

For Office Use Only:File Number ANPL2023096Related File Number -Pre-consultation Meeting -Application Submitted May 5, 2022Complete Application Resub. March 17, 2023Complete March 21, 2023Application Fee 1599⁰⁰ ✓ pdConservation Authority Fee N/AWell & Septic Info Provided N/APlanner Hanne YagerPublic Notice Sign -**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** BOB FRIESEN

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 9 CENTRE STREET**Town and Postal Code** PART ROWAN, ON NOE 1N1O**Phone Number** _____**Cell Number** 1 226 231 0137**Email** bobfriesen2737@gmail.com**Name of Applicant** RICHARD MILLER**Address** 1507 NORFOLK COUNTY RD 45**Town and Postal Code** LAURTON, ON NOE 1G0**Phone Number** _____**Cell Number** 519 403 8590**Email** millenconstruct@gmail.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LOT 1 & 2 BLOCK 29 PORT ROWAN
9 CENTRE STREET PIN 50121-0290(LT)

Municipal Civic Address: 9 CENTRE STREET

Present Official Plan Designation(s):

Present Zoning: RESIDENTIAL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

SINGLE FAMILY DWELLING

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

EXISTING HOUSE TO REMAIN
EXISTING 3 CAR GARAGE TO BE REMOVED
EXISTING SHED TO BE RELOCATED

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

ON SITE PLAY

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	34.66 m			SAME	OK
Lot depth	50.29 m			SAME	OK
Lot width	39.23 m			SAME	OK
Lot area	1911 m ²			SAME	OK
Lot coverage	9%			10%	OK
Front yard				37.8 m	OK
Rear yard				1.2 m	OK
Height	5 m	5 m		7 m	2 m
Left Interior side yard				7.5 m	OK
Right Interior side yard				13.4 m	OK
Exterior side yard (corner lot)				NA	NA
Parking Spaces (number)				2 PARKING, 24x35	
Aisle width					NA
Stall size					NA
Loading Spaces					NA
Other USEABLE FLOOR AREA	176	55		197	142

Revised April 17, 2023 Hg

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:

Depth:



Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____



Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____ *
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

RESIDENTIAL USE ONLY. NO FORMER
COMMERCIAL USE

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☒ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____



F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☒ Municipal sewers

- ☐ Septic tank and tile bed in good working order

- ☐ Communal system

- ☐ Other (describe below)

Storm Drainage

- ☒ Storm sewers

- ☐ Other (describe below)

- ☐ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road

- ☐ Unopened road

- ☐ Provincial highway

- ☐ Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

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- ☐ Septic tank and tile bed in good working order

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☐ Other (describe below)

Storm Drainage

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☐ Other (describe below)

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2. Existing or proposed access to subject lands:

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☐ Unopened road

- ☐ Provincial highway
☐ Other (describe below)

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G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

THERE IS NO DWELLING UNIT
IN THIS GARAGE

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

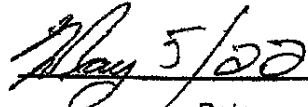
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



Date

J. Owner's Authorization

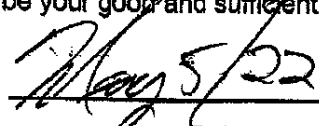
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

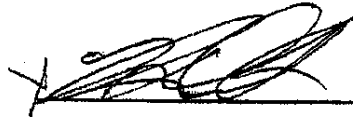
I, RICHARD MILLER of NORFOLK COUNTY,

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY



Owner/Applicant/Agent Signature

In SIMCOE, ONT

This 5th day of May 2022

A.D., 20



A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.



The Corporation of Norfolk County

By-Law 2017-04

Lot Grading and Drainage

THIS FORM IS TO BE SUBMITTED WITH EVERY LOT GRADING PLAN

Municipal Address: 9 Centre Street, Port Rowan

And/or

PIN: 50121-0295

SELECT THE **ONE** PURPOSE FOR SUBMITTING THIS FORM:

☒ Proposed Grading Plan for Infill Lot:

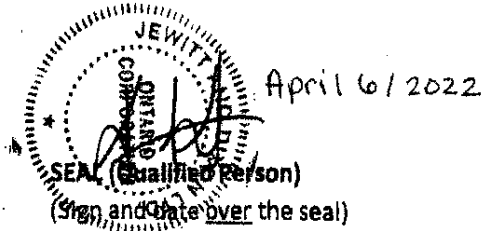
I, Kim Husted O.C.S., a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan provides drainage in accordance with the Ontario Building Code and applicable Municipal regulations for the works to be constructed that are the subject of the Building Permit Application to which this is attached.

☐ Proposed Grading Plan within a Plan of Subdivision:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Master Grading Plan in the Plan of Subdivision Master Grading Plan, registered as:

_____(common name of the Plan of Subdivision and Registration Number).

IN ANY INSTANCE ABOVE NOTING "UNDER MY SEAL", AFFIX SEAL
BELOW:



SEAL (Qualified Person)

(Sign and Date over the seal)

Name: Kim S. Husted, O.L.S.

License Number: 1582

This form approved by the County Official under delegated authority under Norfolk County By-Law 2016-04



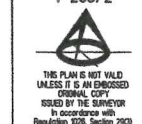
PLAN OF SURVEY
OF ALL OF
LOT 2, BLOCK 29
AND PART OF
LOT 1, BLOCK 30
REGISTERED PLAN 16B
(TOWN OF PORT ROWAN)
IN THE GEOGRAPHIC
TOWNSHIP OF SOUTH WALSHINGHAM
IN
NORFOLK COUNTY

PIN 50121 - 0295 (LT)

SCALE: 1" = 250'

