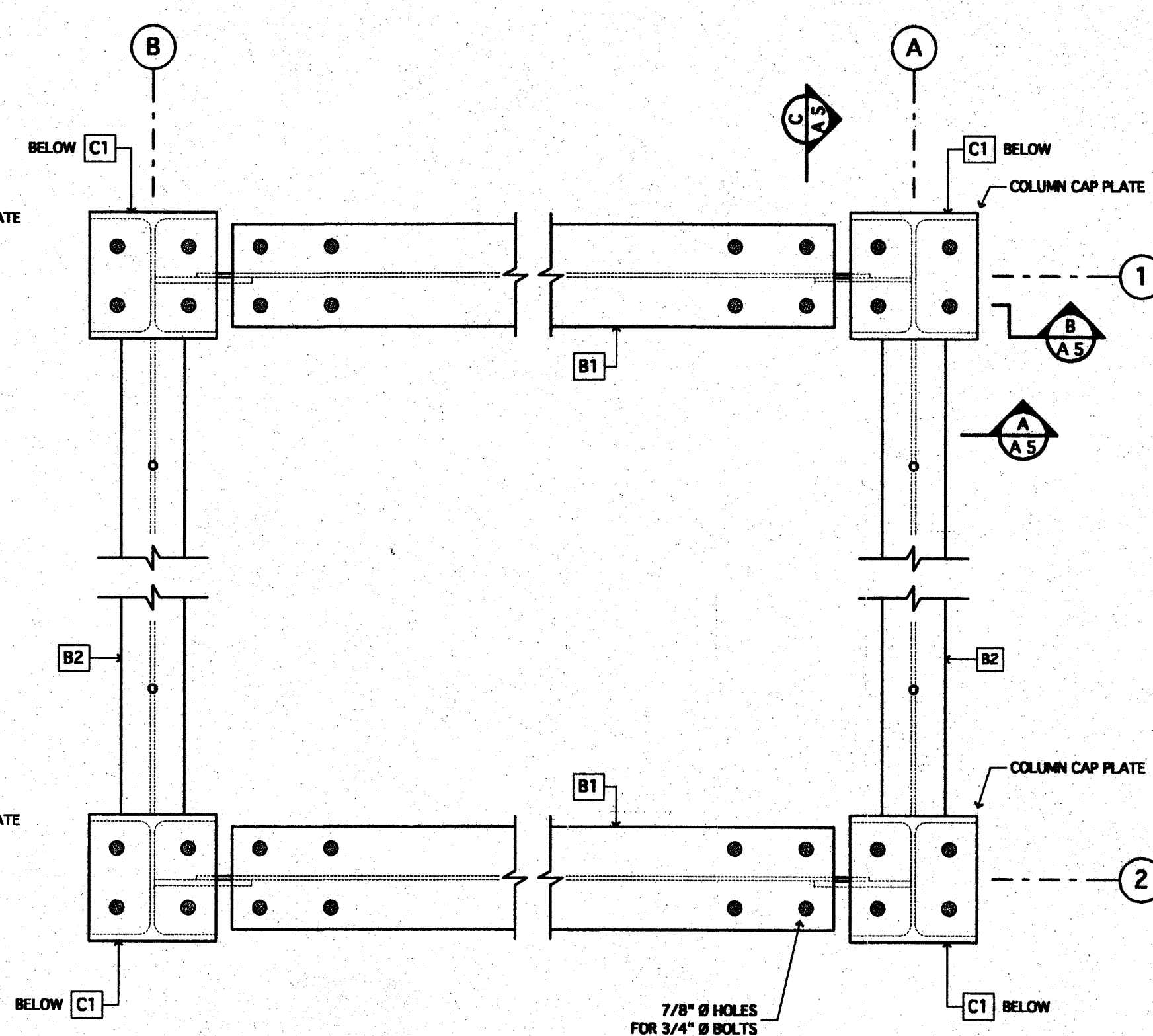


DETAIL X
ASSEMBLY SOUTH SIDE VIEW
A 3

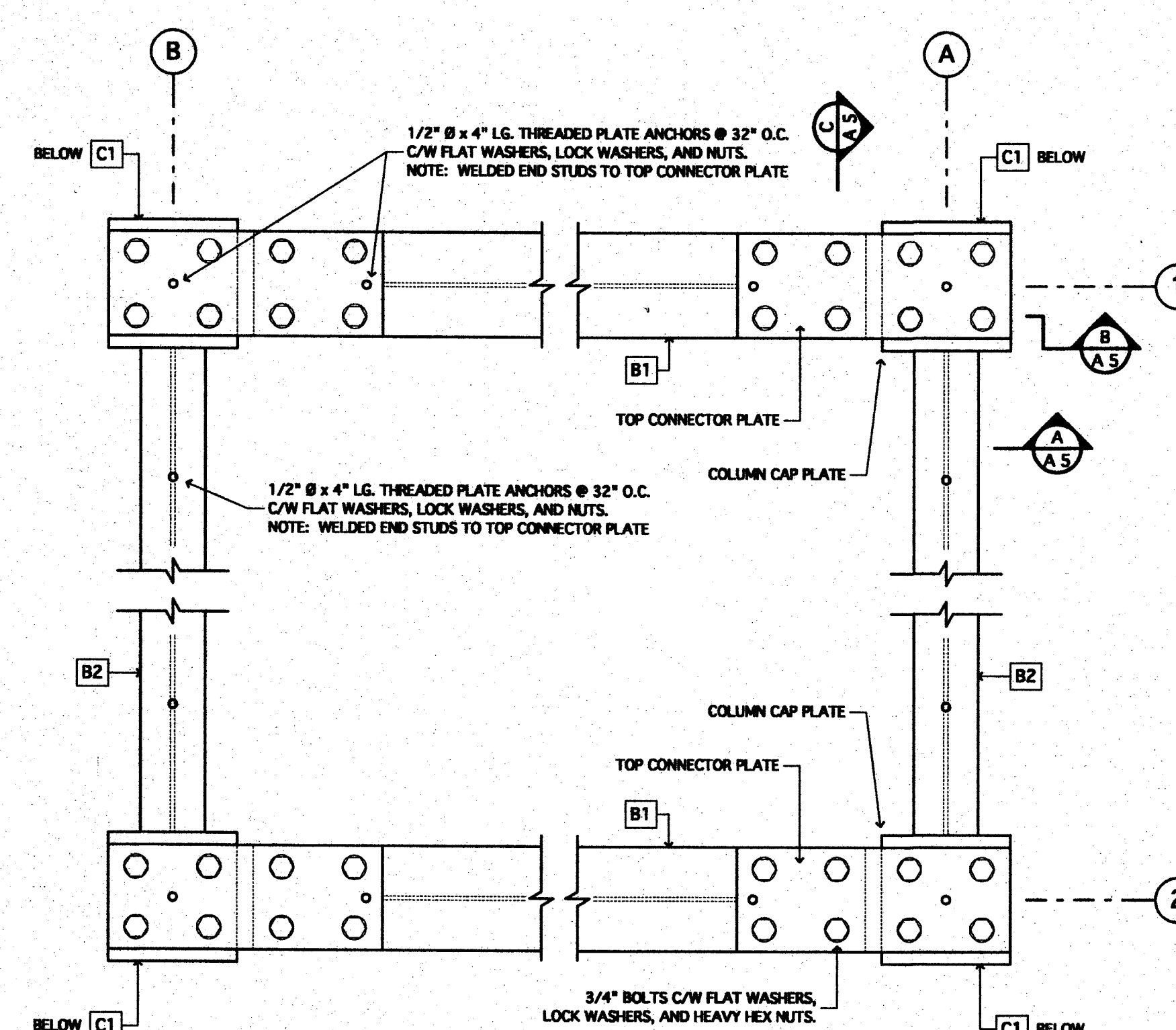
STEEL NOTES:
1. ALL STRUCTURAL STEEL TO ASTM A36.
2. ALL CONNECTORS TO ASTM A325.



