

**For Office Use Only:**

File Number	ANPL2023047	Application Fee	\$1711.00
Related File Number	-	Conservation Authority Fee	N/A
Pre-consultation Meeting	-	Well & Septic Info Provided	Yes
Application Submitted	January 19, 2023	Planner	Hanne Yager
Complete Application	February 14, 2023	Public Notice Sign	-

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** \_\_\_\_\_**A. Applicant Information****Name of Owner** \_\_\_\_\_

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Applicant** \_\_\_\_\_

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Agent**

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s): Agricultural

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

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5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

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9. Existing use of abutting properties:

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10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
<del>Aisle width</del>					
<del>Stall size</del>					
Loading Spaces					
Other					

DISTANCE  
TO MAIN  
DWELLING  
  
MAX  
FLOOR  
AREA

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

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Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells         |
| <input type="checkbox"/> Individual wells      | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal sewers                               | <input type="checkbox"/> Communal system        |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |   |                                       |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers           | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |                                       |
- 

2. Existing or proposed access to subject lands:

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road  | <input type="checkbox"/> Other (describe below) |

Name of road/street:

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## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### I. Transfers, Easements and Postponement of Interest

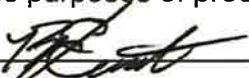
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

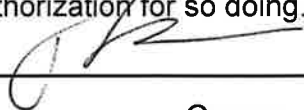
12/12/2022  
\_\_\_\_\_  
Date

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Jamie Proracki am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Reilly Ernst to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_  
Owner

1.6.2023  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.


**K. Declaration**

I, Billy Ernst of Ernst Construction & Design  
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits  
transmitted herewith are true and I make this solemn declaration conscientiously  
believing it to be true and knowing that it is of the same force and effect as if made  
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County ON

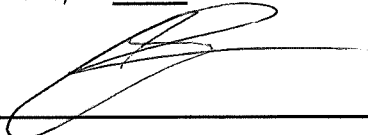


Owner/Applicant/Agent Signature

In Norfolk County, ON

This 12<sup>th</sup> day of January

A.D., 2023



A Commissioner, etc.

Connor Thornewell



It is the trade's / supplier's responsibility to read and understand the entire drawing package prior to construction. Each sheet may contain information that pertains to that trade's / supplier's scope of work. Any unclear, conflicting or missing information shall be brought to the builder's attention for clarification.



I, REILLY ERNST  
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS  
AN "OTHER DESIGNER" UNDER THE 2012  
ONTARIO BUILDING CODE  
BCIN# 110349  
FIRM BCIN # 121158

SIGNATURE

Prices, plans, elevations, grading, steps, dimensions, specifications/information and square footage are subject to change without any notice. Some features shown may be optional and available at an extra cost. Drawings are artist & designer's concept only and are subject to change as per offer, final selections and any adjustment required by OBC & City building / zoning departments - E. & O.E. 2021 Ernst Construction & Design. All rights reserved. 01 Jan 2022.

#### REVISIONS

NO.	DATE	DESCRIPTION
1.		
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5.		

3509 HIGHWAY 24

NORFOLK COUNTY

#### 3D - EXTERIOR

Finished Area: 0 SQFT

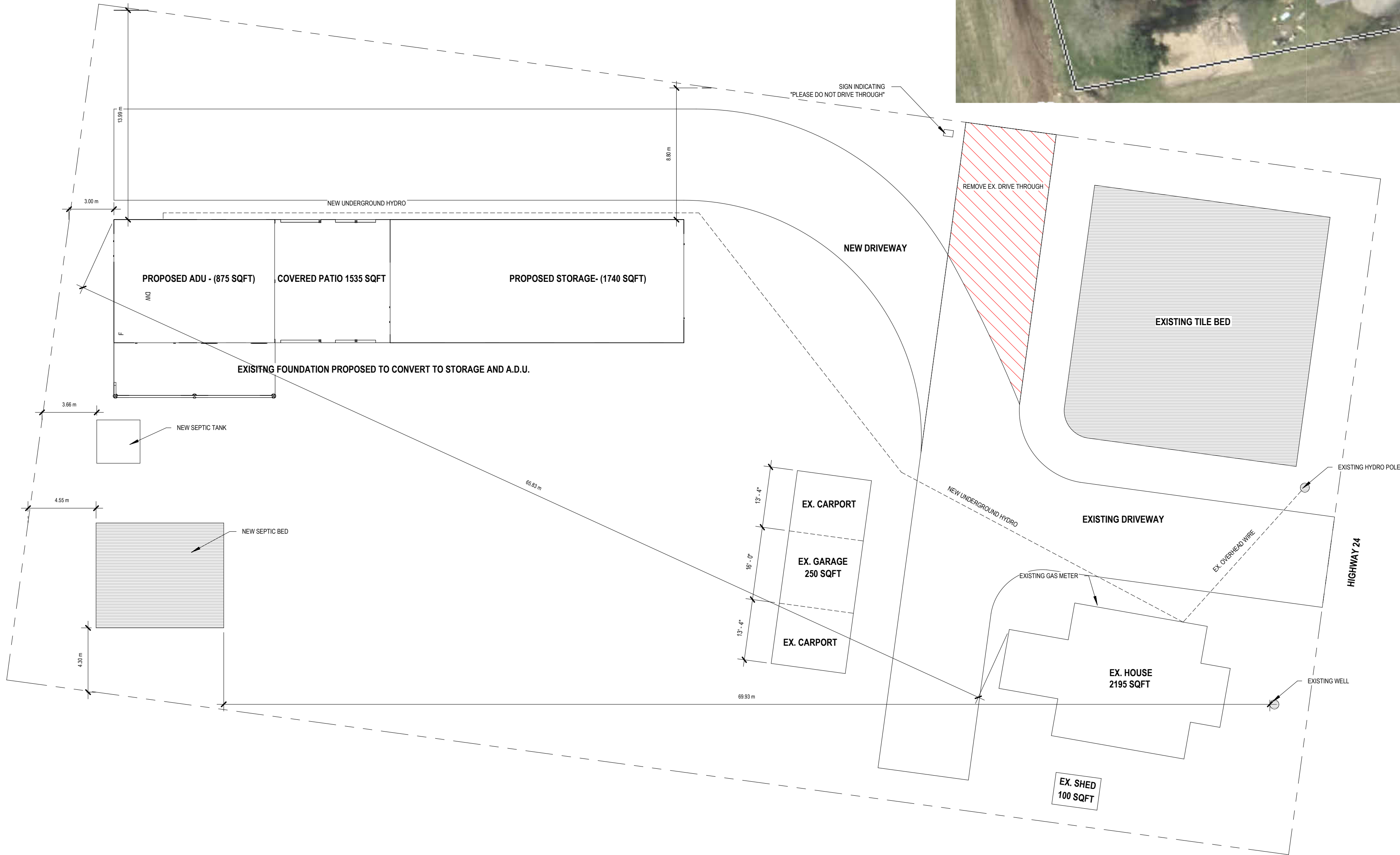
Date: 2023-02-10 8:27:41 AM

Drawn By: REILLY ERNST


Scale:

3D-1






1 SITE PLAN  
A-1 1/16" = 1'-0"



I, REILLY ERNST  
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3509 HIGHWAY 24  
NORFOLK COUNTY