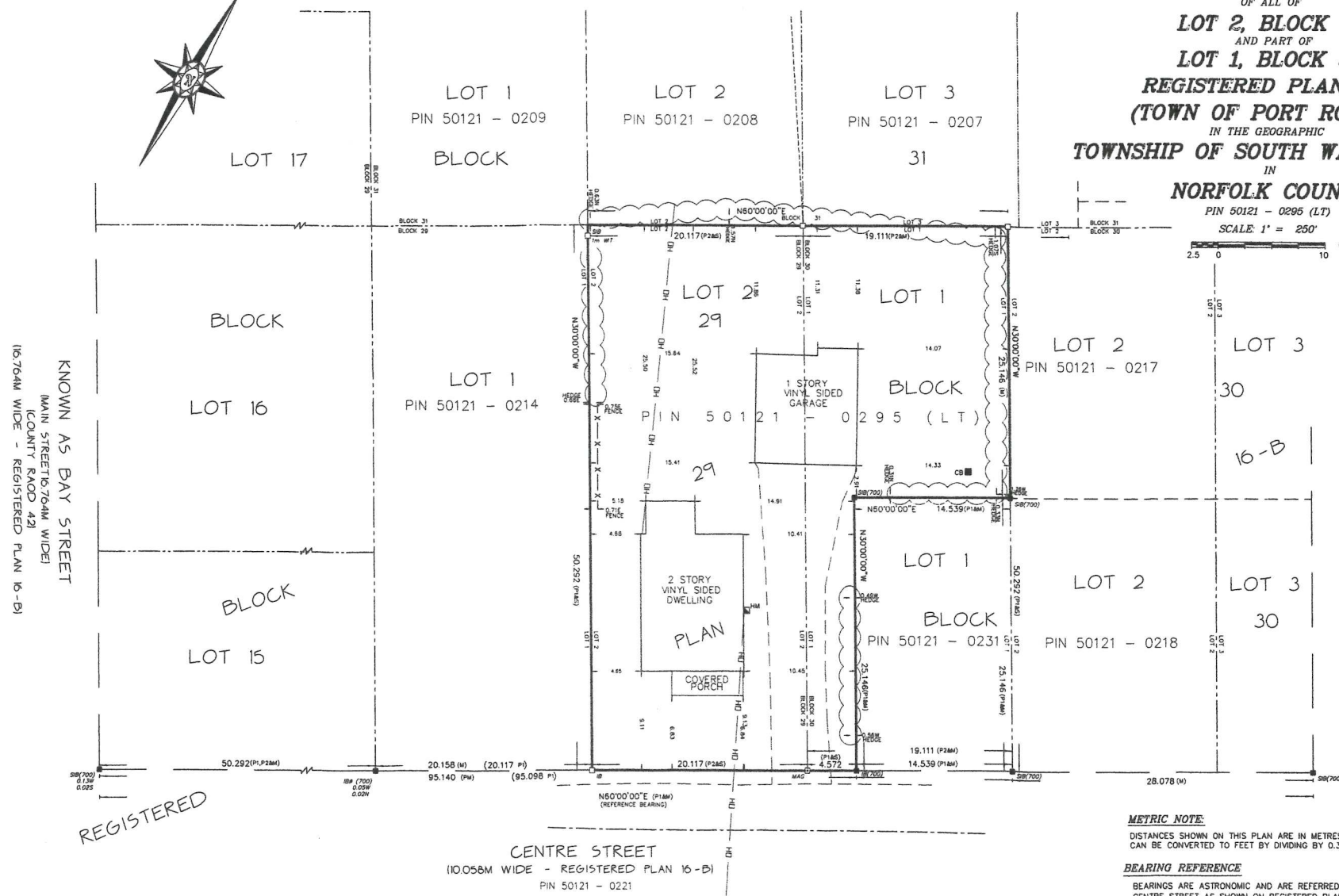
2.5 0 10 METRES

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-20572



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1206, SECTION 29(3)

ERIE AVENUE
120.17M WIDE - REGISTERED PLAN 16-B



METRIC NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF
CENTRE STREET AS SHOWN ON REGISTERED PLAN 14-B AS HAVING A
BEARING OF N60°00'00\"

THIS IS NOT A VALID COPY UNLESS EMBOSSED WITH THE SURVEYOR'S SEAL.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 25TH DAY OF JANUARY, 2022.

DATED: MARCH 8, 2022

R. C. DIXON
ONTARIO LAND SURVEYOR

LEGEND

2.5cm X 2.5cm X 1.2m STANDARD	IRON BARS	SHOWN	-□- S/B
1.8cm X 1.8cm X 0.5m	IRON BARS	SHOWN	-□- IB
1.8cm ROUND X 0.6m	IRON BARS	SHOWN	-□- IB Ø
MAGNETIC NAIL		SHOWN	-□- MAG
LOT LINES		SHOWN	---
DEED LINES		SHOWN	---
FENCE LINES		SHOWN	-X-X-X-X-X-X-X-X-
CENTRE LINES		SHOWN	---
ROAD LINES		SHOWN	---
FOUND IRON BARS		SHOWN	-■- PLANTED IRON BARS SHOWN -□-

JEWITT AND DIXON LTD.
M. YEO, O.L.S.
J. B. DODD, O.L.S.
K.S. HUSTED, O.L.S.
WITNESS MONUMENT
ORIGIN UNKNOWN
PLAN OF SURVEY BY JEWITT AND
DIXON LTD., DATED DECEMBER 22/87 (P4691)
REGISTERED PLAN 16-B

SHOWN (700)
SHOWN (YEO)
SHOWN (996)
SHOWN (1582)
SHOWN (WT)
SHOWN (OU)
SHOWN (P1)
SHOWN (P2)

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

F.W.	- J.D.
BOOK	- LL-FILE
CALC.	- J.L.M.
PLAN	- M.T.C.
CHECK	- K.H.

CLIENT - FRISEN

21-3293-POS

SKETCH PREPARED FOR BUILDING PERMIT APPLICATION

FOR: BOB FRIESEN
9 CENTRE STREET
PORT ROWAN

PIN 50121-0208 (LT)

SCALE: 1" = 200'

JEWITT AND DIXON LTD.

SITE B.M.#1
T.F.W. OF NORTHWEST
CORNER 9 CENTRE ST.
ELEV. = 187.51
(G.C.E.D. 1982)

SITE B.M.#2
T.F.W. OF SOUTHWEST
CORNER 9 CENTRE ST.
ELEV. = 187.80
(G.C.E.D. 1982)

LEGEND:
SHOWN BOX
SHOWN B.M.
SHOWN C.B.
SHOWN T.F.W.
SHOWN O.F.H.
SHOWN H.P.
SHOWN M.P.
SHOWN S.M.
SHOWN D.S.
TOP OF FOUNDATION
OVERHEAD HYDRO LINE
TOP OF CONCRETE PAD
HYDRO POLE
HYDRO METER
DOWN-SPOUT DIRECTION

CAUTION:
CONTRACTORS TO ADJUST TO SHALES - NO WATER TO BE
DREDGED TO REAR OF GARAGE

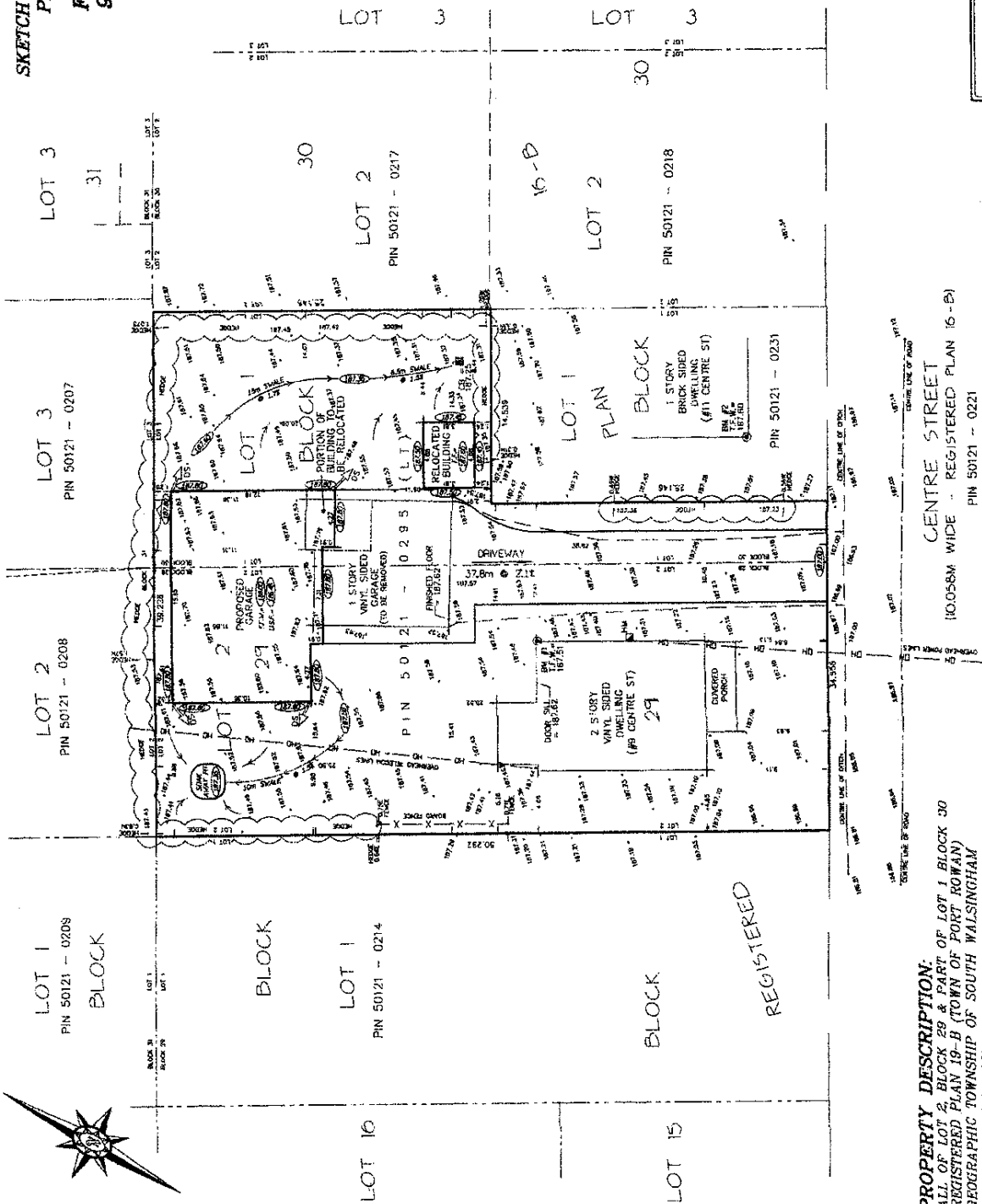
NOTES:

- (1) - A SURVEY OF THE SELECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (G.C.E.D.) AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - SITE BENCHMARK - TOP OF FOUNDATION WALL OF 40 CENTRE ST. HAVING A GEODETIC ELEVATION OF 187.53M
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SIZE BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, C.G.D. 2011 VERTICAL DATUM
- (11) - THIS SURVEY WAS COMPLETED BY JEWITT AND DIXON LTD. ON THE 28TH DAY OF JANUARY, 2022.