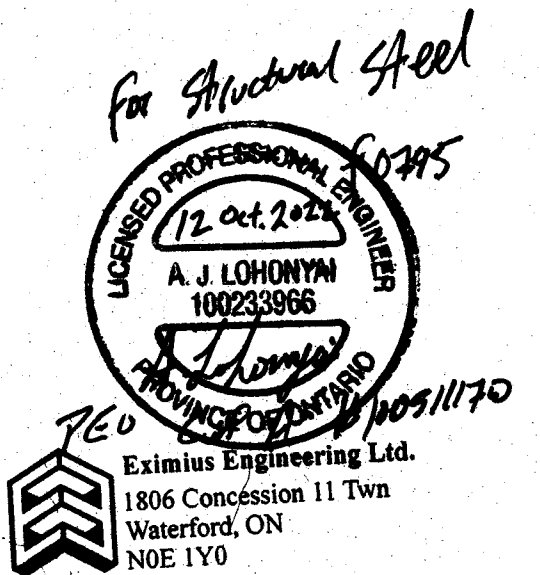
TOP VIEW OF ASSEMBLY
WITH CONNECTOR PLATE & BEAM CAP REMOVED
1 1/2\"/>



TOP VIEW OF ASSEMBLY
WITH CONNECTOR PLATES REMOVED
1 1/2\"/>



TOP VIEW OF ASSEMBLY
1 1/2\"/>



REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	10/11/22

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PRODUCED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

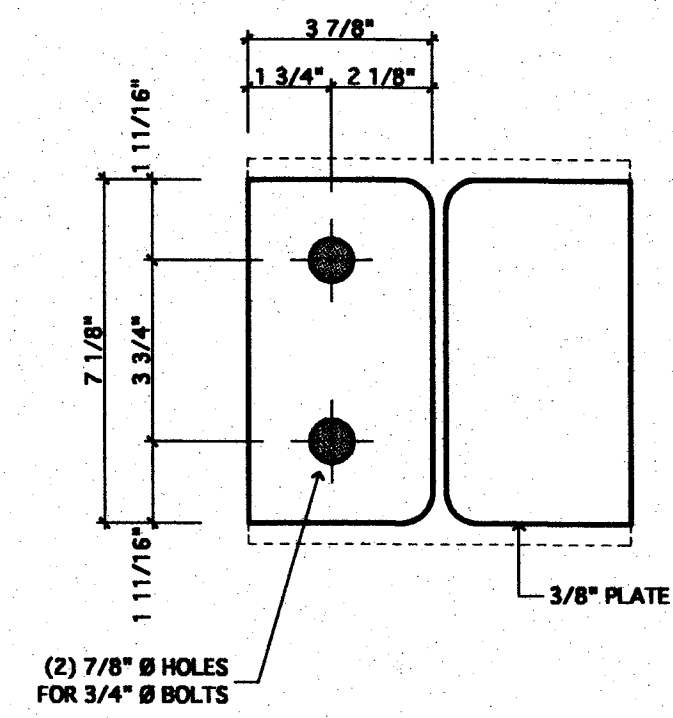
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION	
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32259
NAME	R.C.J.R.
QUALIFICATION INFORMATION	
SCOTT GILES	21808
NAME	R.C.J.R.

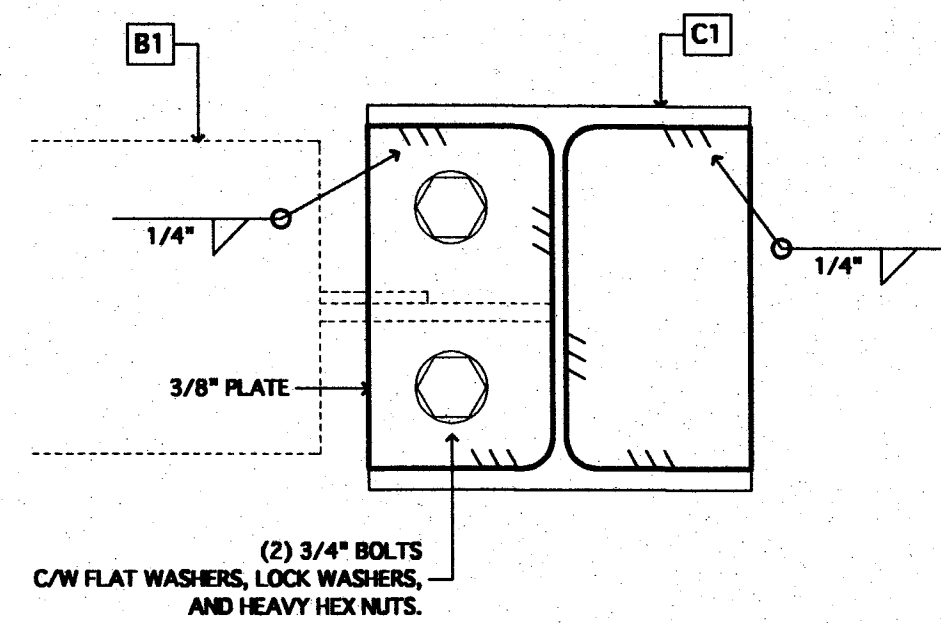
SCOTT GILES
BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0E 1Y0
519-443-7550

PROJECT
PROPOSED BALCONY ADDITION
FOR
Mr. & Mrs. Reg Smith
20 RIDGEWAY DRIVE, TURKEY POINT, COUNTY OF HONOLULU

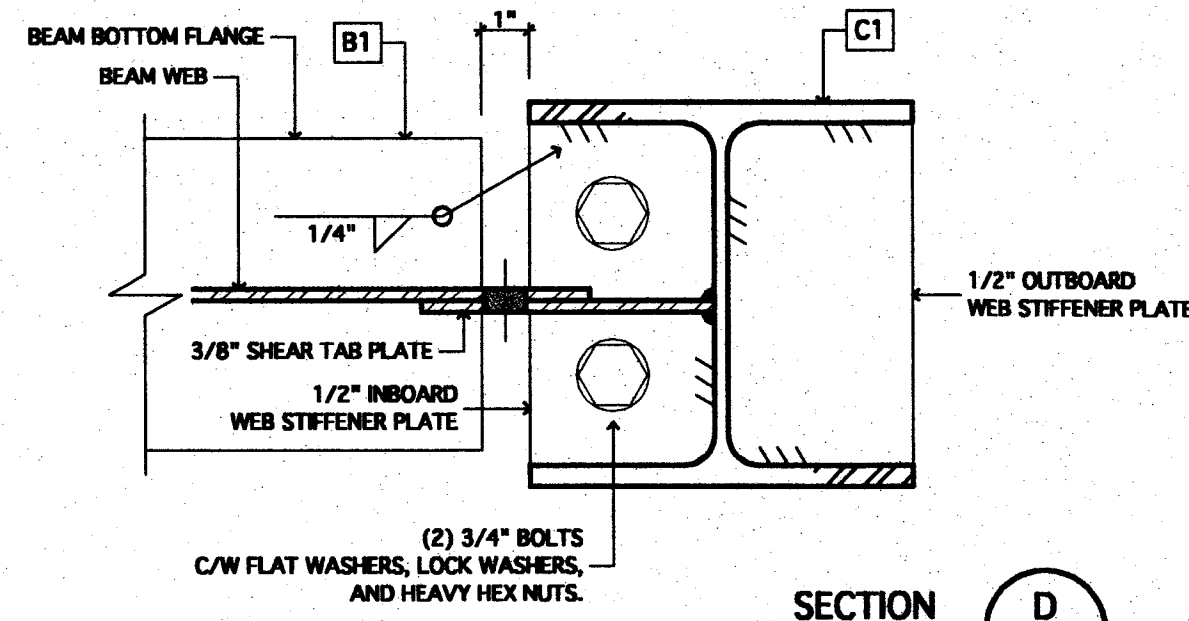
DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION
SCALE	AS NOTED	A 4
DATE	08/22/22	DRAWING



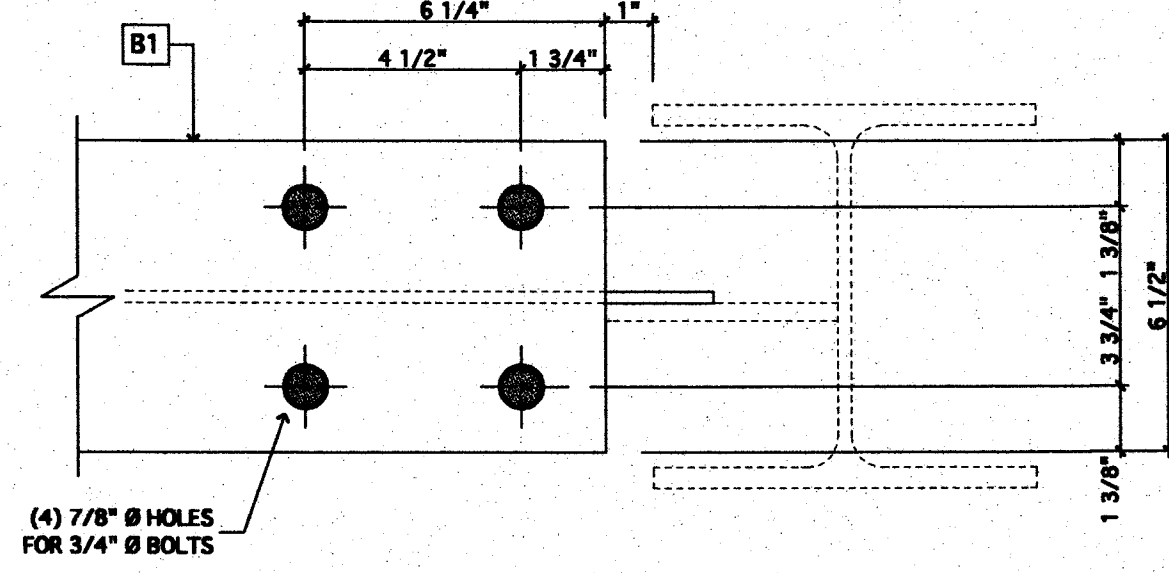
INBOARD & OUTBOARD
WEB STIFFENER PLATES DETAIL



