

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** \_\_\_\_\_**A. Applicant Information****Name of Owner** \_\_\_\_\_

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Applicant** \_\_\_\_\_

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Agent**

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

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5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

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9. Existing use of abutting properties:

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10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

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Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells         |
| <input type="checkbox"/> Individual wells      | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal sewers                               | <input type="checkbox"/> Communal system        |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |   |                                       |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers           | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |                                       |
- 

2. Existing or proposed access to subject lands:

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road  | <input type="checkbox"/> Other (describe below) |

Name of road/street:

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## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

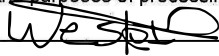
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
Owner/Applicant/Agent Signature

2023/02/21

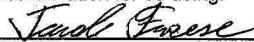
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

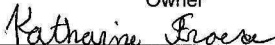
I/We JACOB FROESE am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize WESLEY DONKER to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
Owner

2023/02/21

Date

  
Owner

2023/02/21

Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



**K. Declaration**

I, \_\_\_\_\_ of \_\_\_\_\_

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

\_\_\_\_\_

\_\_\_\_\_

Owner/Applicant/Agent Signature

In \_\_\_\_\_

This \_\_\_\_\_ day of \_\_\_\_\_

A.D., 20\_\_\_\_

\_\_\_\_\_

A Commissioner, etc.

**K. Declaration**

I, Wesley Donker of Tillsonburg  
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits  
transmitted herewith are true and I make this solemn declaration conscientiously  
believing it to be true and knowing that it is of the same force and effect as if made  
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE, ONT.

Wesley

Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 17<sup>th</sup> day of JANUARY

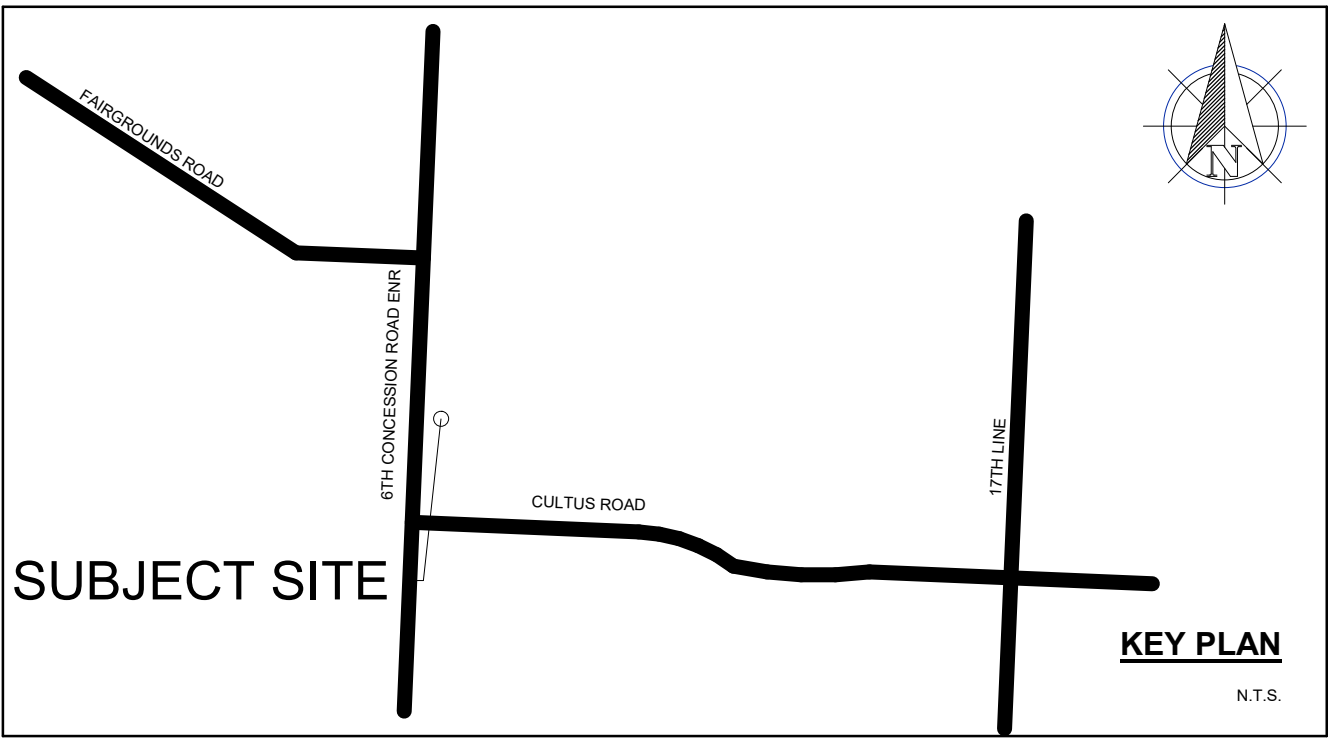
A.D., 20 23

Sherry Ann Mott

A Commissioner, etc.

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires January 5, 2023.

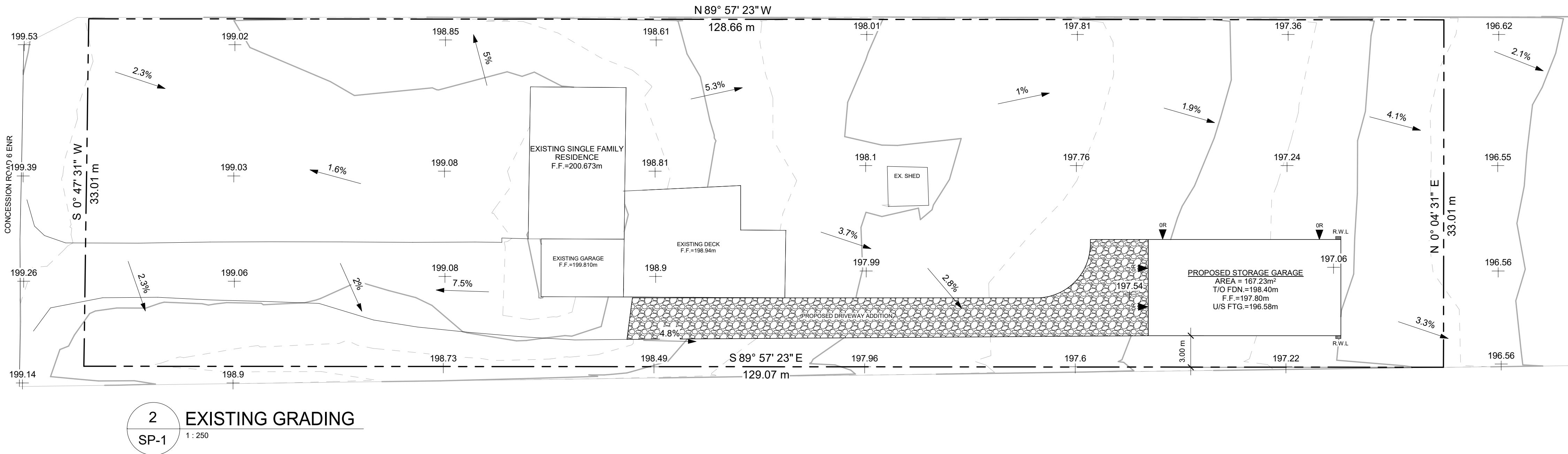
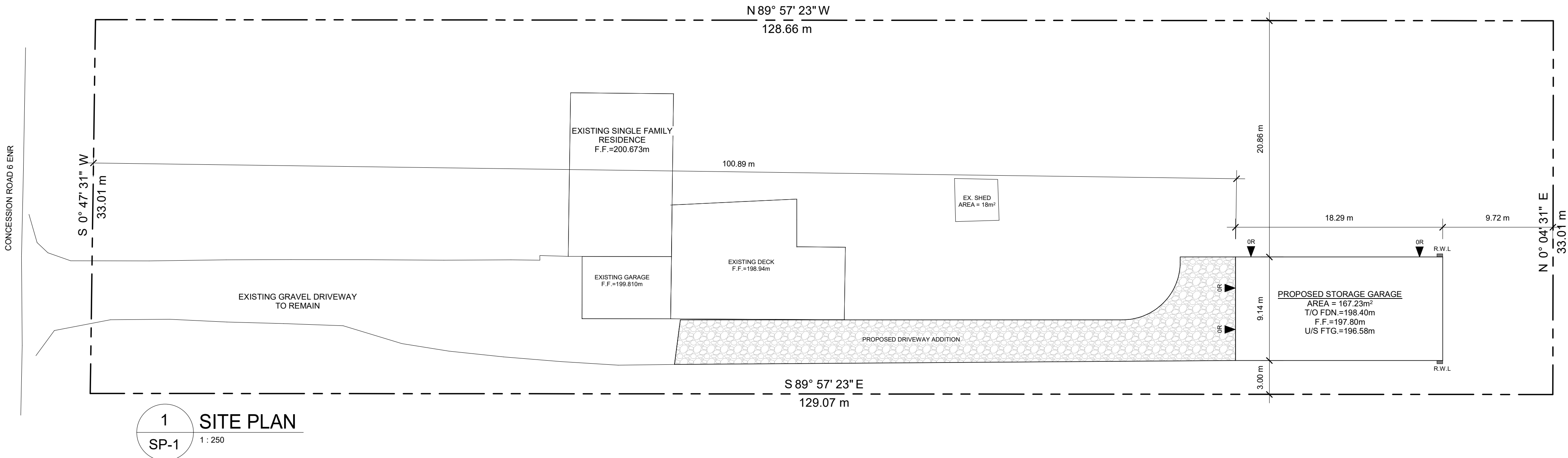
PROPERTY DESCRIPTION:  
HOUGHTON CON 6 PT LOT 8 RP 37R9907 PT. 2  
ROLL NUMBER: 54502016150  
GEOGRAPHIC COUNTY OF NORFOLK



SITE STATS	REQUIRED	PROVIDED
SITE AREA:	4000m <sup>2</sup> /0.4Ha	4253.39m <sup>2</sup> /0.425Ha
LOT WIDTH:	-	33.0m
LOT DEPTH:	-	128.85m
LOT FRONTAGE: INTERIOR & CORNER LOTS:	30m	33.0m
FRONT YARD:	6m	100.89m
EXTERIOR SIDE YARD:	6m	N/A
INTERIOR SIDE YARD:	3m	3.0m
REAR YARD:	9m	9.72m
MAX. BUILDING HEIGHT:	11m	6.07m

**CAUTION**  
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES  
THE PROPOSED BUILDING AND ITS LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION

- DO NOT CONVEY FROM THIS PLAN
- NOTES**
- PROPERTY DIMENSIONS ARE AS SHOWN
  - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
  - CONTROL POINTS SET USING LEICA GPS w/ NAD 83 COORDINATE SYSTEM
  - PROPOSED FINAL GRADES ARE IN METERS
  - PROPOSED LOT COVERAGE = 8.45%
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION



**DESIGNLOGIX ENGINEERING INC.**  
AGRICULTURE - COMMERCIAL - CIVIL  
P: 905-512-2377  
E: office@dlxengineering.com  
A: 557 Alberta Avenue, Woodstock Ontario  
DO NOT SCALE DRAWINGS  
ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER

**LEGEND:**  
0.0%  
P.E.  
0.0  
DENOTES DRAINAGE  
DENOTES TREELINE  
DENOTES PROPERTY BAR  
DENOTES PRINCIPLE ENTRANCE  
DENOTES ELEVATION  
DENOTES CONTROL POINT  
DENOTES EXTERIOR LIGHTING

**REVISIONS:**

NO:	DATE:	STATUS:
1	NOV. 11, 2022	FOR PERMIT
2	MARCH 28, 2023	FOR PERMIT

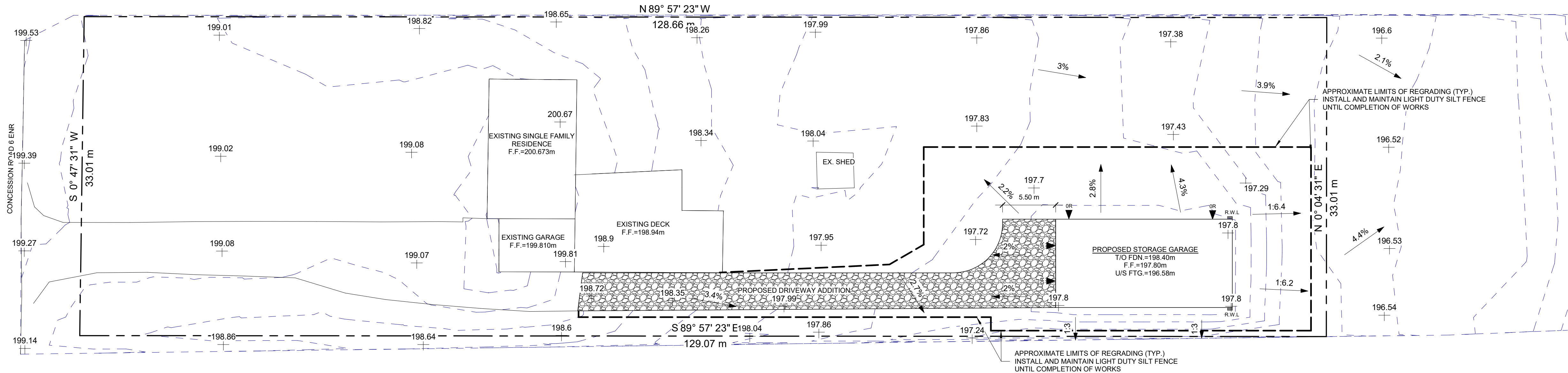
CONTRACTOR NAME & ADDRESS:  
**H.V.G. CONSTRUCTION**  
324943 NORWICH ROAD,  
NORWICH ON.

PROJECT NAME & ADDRESS:  
**FROEZE GRADING PLAN**  
680 CONCESSION ROAD 6 ENR,  
CLEAR CREEK, ON.

DRAWING TITLE:  
**SITE/ EXISTING GRADING PLAN**

Date  
11/10/2022  
Scale  
As indicated  
Sheet No.  
**SP-1**





1 PROPOSED GRADING  
SP-2  
1:250

TOPOGRAPHICAL INFORMATION AND BENCHMARK AS PROVIDED BY DESIGNLOGIX ENGINEERING USING GEODETIC DATUM:NAD 83 UTM 17N 81W HT2 DATED: OCTOBER 29, 2022

SURFACE RUNOFF SHALL BE DIVERTED AWAY FROM FOUNDATION EXCAVATIONS.

OWNER'S CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO AVOID MIXING TOPSOIL WITH SUBSOIL, WHERE REQUIRED FOR REUSE ON SITE.

OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR REGULAR MONITORING AND CLEANUP OF TRACKED MUD/DEBRIS ON ADJACENT LANDS AND PUBLIC ROADS TO THE SATISFACTION OF THE ENGINEER AND COUNTY.

NOTE: FOR ALL WORKS WITHIN COUNTY ROAD R.O.W., TRAFFIC MANAGEMENT SHALL BE AS PER FIGURE TL-7 OF BOOK 7 OF THE ONTARIO TRAFFIC MANUAL.

NOTE: ANY FIELD DRAIN TILE DISTURBED BY CONSTRUCTION TO BE REPAIRED AS REQUIRED.

TOPSOIL STOCKPILE SIZES/LOCATIONS TO BE DETERMINED IN THE FIELD. SILT FENCE SHALL BE CONSTRUCTED AT TOE OF DOWNGRADE EDGES OF TOPSOIL STOCKPILES.

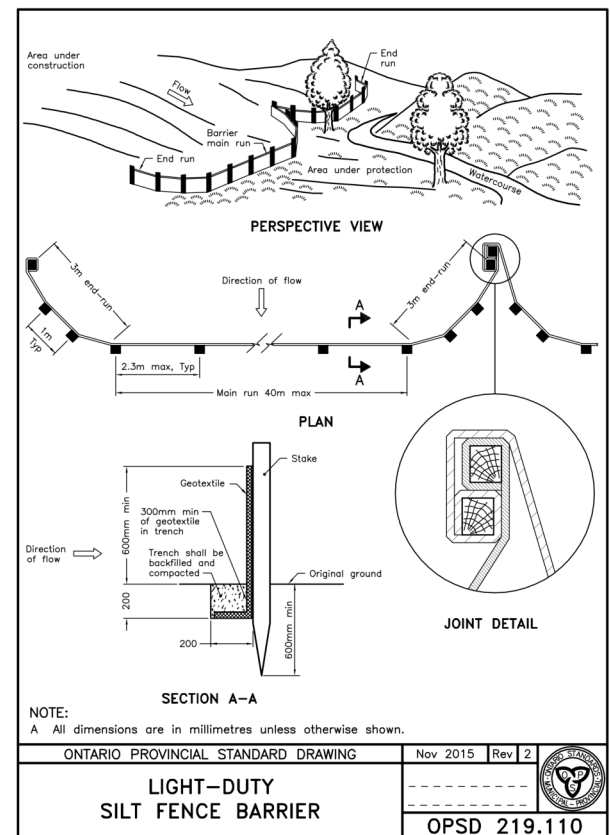
SURFACE PROTECTION WILL BE REQUIRED FOR OPEN SPACES AND STOCKPILES LEFT INACTIVE AND UNCOVERED FOR MORE THAN 90 DAYS

PRIOR TO CONSTRUCTION THE OWNER'S CONTRACTOR SHALL OBTAIN LOCATES FOR, EXPOSE AND CONFIRM LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMIT OF CONSTRUCTION. OWNER'S CONTRACTOR SHALL SUPPORT EXISTING UNDERGROUND UTILITIES AS REQUIRED.

CONTOURS DEPICT ORIGINAL GRADES AND ARE NOT NECESSARILY REPRESENTATIVE OF THE SITE CONDITION FOLLOWING THE EARLY WORKS CONTRACT. THE OWNER'S CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE CURRENT STATE OF THE SITE.

#### SEDIMENT AND EROSION CONTROL NOTES

- MINIMIZE AREA DISTURBED DURING CONSTRUCTION
- PROTECT EXPOSED SURFACES
- CONTROL RUNOFF DURING CONSTRUCTION
- ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE
- REGULARLY, AND FOLLOWING MAJOR RAINFALL EVENTS, INSPECT AND MAINTAIN EROSION CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION
- ALL COLLECTED SEDIMENT REQUIRED TO BE DISPOSED OF OFF-SITE, MUST BE AT AN APPROVED LOCATION
- ALL DEWATERING MUST BE CONDUCTED USING AN APPROVED OUTLET CONTROL METHOD SUCH AS A SEDIMENTATION BASIN OR FILTER SOCK. EFFLUENT MONITORING SHALL BE REQUIRED TO ENSURE DISCHARGE IS CONSISTENT WITH THE RECEIVER'S BACKGROUND QUALITY
- KEEP ALL SUMPS CLEAN DURING CONSTRUCTION AND IDENTIFY A REGULAR MAINTENANCE PROGRAM TO DO SO
- HAVE A PLAN TO MINIMIZE/PREVENT WIND-BLOWN DUST SUCH AS SPRAYING CALCIUM CHLORIDE OR WATER



Silt Fence Detail  
1:2

**DESIGNLOGIX ENGINEERING Inc.**  
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P: 905-512-2377  
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A: 557 Alberta Avenue, Woodstock Ontario  
DO NOT SCALE DRAWINGS  
ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER



LEGEND:	
0.0%	- DENOTES DRAINAGE
■	- DENOTES TREELINE
P.E.	- DENOTES PROPERTY BAR
0.0	- DENOTES PRINCIPLE ENTRANCE
⊗	- DENOTES ELEVATION
⊙	- DENOTES CONTROL POINT
⊙	- DENOTES EXTERIOR LIGHTING

REVISIONS:		
NO:	DATE:	STATUS:
1	NOV. 11, 2022	FOR PERMIT
2	MARCH 28, 2023	FOR PERMIT

CONTRACTOR NAME & ADDRESS: <b>H.V.G. CONSTRUCTION</b> 324943 NORWICH ROAD, NORWICH ON.	
PROJECT NORTH: 	TRUE NORTH: 
Project #: DLX22-722	Drawn by: R.S.
Checked by: N.H.	

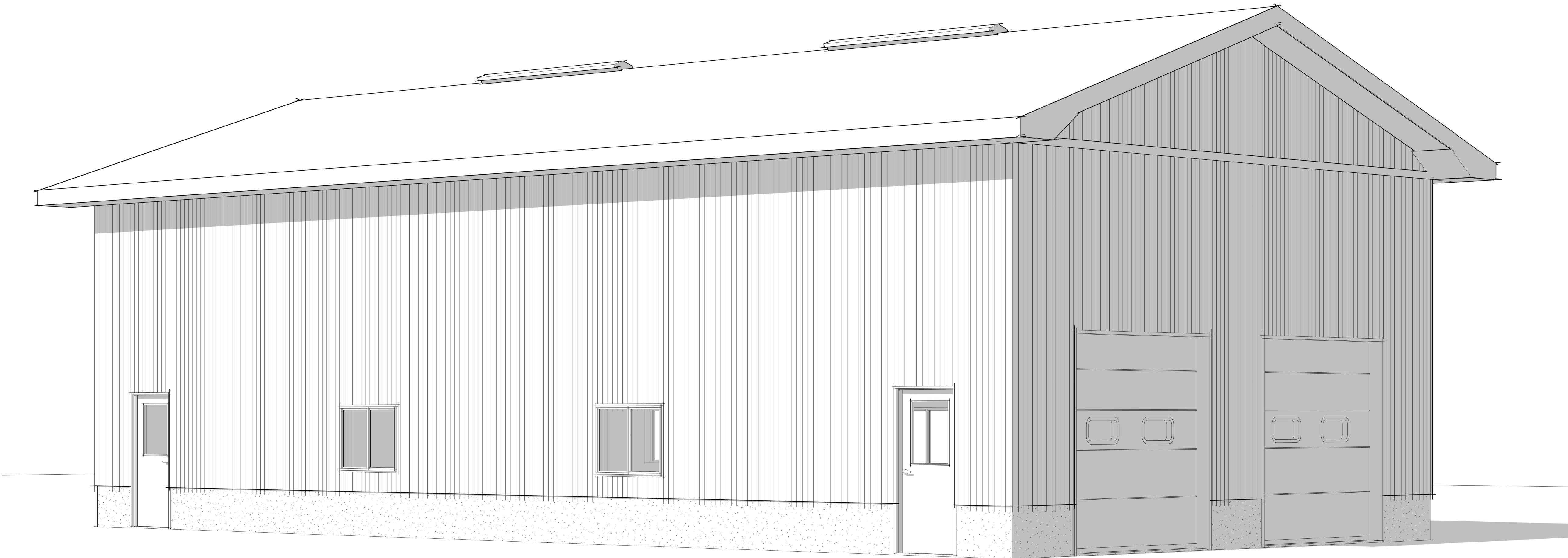
PROJECT NAME & ADDRESS: <b>FROEZE GRADING PLAN</b> 680 CONCESSION ROAD 6 ENR, CLEAR CREEK, ON.	
DRAWING TITLE: <b>PROPOSED GRADING/ SITE SERVICING NOTES</b>	

Date 11/10/2022
Scale As indicated
Sheet No. <b>SP-2</b>

DRAWINGS PROVIDED FOR  
H.V.G. CONSTRUCTION

# FROEZE STORAGE GARAGE

680 CONCESSION 6 ENR, CLEAR CREEK ONTARIO



SHEET SCHEDULE	
SHEET NO.	SHEET NAME
S-0	COVER SHEET
S-1	FOUNDATION PLAN/ GROUND FLOOR PLAN/ ROOF FRAMING PLAN
S-2	BUILDING SECTION/ WALL SECTIONS
S-3	ELEVATIONS



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ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED  
BY THE CONTRACTOR AND ANY DISCREPANCIES  
REPORTED TO THE ENGINEER



PROJECT STATUS:		
NO:	DATE:	STATUS:
1	SEPT. 16, 2022	FOR APPROVAL
2	SEPT. 21, 2022	FOR PERMIT
3	MARCH 28, 2023	FOR PERMIT

CONTRACTOR NAME & ADDRESS:  
H.V.G. CONSTRUCTION  
324943 NORWICH ROAD,  
NORWICH, ON

PROJECT NORTH:TRUE NORTH:

Project #:  
Drawn by:DLX22-722  
Checked by:J.B.  
N.H.

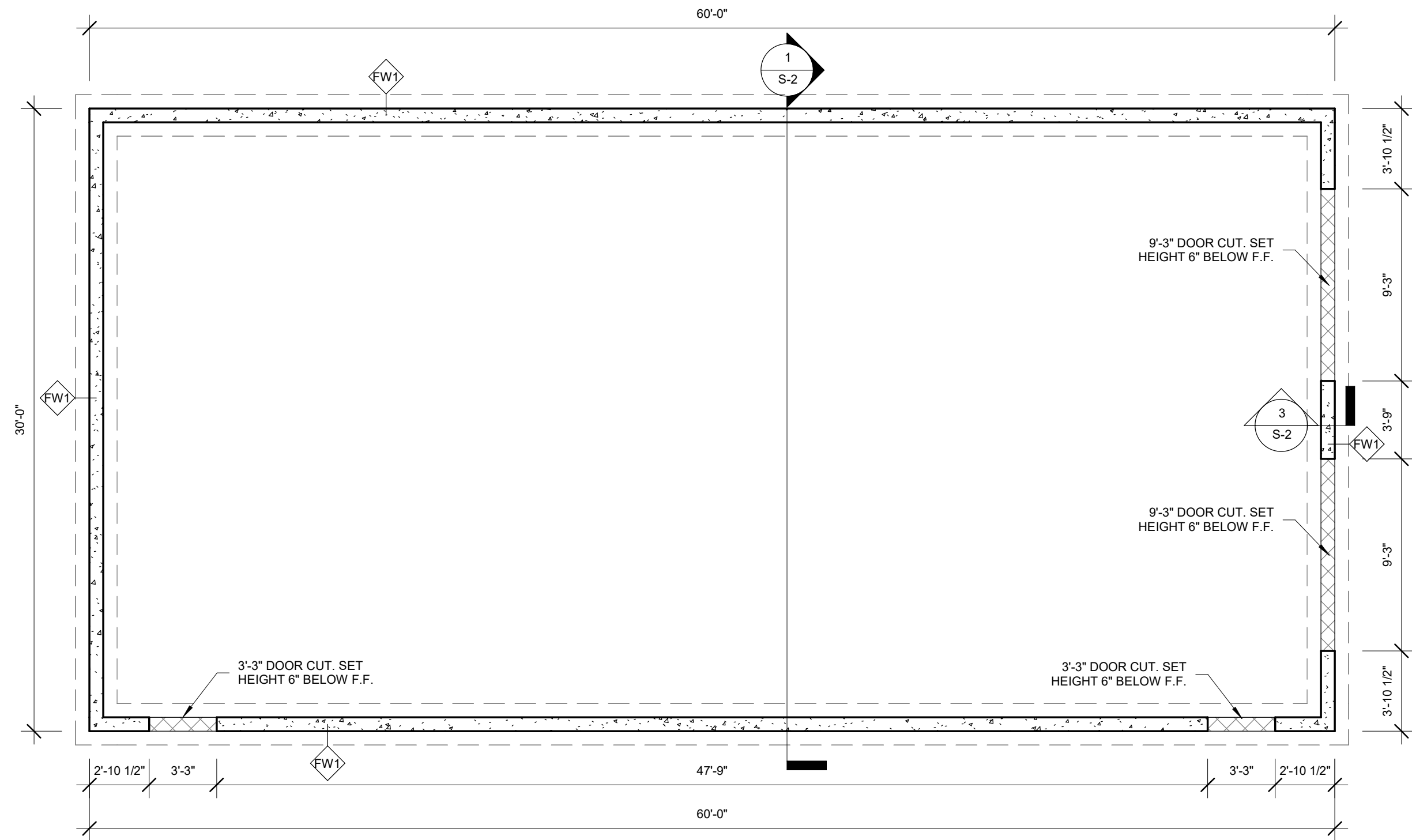
PROJECT NAME & ADDRESS:  
FROEZE STORAGE GARAGE  
680 CONCESSION ROAD 6 ENR,  
CLEAR CREEK, ON