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE ONTARIO, N3Y 4J9
(6Y PARK ROAD)

PHONE: (519) 428-0842 FAX: (519) 428-1034
E-mail: surveyors@jdwincan.com

21-3293-CF



MARCH 30, 2022

10:05-8M WIDE - REGISTERED PLAN 16-B

PIN 50121 - 0221

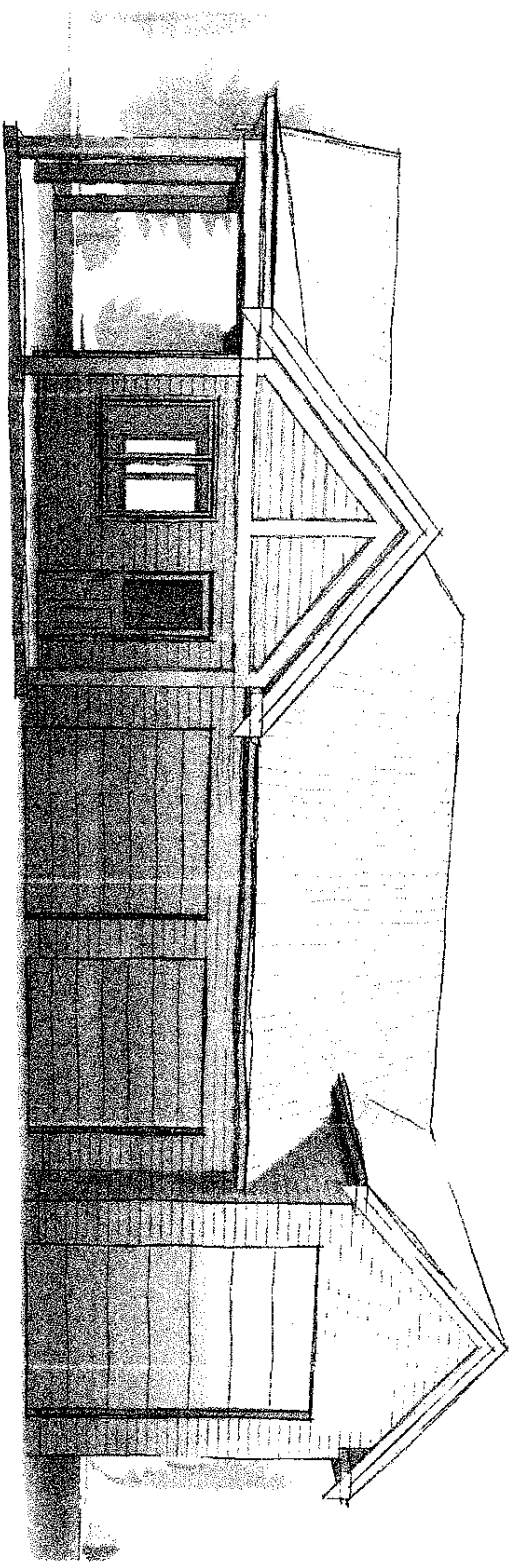
PROPERTY DESCRIPTION:
ALL OF LOT 2, BLOCK 29 & PART OF LOT 1, BLOCK 30
REGISTERED PLAN 16-B (TOWN OF PORT ROWAN)
GEOGRAPHIC TOWNSHIP OF SOUTH WALSHAM
COUNTY OF NORFOLK

CAUTION:
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED
FOR TRANSACTION OR FINANCING PURPOSES

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THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART,
WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY PROHIBITED

FRIESEN GARAGE

9 CENTRE STREET, PORT ROWAN, ON





A-0	FRIESEN GARAGE				
	9 Centre Street, Port Rowan, ON. N9E 1M0				
	COVER				
	Issue Date	For Review Only	1	APRIL 6, 2022	ISSUED FOR REVIEW
		#	Date	Description	