INBOARD & OUTBOARD
WEB STIFFENER PLATES LAYOUT

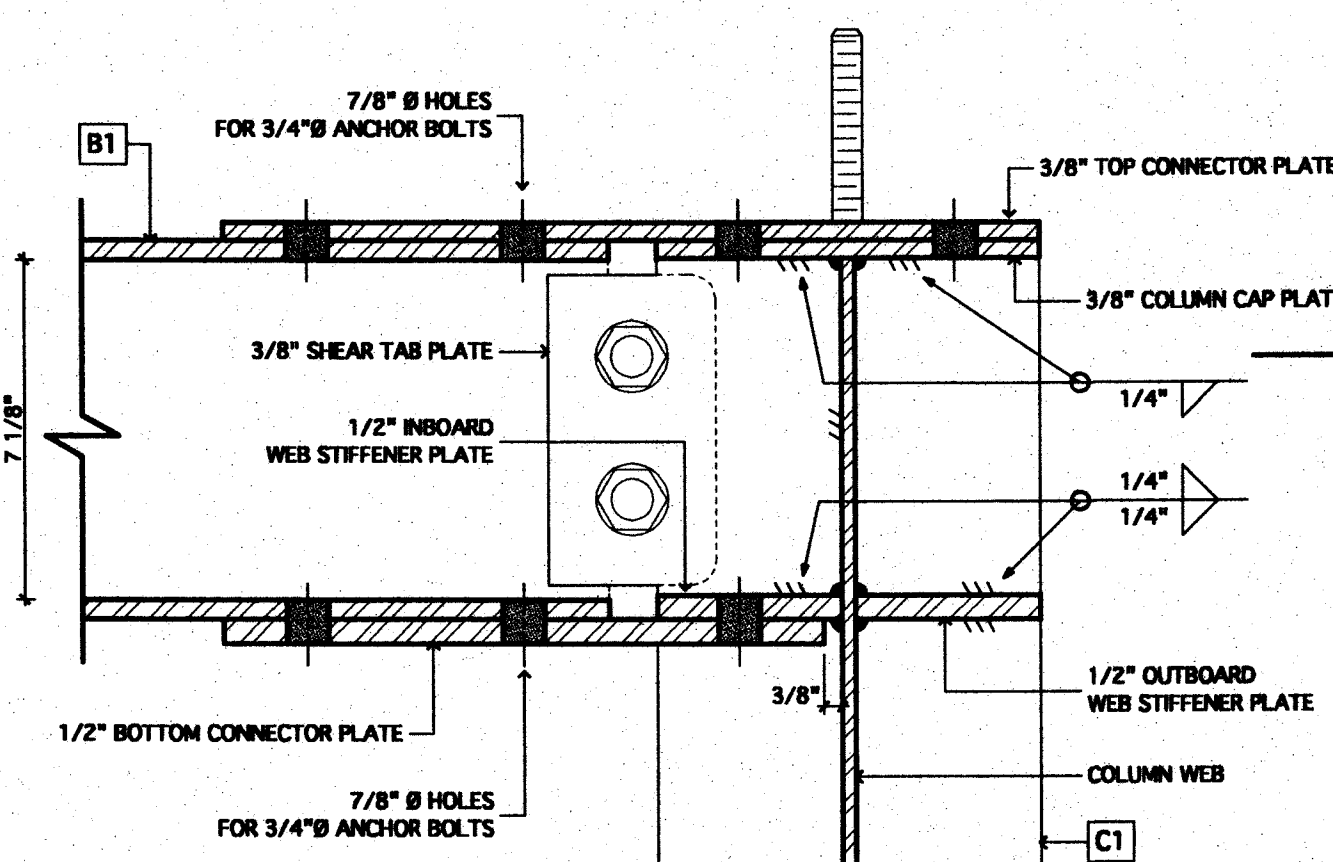


SECTION D
3" x 1'-0"

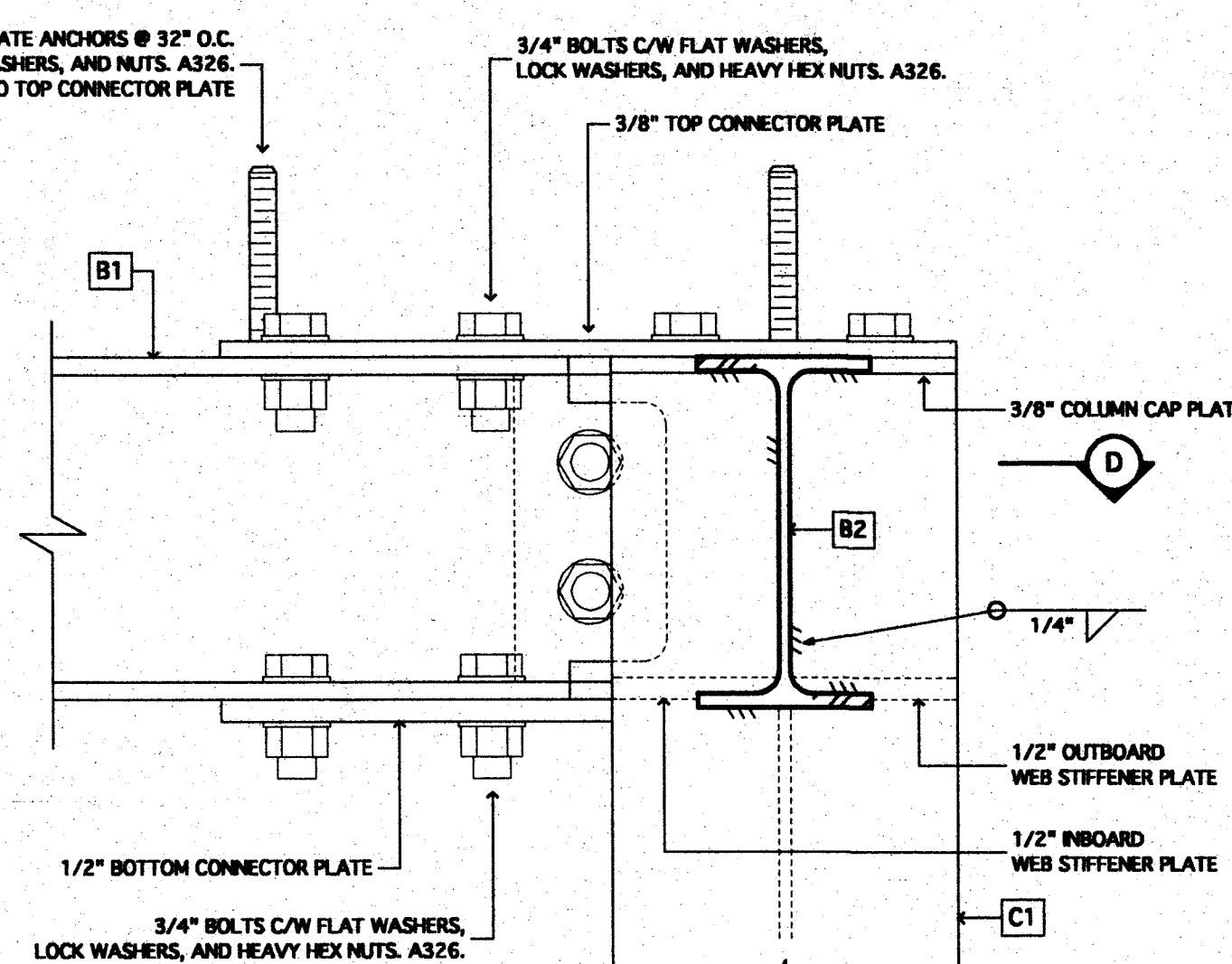


BEAM BOLT HOLE LAYOUT DETAIL
3" x 1'-0"

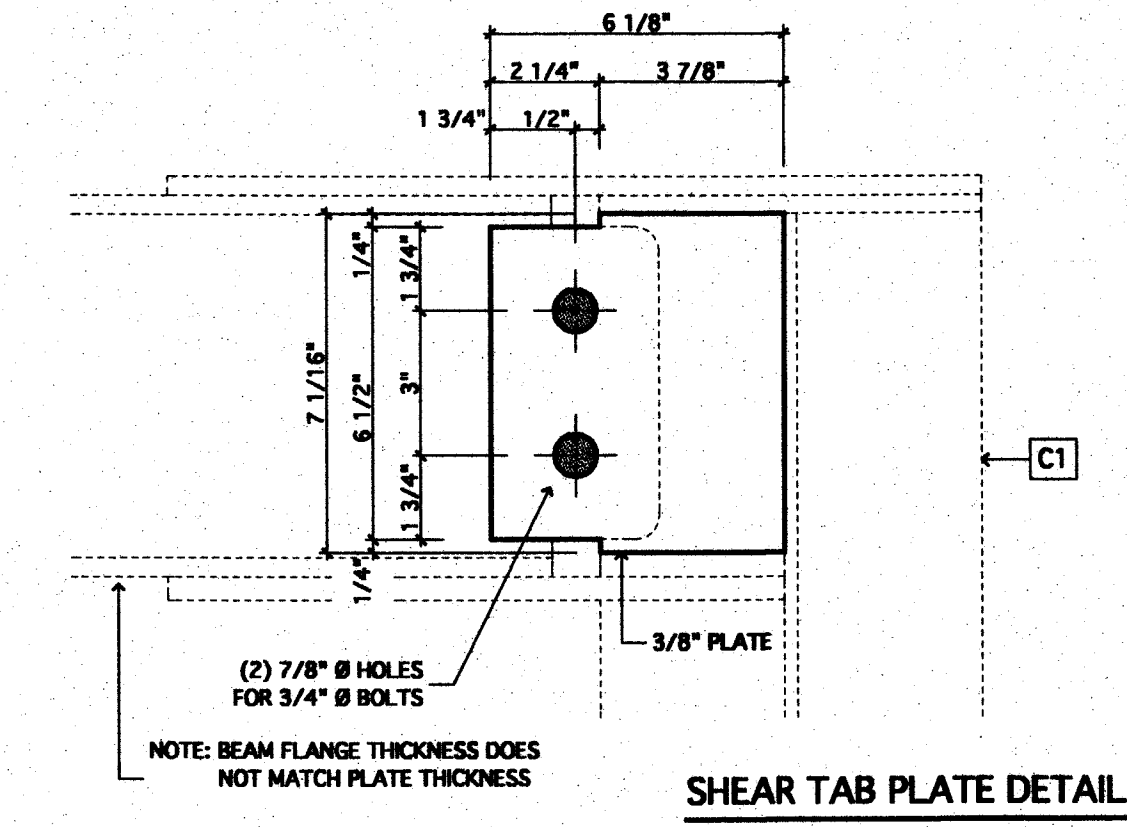
1/2" x 4" L.G. THREADED PLATE ANCHORS @ 32" O.C.
C/W FLAT WASHERS, LOCK WASHERS, AND NUTS, A326.
NOTE: WELDED END STUDS TO TOP CONNECTOR PLATE