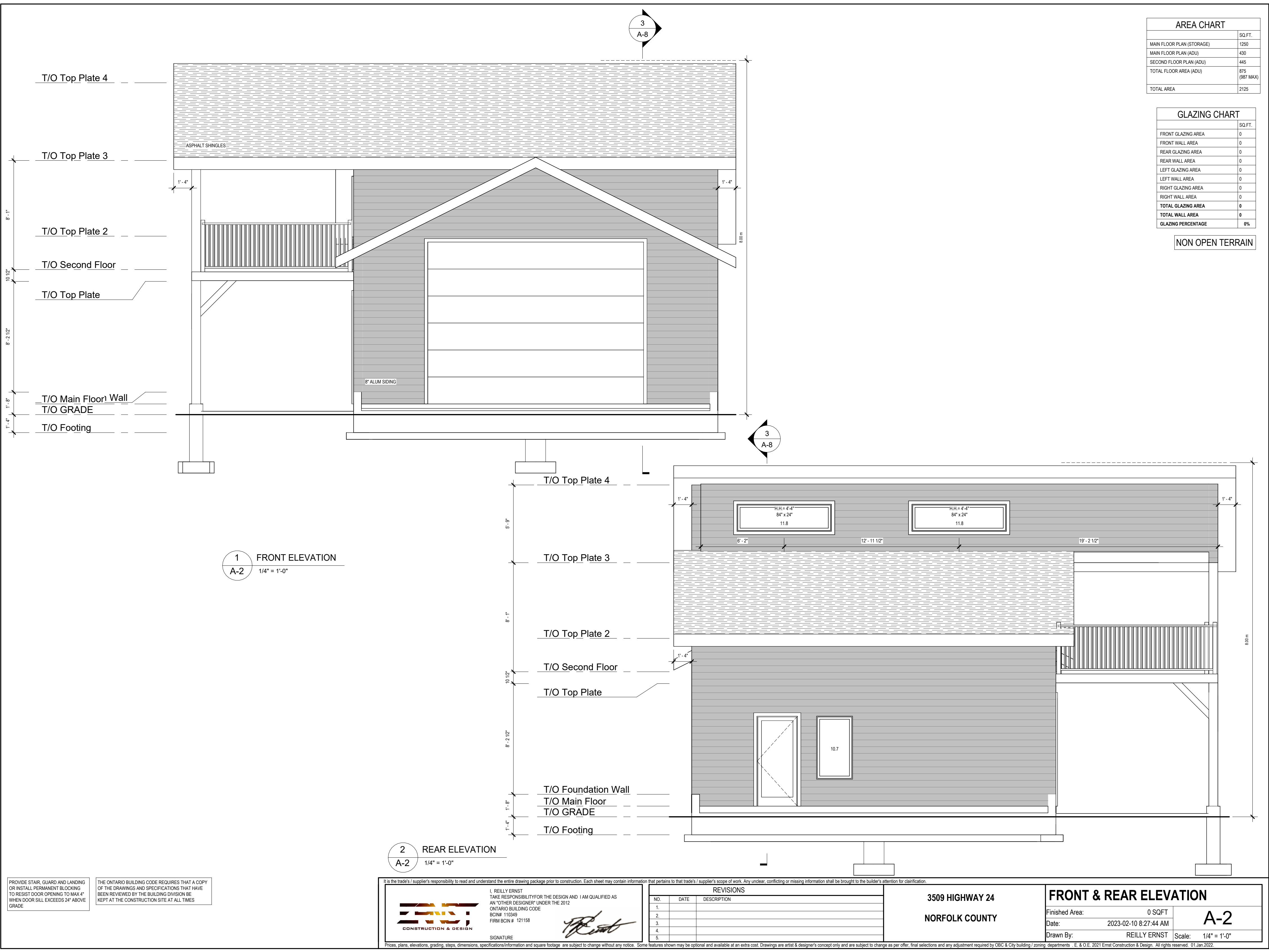
**SITE PLAN**

Finished Area:		<b>A-1</b>
Date:	2023-02-10 8:27:43 AM	
Drawn By:	REILLY ERNST	

Scale: 1/16" = 1'-0"

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AREA CHART	
	SQ. FT.
MAIN FLOOR PLAN (STORAGE)	1250
MAIN FLOOR PLAN (ADU)	430
SECOND FLOOR PLAN (ADU)	445
TOTAL FLOOR AREA (ADU)	875 (987 MAX)
TOTAL AREA	2125

GLAZING CHART	
	SQ. FT.
FRONT GLAZING AREA	0
FRONT WALL AREA	0
REAR GLAZING AREA	0
REAR WALL AREA	0
LEFT GLAZING AREA	0
LEFT WALL AREA	0
RIGHT GLAZING AREA	0
RIGHT WALL AREA	0
TOTAL GLAZING AREA	0
TOTAL WALL AREA	0
GLAZING PERCENTAGE	0%


NON OPEN TERRAIN

1 FRONT ELEVATION  
1/4" = 1'-0"

2 REAR ELEVATION  
1/4" = 1'-0"

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESIST DOOR OPENING TO MAX 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE

THE ONTARIO BUILDING CODE REQUIRES THAT A COPY OF THE DRAWINGS AND SPECIFICATIONS THAT HAVE BEEN REVIEWED BY THE BUILDING DIVISION BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES



Ernst  
CONSTRUCTION & DESIGN

I, REILLY ERNST  
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FIRM BCIN # 121158

*[Signature]*

SIGNATURE

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NO.	DATE	DESCRIPTION
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3509 HIGHWAY 24  
NORFOLK COUNTY

**FRONT & REAR ELEVATION**

Finished Area:	0 SQFT
Date:	2023-02-10 8:27:44 AM
Drawn By:	REILLY ERNST

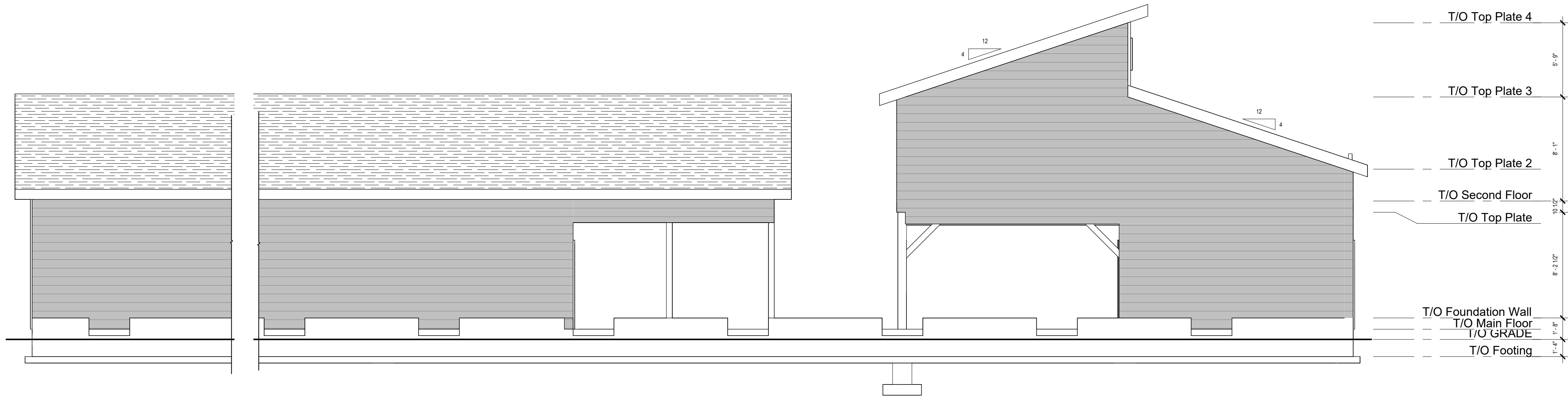
Scale: 1/4" = 1'-0"

**A-2**

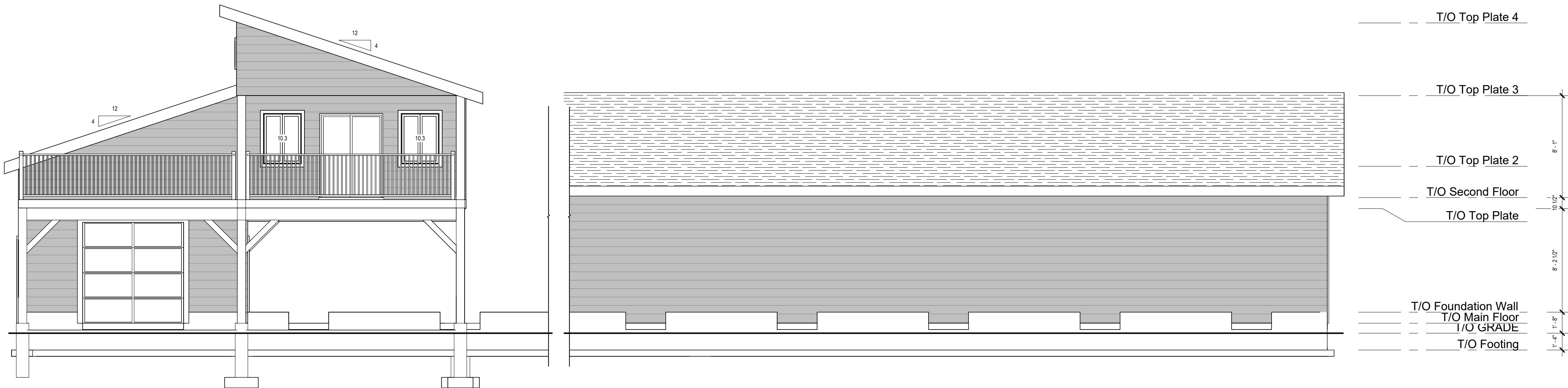
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1 RIGHT ELEVATION  
A-3 3/16" = 1'-0"



2 LEFT ELEVATION  
A-3 3/16" = 1'-0"

PROVIDE STAIR, GUARD AND LANDING  
OR INSTALL PERMANENT BLOCKING  
TO RESIST DOOR OPENING TO MAX 4"  
WHEN DOOR SILL EXCEEDS 24" ABOVE  
GRADE

A SEPARATE BUILDING PERMIT IS REQUIRED  
FOR ANY DECK GREATER THAN 24" ABOVE GRADE

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**ERNST**  
CONSTRUCTION & DESIGN

I, REILLY ERNST  
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS  
AN "OTHER DESIGNER" UNDER THE 2012  
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BCIN# 110349  
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SIGNATURE

REVISIONS		
NO.	DATE	DESCRIPTION
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3509 HIGHWAY 24  
NORFOLK COUNTY

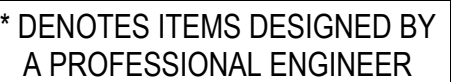
**LEFT & RIGHT ELEVATION**

Finished Area: 0 SQFT  
Date: 2023-02-10 8:27:46 AM  
Drawn By: REILLY ERNST  
Scale: As indicated