4/6/2022 10:14:19 PM

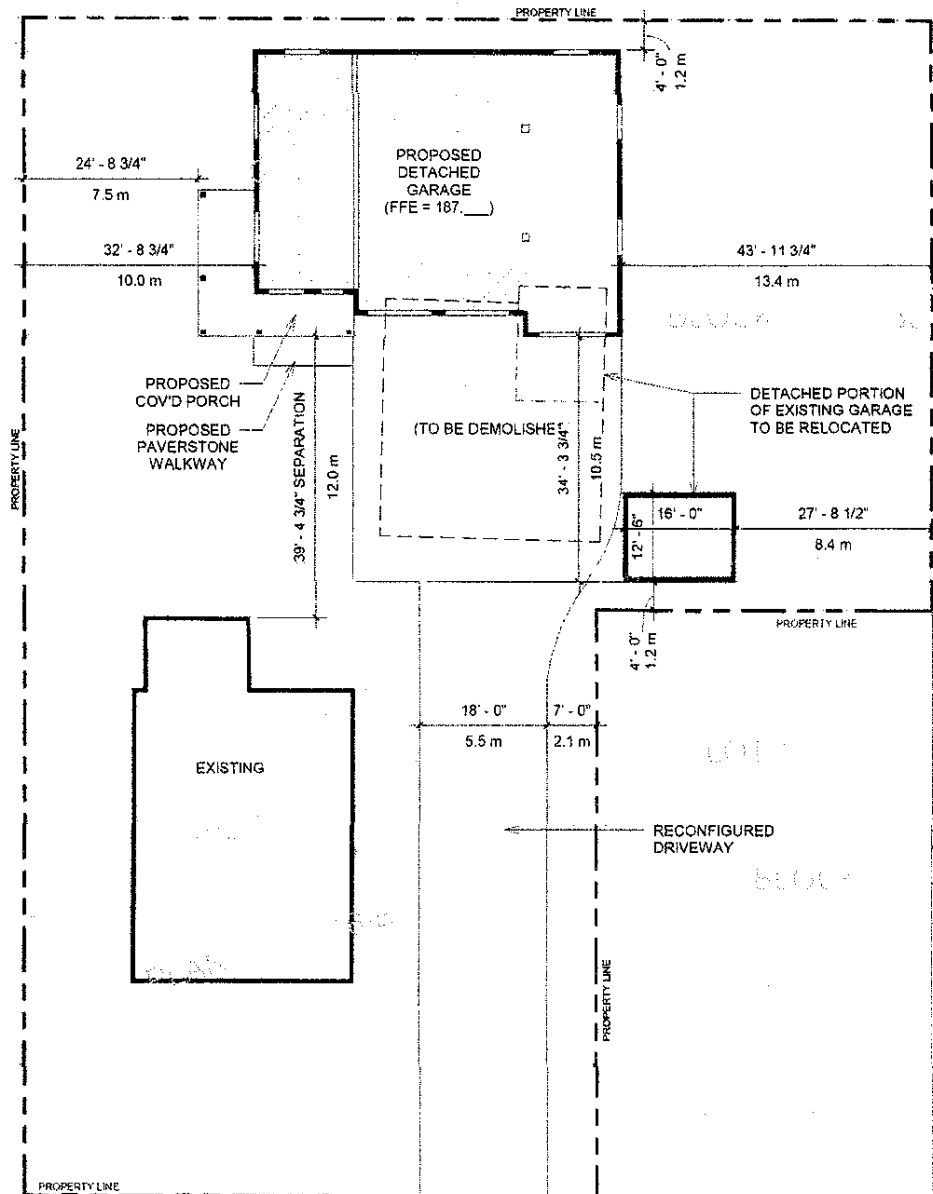


SCHEDULES			
WOOD LINTELS / BEAMS			
B1 - RESERVED	B5 - (2) 2x10	B8 - (2) 2x12	B11 - (2) 12" LVL
B2 - (2) 2x8	B6 - (3) 2x10	B9 - (3) 2x12	B12 - (3) 12" LVL
B3 - (3) 2x8	B7 - (4) 2x10 - BOLTED	B10 - (4) 2x12 - BOLTED	B13 - (2) 14" LVL
B4 - (4) 2x8 - BOLTED			B14 - (3) 14" LVL
ENGINEERED WOOD BEAMS TO BE MIN. 2.0E OR EQUAL, AND 1-3/4" IN WIDTH			
COLUMNS / POSTS			
P1 - RESERVED	P6 - (3) 2x4	P11 - 4x4 SOLID	
P2 - (2) 2x6	P7 - (4) 2x4	P12 - 6x6 SOLID	
P3 - (3) 2x6	P8 - (5) 2x4	P13 - 8x8 SOLID	
P4 - (4) 2x6	P9 - RESERVED	P14 - RESERVED	
P5 - (5) 2x6	P10 - RESERVED	P15 - RESERVED	
C1 - HSS 3.5" x 3.5" x 1/4" C/W BEARING PLATE 6" x 5/8" X 10" + 5/8" DIA. ANCHOR BOLTS			
C2 - HSS 4" x 4" x 0.312" C/W BEARING PLATE 10" x 3/4" X 10" + 3/4" DIA. ANCHOR BOLTS			
C3 - HSS 5" x 5" x 0.375" C/W BEARING PLATE 11" x 3/4" X 11" + 3/4" DIA. ANCHOR BOLTS			
CONCRETE FOOTINGS			
F1 = 24" x 24" x 12" DEEP			
F2 = 30" x 30" x 14" DEEP			
F3 = 36" x 36" x 16" DEEP			
- STRIP FOOTINGS BELOW LOAD BEARING WALLS TO HAVE MINIMUM 6" PROJECTION, MINIMUM 8" DEPTH, AND CONTAIN 2-15M BOTTOM CONTINUOUS REBAR			
- MINIMUM SOIL BEARING CAPACITY TO BE VERIFIED BY CONTRACTOR PRIOR TO POURING OF FOOTINGS			

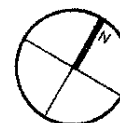
WALL SCHEDULE	
EW1	 <p>5/8" EXTERIOR SIDING AIR BARRIER / BUILDING WRAP 3/4" EXTERIOR PLYWOOD SHEATHING 2X6 STUDS @ 400 o/c</p>
W4	 <p>1/2" DRYWALL 2x4 WOOD STUD @ 400 o/c 1/2" DRYWALL (OPTIONAL) (NON-LOAD BEARING) NOTCH SECOND TOP PLATE WHERE WALL IS BELOW GIRDER TRUSS</p>

9 CENTRE ST, PORT ROWAN	
SINGLE FAMILY RESIDENTIAL HOUSE (EXISTING)	
DETACHED GARAGE (TO BE DEMOLISHED)	
BYLAW ZONE R2 (UNDER PROVISIONS OF ZONE R1-B)	
LOT AREA = 17299 SF 1607.1 m ²	
(REFER ALSO TO SURVEY BY JEWITT & DIXON, OLS, DATED MARCH 8, 2022)	
EXISTING COVERAGE = 2681 SF (249.1 SM)	
EXISTING HOUSE = 1617 SF (150.3 SM)	
EXISTING GARAGE = 1064 SF (98.8 SM)	
(A) U.F.A. OF PORTION OF EXISTING GARAGE TO BE RETAINED & RELOCATED: 200 SF (18.6 SM)	
(B) U.F.A. OF EXISTING GARAGE TO BE DEMOLISHED: 864 SF (80.3 SM)	
(C) PROPOSED DETACHED GARAGE U.F.A. = 1924 SF 178.7 m ²	
NET INCREASE ACCESSORY STRUCTURE U.F.A. :	
(C) - (B) = 1060 SF (98.5 SM)	
PROPOSED TOTAL U.F.A (ACCESSORY STRUCTURE) =	
(A) + (C) = 2124 SF (197.3 SM)	
MAX ALLOWED U.F.A (ACCESSORY STRUCTURE) = 592 SF (55 SM)	
PROPOSED TOTAL COVERAGE = 3989 SF (370.6 SM)	
MAX TOTAL COVERAGE = N/A	
FOR ACCESSORY STRUCTURES:	
PROPOSED HEIGHT = 7.05m (APPROX. 23'-1")	
MAX. ALLOWED HEIGHT = 5m (APPROX. 16'-4")	
PROPOSED MINIMUM SIDE / REAR YARD SETBACK = 4' (1.2 M)	
MINIMUM REQUIRED SIDE / REAR YARD SETBACK = 4' (1.2 M)	

#	Date	Description
1	APRIL 5 2022	ISSUED FOR REVIEW



1 Site Plan
A-2 scale: 1/16" = 1'-0"



A-2

FRIESEN GARAGE

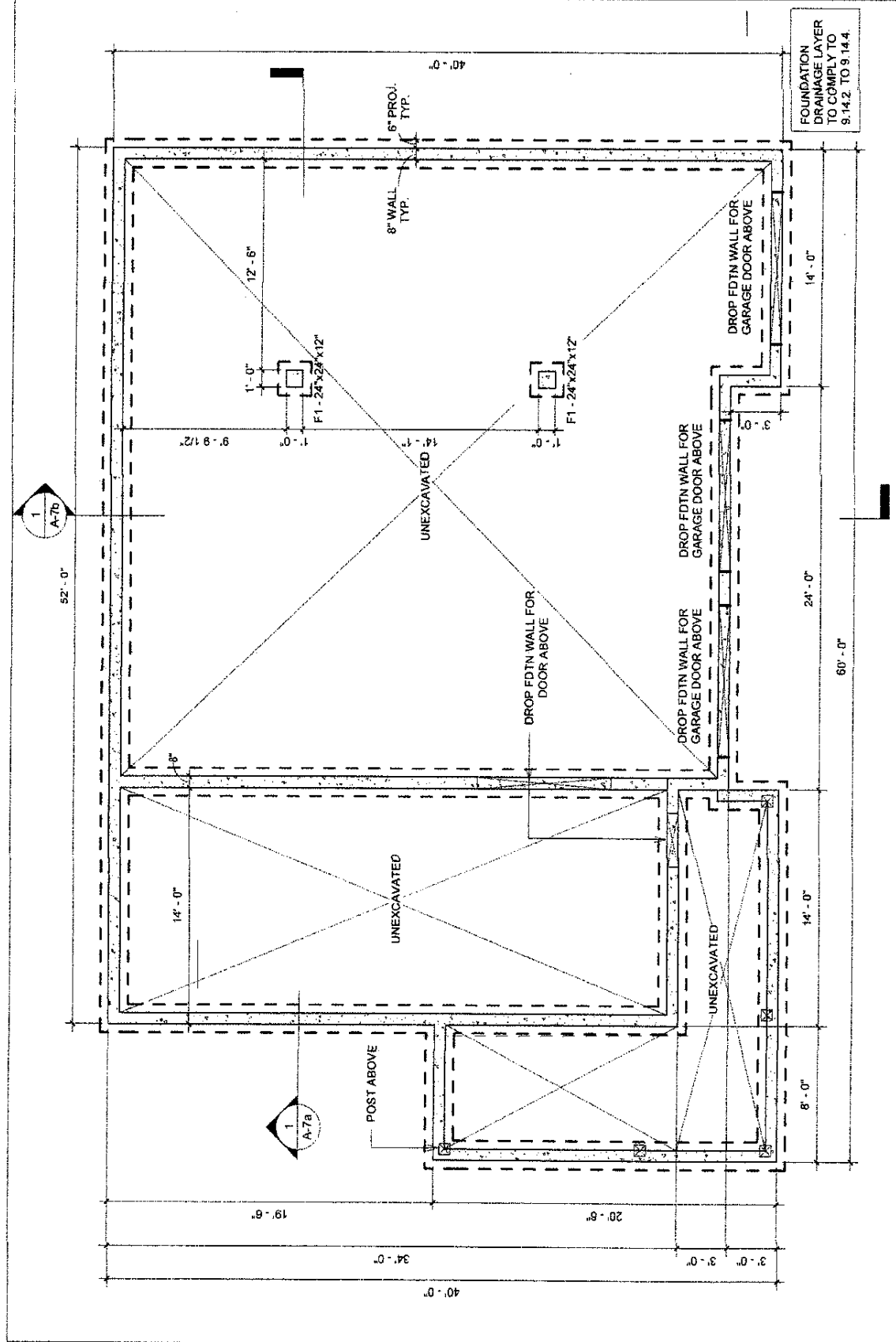
9 Centre Street, Port Rowan, ON, N0E 1M0