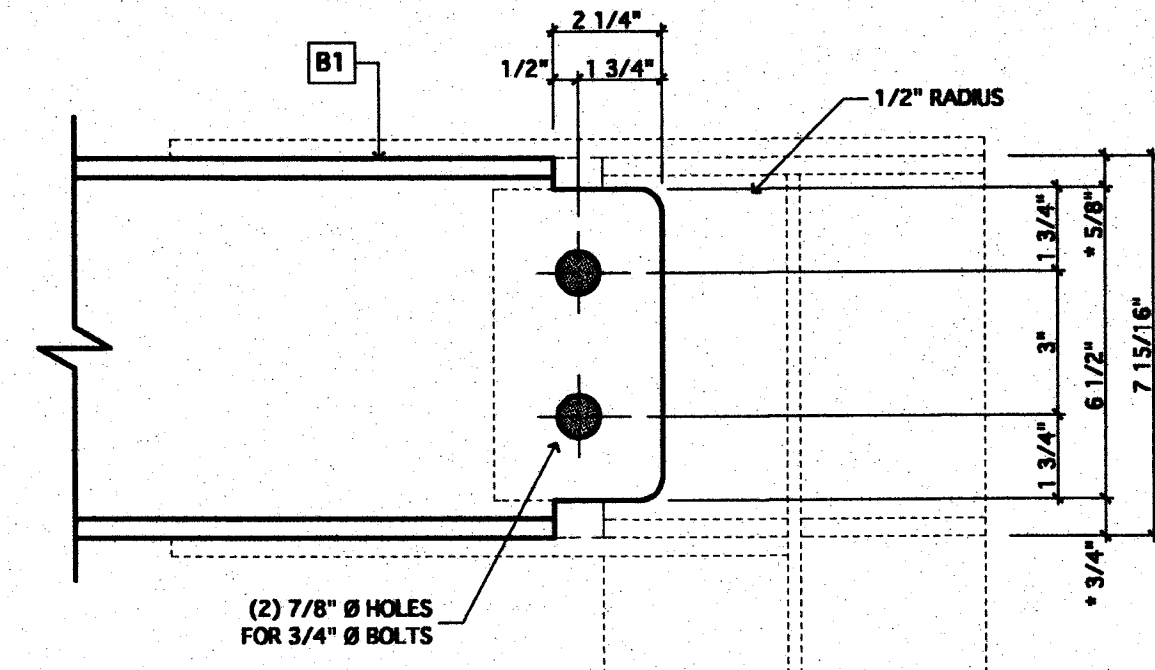
SECTION B
3" x 1'-0"



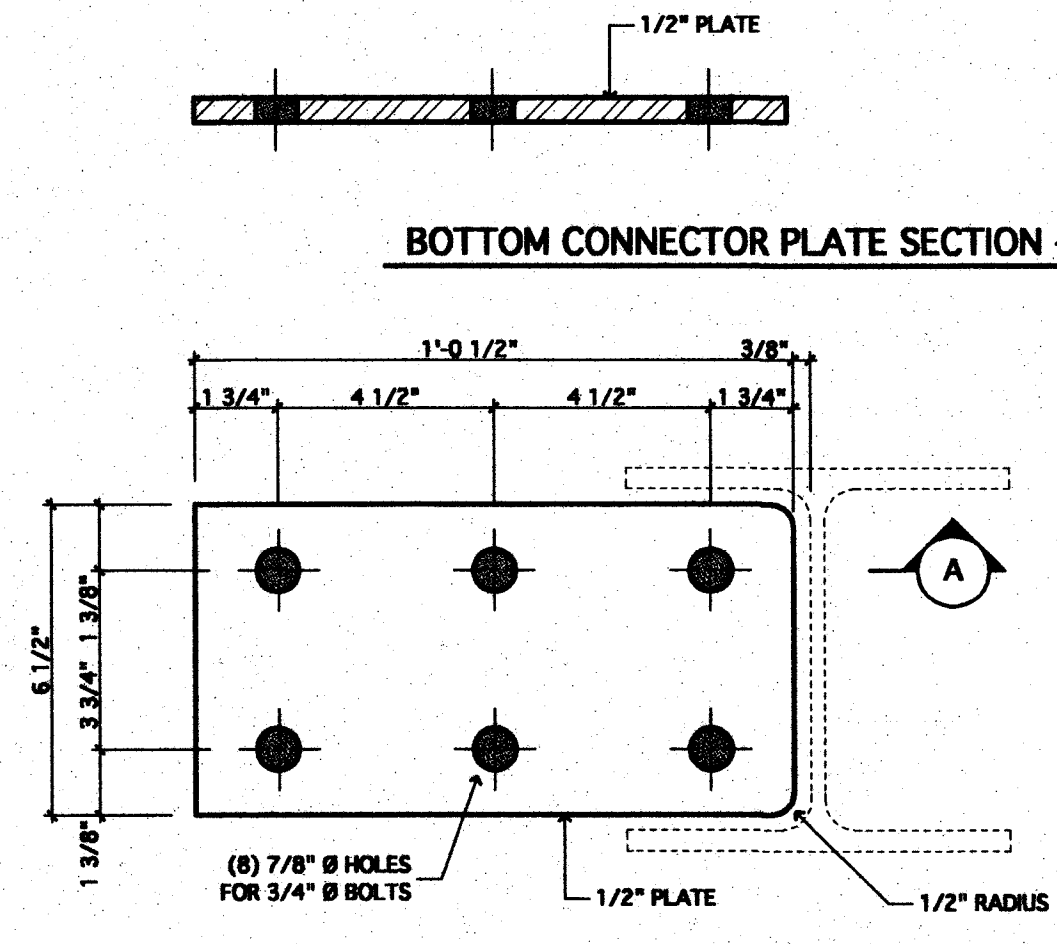
SECTION A
3" x 1'-0"