DRAWING TITLE:  
COVER SHEET

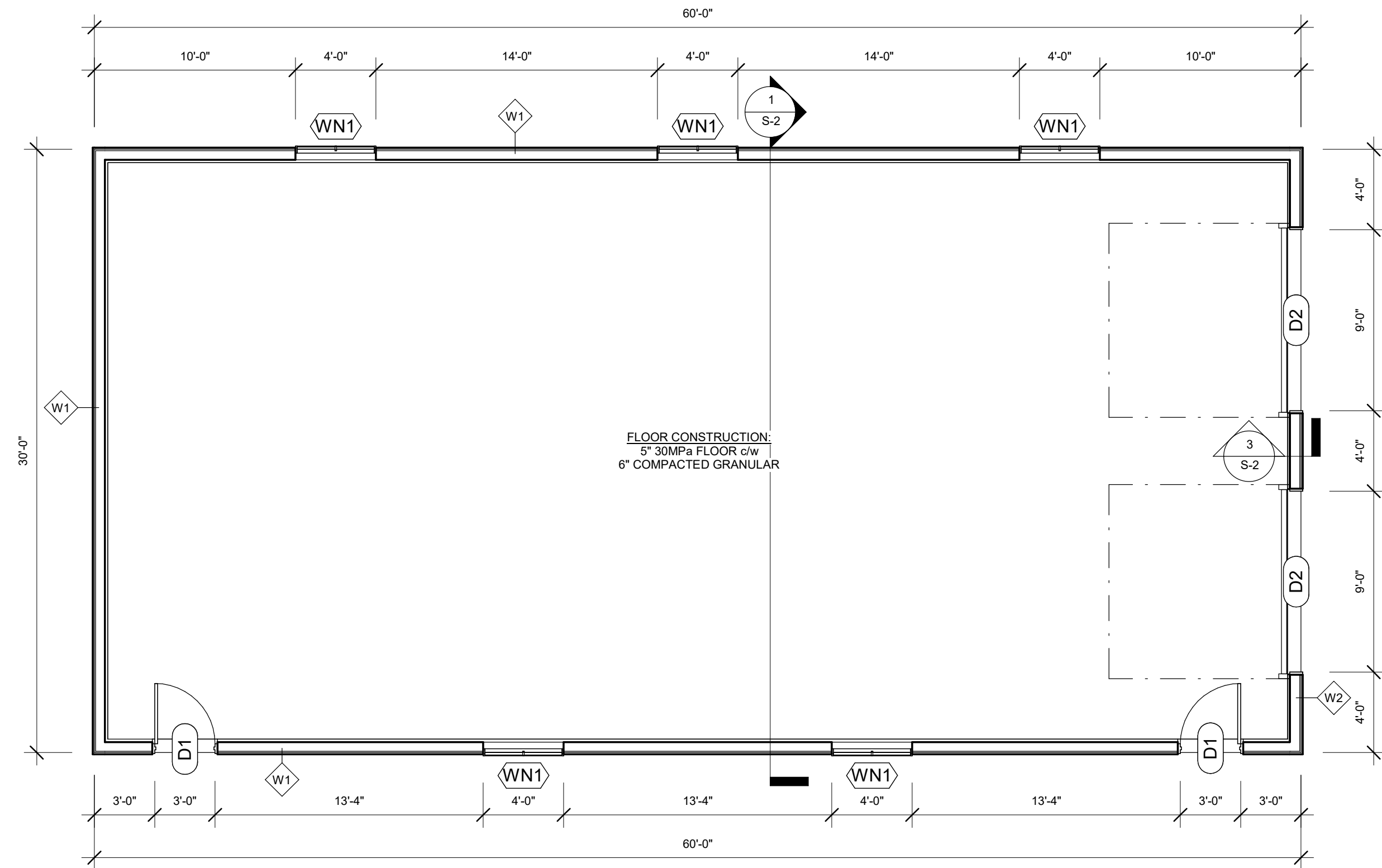
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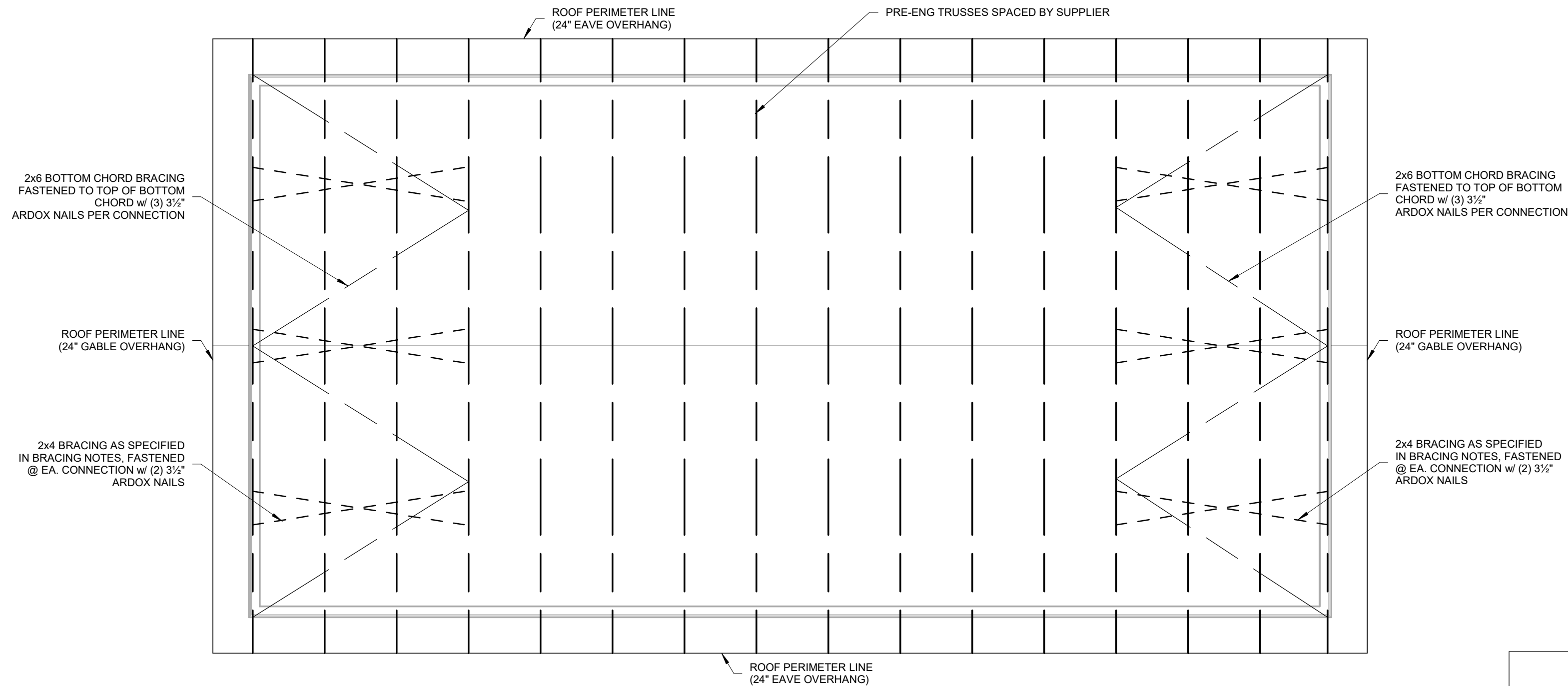




1 FOUNDATION PLAN  
S-1 3/16" = 1'-0"



2 GROUND FLOOR PLAN  
S-1 3/16" = 1'-0"



3 ROOF FRAMING PLAN  
S-1 3/16" = 1'-0"

### WALL SCHEDULE

#### EXTERIOR WALLS:

W1	STEEL ON 2x6: 29ga. COLOURED STEEL CLADDING 1x4 STRAPPING @ 24" c/c 2x6 S-F-F NO 1/2 STUDS @ 24" c/c BLOCKED @ THIRDS
W2	STEEL ON 2x6: 29ga. COLOURED STEEL CLADDING 1x4 STRAPPING @ 24" c/c 2x6 S-F-F NO 1/2 STUDS @ 24" c/c BLOCKED @ THIRDS 1/2" PLYWOOD SHEATHING BLOCKED & NAILED @ 6" ON PERIMETER AND @ 12" THROUGHOUT

### DOOR SCHEDULE

NO.	DESCRIPTION	WIDTH	HEIGHT	HEADER	POST	QTY
D1	UTILITY MAN DOOR	3' - 0"	6' - 8"	2-2x10	1J & 1K	2
D2	INSULATED OVERHEAD DOOR	9' - 0"	9' - 0"	3-2x12	1J & 3K	2

### WINDOW SCHEDULE

NO.	DESCRIPTION	WIDTH	HEIGHT	HEADER	POST	QTY
WN1	SINGLE SLIDER WINDOW	4' - 0"	3' - 0"	2-2x10	1J & 1K	5

### FOUNDATION SCHEDULE

NO.	WALL CONSTRUCT.	REINFORCEMENT SPECS
FW1	8"x 5'-4" 25MPa WALL ON 8"x20" 20MPa STRIP FOOTING	FDN. WALL: 1-15M BAR @ T/O WALL FOOTING: 2-10M BARS CONTINUOUS

**DESIGNLOGIX ENGINEERING INC.**  
AGRICULTURE - COMMERCIAL - CIVIL  
P: 905-512-2377  
E: office@dlxengineering.com

DO NOT SCALE DRAWINGS  
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#### ABBREVIATIONS

@	AT	D.H.	OVERHEAD
CW	COMPLETE WITH	PF	PAD FOOTING
D	DIAMETER	P.T.	PRESSURE TREATED
FDN	FOUNDATION	T.D.	TRAVEL DISTANCE
E.W.	EACH WAY	T&G	TONGUE & GROOVE
EX.	EXISTING	T/O	TOP OF
HORIZ.	HORIZONTAL	TYP.	TYPICAL
LVL	LAMINATED VENEER LUMBER	U/S	UNDERSIDE
MAX.	MAXIMUM	VERT.	VERTICAL
MIN.	MINIMUM	W	WIDTH
OBC	ONTARIO BUILDING CODE	WWM	WELDED WIRE MESH
c/c	CENTRE TO CENTRE		

#### LEGEND

W	WALL TAG
WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
TRAVEL DISTANCE	

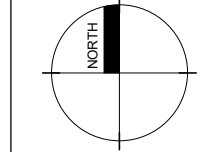
#### PROJECT STATUS:

NO.	DATE:	STATUS:
1	SEPT. 16, 2022	FOR APPROVAL
2	SEPT. 21, 2022	FOR PERMIT
3	MARCH 28, 2023	FOR PERMIT

#### CONTRACTOR NAME & ADDRESS:

H.V.G. CONSTRUCTION  
324943 NORWICH ROAD,  
NORWICH, ON

#### PROJECT NORTH:



#### TRUE NORTH:

#### Project #:

DLX22-722

#### Drawn by:

#### PROJECT NAME & ADDRESS:

FROEZE STORAGE GARAGE  
680 CONCESSION ROAD 6 ENR,  
CLEAR CREEK, ON

#### DRAWING TITLE:

FOUNDATION PLAN/  
GROUND FLOOR PLAN/  
ROOF FRAMING PLAN

#### Date

#### Scale

As indicated

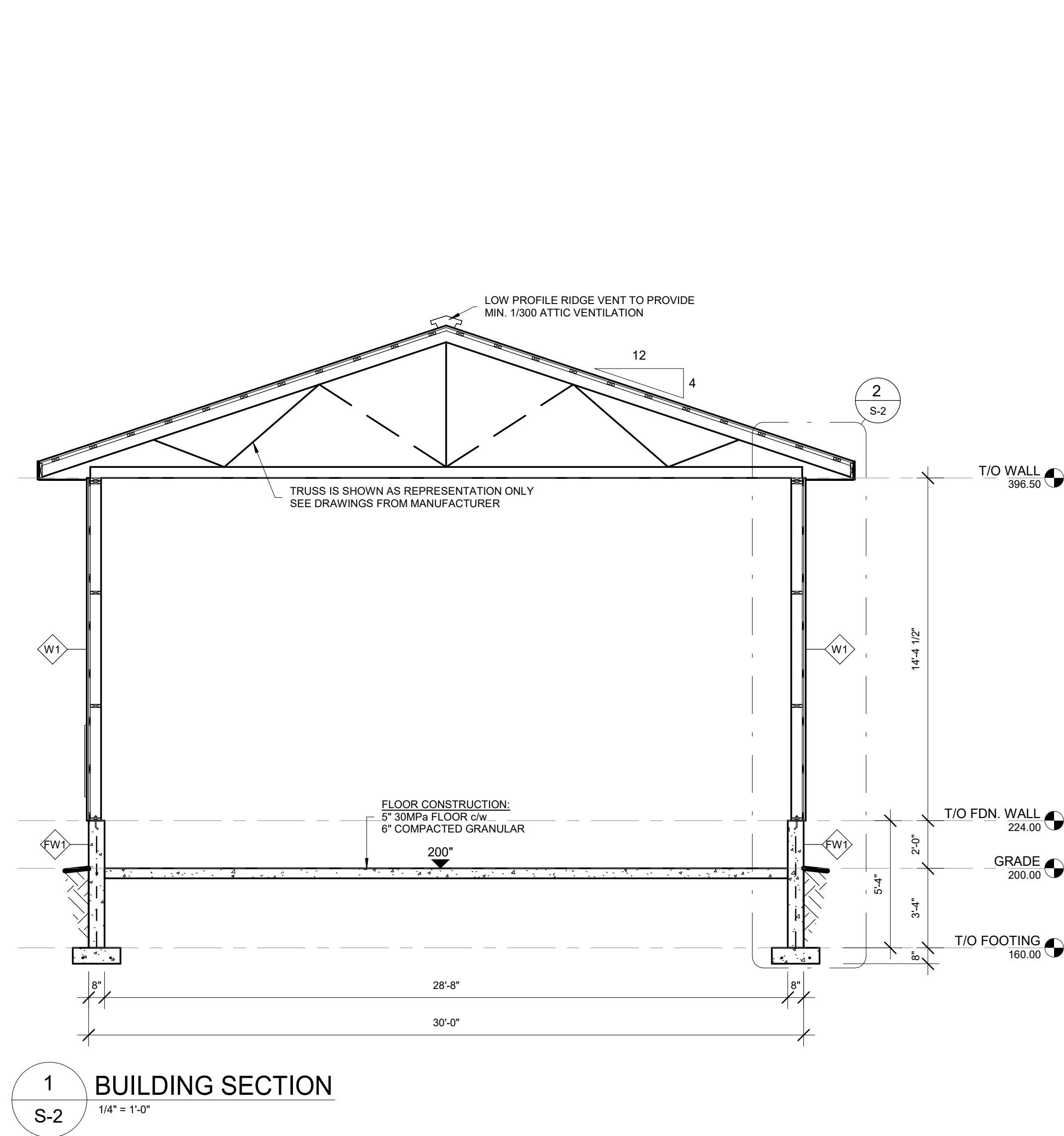
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S-1