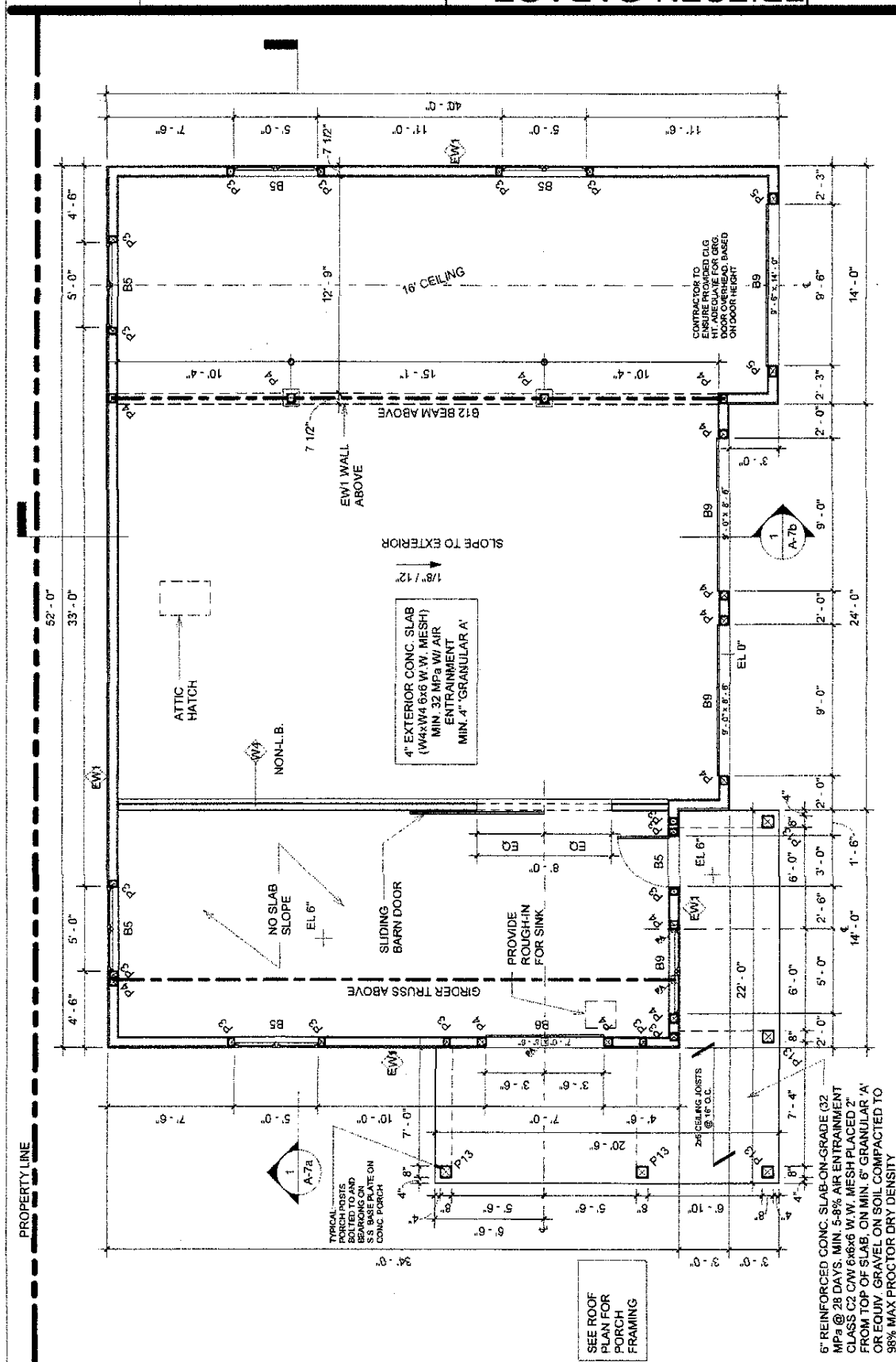
SITE PLAN

Issue Date

For Review Only

1	APRIL 6, 2022	ISSUED FOR REVIEW
#	Date	Description





FRIESEN GARAGE

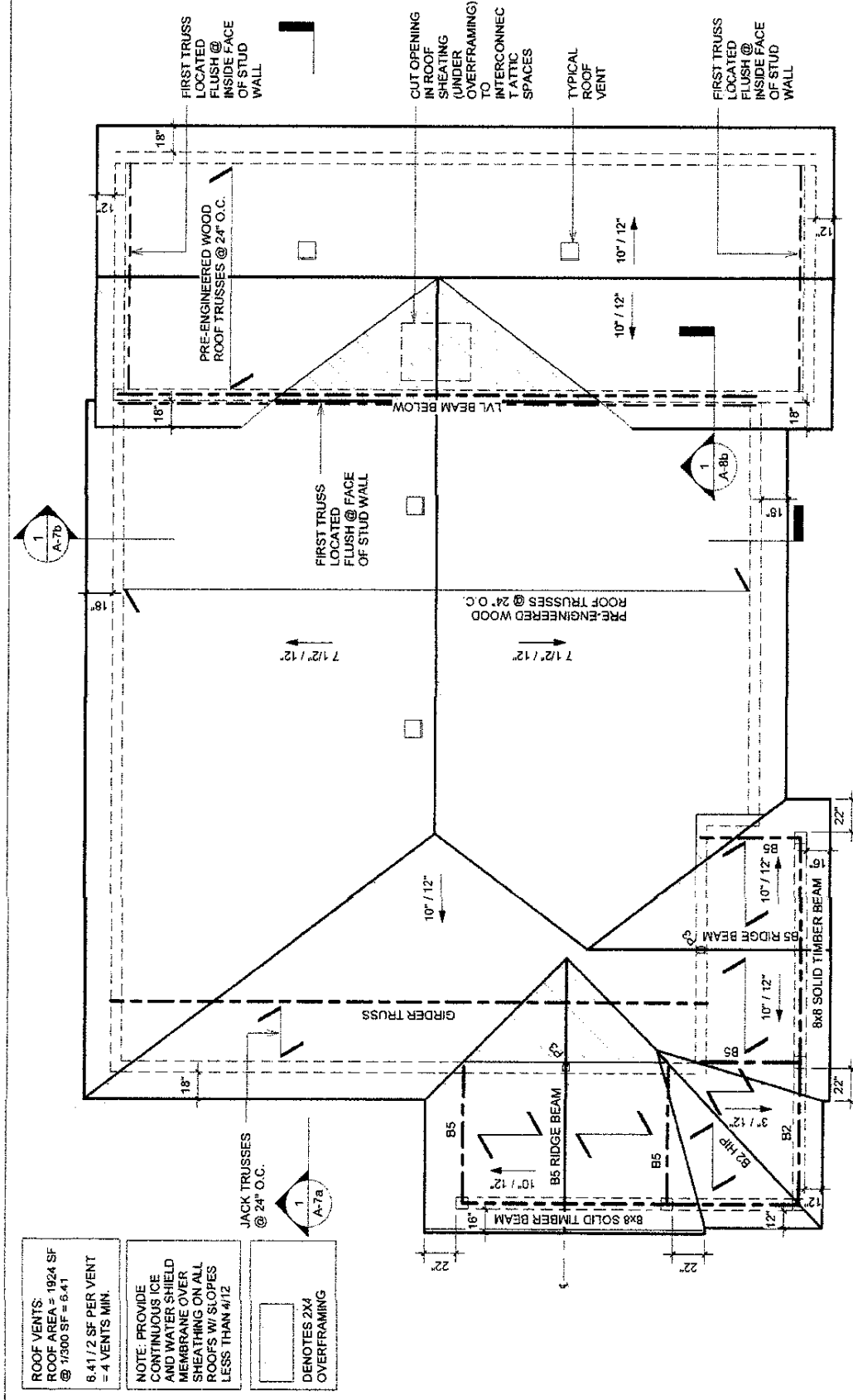
ROOF PLAN

For Review Only

1
Date APRIL 6, 2022

Description ISSUED FOR REVIEW

4/6/2022 10:14:37 PM



ROOF VENTS:
ROOF AREA = 1924 SF
@ 1/300 SF = 6.41
6.41 / 2 SF PER VENT
= 4 VENTS MIN.