**A-3**

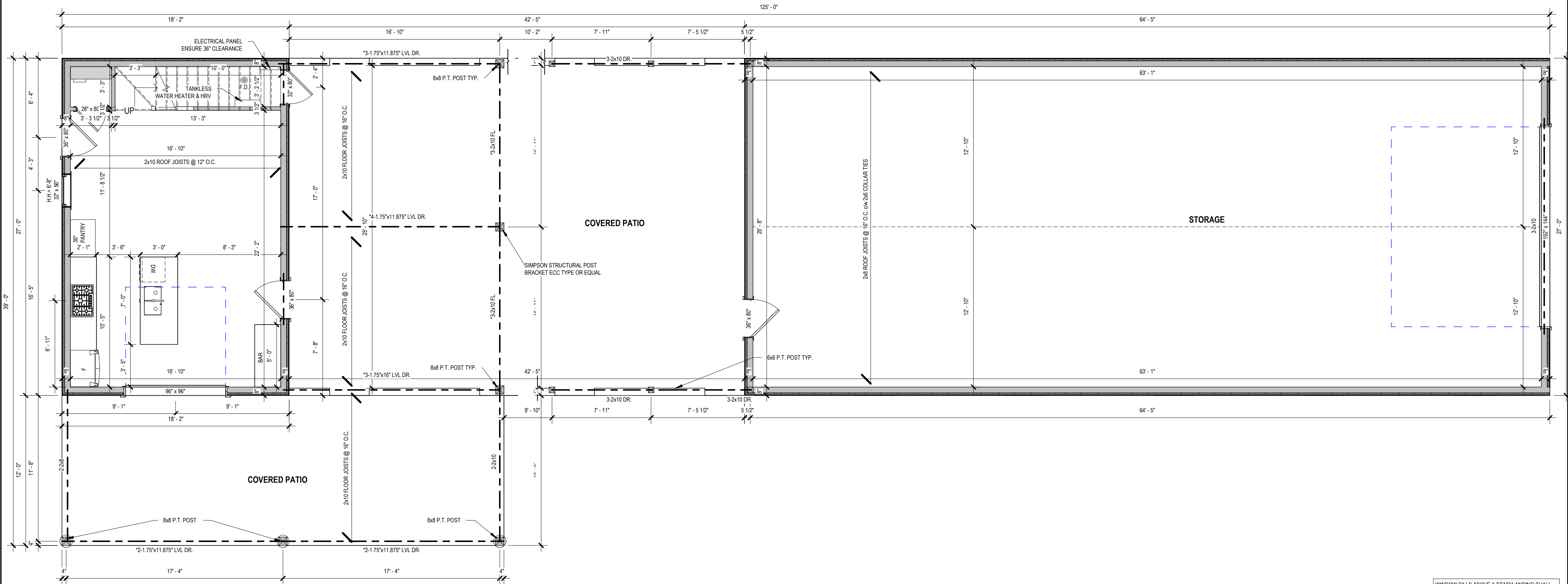
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**ALL STEEL LINTELS SHALL BE  
L4"x31/2"x1/4" U.N.O.**



ALL WOOD LINTELS SHALL BE  
2-2x10 W/ 1J 1K EA. END U.N.O

ALL STEEL LINTELS SHALL BE  
L4"x31/2"x1/4" U.N.O.



1 MAIN FLOOR PLAN  
A-5 3/16" = 1'-0"

WINDOW SILLS ABOVE A STAIR/LANDING SHALL  
BE MIN 2'-11" OR BE PROTECTED WITH A GUARD,  
OR BE DESIGNED TO WITHSTAND THE LOADS

MINIMUM PARKING SPACE WITHIN A GARAGE  
IS 10'x18', RISERS OF STAIRS MAY ENCROACH  
THE WIDTH BY A MAX. OF 1'-6"

A LANDING IS REQUIRED AT THE ENTRANCE FROM  
AN ATTACHED GARAGE WHEN THERE ARE MORE  
THAN 3 RISERS BETWEEN THE GARAGE FLOOR AND  
THE INTERIOR FLOOR LEVELS IN ACCORDANCE WITH  
9.8.6.2.(3)(a), GUARDS CONFORMING TO O.B.C. 9.8.8. &  
S87 ARE REQUIRED WHEN LANDING EXCEEDS 24"  
ABOVE GARAGE FLOOR

**CONCRETE PORCH SLAB**  
-MIN 6" THICK  
-6x6 W.W.M.  
-MIN 1 1/4" CONCRETE COVER  
-MIN 32 MPA CONCRETE  
-MIN 3" BEARING

\* DENOTES ITEMS DESIGNED BY  
A PROFESSIONAL ENGINEER

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I, REILLY ERNST  
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FIRM BCIN # 121158

SIGNATURE

*[Signature]*

REVISIONS

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
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5.		