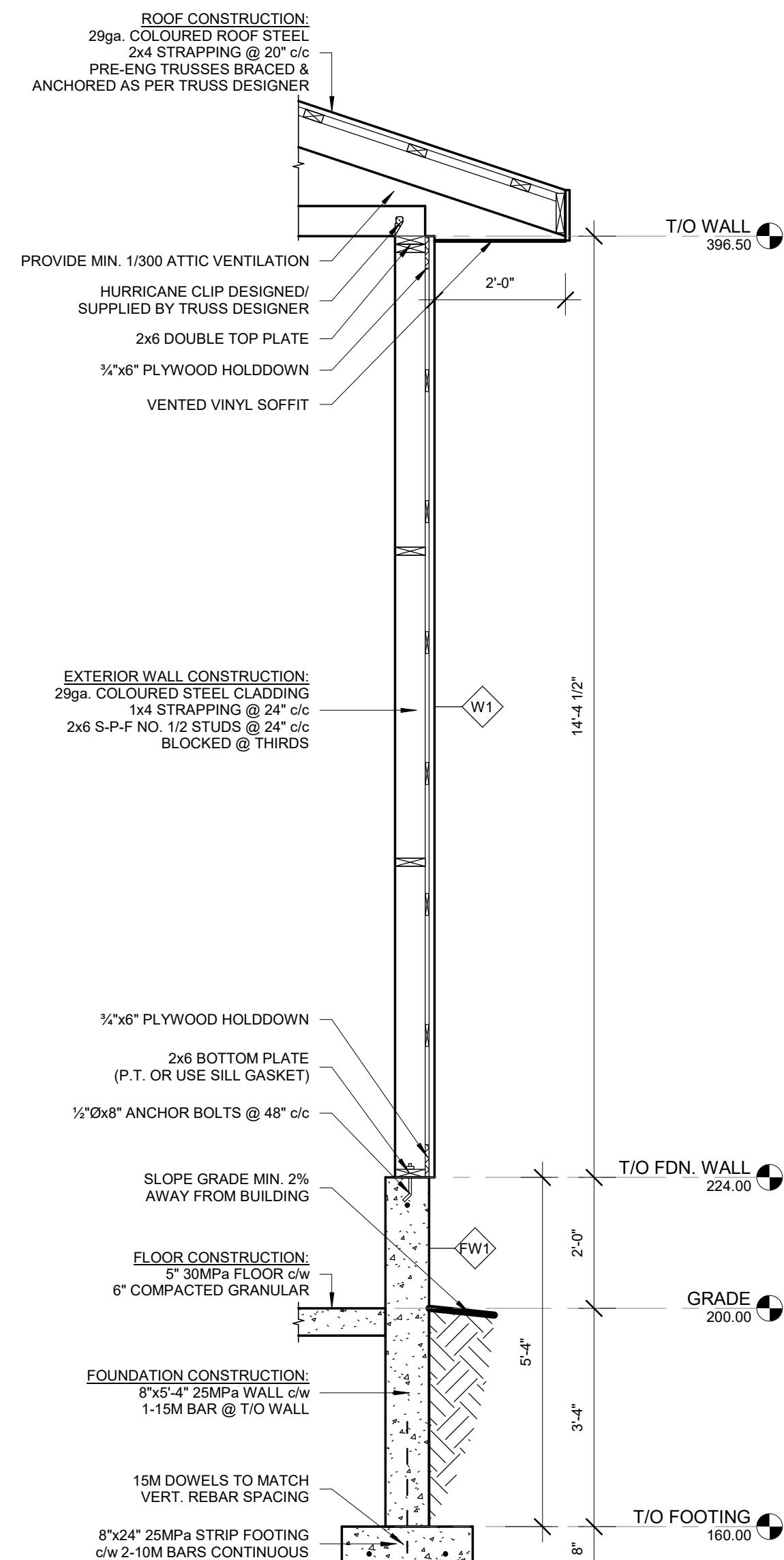
TRUSS BRACING SHOWN IS REPRESENTATIVE ONLY. REFER TO BRACING NOTES (PAGE NT) AND STAMPED TRUSS DRAWINGS (DESIGNED BY OTHERS) FOR FULL DETAILS

CONTRACTOR TO FORWARD STAMPED COPY OF TRUSS DRAWINGS TO DESIGNLOGIX ENGINEERING PRIOR TO FRAMING INSPECTION

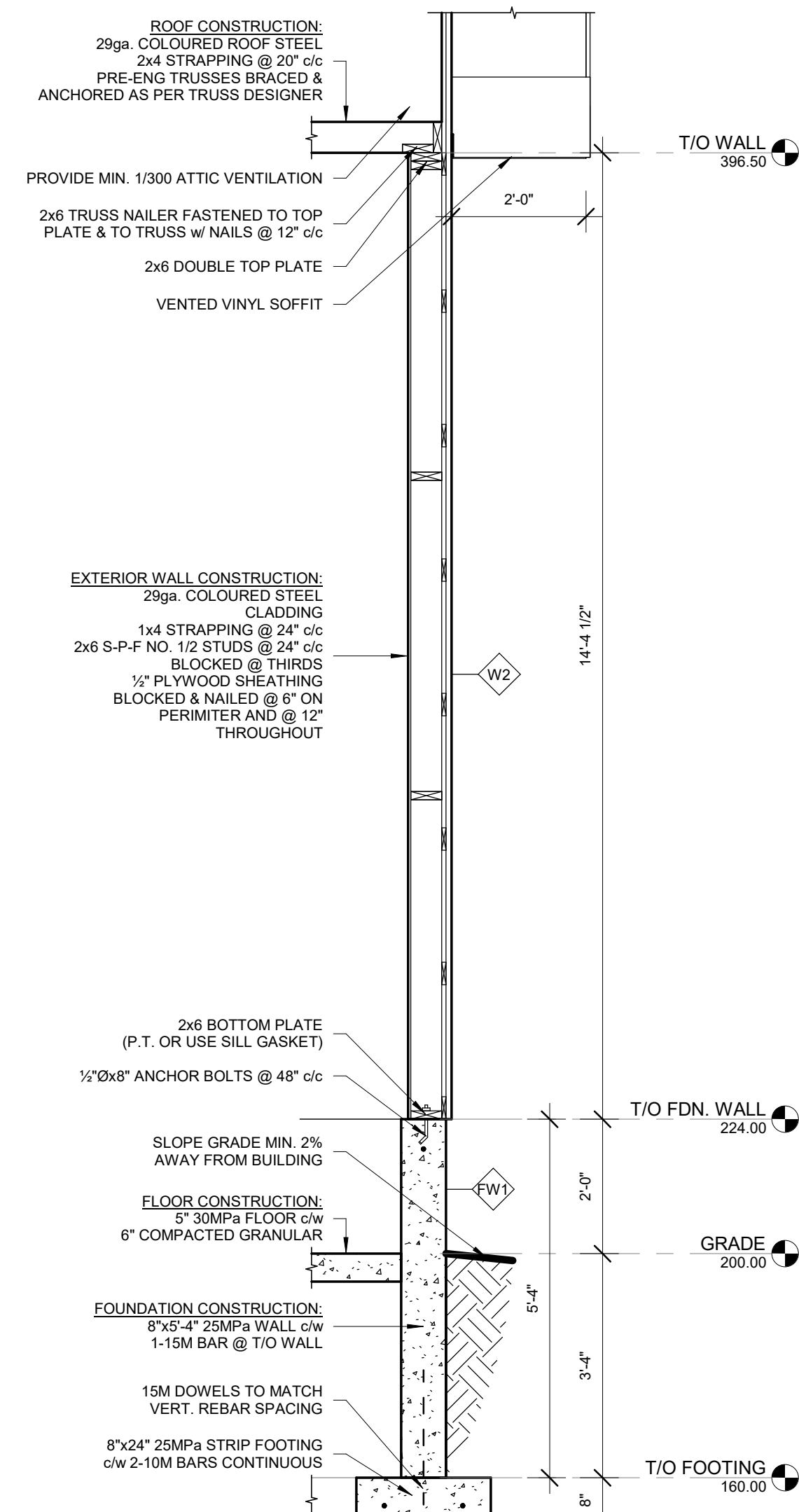
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1 BUILDING SECTION  
1/4" = 1'-0"



2 BEARING WALL SECTION  
1/2" = 1'-0"



3 GABLE WALL SECTION  
1/2" = 1'-0"

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ABBREVIATIONS			
@	AT	O.H.	OVERHEAD
c/w	COMPLETE WITH	PF	PAD FOOTING
Ø	DIAMETER	P.T.	PRESSURE TREATED
FDN	FOUNDATION	T.D.	TRAVEL DISTANCE
E.W.	EACH WAY	T&G	TONGUE & GROOVE
EX.	EXISTING	T/O	TOP OF
HORIZ	HORIZONTAL	TYP.	TYPICAL
LVL	LAMINATED VENEER LUMBER	U/S	UNDERSIDE
MAX.	MAXIMUM	VERT.	VERTICAL
MIN.	MINIMUM	w/	WITH
OBC	ONTARIO BUILDING CODE	WWM	WELDED WIRE MESH
c/c	CENTRE TO CENTRE		

LEGEND	
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WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
---	TRAVEL DISTANCE

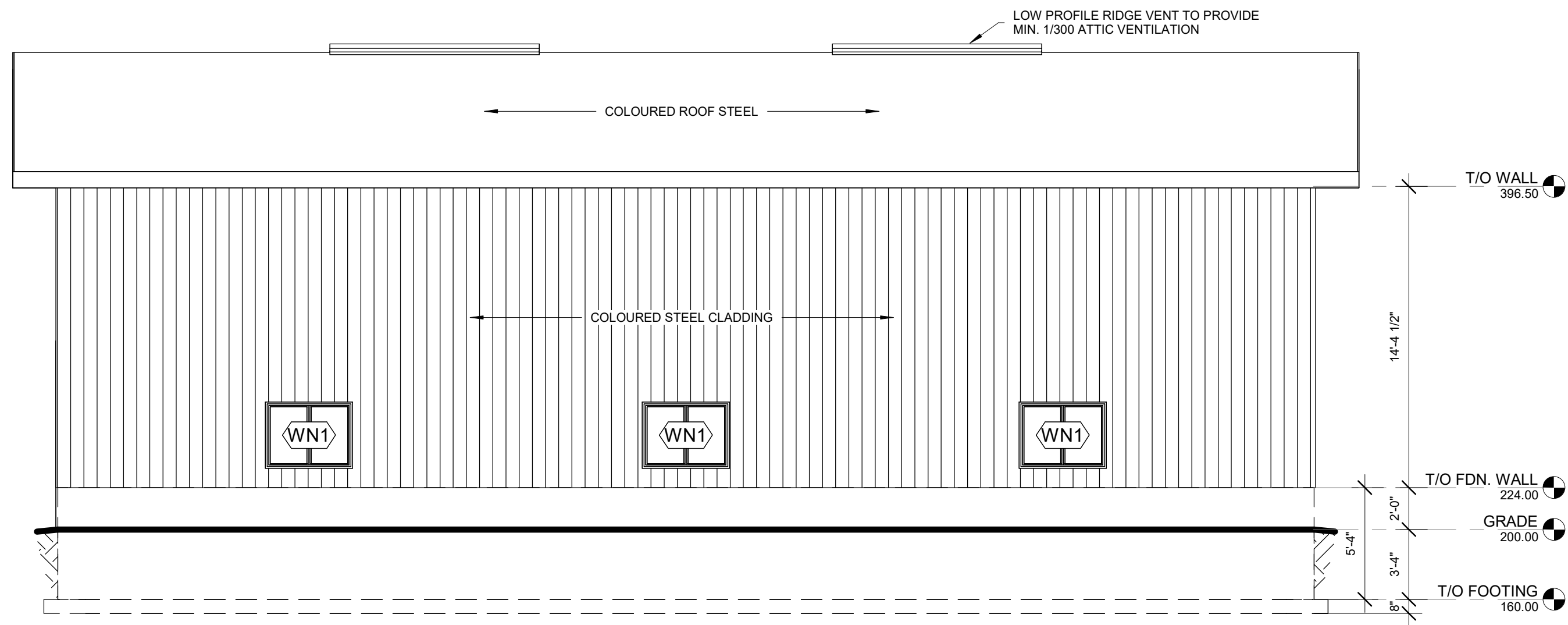
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NO:	DATE:	STATUS:
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2	SEPT. 21, 2022	FOR PERMIT
3	MARCH 28, 2023	FOR PERMIT

CONTRACTOR NAME & ADDRESS:	
H.V.G. CONSTRUCTION 324943 NORWICH ROAD, NORWICH, ON	
PROJECT NORTH:	TRUE NORTH:
Project #:	DLX22-722
Drawn by:	J.B.
Checked by:	N.H.

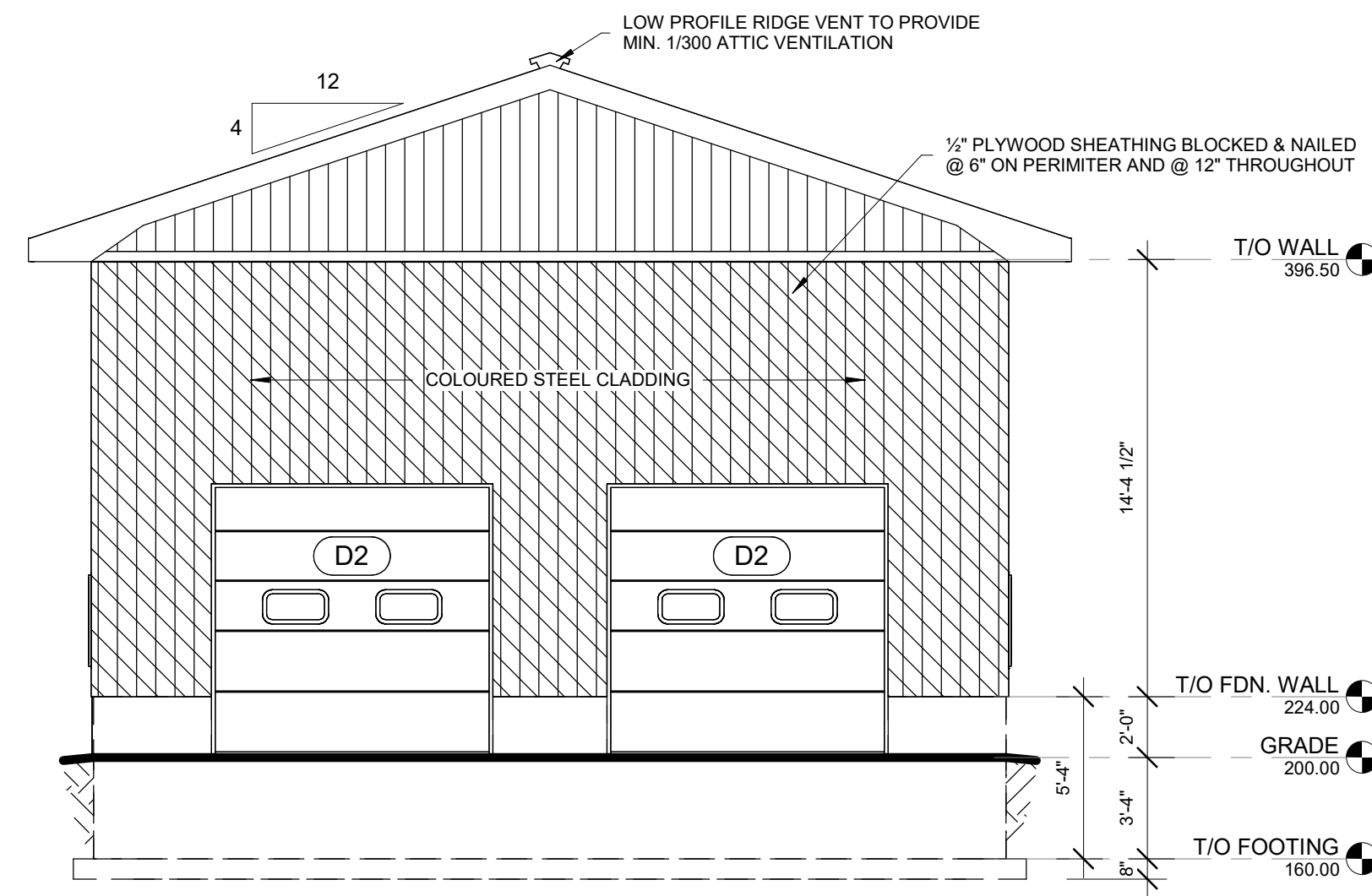
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FROEZE STORAGE GARAGE 680 CONCESSION ROAD 6 ENR, CLEAR CREEK, ON	
DRAWING TITLE:	
BUILDING SECTION/ WALL SECTIONS	