NOTE: PROVIDE
CONTINUOUS ICE
AND WATER SHIELD
MEMBRANE OVER
SHEATHING ON ALL
ROOFS W/ SLOPES
LESS THAN 4/12

DENOTES 2X4
OVERFRAMING

A-6a

FRIESEN GARAGE

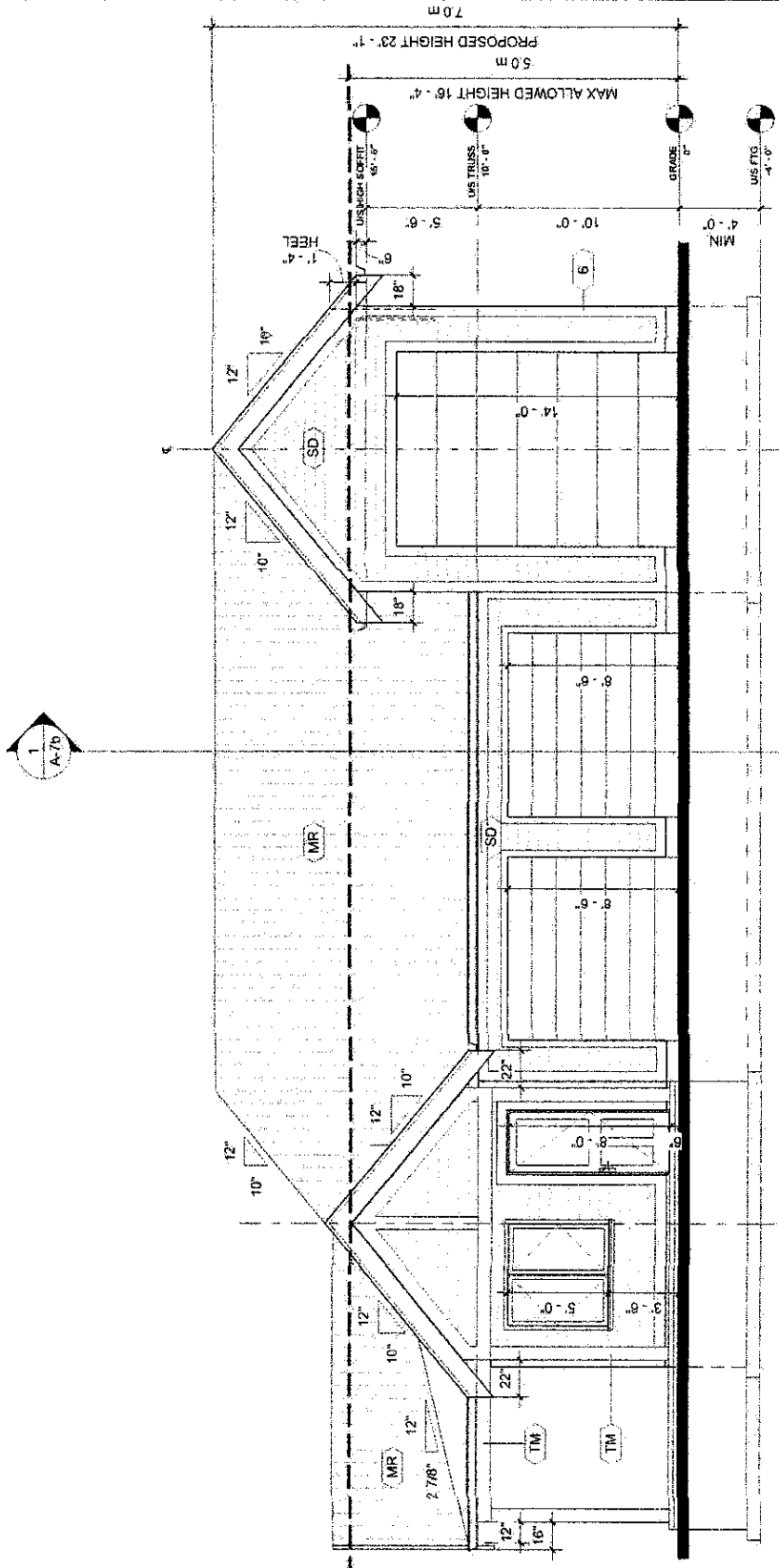
For Review Only

Issue Date

1 APRIL 6, 2022 ISSUED FOR REVIEW

Description

MATERIAL LEGEND	
MATERIALS	TRIM, GUTTERS, ETC.
MR STANDING SEAM METAL ROOFING	4 4" PAINTED TRIM
SD 6" PAINTED HORIZ. SIDING	6 6" PAINTED TRIM
TM STAINED SOLID LUMBER	SL PAINTED WINDOW SILL
	FS 12" PREFINISHED FASCIA W/ 2" TOP TRIM (GABLE)
	GT PREFINISHED ALUMINUM GUTTER ON 6" PREFIN. FASCIA
	- RESERVED