3509 HIGHWAY 24  
NORFOLK COUNTY

MAIN FLOOR PLAN

Finished Area: 0 SQFT  
Date: 2023-02-10 8:27:49 AM  
Drawn By: REILLY ERNST

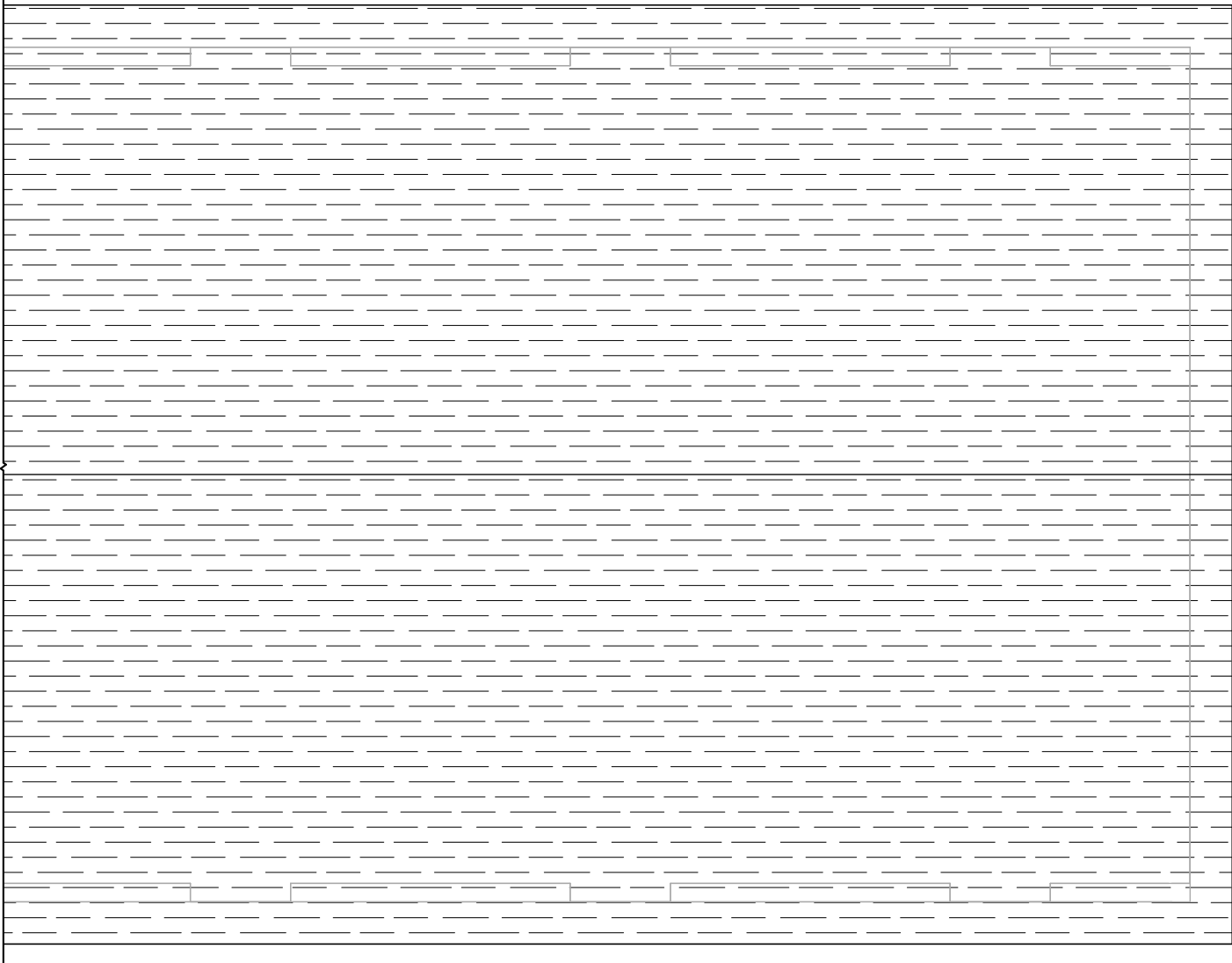
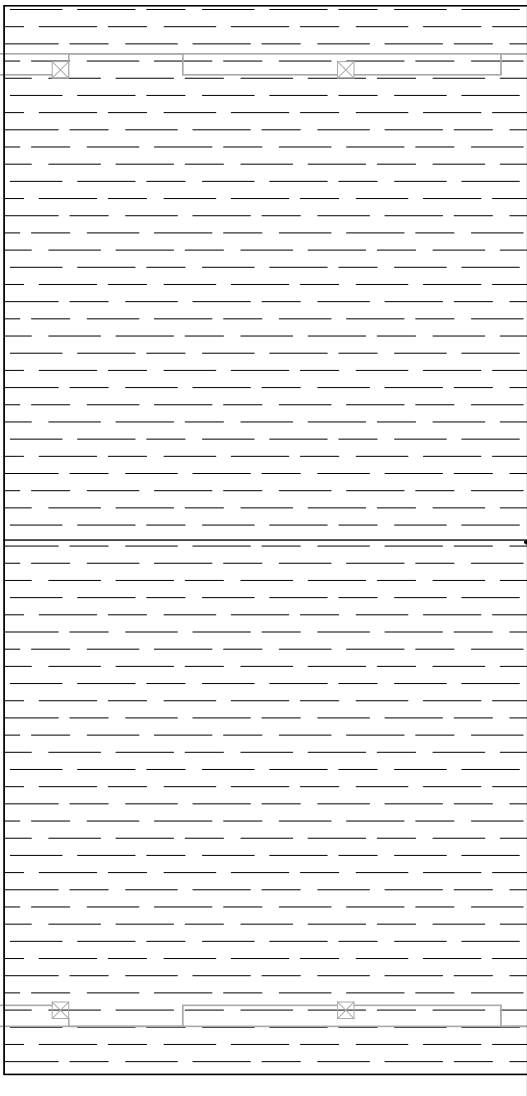
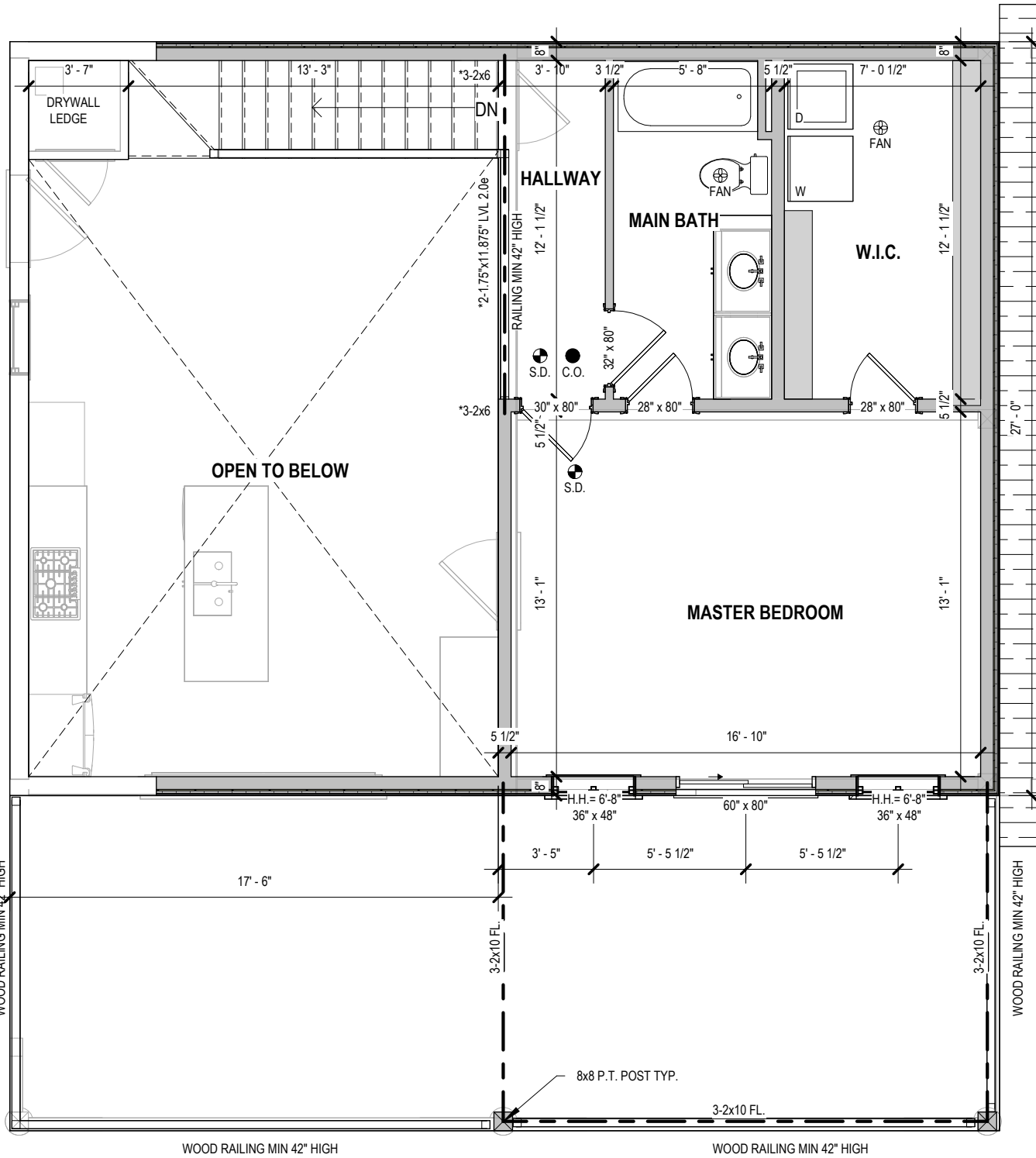
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Scale: As indicated

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ALL WOOD LINTELS SHALL BE  
2-2x10 W/ 1J 1K EA. END U.N.O

ALL STEEL LINTELS SHALL BE  
L4"x31/2"x1/4" U.N.O.



1 SECOND FLOOR PLAN  
A-6 3/16" = 1'-0"

MAIN BATHROOM TO HAVE STUD BLOCKING  
FOR FUTURE INSTALLATION OF GRAB BARS  
ADJACENT TO SHOWER/TUB AND TOILET

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE  
ALARM BE INSTALLED ON EA. FLOOR LEVEL AND WITHIN  
EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE  
INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL  
SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL  
PATTERN IN CONFORMANCE WITH 18.5.3 OF "LIGHT,  
COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72."

A CARBON MONOXIDE DETECTOR SHALL  
BE LOCATED ADJACENT TO SLEEPING ROOMS

\* DENOTES ITEMS DESIGNED BY  
A PROFESSIONAL ENGINEER

It is the trade's / supplier's responsibility to read and understand the entire drawing package prior to construction. Each sheet may contain information that pertains to that trade's / supplier's scope of work. Any unclear, conflicting or missing information shall be brought to the builder's attention for clarification.



I, REILLY ERNST  
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS  
AN "OTHER DESIGNER" UNDER THE 2012  
ONTARIO BUILDING CODE  
BCIN# 110349  
FIRM BCIN # 121158

SIGNATURE

*[Signature]*

REVISIONS

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
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5.		

3509 HIGHWAY 24  
NORFOLK COUNTY

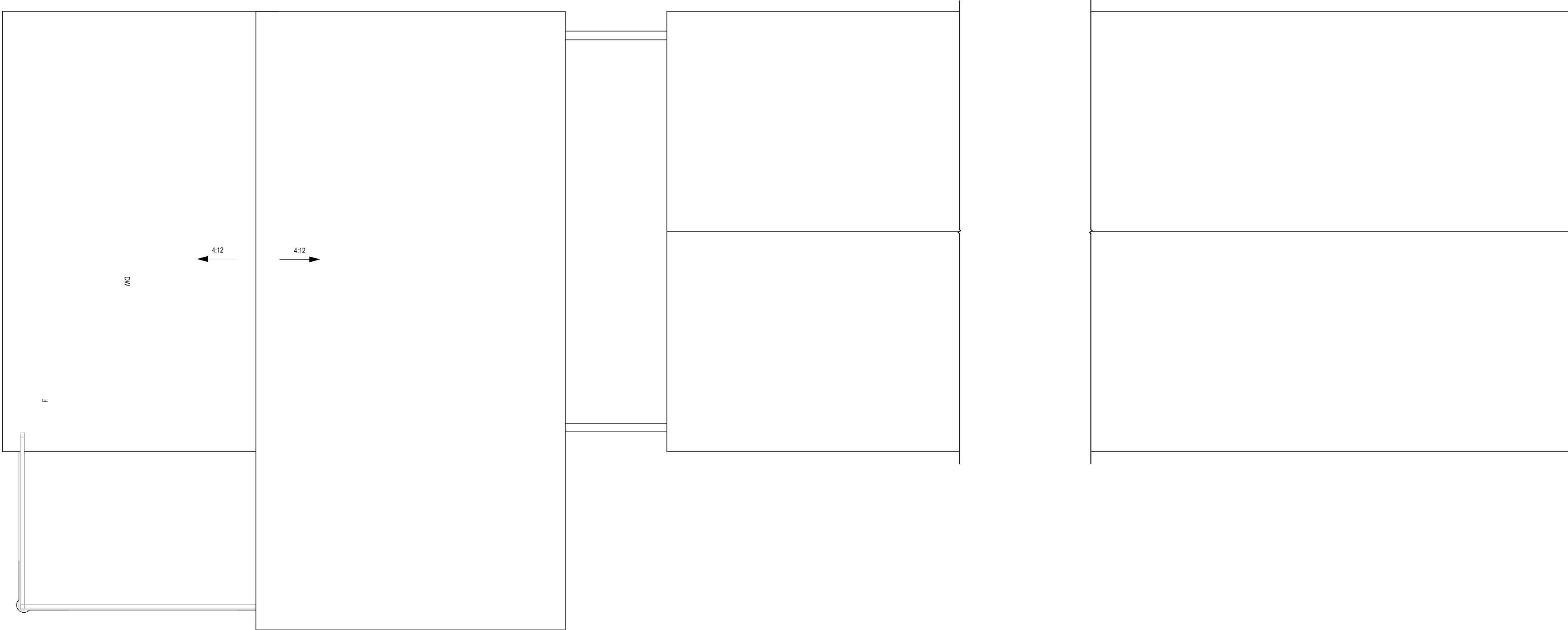
SECOND FLOOR PLAN

Finished Area: 0 SQFT  
Date: 2023-02-10 8:27:50 AM  
Drawn By: REILLY ERNST

A-6

Scale: As indicated


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1 ROOF PLAN  
A-7 3/16" = 1'-0"