Date
Scale
As indicated
Sheet No.
S-2

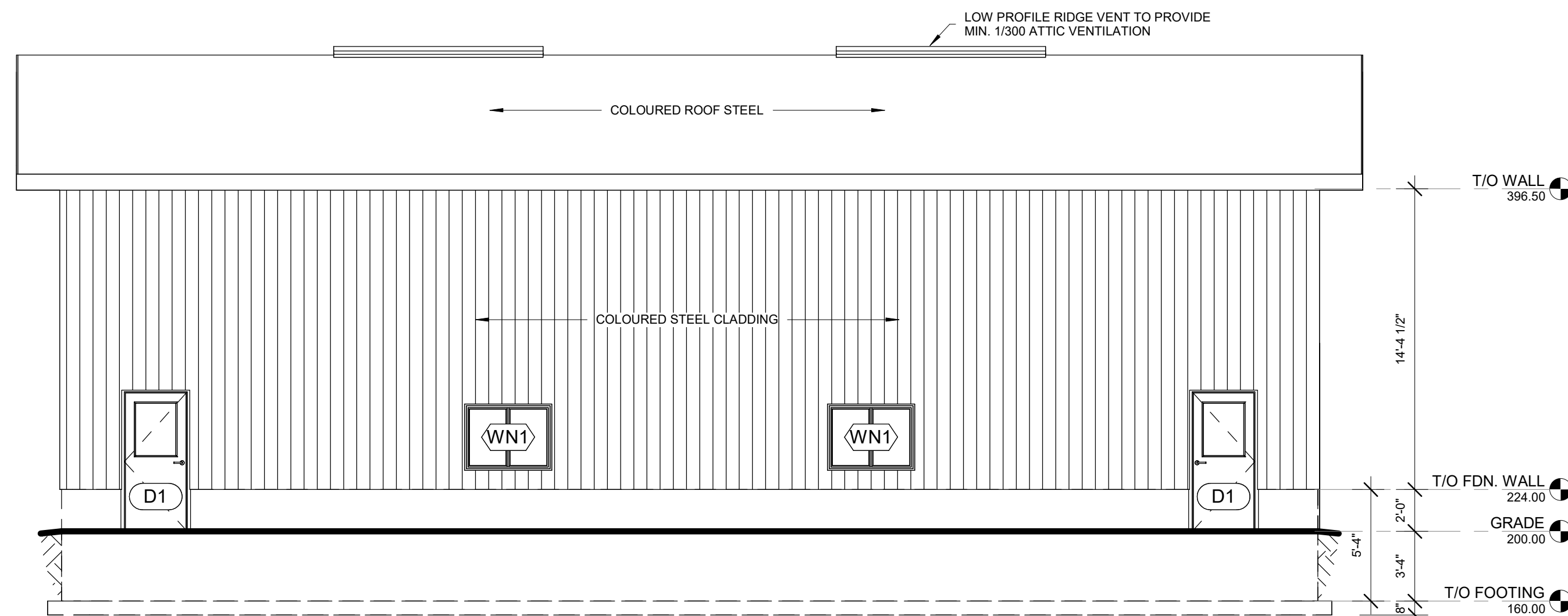




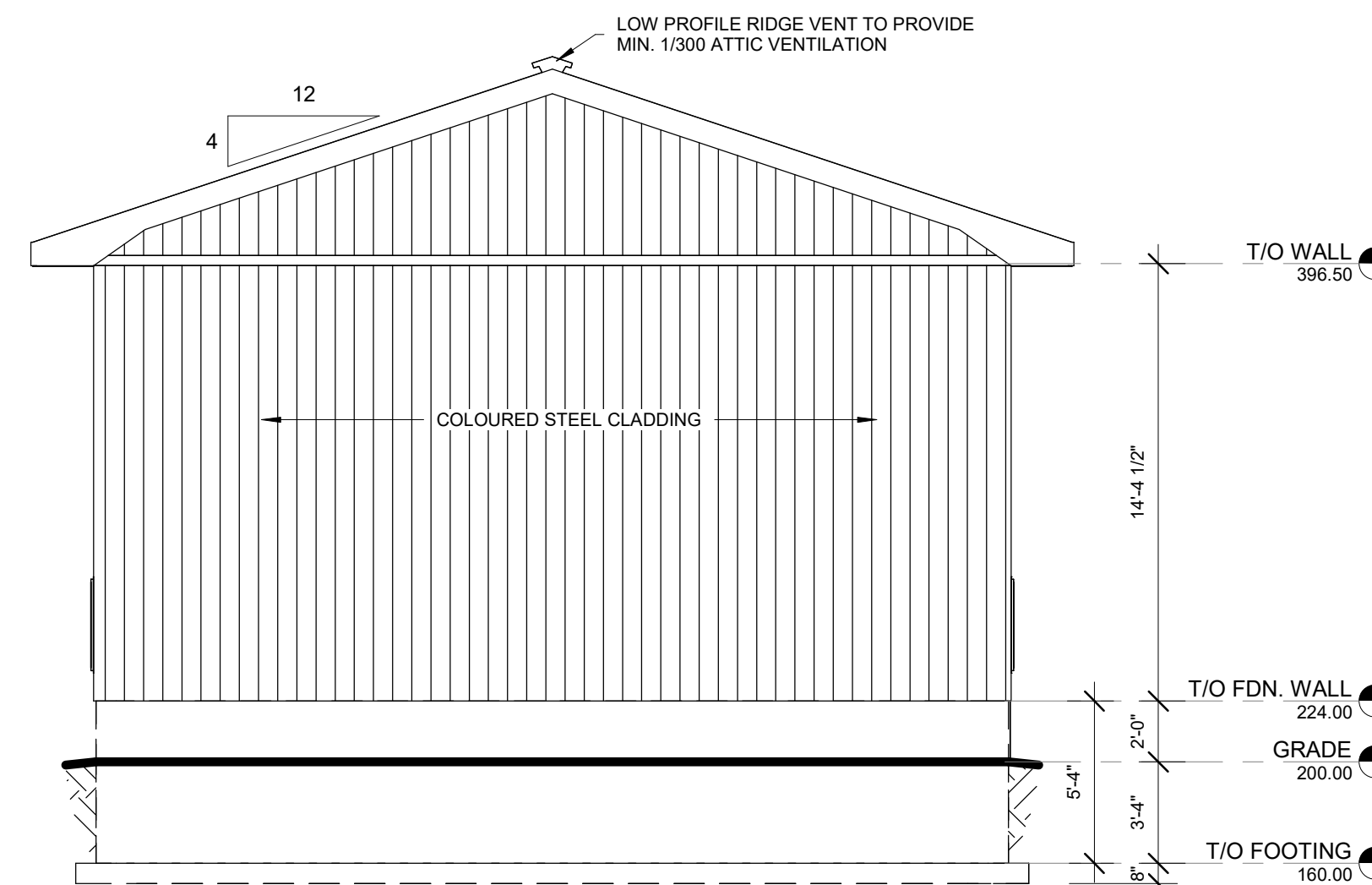
1 PROJECT NORTH ELEVATION  
S-3 3/16" = 1'-0"



2 PROJECT EAST ELEVATION  
S-3 3/16" = 1'-0"



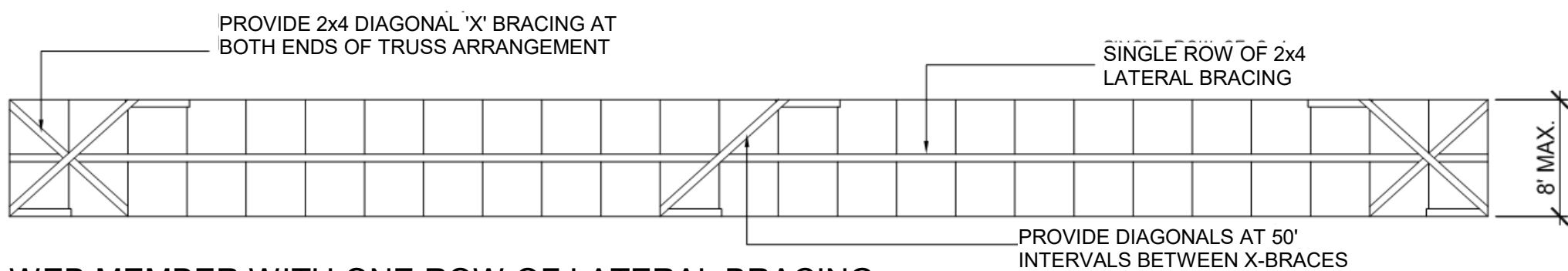
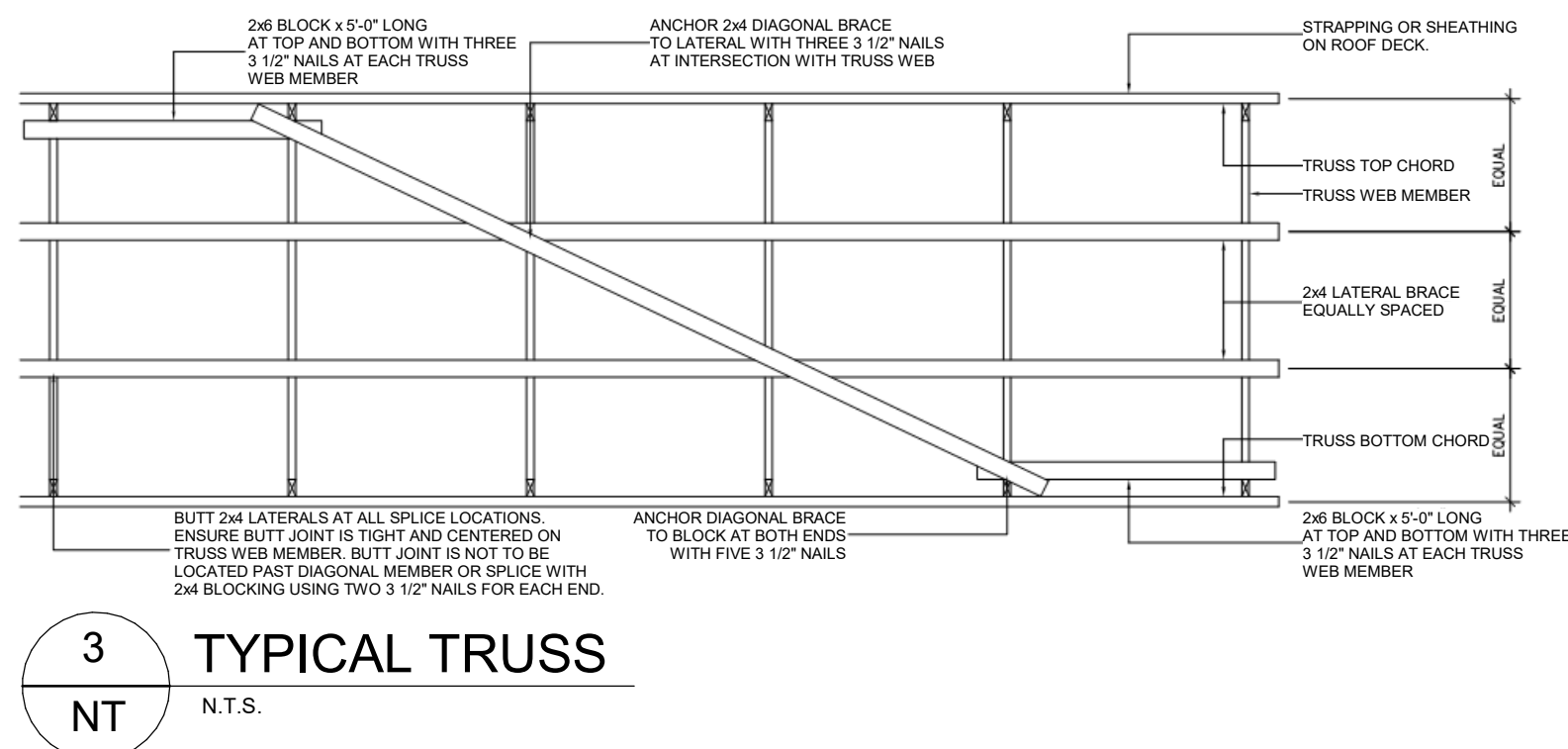
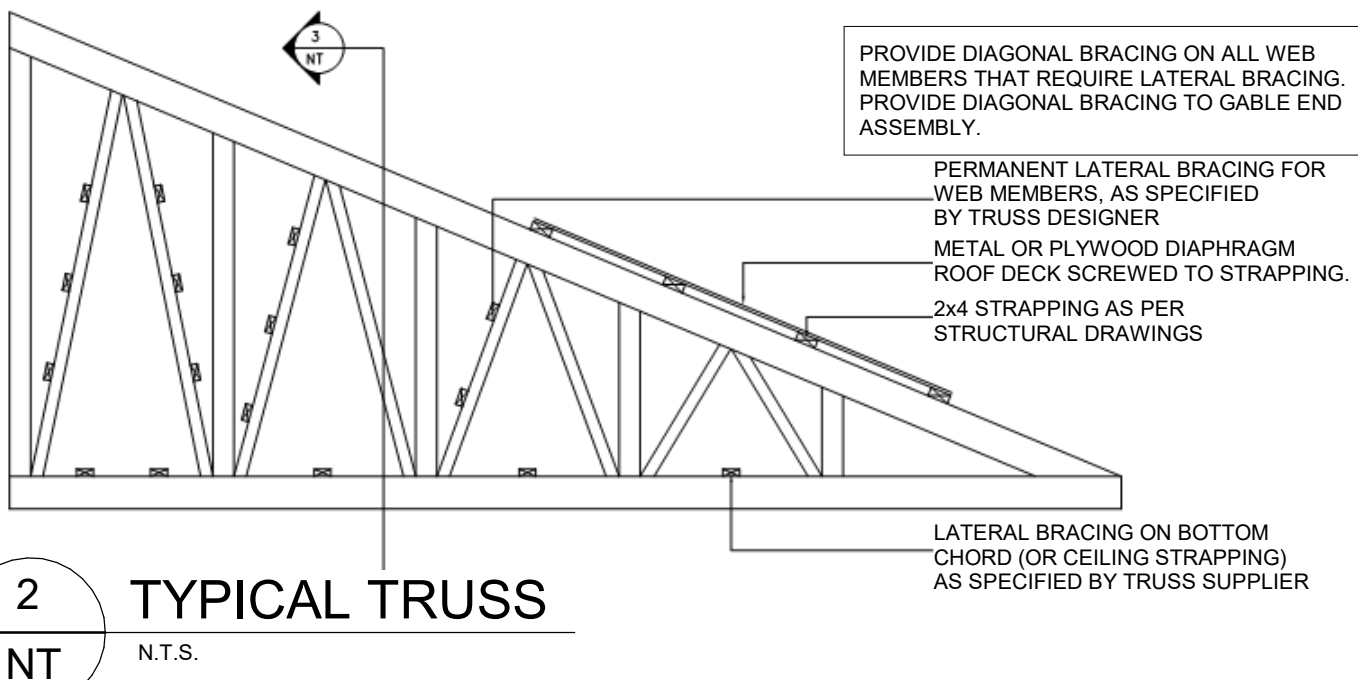
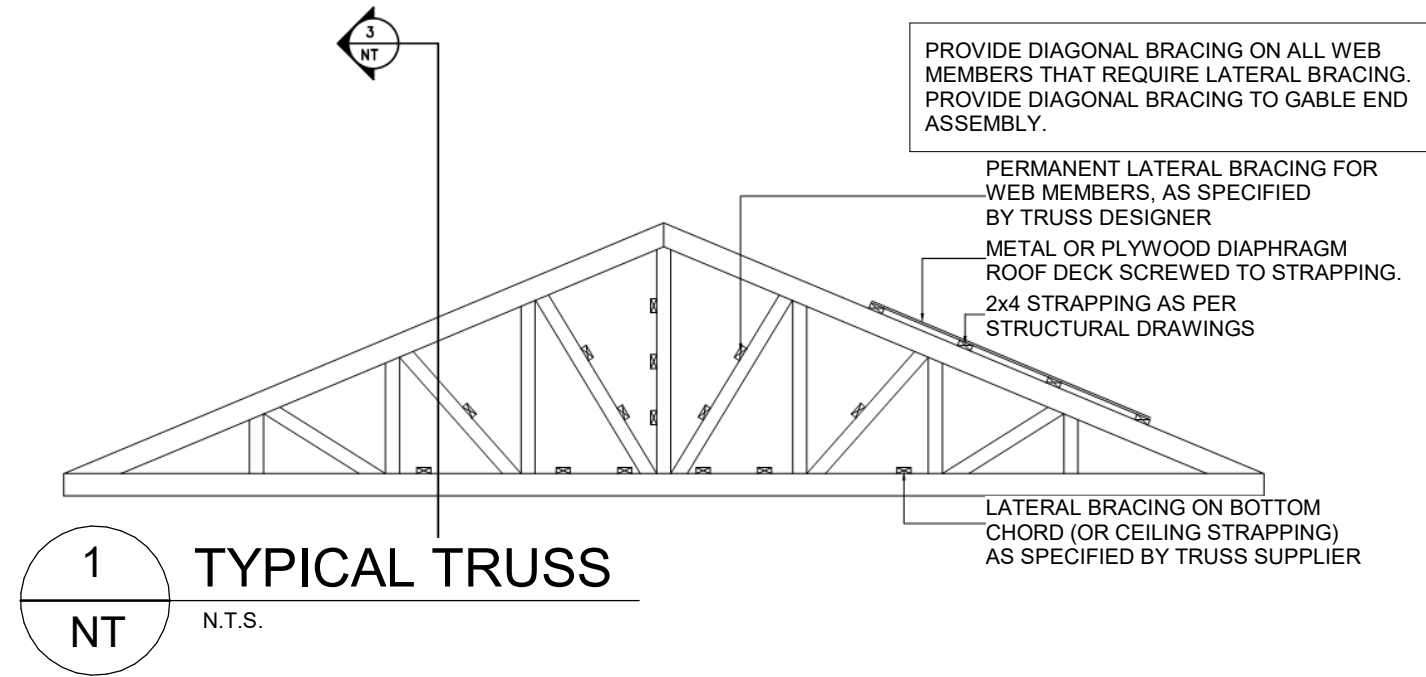
3 PROJECT SOUTH ELEVATION  
S-3 3/16" = 1'-0"