SHEAR TAB PLATE DETAIL

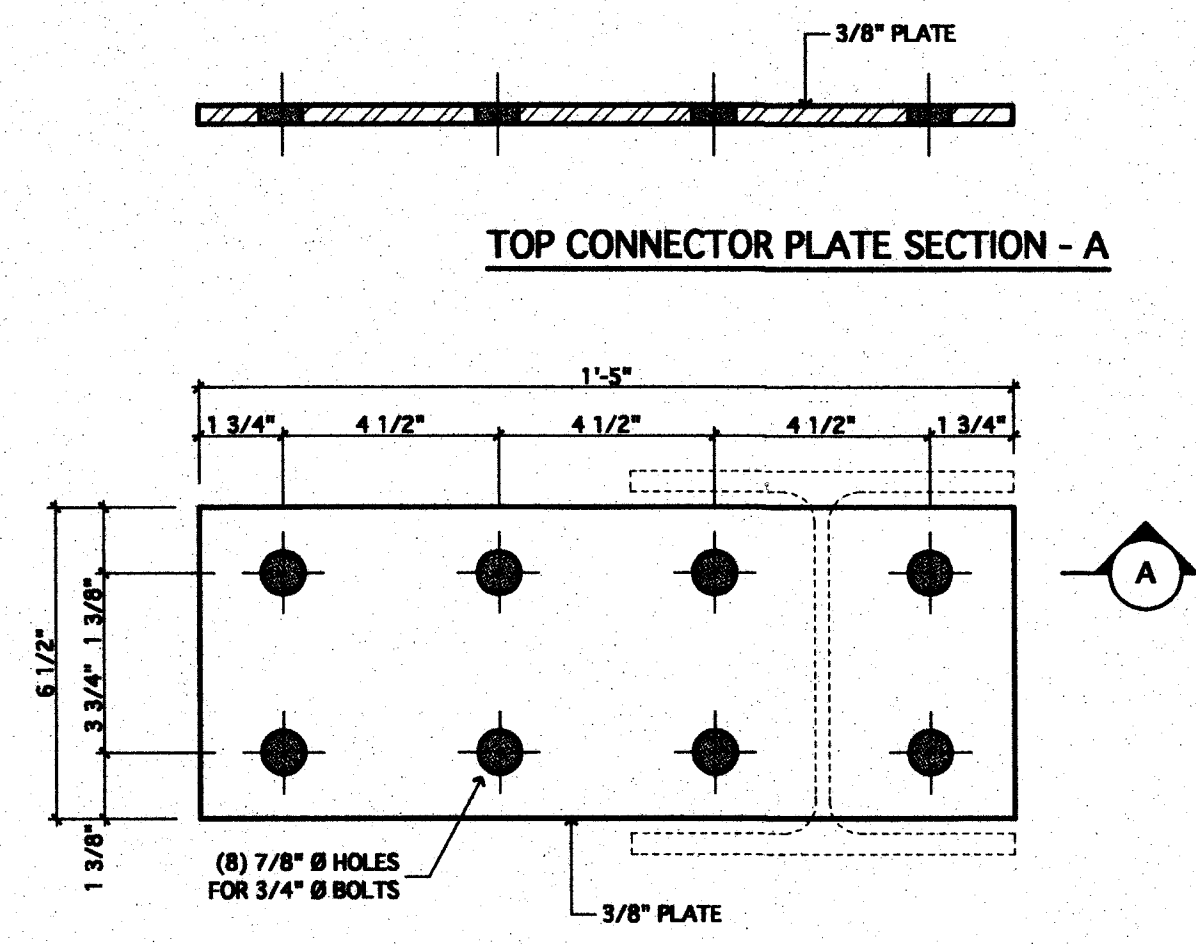


BEAM END COPING DETAIL



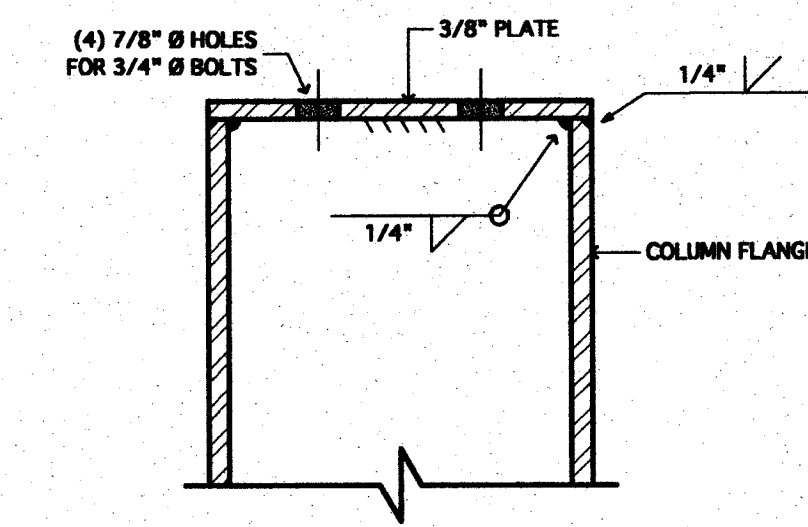
BOTTOM CONNECTOR PLATE SECTION - A

BOTTOM CONNECTOR PLATE DETAIL

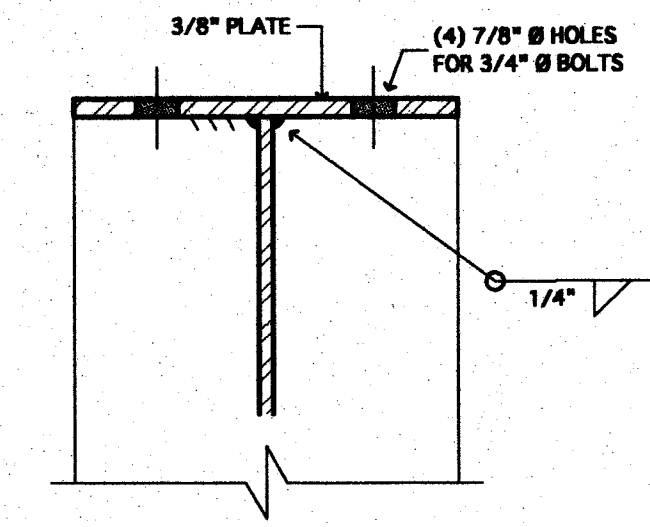


TOP CONNECTOR PLATE SECTION - A

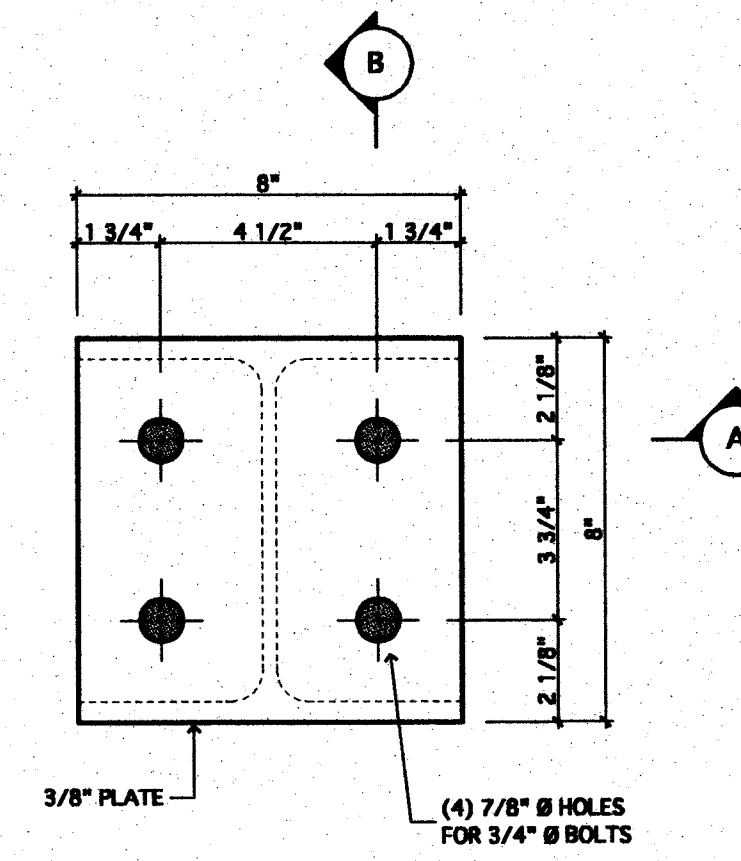
TOP CONNECTOR PLATE DETAIL



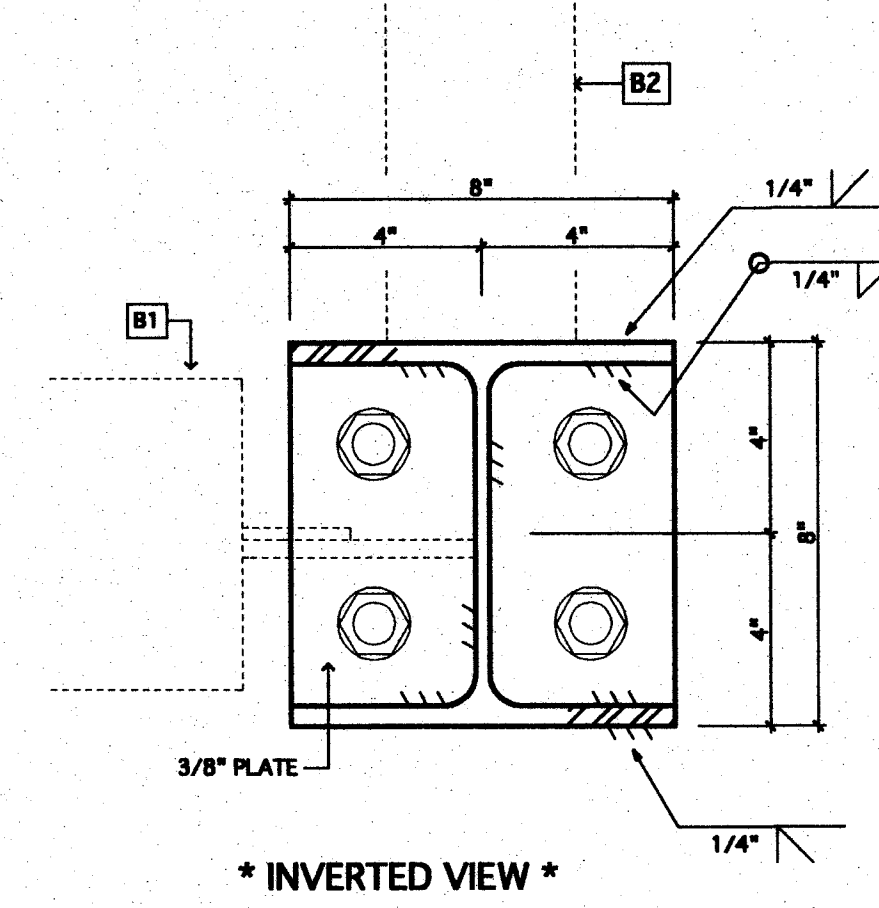
COLUMN CAP PLATE SECTION - B



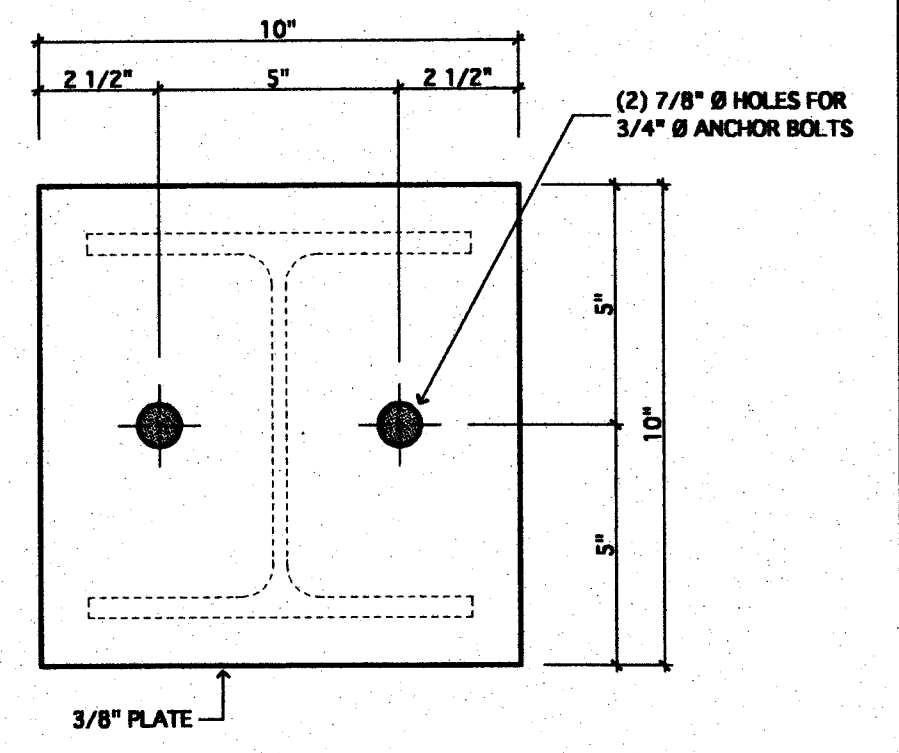
COLUMN CAP PLATE SECTION - A



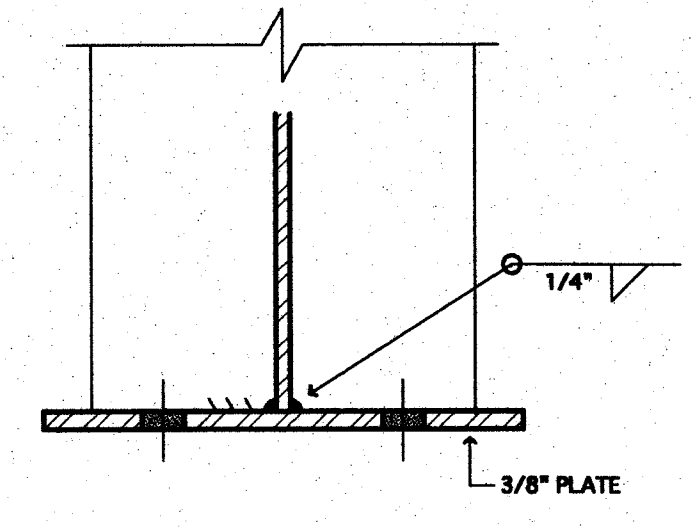
COLUMN CAP PLATE DETAIL



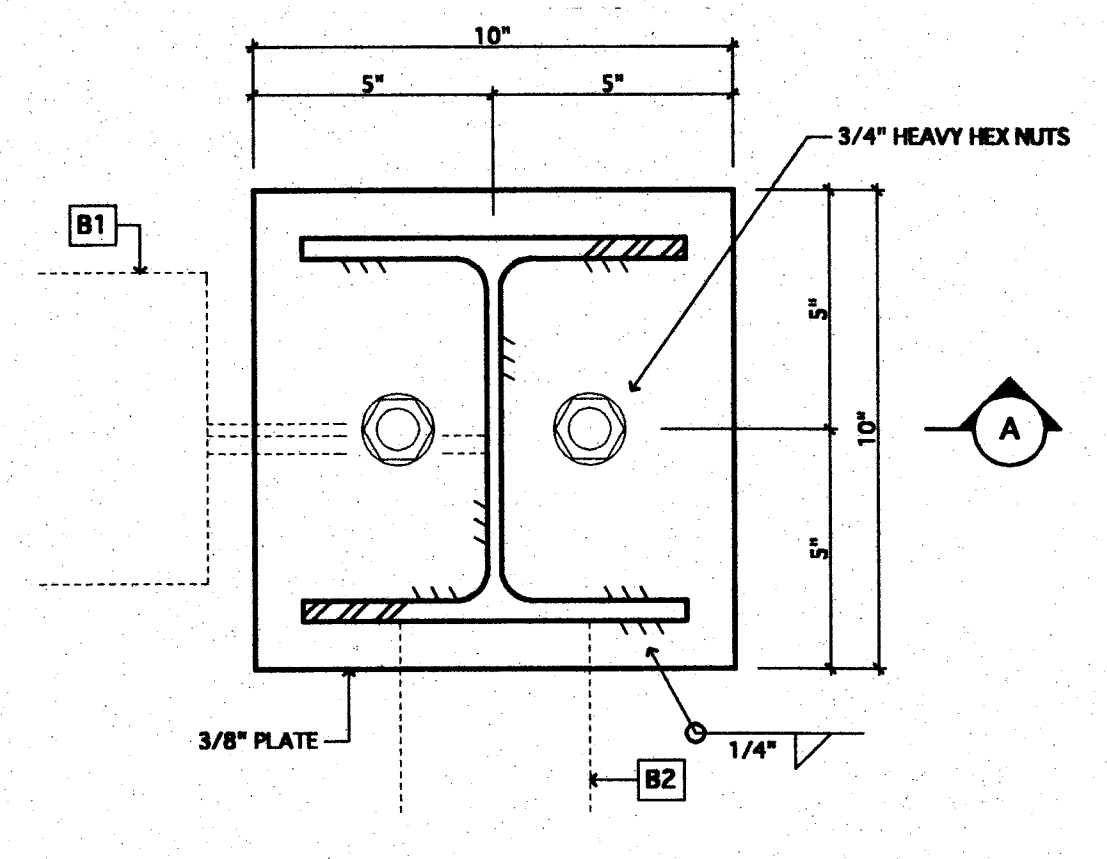
COLUMN CAP PLATE LAYOUT



COLUMN BASE PLATE DETAIL



COLUMN BASE PLATE SECTION - A



COLUMN BASE PLATE LAYOUT

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	10/11/22
O	ISSUED FOR CONSTRUCTION	

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THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OFFICIAL BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION	SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32255
NAME	SCOTT GILES	R21X
QUALIFICATION INFORMATION	SCOTT GILES	21608
DATE		R21X

SCOTT GILES
BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, M5E 1Y0
519-443-7950