PROVIDE P. ENG APPROVED TRUSS DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

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FIRM BCIN # 121158

*[Signature]*

SIGNATURE

REVISIONS		
NO.	DATE	DESCRIPTION
1.		
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3509 HIGHWAY 24  
NORFOLK COUNTY

ROOF PLAN

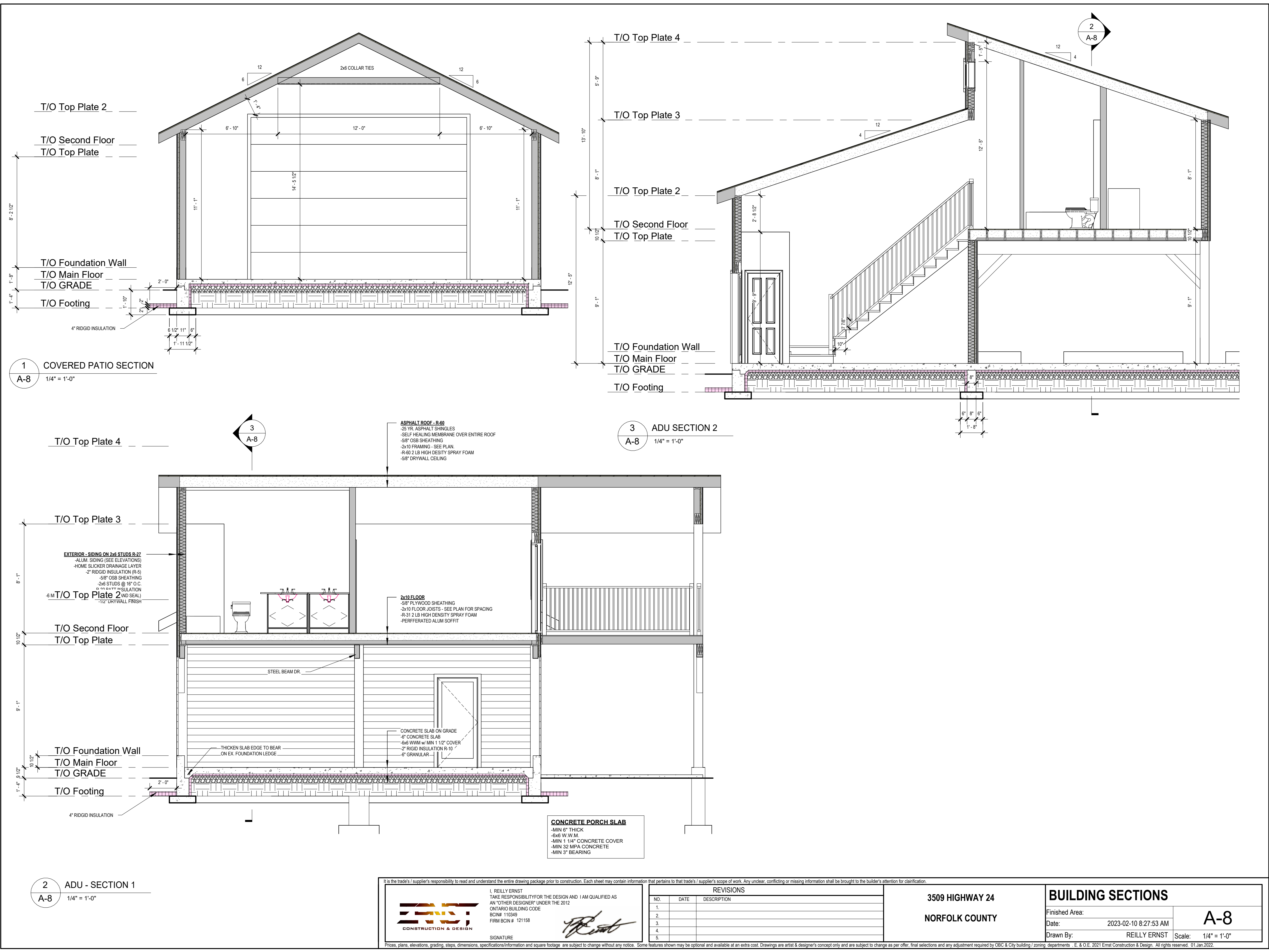
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Date:	2023-02-10 8:27:51 AM
Drawn By:	REILLY ERNST

Scale: As indicated

A-7

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<p>1 COVERED PATIO SECTION</p> <p>1/4" = 1'-0"</p>	<p>2 ADU - SECTION 1</p> <p>1/4" = 1'-0"</p>	<p>3 ADU SECTION 2</p> <p>1/4" = 1'-0"</p>
<p>2 ADU - SECTION 1</p> <p>1/4" = 1'-0"</p>	<p>3 ADU SECTION 2</p> <p>1/4" = 1'-0"</p>	<p>3 ADU SECTION 2</p> <p>1/4" = 1'-0"</p>

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ONTARIO BUILDING CODE  
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FIRM BCIN# 121158

SIGNATURE

REVISIONS		
NO.	DATE	DESCRIPTION
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2.		
3.		
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3509 HIGHWAY 24

NORFOLK COUNTY

**BUILDING SECTIONS**

Finished Area:		A-8
Date:	2023-02-10 8:27:53 AM	
Drawn By:	REILLY ERNST	

Scale: 1/4" = 1'-0"

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GENERAL NOTES

\*\*THIS PAGE ONLY COVERS SOME BUILDING ELEMENTS, ALL WORK SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND/OR PROFESSIONAL ENGINEER- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS PLAN.

DIMENSIONS

MAIN FLOOR EXTERIOR WALL DIMENSIONS ARE TAKEN FROM THE EXTERIOR EDGE OF FOUNDATION BELOW

\*ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD EDGES\*

9.3. MATERIALS SYSTEMS & EQUIPMENT

9.3.1 CONCRETE

9.3.1.6. COMPRESSIVE STRENGTH

- (1) THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN
  - (a) 32 MPa FOR GARAGE FLOOR, CARPORT FLOORS, AND ALL EXTERIOR FLATWORK
  - (b) 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES & CARPORTS
  - (c) 15 MPa FOR ALL OTHER APPLICATIONS

9.3.1.9. COLD WEATHER REQUIREMENTS

- (1) WHEN THE AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE
  - (a) KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED & PLACED AND
  - (b) MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72h AFTER PLACING

9.12 EXCAVATION

9.12.1.1 REMOVAL OF TOPSOIL AND ORGANIC MATTER

- (3) THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL

9.12.1.2. STANDING WATER

- (1) EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER

9.12.1.3. PROTECTION FROM FREEZING

- (1) THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD

9.12.2.1 EXCAVATION TO UNDISTURBED SOIL

- (1) EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL

9.13 DAMPPROOFING, WATERPROOFING AND SOIL GAS CONTROL

9.13.2.1 DAMPPROOFING

- (1) WHERE THE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS, EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL SHALL BE DAMPPROOFED
- (4) DAMPPROOFING IN SENTENCE (1) IS NOT REQUIRED WHERE THE EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL ARE WATERPROOFED

9.15.3 FOOTINGS

9.15.3.2. SUPPORT OF FOOTING

- (1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL

9.15.3.9. STEP FOOTINGS

- (a) THE VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24")
- (b) THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 24"

9.7 WINDOWS, DOORS & SKYLIGHTS

9.7.2.1.(2) - MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,

- (a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR
- (b) A SIDELIGHT

TABLE 9.7.2.3.(1)  
 GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY

LOCATION	MIN UNOBSTRUCTED GLASS AREA WITH <b>NO</b> ELECTRIC LIGHTING	MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING
LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT	4% OF AREA SERVED	WINDOWS NOT REQUIRED
WATER CLOSET ROOM	0.37M <sup>2</sup> / 4 FT <sup>2</sup>	WINDOWS NOT REQUIRED
KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE	10% OF AREA SERVED	WINDOWS NOT REQUIRED
LIVING ROOMS & DINING ROOMS	10% OF AREA SERVED	10% OF AREA SERVED
BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE	5% OF AREA SERVED	5% OF AREA SERVED

(1)AREA OF THE SPACE SHALL BE MEASURED AT FLOOR LEVEL

9.7.5.2 RESISTANCE TO FORCED ENTRY

- (1) THIS ARTICLE APPLIES TO
  - (a) SWINGING ENTRANCE DOOR TO DWELLING UNITS
  - (b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES AND OTHER ANCILLARY SPACED, AND
  - (c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT

(4) DOORS DESCRIBED IN SENTENCE 1 SHALL BE PROVIDED WITH,

- (a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN 5 PINS AND
- (b) A BOLT THROW NOT LOSS THAN 25MM (1") LONG, PROTECTED WITH A SOLID OR HARDENED FREE TURNING RING OR BEVELED CYLINDER HOUSING