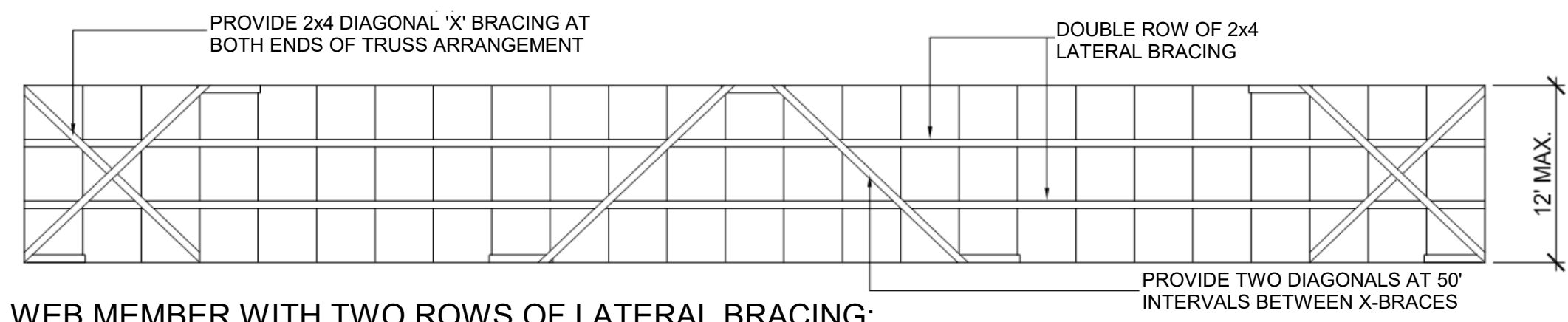
4 PROJECT WEST ELEVATION  
S-3 3/16" = 1'-0"

 DESIGNLOGIX ENGINEERING INC. AGRICULTURE - COMMERCIAL - CIVIL P: 905-512-2377 E: office@dlxengineering.com DO NOT SCALE DRAWINGS ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER		<b>ABBREVIATIONS</b> @ AT COMPLETE WITH ØW DIAMETER Ø FOUNDATION E.W. EACH WAY EX. EXISTING HORIZ. HORIZONTAL LVL. LAMINATED VENEER LUMBER MAX. MAXIMUM MIN. MINIMUM OBC ONTARIO BUILDING CODE OC CENTRE TO CENTRE O.H. OVERHEAD PF PAD FOOTING P.T. PRESSURE TREATED T.D. TRAVEL DISTANCE T&G TONGUE & GROOVE T.O. TOP OF TYP. TYPICAL U/S UNDERSIDE VERT. VERTICAL W/ WITH WWM WELDED WIRE MESH	<b>LEGEND</b> W WALL TAG WN WINDOW TAG D DOOR TAG 0.0" ELEVATION MARKER - PLAN 200' ELEVATION MARKER - SECTION TRAVEL DISTANCE	<b>PROJECT STATUS:</b>			<b>CONTRACTOR NAME &amp; ADDRESS:</b> H.V.G. CONSTRUCTION 324943 NORWICH ROAD, NORWICH, ON		<b>PROJECT NAME &amp; ADDRESS:</b> FROEZE STORAGE GARAGE 680 CONCESSION ROAD 6 ENR, CLEAR CREEK, ON		Date						
				<table><tr><th>NO:</th><th>DATE:</th><th>STATUS:</th></tr><tr><td>1</td><td>SEPT. 16, 2022</td><td>FOR APPROVAL</td></tr><tr><td>2</td><td>SEPT. 21, 2022</td><td>FOR PERMIT</td></tr><tr><td>3</td><td>MARCH 28, 2023</td><td>FOR PERMIT</td></tr></table>	NO:	DATE:	STATUS:	1	SEPT. 16, 2022	FOR APPROVAL	2	SEPT. 21, 2022	FOR PERMIT	3	MARCH 28, 2023	FOR PERMIT	PROJECT NORTH:
NO:	DATE:	STATUS:															
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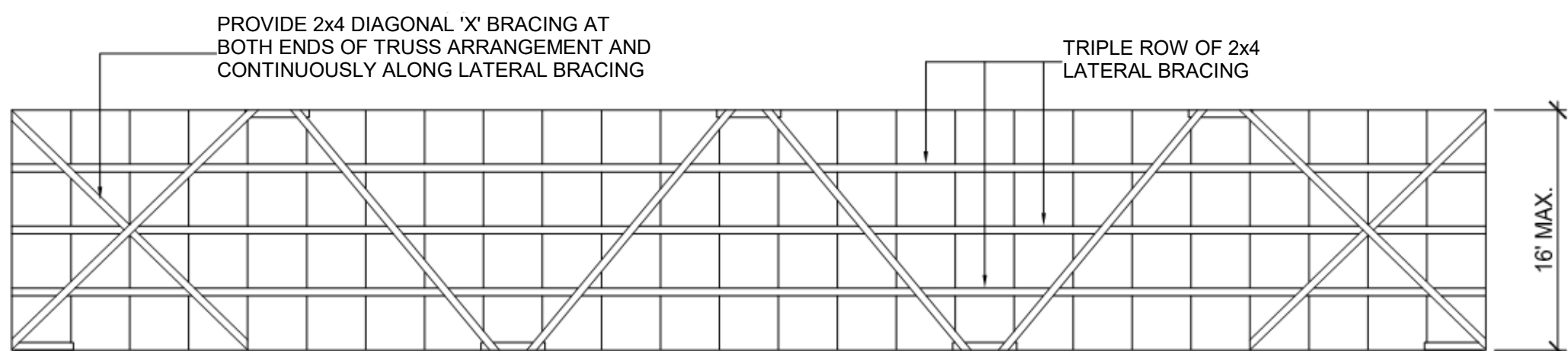




WEB MEMBER WITH ONE ROW OF LATERAL BRACING:



WEB MEMBER WITH TWO ROWS OF LATERAL BRACING:



WEB MEMBER WITH THREE ROWS OF LATERAL BRACING:

#### CODES AND STANDARDS

##### 1. STAIR DIMENSIONS INTERIOR STAIRS

MAX RISE: 77/8"  
MIN. RUN: 81/4"  
MIN. TREAD: 91/4"  
NOSING: 1"  
MIN. HEADROOM: 6'-5"  
UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS  
GUARD HEIGHT:  
AT ALL LANDINGS: 36"  
AT STAIRS: 36"  
AT HANDRAILS: 36"  
GUARDS TO BE NON-CLIMBABLE WITH MAX. SPACING OF 4"

##### EXTERIOR STAIRS (INCLUDING THE GARAGE)

MAX RISE: 77/8"  
MIN. RUN: 81/4"  
MIN. TREAD: 91/4"  
NOSING: 1"

GUARD HEIGHT:  
GREATER THAN 2'-0" ABOVE GRADE: 36"  
GREATER THAN 5'-11" ABOVE GRADE: 42"

A LANDING IS REQUIRED @ THE MAIN ENTRANCE. A LANDING & 36" GUARD IS REQUIRED @ ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS.

2. ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER O.B.C. 9.30.6

3. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH O.B.C. 9.34.

4. SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL, IN EACH BEDROOM, AND IN A HALLWAY CONNECTING BEDROOMS. ALL DETECTORS ARE REQUIRED TO BE HARDWIRED.

5. RANGE HOODS TO BE VENTED TO THE EXTERIOR c/w NON-COMBUSTIBLE PIPING

6. ATTIC VENTILATION TO COMPLY WITH O.B.C. 9.32 - (1/300)

7. PROVIDE AN AIR BARRIER IN ACCORDANCE WITH O.B.C. 9.25.5

8. HEADROOM UNDER DUCTWORK AND BEAMS TO BE MIN. 6'-5"

9. INSULATE & WEATHER STRIP ATTIC ACCESS HATCHES (MIN 20"x28")

10. ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY IN ACCORDANCE WITH O.B.C. 9.6.6

11. DOOR FROM GARAGE TO HOUSE TO BE EXTERIOR TYPE c/w WEATHER STRIPPING AND CLOSER

12. PROVIDE MINIMUM R-24 INSULATION ON INTERIOR GARAGE WALLS

13. PROVIDE MINIMUM R-31 INSULATION IN FLOOR SPACE OVER GARAGE, AND ENSURE WALLS AND CEILING OF GARAGE SIDE ADJACENT TO LIVING SPACE ARE TO BE DRYWALLED AND SEALED (GAS PROOFED)

14. EVERY FLOOR CONTAINING BEDROOMS MUST HAVE AT LEAST (1) WINDOW WITH AN UNOBSTRUCTED OPENING NOT LESS THAN 3.8 SQ.FT. WITH NO DIMENSION LESS THAN 15", AND A SILL HEIGHT NO MORE THAN 3'-3" ABOVE FIN. FLOOR

15. FOR MASONRY VENEER INSTALLATION, PROVIDE CONTINUOUS FLASHING AND WEEPHOLES EVERY 31" o.c. MAX.

#### TRUSS NOTES:

1. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE O.B.C. AND CERTIFIED BY A PROFESSIONAL ENGINEER

2. UNBALANCED LOAD CONDITIONS SHALL BE ACCOUNTED FOR

3. TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF VALLEYS AND SNOW SHADOWS

4. TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION

5. REFER TO DESIGN LOAD TABLE FOR DESIGN LOADS FOR THIS PROJECT

6. DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE LOCATED AT EACH END OF THE TRUSS ASSEMBLY AND SPACED AS NOTED ON STRUCTURAL DRAWINGS. X-BRACING SHALL BE PROVIDED AT 50'-0" INTERVALS UNLESS NOTED OTHERWISE. (SEE DIAGRAMS BELOW)

16. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN. CONSTRUCTION.
17. IF THERE ARE ANY CHANGES FROM THE DESIGN TO THE CONSTRUCTION, THE DESIGNER MUST BE NOTIFIED PRIOR TO BUILDING.