PROJECT: PROPOSED BALCONY ADDITION
FOR: Mr. & Mrs. Reg Smith
20 RIDGEWAY DRIVE, TURKEY POINT, COUNTY OF NORFOLK

DESIGNED	S. GILES	B
DRAWN	S. GILES	REVISION
SCALE	3" = 1'-0"	A5
DATE	08/22/22	DRAWING

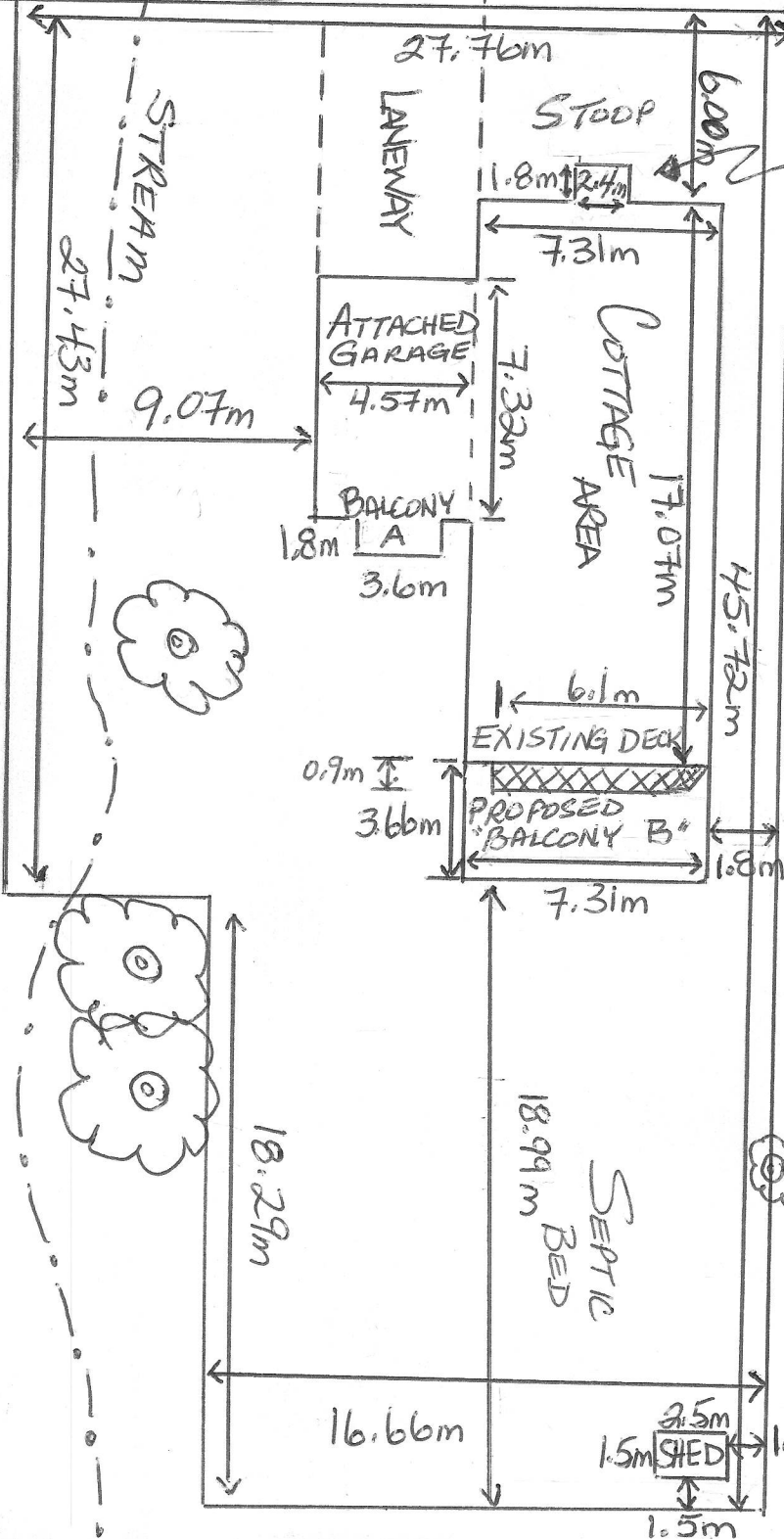
RIDGEWOOD DRIVE



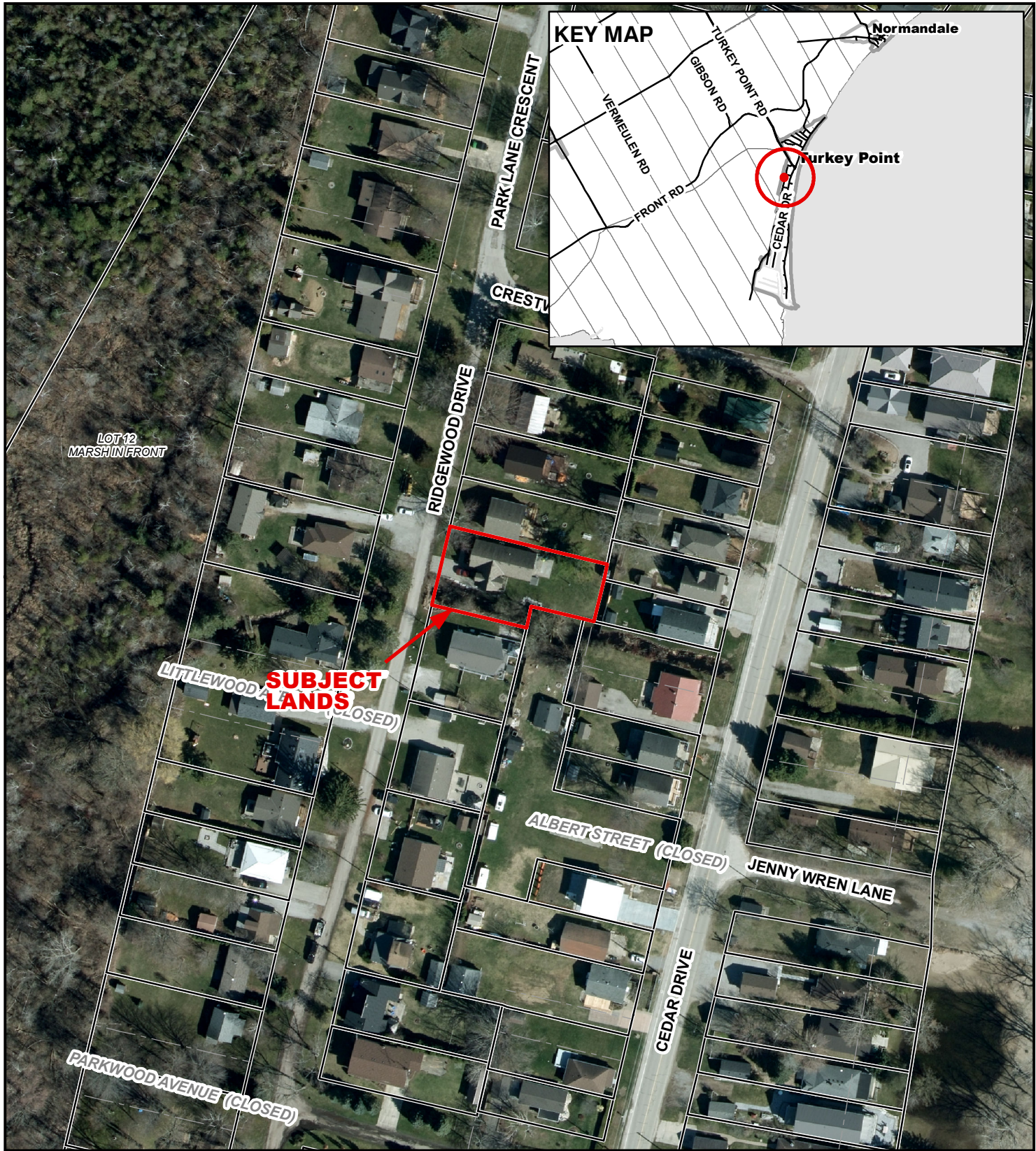
LOCATION OF FUTURE
POSSIBLE WEST
ENTRY PORCH
REAR DECK STAIRS
(2.44 X 3.66m)

EXISTING COTTAGE AREA = 174.53 m²
PROPOSED COTTAGE AREA = 207.02 m²


EXISTING LOT AREA = 928.94 m²
EXISTING ACCESSORY BUILDING AREA = 3.75 m²



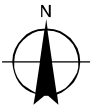
LOT 17, R.P. 344	20 RIDGEWOOD DR. TURKEY POINT
15 DECEMBER 2022	KIMBERLEY & REGINALD SMITH
	LOT COVERAGE RELIEF / MINOR VARIANCE



Legend

-  Subject Lands
- 2020 Air Photo

1/13/2023



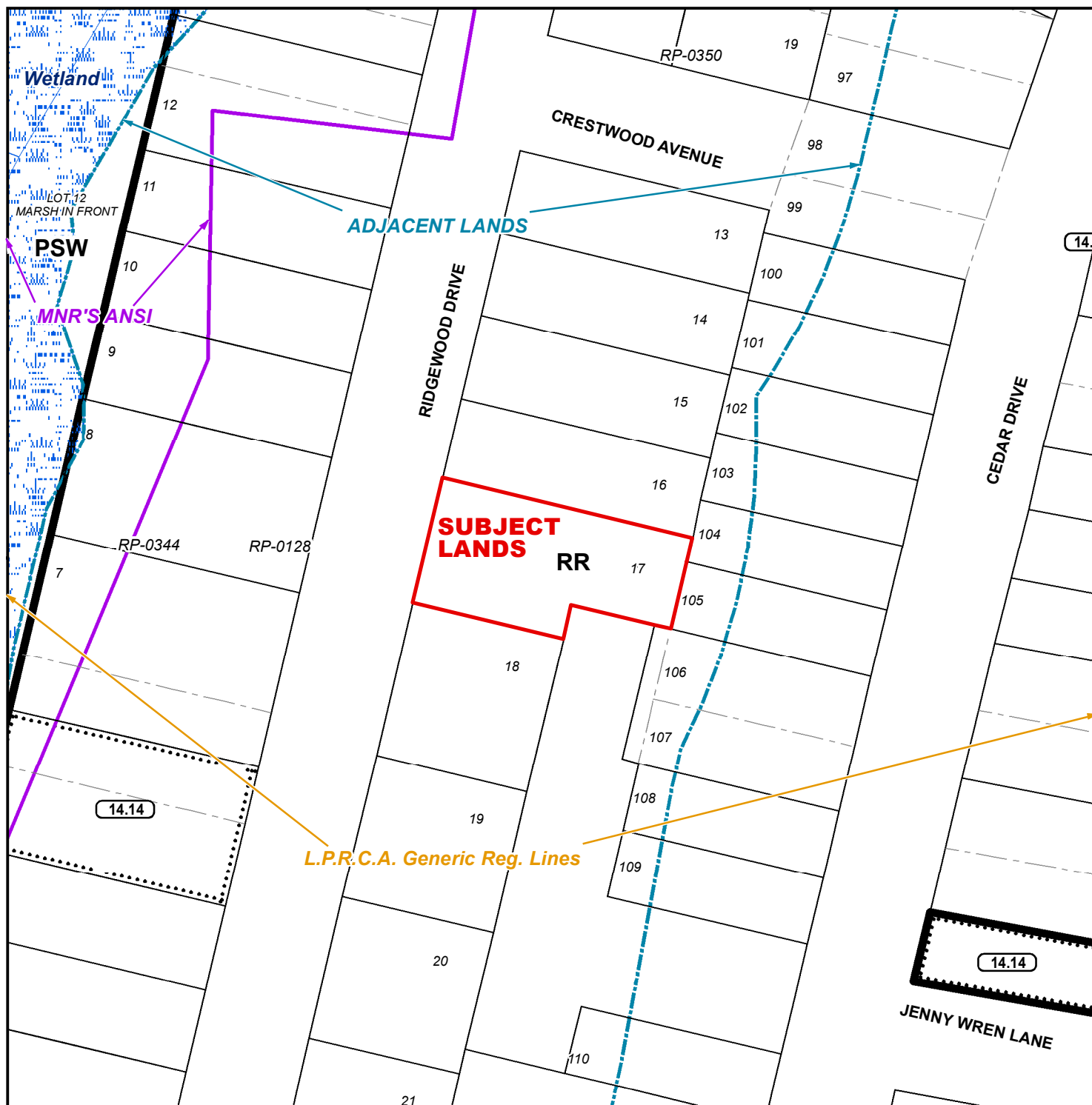
10 5 0 10 20 30 40 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2023008