9.7.6.1 INSTALLATION OF WINDOWS DOORS & SKYLIGHTS

- (1)(a) SHIMS USED TO SUPPORT WINDOWS, DOORS AND SKYLIGHTS ARE PERMITTED TO BE OF TREATED PLYWOOD
- (3)WINDOWS, DOORS AND SKYLIGHTS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS

9.8 STAIRS, STEPS, RAMPS, LANDINGS, HANDRAILS AND GUARDS

9.8.2.1 STAIR WIDTH

- (4) AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT AND EXTERIOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10")

9.8.2.2 HEIGHT OVER STAIRS

- (3) THE CLEAR HEIGHT OVER STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT SHALL NOT BE LESS THAN 1950mm (6'-4 3/4")

TABLE 9.8.4.1  
 RISE FOR RECTANGULAR TREADS, TAPERED TREADS AND WINDERS AND RUN FOR RECTANGULAR TREADS

STAIR TYPE	MAX RISE FOR ALL STEPS	MIN RISE FOR ALL STEPS	MAX RUN FOR RECTANGULAR TREADS	MAX RUN FOR RECTANGULAR TREADS
PRIVATE STAIRS (HOUSES)	200mm / 7 7/8"	125mm / 5"	355mm / 14"	255mm / 10"
STAIRS TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT
STAIRS TO CRAWL SPACES	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT

9.8.4.4.UNIFORMITY AND TOLERANCES FOR RISERS, RUNS, TREADS

- (1) RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT

9.8.6.3. DIMENSIONS OF LANDINGS

- (1)(a) LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR, AND
- (b) AT LEAST AS LONG AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR

9.8.7.1 REQUIRED HANDRAILS

- (3) A HANDRAIL IS NOT REQUIRED FOR STAIRS AND RAMPS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, WHERE
  - (a) INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS
  - (b) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS
  - (c) RAMPS RISE NOT MORE THAN 400mm (1'-3 3/4")

9.8.7.2 CONTINUITY OF HANDRAILS

- (2) FOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, AT LEAST ONE REQUIRED HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY,
  - (a) DOORWAYS,
  - (b) LANDINGS, OR
  - (c) NEWEL POSTS AT CHANGES IN DIRECTION

9.8.7.4. HEIGHT OF HANDRAILS

- (2) HANDRAILS SHALL BE 865mm (34") TO 1070mm (42") HIGH

9.8.7.5. ERGONOMIC DESIGN

- (2) ALL HANDRAILS SHALL BE CONSTRUCTED SO AS TO BE CONTINUALLY GRASPABLE ALONG THEIR LENGTH WITH NO OBSTRUCTION ON OR ABOVE THEM TO BREAK A HANDHOLD

9.8.7.7. PROJECTIONS INTO STAIRS OR RAMPS

- (1) HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS SHALL NOT PROJECT MORE THEN 100mm (4") INTO THE REQUIRED WIDTH OF THE STAIR

9.8.8.1. REQUIRED GUARDS

- (1)EVERY SURFACE TO WHICH ACCESS ID PROVIDED, INCLUDING BUT NOT LIMITED TO FLIGHTS, RAMPS, EXTERIOR LANDINGS, PORCHES, BALCONIES, MEZZANINES, GALLERIES AND RAISED WALKWAYS, SHALL BE PROTECTED BY A GUARD ON EACH SIDE THAT IS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE,
  - (a) THERE IS A DIFFERENCE IN ELEVATION OR MORE THAN 600mm (1'-11 5/8") BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE

9.8.8.3. HEIGHT OF GUARDS

- (1) EXCEPT AS PROVIDED BY SENTENCES (2) AND (3), ALL GUARDS SHALL BE NOT LESS THAN 1070mm (42") HIGH
- (2) ALL GUARDS WITHIN DWELLING UNITS SHALL NOT BE LESS THAN 900mm (35 1/2") HIGH
- (3) EXTERIOR GUARDS SERVING A HOUSE OR DWELLING UNIT SHALL BE NOT LESS THAN 900mm (35 1/2") WHERE THE WALKING SURFACE SERVED BY THE GUARD IS NOT MORE THAN 1 800mm (5'-11") ABOVE FINISHED GROUND LEVEL

9.8.8.5 OPENINGS IN GUARDS

- (1) OPENINGS IN GUARDS SHALL BE OF A SIZE THAT PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 400mm (4")

9.8.8.6. GUARDS DESIGNED NOT TO FACILITATE CLIMBING

- (1) GUARDS SHALL BE DESIGNED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 140mm (5 1/2") AND 900mm35 1/2" ABOVE THE FLOOR OR WALKING SURFACE PROTECTED BY THE GUARD WILL FACILITATE CLIMBING

9.23. WOOD FRAME CONSTRUCTION

9.23.5. NOTCHING & DRILLING

9.23.5.1. HOLES DRILLED IN FRAMING MEMBERS

- (1) HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL NOT BE LARGER THAN 1/4 DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED LESS THAN 50mm (2") FROM THE EDGES

9.23.5.3. WALL STUDS

- (1) WALL STUDS SHALL NOT BE NOTCHED DRILLED OR OTHERWISE DAMAGED SO THAT THE UNDAMAGED PORTION OF THE STUD IS LESS THAN 2/3 THE DEPTH OF THE STUD IF THE STUD IS LOAD BEARING OR 40mm (1 1/2") IF THE STUD IS NON-LADDERING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED

9.23.5.4. TOP PLATES

- (1) TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UNDAMAGED WIDTH TO LESS THAN 50mm (2") UNLESS THE WEAKENED PLATES ARE SUITABLE REINFORCED

9.23.5.5. ROOF TRUSSES

- (1) ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED UNLESS SUCH NOTCHING OR DRILLING IS ALLOWED FOR IN THE DESIGN OF THE TRUSS

9.23.8. BEAMS TO SUPPORT FLOORS

9.23.8.1. BEARING FOR BEAMS

- (1) BEAMS SHALL HAVE AN EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 89mm (3 1/2") LENGTH OF BEARING AT END SUPPORTS

9.23.8.3. BUILT UP WOOD BEAMS

- (7) EXCEPT AS PROVIDED IN SENTENCE (8) WHERE 38mm (1 1/2") MEMBERS ARE LAID ON EDGE TO FORM A BUILT UP BEAM, INDIVIDUAL MEMBERS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THA 89mm (3 1/2") IN LENGTH, SPACED NOT MORE THAN 450mm (17 1/2") APART IN EACH ROW WITH END NAILS LOCATED 100mm (4") TO 150mm (6") FROM THE END OF EACH PIECE
- (8) WHERE 38mm (1 1/2") MEMBERS IN BUILT UP WOOD BEAMS ARE NOT NAILED TOGETHER AS PROVIDED IN SENTANCE (7), THEY SHALL BE BOLTED TOGETHER WITH NOT LESS THAN 12.7mm (1/2") DIA BOLTS EQUIPPED WITH WASHERS AND SPACED NOT MORE THAN 1.2m (3'-11") O.C. WITH THE END BOLTS LOCATED NOT MORE THAN 600mm (1'-11") FROM THE END MEMBERS

9.23.9 FLOOR JOISTS

9.23.9.1 END BEARING FOR JOISTS

- (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 38mm (1 1/2") OF END BEARING

9.23.9.2. JOISTS SUPPORTED BY BEAMS

- (2) WHEN FRAMED INTO THE SIDE OF A WOOD BEAM, JOISTS SHALL BE SUPPORTED ON
  - (a) JOIST HANGERS
- (3) WHEN FRAMED INTO THE SIDE OF A STEEL BEAM, JOISTS SHALL BE SUPPORTED ON THE BOTTOM FLANGE OF THE BEAM OR ON NOT LESS THAN 38mm (1 1/2") LUMBER BOLTED TO THE WEB WITH NOT LESS THAN 6.3mm (1/4") BOLTS SPACED NOT MORE THAN 600mm 23 1/2" APART

9.31. PLUMBING FACILITIES

9.31.4.1 REQUIRED FACILITIES

- (a) A KITCHEN SINK
- (b) A LAVATORY
- (c) A BATHTUB OR SHOWER STALL AND
- (d) A WATER CLOSET OR A DRAIN-LESS COMPOSTING TOILET

9.31.4.2. LAUNDRY FACILITIES

- (1) LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED ELSEWHERE IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLY TO OCCUPANTS OF EVERY DWELLING UNIT

9.31.4.4. FLOOR DRAINS



- (1) FLOOR DRAINS SHALL BE INSTALLED IN A BASEMENT FORMING PART OF A DWELLING UNIT

9.5 DESIGN OF AREAS, SPACES, & DOORWAYS

TABLE 9.5.3.1.  
 ROOM CEILING HEIGHTS

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM OR SPACE, DINING ROOM OR SPACE, KITCHEN OR KITCHEN SPACE	7'-6 1/2" OVER 75% OF THE REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-10 1/2" AT ANY POINT OVER THE REQUIRED AREA
BEDROOM OR BEDROOM SPACE	7'-6 1/2" OVER AT LEAST 50% OF THE REQUIRED AREA OR 6'-10 1/2" OVER ALL OF THE REQUIRED AREA. ANY PART OF THE FLOOR AREA HAVING A CLEAR HEIGHT OF LESS THAN 4'-7" SHALL NOT BE CONSIDERED IN COMPUTING THE REQUIRED FLOOR AREA
BASEMENT SPACE	6'-10 1/2" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-4 3/4"
BATHROOM, WATER CLOSET ROOM OR LAUNDRY AREA ABOVE GRADE	6'-10 1/2" IN ANY AREA WHERE A PERSON WOULD NORMALLY BY IN A STANDING POSITION
PASSAGE, HALL OR MAIN ENTRANCE VESTIBULE AND FINISHED ROOMS NOT SPECIFICALLY MENTIONED ABOVE	6'-10 1/2"

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<div></div> <div>I, REILLY ERNST TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS AN "OTHER DESIGNER" UNDER THE 2012 ONTARIO BUILDING CODE BCIN# 110349 FIRM BCIN # 121158</div> <div></div> <div>SIGNATURE</div>	REVISIONS			3509 HIGHWAY 24  NORFOLK COUNTY	TYPICAL NOTES		
	NO.	DATE	DESCRIPTION		Finished Area:	N/A	A-9
	1.				Date:	2023-02-10 8:27:55 AM	
	2.				Drawn By:	REILLY ERNST	
	3.						
	4.						
	5.						