#### FOUNDATION & EXCAVATION:

MAXIMUM FOUNDATION BACKFILL HEIGHTS:  
CONCRETE FOUNDATION WALLS WHICH DO NOT EXTEND TO THE UNDERSIDE OF THE MAIN FLOOR JOISTS MAY BE BACK FILLED UP TO THE FOLLOWING HEIGHTS ABOVE THE BASEMENT FLOOR BASED ON THE O.B.C. 2012 DIV. B 9.15.4.2.A.:

8" (20 MPa) CONCRETE FOUNDATION = 3'-11"  
10" (20 MPa) CONCRETE FOUNDATION = 4'-7"

FOUNDATION OPENINGS GREATER THAN 3'-11" WIDE  
REINFORCE FOUNDATION WALL AROUND OPENING WITH 2-19M FULL HEIGHT VERTICALS @ 3' O.C. EACH SIDE OF OPENING & 2-19M HORIZONTALS ABOVE (IF APPLICABLE) & BELOW OPENING @ 3' O.C. EXTEND HORIZONTAL REBAR 24" PAST OPENING. TYP. FOR WINDOWS 48" TO 72" WIDE.

1. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES OR CHANGES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1980 AND ANY SUBSEQUENT AMENDMENTS

3. REMOVE ALL TOPSOIL, ORGANIC AND LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.

4. PROOF ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.

5. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 1500 P.S.F.

6. APPROVED GRANULAR FILL UNDER FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN 8" LAYERS TO 98% STANDARD PROCTOR MAX. DRY DENSITY.

7. U/S OF EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED EXTERIOR GRADE TO PROTECT THE FOOTINGS FROM FROST ACTION.

8. CUT & CAP OR REROUTE ALL FIELD TILE EXPOSED DURING EXCAVATION

9. ALL CONCRETE WORK TO CONFORM TO CSA STANDARD A23.

10. REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 58,000 P.S.I.

11. ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. MAX.

12. CONCRETE FOR SLABS ON GRADE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I. ALL OTHER CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 P.S.I. U.N.O.

13. ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.

14. DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.

15. WATER CURING OF CONCRETE IS RECOMMENDED

16. USE A MIN. OF 6" COMPACTED 3/4" CLEAR STONE UNDER ALL GROUND SLABS.

#### FRAMING NOTES:

1. ALL FLOOR JOISTS c/w CROSS-BRIDGING AND STRAPPING @ 7'-8" O.C. U.N.O.
2. PROVIDE DOUBLE JOIST FRAMING UNDER PARALLEL WALLS ABOVE AND AROUND STAIRS
3. PROVIDE BUILT-UP WOOD STUD POSTS EQUAL TO STUD DEPTH X WIDTH OF BEAM AT EACH END OF BEAM OR GIRDER TRUSS, U.N.O.
4. ALL ENGINEERED LUMBER SHALL BE LVL BEAM OR EQUIVALENT TO 2.0E-2950 FB, MIN. 3" END BEARING
5. LOAD BEARING WALLS SHALL BE FRAMED WITH 2x6 STUDS @ 16" O.C. (U.N.O.)
6. KEEP DRYWALL TIGHT TO DUCT WORK
7. ALL WASHROOMS TO INCL. BLOCKING FOR FUTURE GRAB BARS. REFER TO DETAILS @ BOTTOM OF PAGE.
8. ALL LUMBER TO BE S-P-F No. 2 OR BETTER
9. ALL POSTS EXTEND DOWN TO FOUNDATION OR BEAM BELOW

#### PLUMBING NOTES:

1. EVERY WATER DISTRIBUTION SYSTEM MUST BE SIZED TO PROVIDE PEAK DEMAND FLOW AS PER 7.6.3., DIV. B, 2012 O.B.C.
2. LAUNDRY TRAPS ARE REQUIRED TO HAVE A 2" TRAP NOT 1-1/2" AS PER TABLE 7.4.9.3., DIV. B, 2012 O.B.C.
3. WATER CLOSETS MUST HAVE MAXIMUM WATER CONSUMPTION PER FLUSH OF 4.8 LPF AS PER TABLE - 7.6.4.2.B, DIV. B, 2012 O.B.C.

ITEM	DESCRIPTION	
1.	<b>BUILDING AREA &amp; GROSS AREA</b>	
	MAIN FLOOR AREA	= 3200 sq.ft.
2.	<b>STOREYS</b>	= 1 STOREYS
3.	<b>SPECIFIED SNOW LOAD</b>	= 1.20kPa ( PORT BURWELL )

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#### LEGEND

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0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
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#### PROJECT STATUS:

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#### CONTRACTOR NAME & ADDRESS:

**H.V.G. CONSTRUCTION**  
324943 NORWICH ROAD,  
NORWICH, ON

#### PROJECT NORTH:

#### TRUE NORTH:

#### Project #:

DLX22-722

Drawn by: J.B.

Checked by: N.H.

#### PROJECT NAME & ADDRESS:

**FROEZE STORAGE GARAGE**  
680 CONCESSION ROAD 6 ENR,  
CLEAR CREEK, ON

#### DRAWING TITLE:

**DESIGN NOTES**

#### Date

#### Scale

12" = 1'-0"

#### Sheet No.

**NT**



# **Long Point Region Conservation Authority**

## **PERMIT No. LPRCA-223/22**

### **FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS & ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street  
Tillsonburg, ON  
N4G 0C4  
Phone (519) 842-4242  
Fax (519) 842-7123  
www.lprca.on.ca

#### **Permission has been granted to:**

<b>Owner:</b>	<u>Jacob &amp; Katharina Froese</u>	<b>Telephone:</b>	<u>519-403-8923</u>
<b>Address:</b>	<u>680 Concession Road 6 ENR</u>	<b>Postal Code:</b>	<u>N0E 1C0</u>
	<u>Cultus ON</u>		
<b>Agent:</b>	<u>Wesley Donker</u>	<b>Telephone:</b>	<u>226-927-7634</u>
<b>Address:</b>	<u>324943 Norwich Road</u>	<b>Postal Code:</b>	<u>N0J 1P0</u>
	<u>Norwich ON</u>		

**Location/Address of works:** 680 Concession Road 6 ENR, Houghton - 331054502016150

**Lot:** 8 **Plan:** 6 **Municipality:** Norfolk County

**Description of Works:** To construct an approximately 300m<sup>2</sup> storage shed approximately 80m from a Provincially Significant Wetland.

**Type of fill:** n/a

**This permit is valid on the above location only for the period of:**

**DATE: October 13, 2022 to October 13, 2024**

#### **This permit shall be subject to the following conditions:**

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

#### **GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)**

#### **SPECIFIC CONDITIONS:**

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated October 12, 2022 and the associated information.

**GENERAL CONDITIONS:**

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.





# Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: [planning@lprca.on.ca](mailto:planning@lprca.on.ca) Website: [www.lprca.on.ca](http://www.lprca.on.ca)

## Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND  
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -

Office Use Only

Owner's Name: JACOB & KATHARINA FROESE

Mailing Address: 680 CONCESSION 6 RD ENR

Street Address

CULTUS

P.O. Box

ONTARIO

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone: 519 403-8923

Alternate Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant's Name: WESLEY DONKER

☐ Check if same as above

Mailing Address: 324943 NORWICH RD

Street Address

NORWICH, ONTARIO

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone: 226-927-7634

Alternate Phone: \_\_\_\_\_

Email: [wes@robustshield.ca](mailto:wes@robustshield.ca)

### Location of Proposed Work

Lot: 8 Concession/Plan: 6 Municipality: Norfolk

Municipal Address: 680 CONCESSION ROAD 6 ENR, CLEAR CREEK

Street Address

Tax Assessment Roll Number: 54502016150

### Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☐ Site grading
- ☒ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe) \_\_\_\_\_

Quantity of fill: \_\_\_\_\_

Proposed square footage: 3200SF

Existing square footage: \_\_\_\_\_

### Description of Proposed Works:

CONSTRUCT 80'X40' STORAGE GARAGE, CONCRETE FOUNDATION, STICK FRAME, METAL SHEET SIDING

PROPOSED START DATE: OCTOBER 2022

PROPOSED COMPLETION DATE: JANUARY 2023

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

WESLEY

Applicant Signature

Digitally signed by WESLEY

DN: cn=CA, email=wesley@robustshield.ca, o=ROBUST SHIELD, cn=WESLEY

Date: 2022.10.12 15:01:42-04'00'

2022/10/12

Date

DocuSigned by:

Jacob Froese

Agent Signature

2715332C054E494...

10/12/2022

Date

## Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Ontario Regulation 178/06

### PROPERTY OWNER AUTHORIZATION

Subject Property

Property Location 680 CONCESSION 6 RD ENR

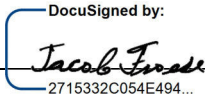
*Municipal Address or Lot and Concession or Lot and Plan*

Municipality NORFOLK COUNTY Community CULTUS

I/We JACOB FROESE & KATHARINA FROESE

Hereby authorize WESLEY DONKER

To provide as my agent any required authorizations or consents, to submit the enclosed application to the Long Point Region Conservation Authority, and to appear on my behalf at any hearing(s) of the application and to provide any information or material required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulation 178/06 as amended.

Signature of Owner:  Date: 2022/10/12

2715332C054E494...



Please copy the Owner on correspondence between the Conservation Authority and the Agent.

### APPLICATION FORM INSTRUCTIONS

- Owner** The legal owner(s) of the property where the proposed development or alteration will be carried out.
- Applicant** If the applicant is not the same as the property owner, written authorization is required from all property owners on whose property the proposed work will be carried out. The authorization(s) must be submitted with the application.
- Agent** If the applicant has assigned another party as an agent to act on the applicant's behalf for the project, written authorization from the applicant is required so stating.
- Quantity of Fill** Approximate quantity expressed in cubic metres, cubic yards, truck loads (12 yards) or tandem truck loads (18 yards)
- Floor area** For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks or porches.

**APPLICATION CHECKLIST**

Office Use Only

Application # LPRCA-

List Issued: \_\_\_\_\_

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, or by fax, email or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

Applicable   Submitted

- |   |                          |  |
|---|--------------------------|--|
| ✓ | <input type="checkbox"/> | A completed, signed and dated application form;  |
| ✓ | <input type="checkbox"/> | Written authorization (if the applicant is not the owner of the property where the work is being done) |
| ✓ | <input type="checkbox"/> | Written authorization (if the property owner is assigning another party as an agent for the project);  |
| ✓ | <input type="checkbox"/> | Application fee (see fee schedule, fees subject to change without notice);                             |
| ✓ | <input type="checkbox"/> | A scaled and detailed site plan;   |
| ✓ | <input type="checkbox"/> | A scaled cross-sectional drawing and floor plans;  |

Drawings: One copy of all project drawings, reports, unless otherwise requested. Hardcopy drawings must be provided and readable on sheets no larger than 11" x 17". Electronic submission of drawings and reports is preferred. The drawings should include (either as part of the illustration or as notes).

- |   |                          |   |
|---|--------------------------|---|
| ✓ | <input type="checkbox"/> | Legal description of the property (e.g. roll number, lot, concession, municipality);  |
| ✓ | <input type="checkbox"/> | Scale, date, and directional arrow;   |
| ✓ | <input type="checkbox"/> | Dimensions of the property (a copy of a legal survey may be required);  |
| ✓ | <input type="checkbox"/> | Location, dimensions and geodetic elevations of all existing and proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes on or adjacent to the property; |
| ✓ | <input type="checkbox"/> | Location and type of sediment and erosion control measures (e.g. silt fence) and soil stabilization measures (e.g. seeding, sodding, planting)  |

Technical reports: One or more of the following technical reports may be required (as advised by LPRCA staff).

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas)  |
| <input type="checkbox"/> | <input type="checkbox"/> | Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Hydraulic analysis by a qualified professional engineer addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Complex and large-scale proposals may require additional technical studies and plans.   |

<b>For Office Use Only</b>	
Application Submitted:	
Complete Application:	
Application Fee:	Paid:
Board Approval Required Date of Board Meeting:	

## GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
  - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
  - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
  - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
  - a) the works are not in conformance with the intent of the permission granted;
  - b) the information presented to obtain a permit is false;
  - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

### NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.



## LONG POINT REGION CONS

[4 ELM STREET](#)  
[TILLSONBURG, ON N4G 0C4](#)  
[+1 519-842-4242](#)

Subtotal	\$166.65
Total Taxes	\$0.00

---

**Total**      \$ 166<sup>65</sup>

---

PAYMENT ID: KXW21GB3R36TP

---

[Hide Details](#)

Card: Visa 3892  
January 17, 2023, 8:45 AM  
Method: TELEPHONE ORDER  
Auth ID: 117284  
Reference ID: 301700523184  
Authorizing Network: VISA