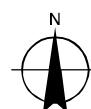
LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

(H) - Holding

PSW - Provincially Significant Wetland Zone

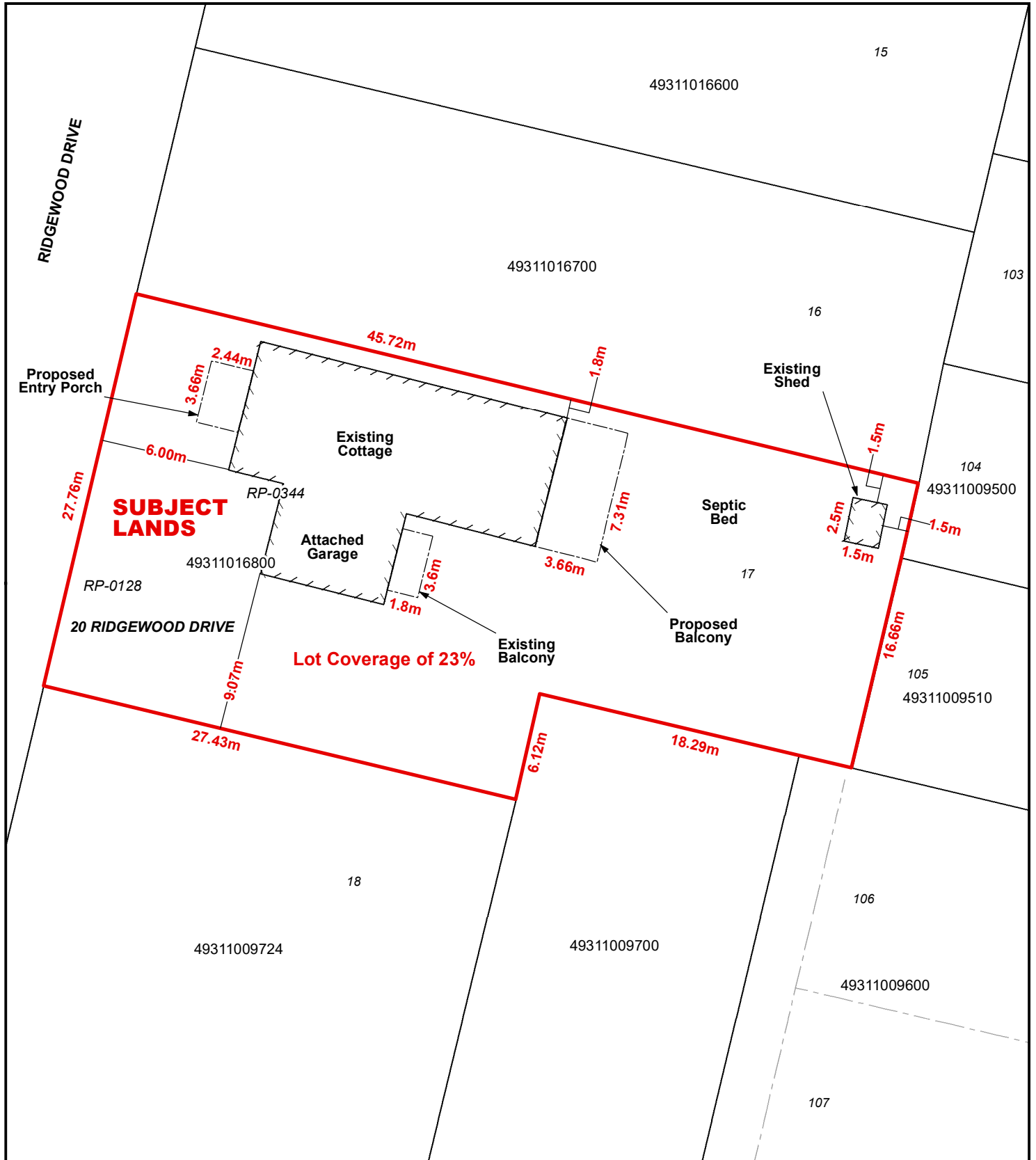
RR - Resort Residential Zone



8 4 0 8 16 24 32 Meters

CONCEPTUAL PLAN

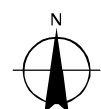
Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

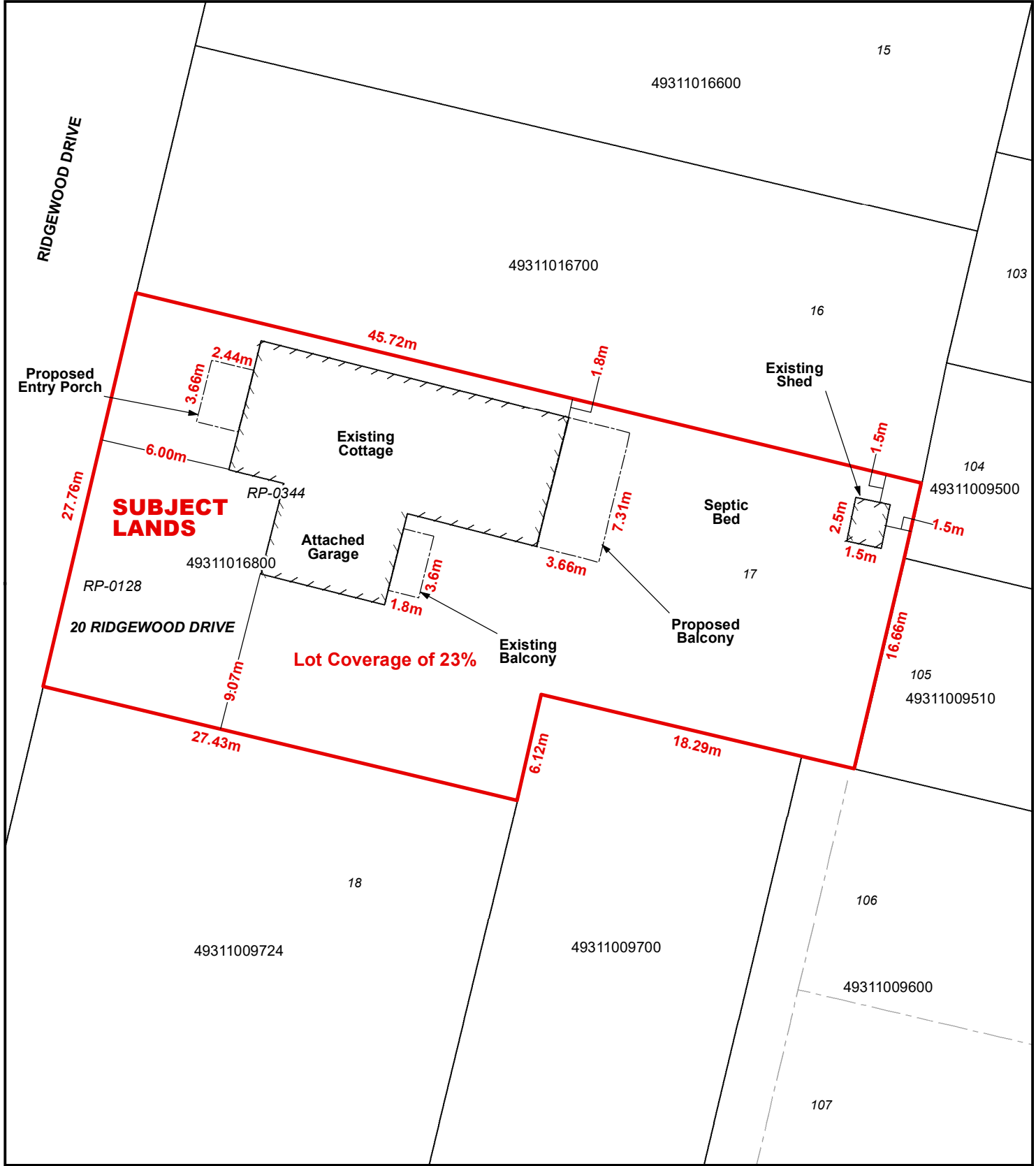
1/13/2023




2.5 1.25 0 2.5 5 7.5 10 Meters

CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