A-6b

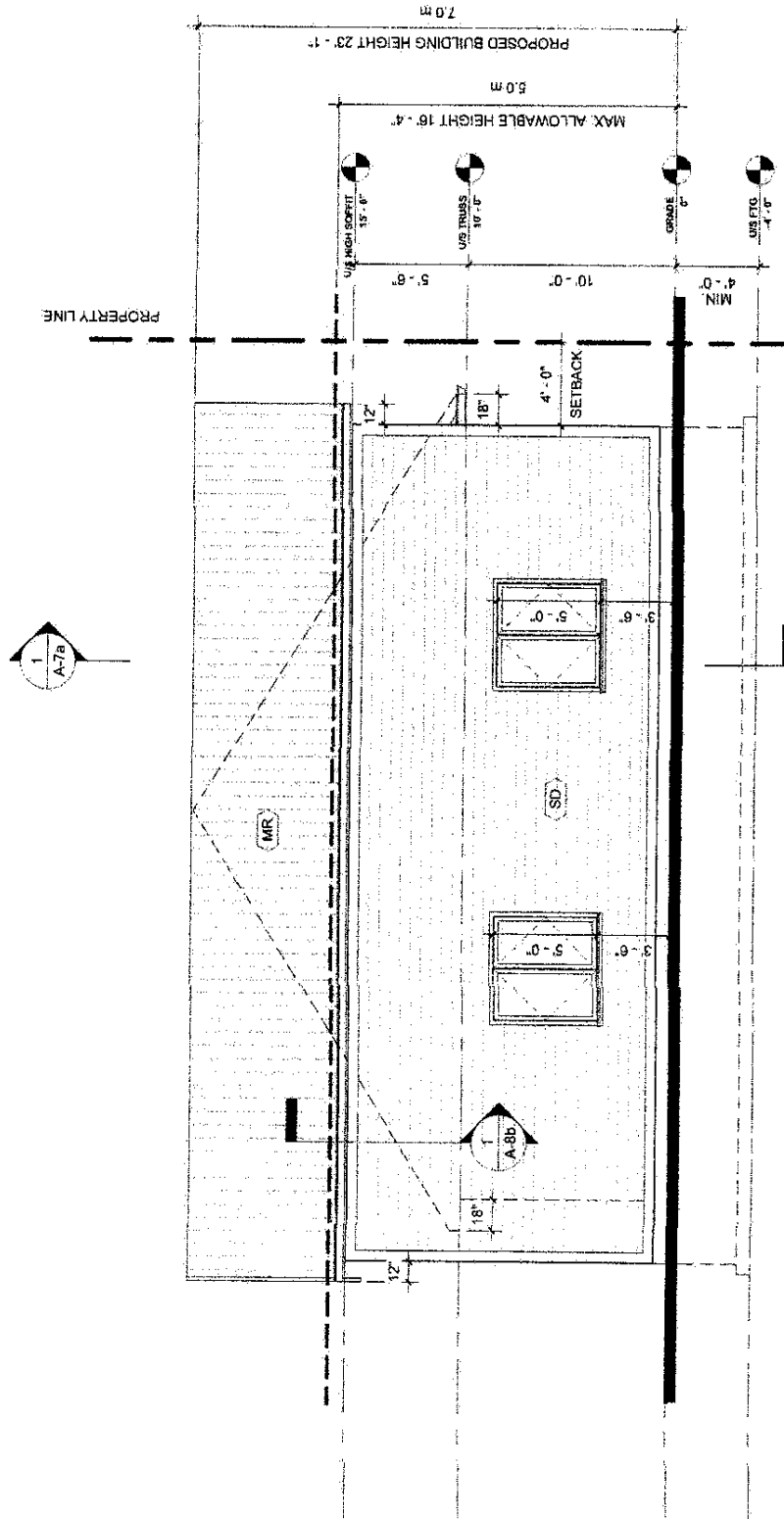
FRIESEN GARAGE

For Review Only

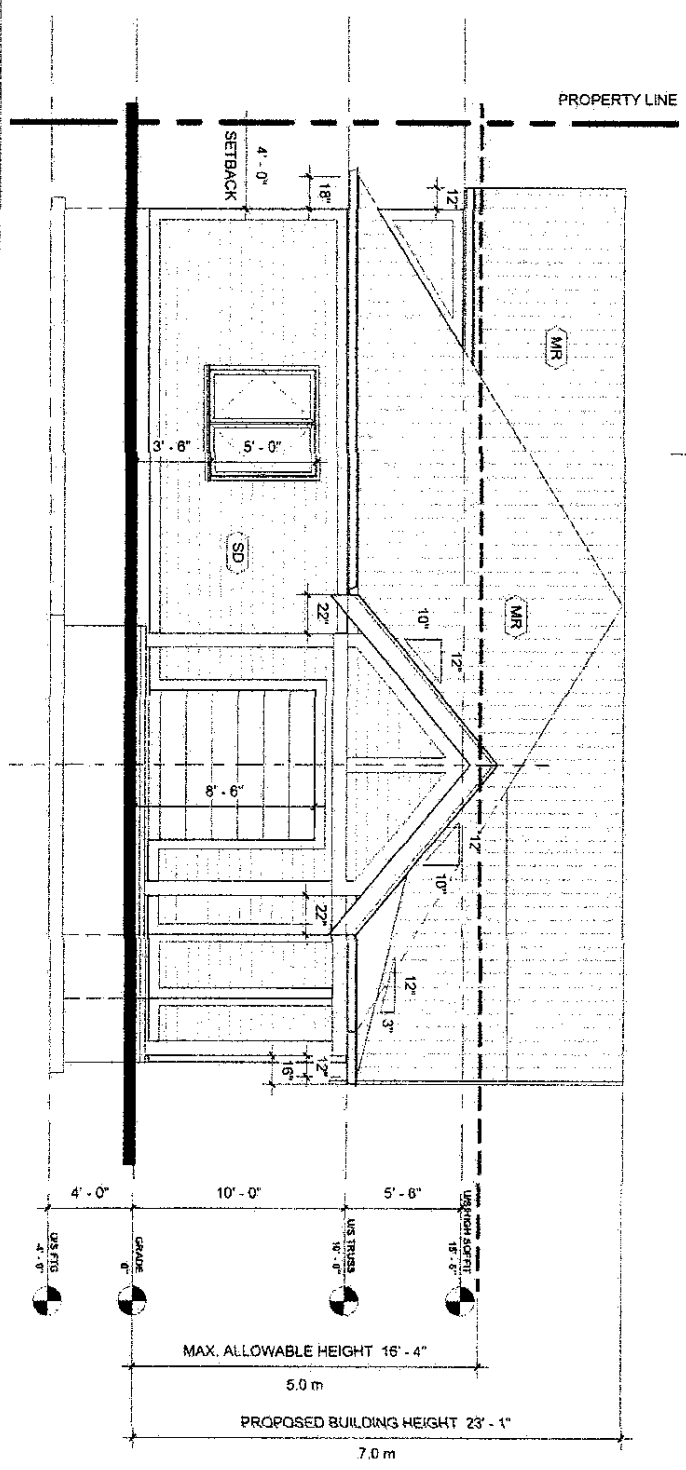
#	Date	Description
1	APRIL 6, 2022	ISSUED FOR REVIEW

MATERIAL LEGEND			
MATERIALS	TRIM, GUTTERS, ETC.		
MR STANDING SEAM METAL ROOFING	4 4" PAINTED TRIM	FS 12" PREPARED FASCIA W/ 2" X 4" TRIM (GABLE)	
SD 6" PAINTED HORIZ. SIDING	6 6" PAINTED TRIM	GT PREFABRICATED ALUMINUM GUTTER ON 6" PREFIN. FASCIA	
TM STAINED SOLID LUMBER	SL PAINTED WINDOW SILL	- RESERVED	

UNPROTECTED OPENING CALCULATIONS OBC 9.10.14.4			
WALL AREA =	640 SF	59.46 m ²	
LIMITING DISTANCE =	46' - 0"	14.0 m	
MAX PERMITTED =	100.0% (640 SF)	59.46 m ²	
PROPOSED =	5.6% (36 SF)	3.34 m ²	