---

DATE
January 17, 2023 8:45 am

VISA
 3892

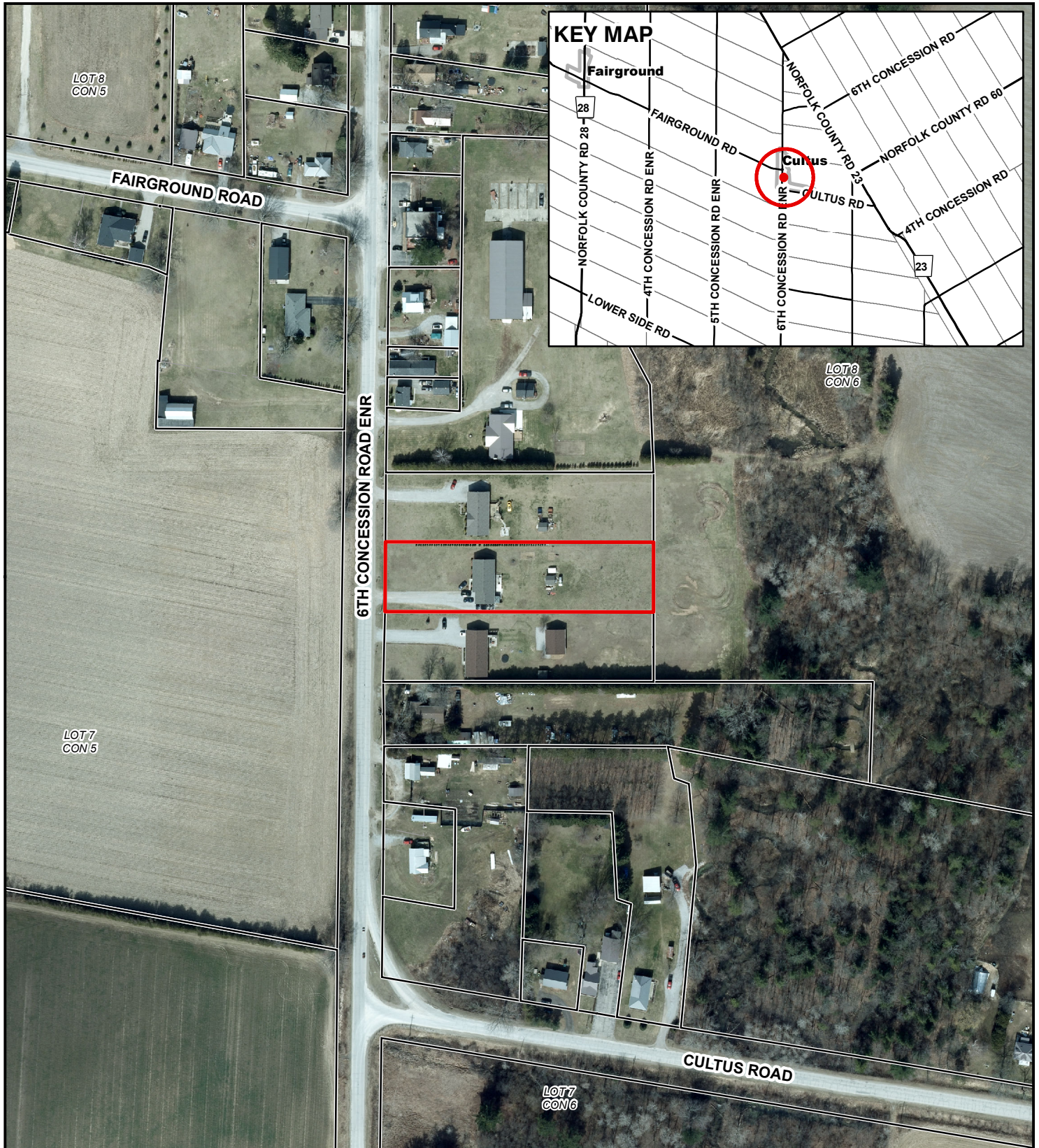
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**MAP A**  
**CONTEXT MAP**  
Geographic Township of HOUGHTON

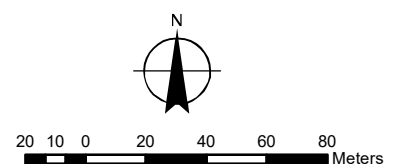
ANPL2023040



**Legend**

-  Subject Lands
- 2020 Air Photo

3/31/2023



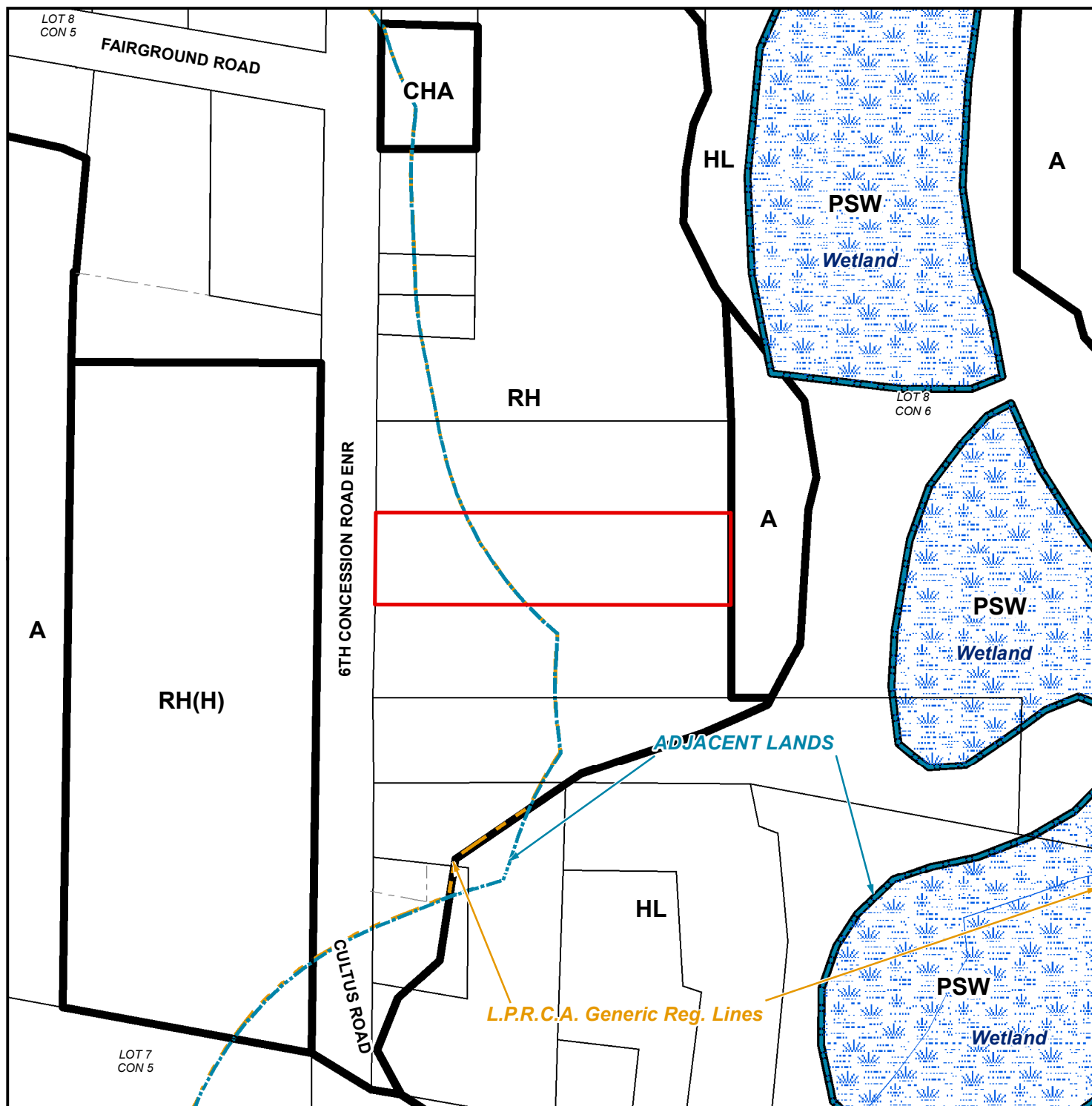


# MAP B

## ZONING BY-LAW MAP

Geographic Township of HOUGHTON

ANPL2023040



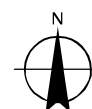
### LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

3/31/2023

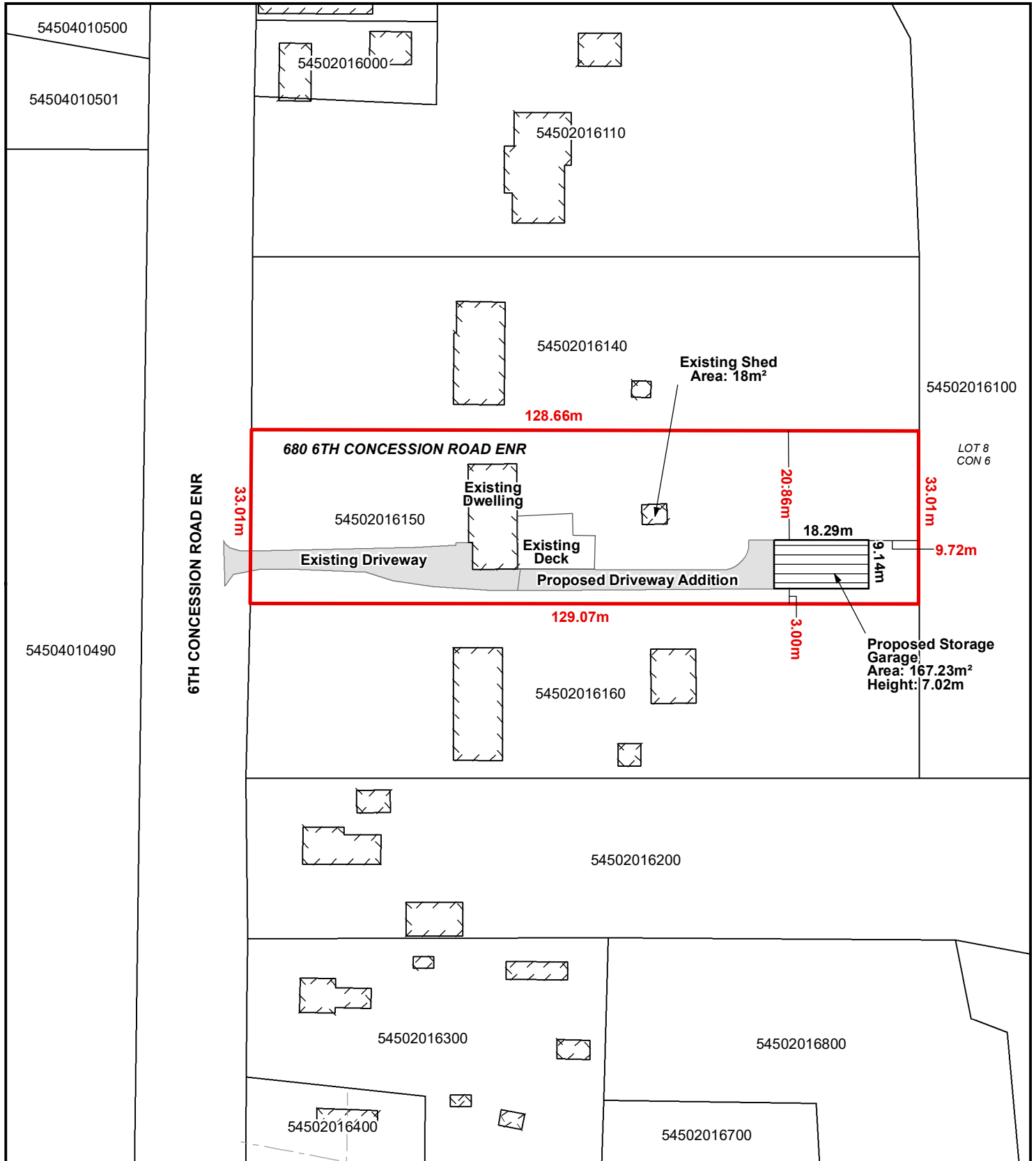
- (H) - Holding
- A - Agricultural Zone
- CHA - Hamlet Commercial Zone
- RH - Hamlet Residential Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone



20 10 0 20 40 60 80 Meters

# CONCEPTUAL PLAN

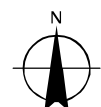
Geographic Township of HOUGHTON



## Legend

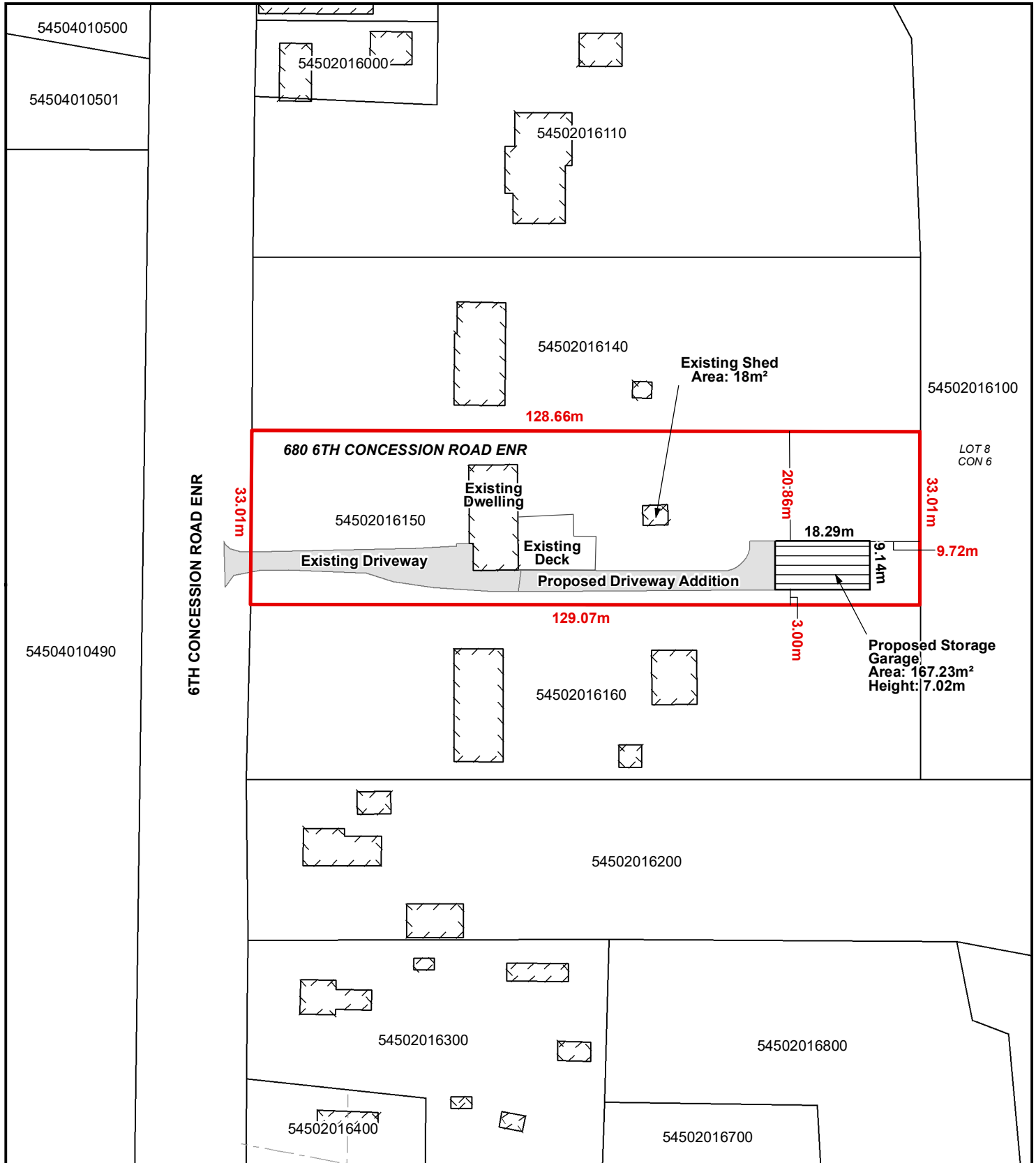
Subject Lands

3/31/2023



## CONCEPTUAL PLAN

Geographic Township of HOUGHTON



### Legend

Subject Lands

3/31/2023