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**Norfolk County**  
185 Robinson Street  
Suite 100  
Simcoe ON N3Y 5L6

## RECEIPT OF PAYMENT

Page 1

ERNST REILLY  
1099 WINDHAM RD. 2  
SCOTLAND, ON N0E 1R0

Receipt Number: 246097

Tax Number:

Date: January 19, 2023

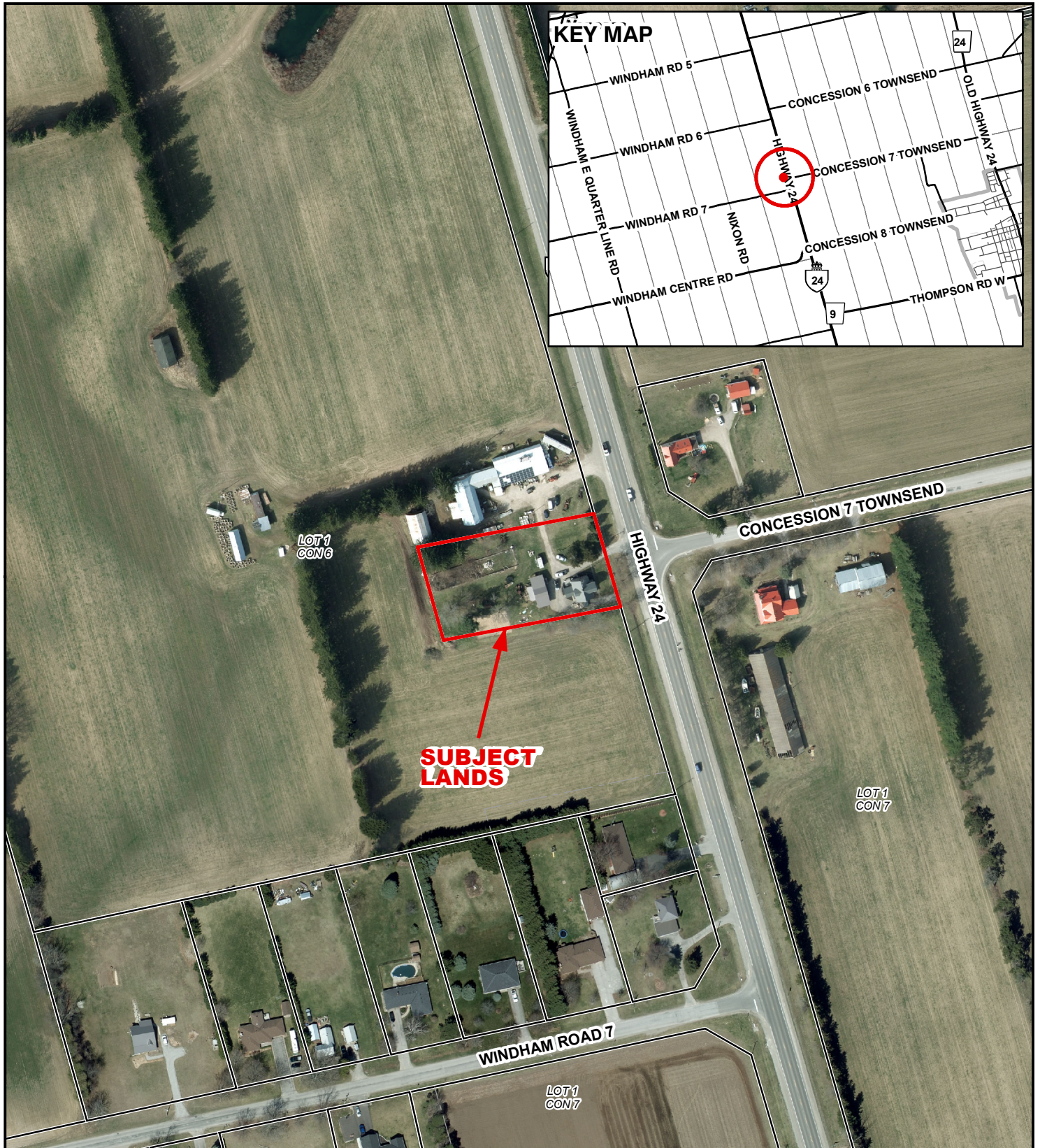
Initials: LK

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General	DSURB	PD Bldg Consent Surplus Dwell	1	\$105.00
Subtotal:				\$1,759.00
Taxes:				\$0.00
Total Receipt:				\$1,759.00
Ts-Mc:				\$1,759.00


Credit Card: MC Acct 3506

Total Amount Received:	\$1,759.00
Rounding:	\$0.00
Amount Returned:	\$0.00



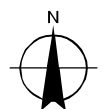


**Legend**

 Subject Lands

2020 Air Photo

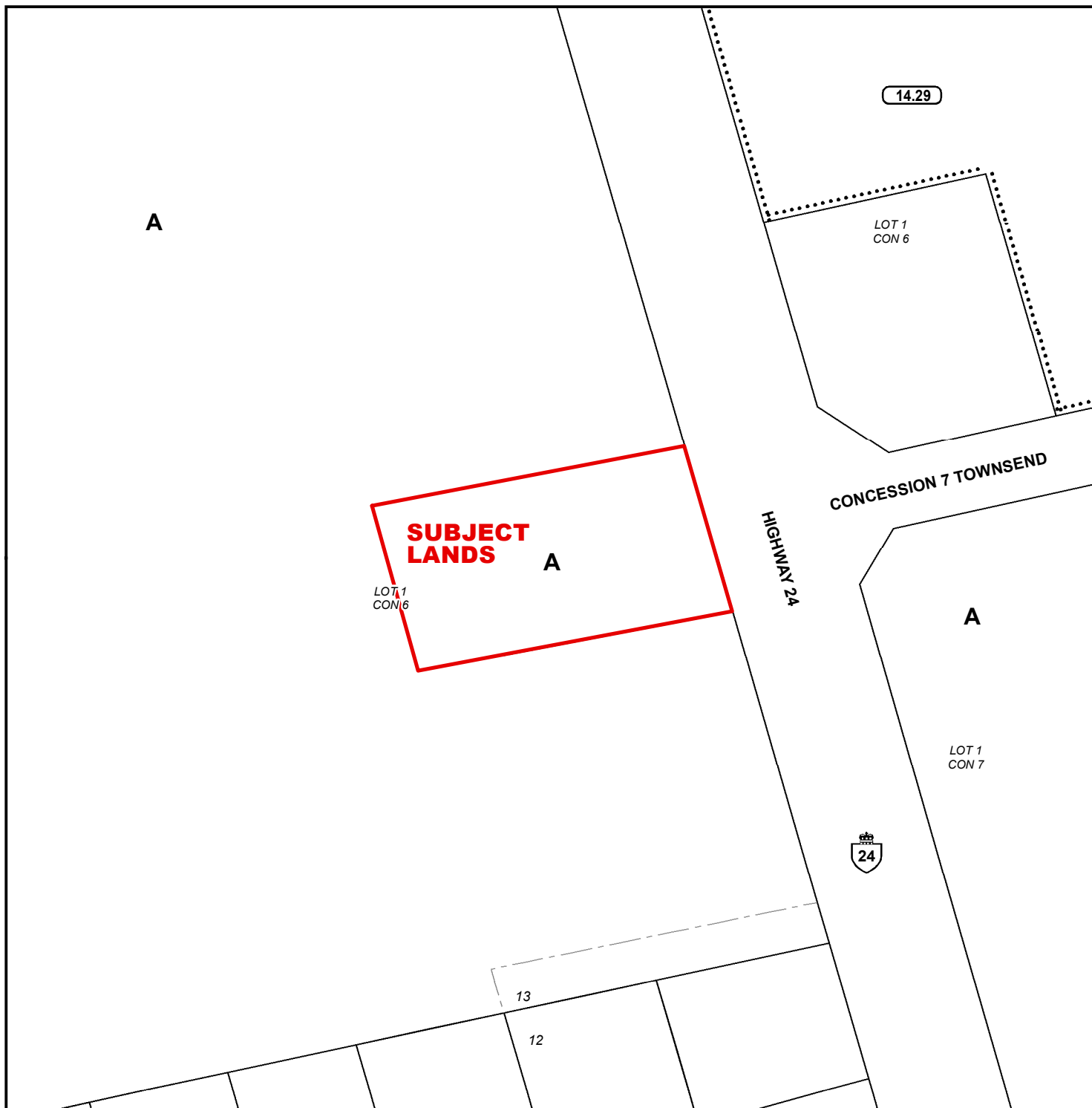
2/17/2023



20 10 0 20 40 60 80 Meters

**MAP B**  
**ZONING BY-LAW MAP**  
Geographic Township of WINDHAM

ANPL2023047



**LEGEND**

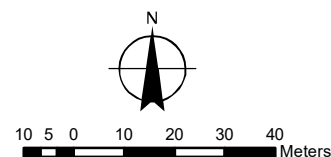
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ZONING BY-LAW 1-Z-2014

2/17/2023

(H) - Holding

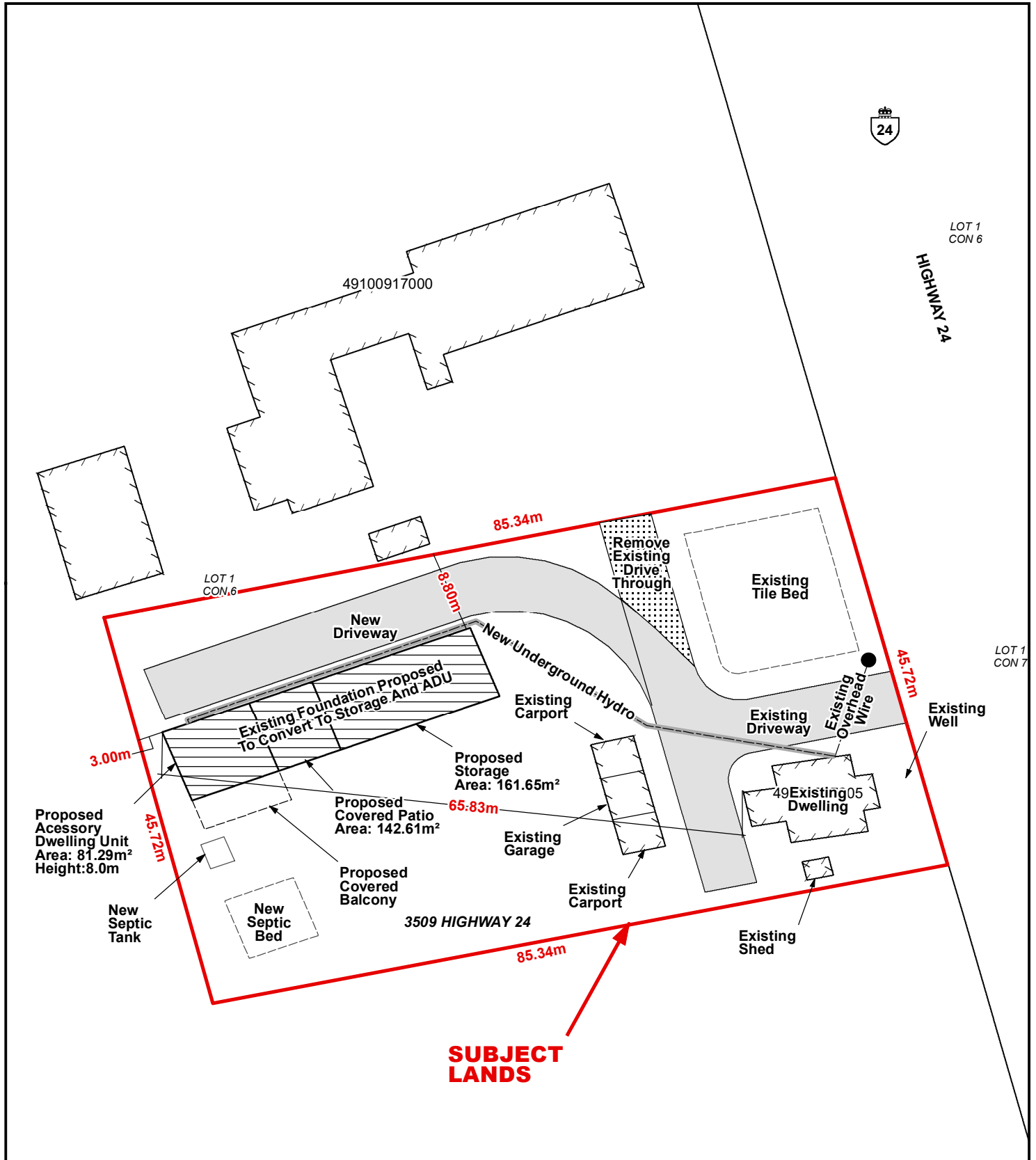
A - Agricultural Zone





# CONCEPTUAL PLAN

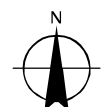
Geographic Township of WINDHAM



## Legend

Subject Lands

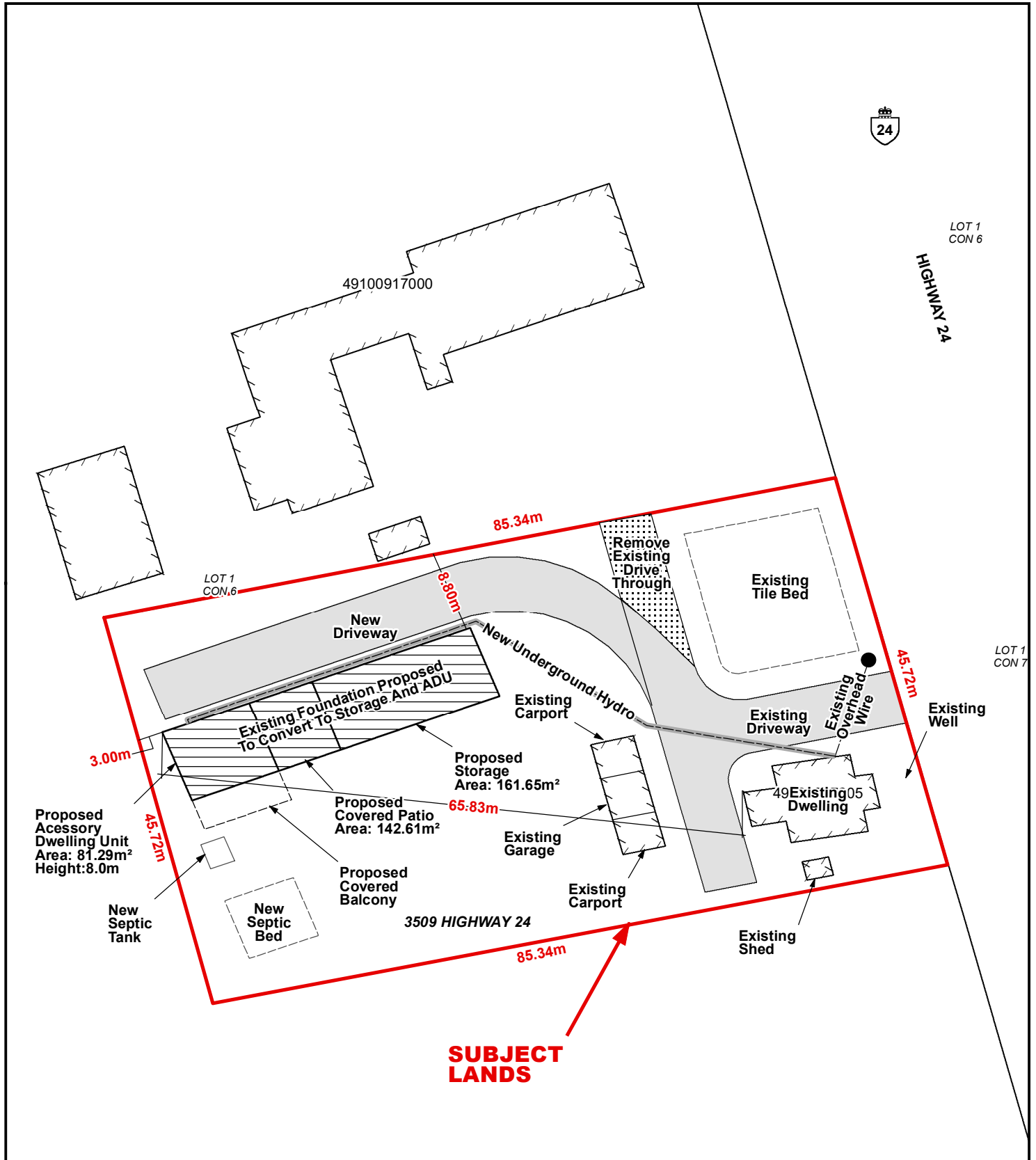
2/17/2023



5 2.5 0 5 10 15 20 Meters

## CONCEPTUAL PLAN

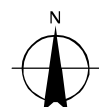
Geographic Township of WINDHAM



### Legend

Subject Lands

2/17/2023



5 2.5 0 5 10 15 20 Meters