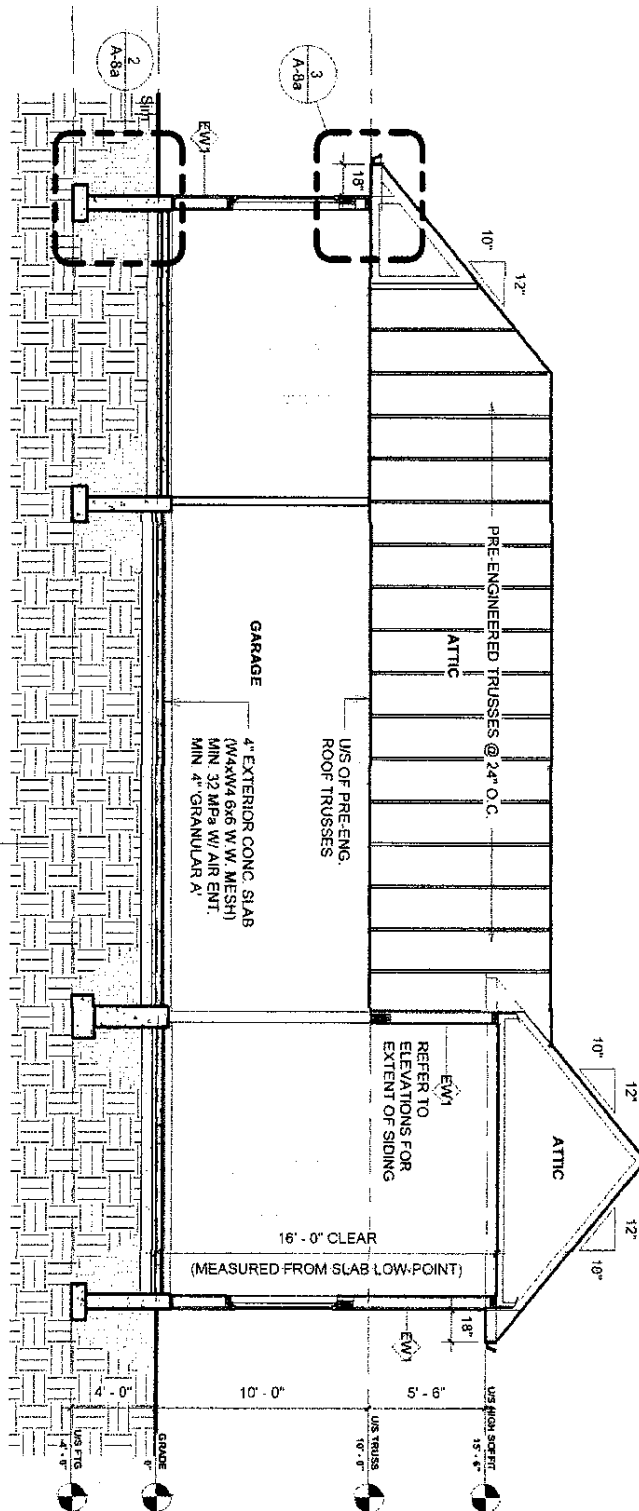


UNPROTECTED OPENING CALCULATIONS OBC 9.10.14.4	
WALL AREA =	400 SF / 37.16 m ²
LIMITING DISTANCE =	32' - 8" / 10.0 m
MAX PERMITTED =	100.0% (400 SF) 37.16 m ²
PROPOSED =	19.4% (78 SF) 7.20 m ²



MATERIAL LEGEND	
MATERIALS	TRM, GUTTERS, ETC.
MR STANDING SEAM METAL ROOFING	4 4" PAINTED TRM
SD 6" PAINTED HORIZ. SIDING	6 6" PAINTED TRM
TM STAINED SOLID LUMBER	SL PAINTED WINDOW SILL
	TS 1/2" PRE-FINISHED FASCIA W/ 2" TOP TRIM (DOUBLE)
	GT PRE-FINISHED ALUMINUM GUTTER ON 6" PRETRIM FASCIA
	- RESERVED

A-6d	FRIESEN GARAGE			
	2 Cleek Street, Port Royal, OH, 43083			
	LEFT ELEVATION			
Issue Date		For Review Only		
1		APRIL 6, 2022	ISSUED FOR REVIEW	
#		Date	Description	



A-7a

FRIESEN GARAGE

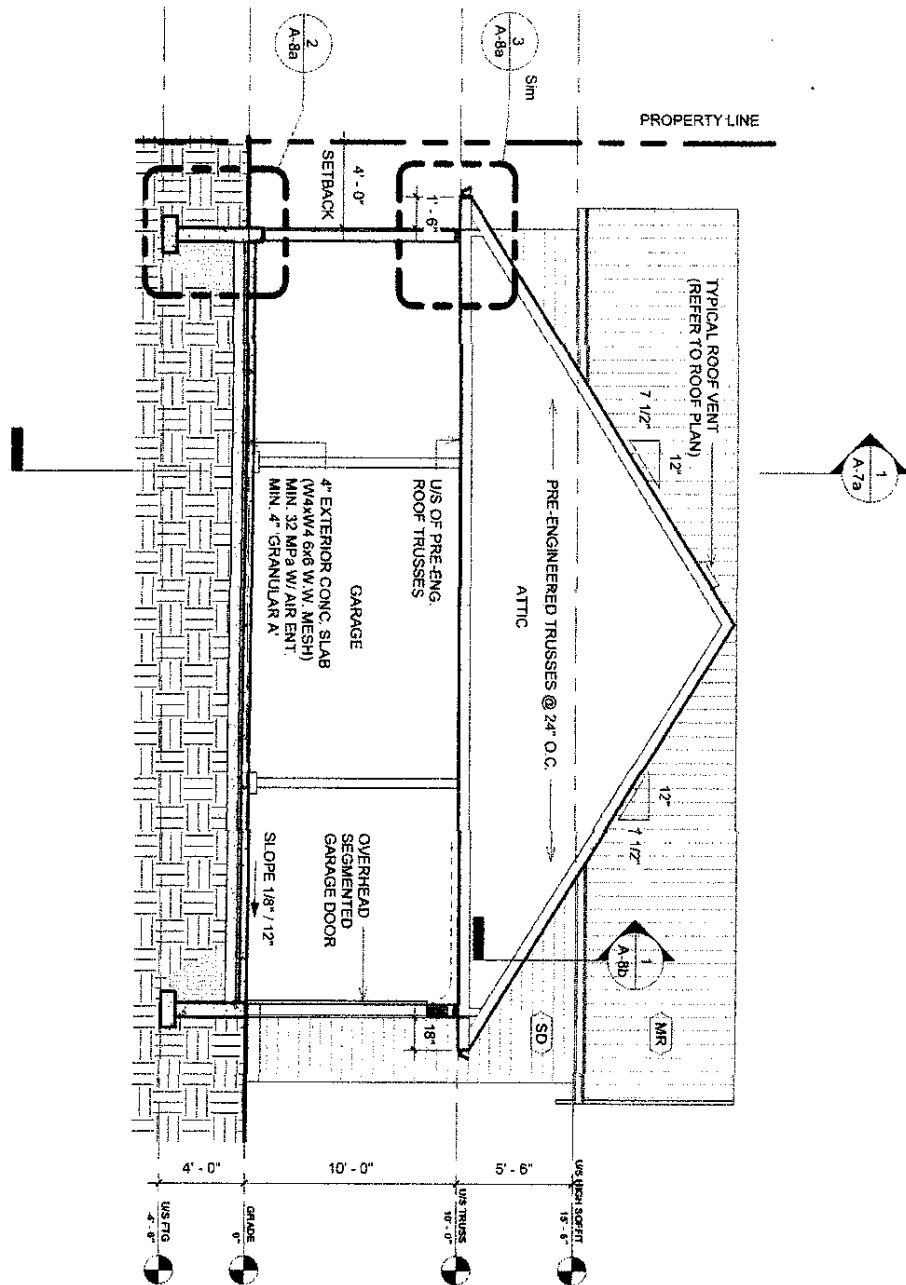
9 Centre Street, Port Rowan, ON, N0E 1M0

SECTION A

Issue Date

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1	APRIL 6, 2022	ISSUED FOR REVIEW
#	Date	Description



A-7b

FRIESEN GARAGE

9 Centre Street, Port Rowan, ON, NDE 1M0

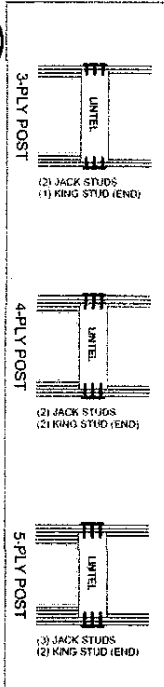
SECTION B

Issue Date

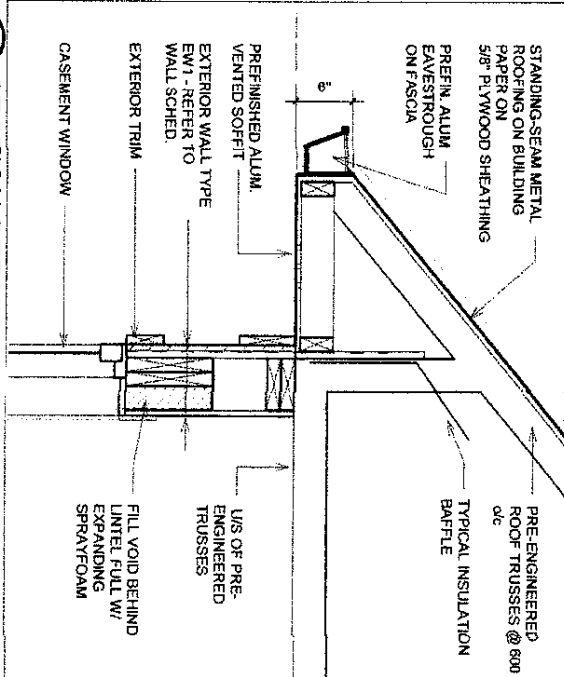
For Review Only

#	Date	Description
1	APRIL 6, 2022	ISSUED FOR REVIEW

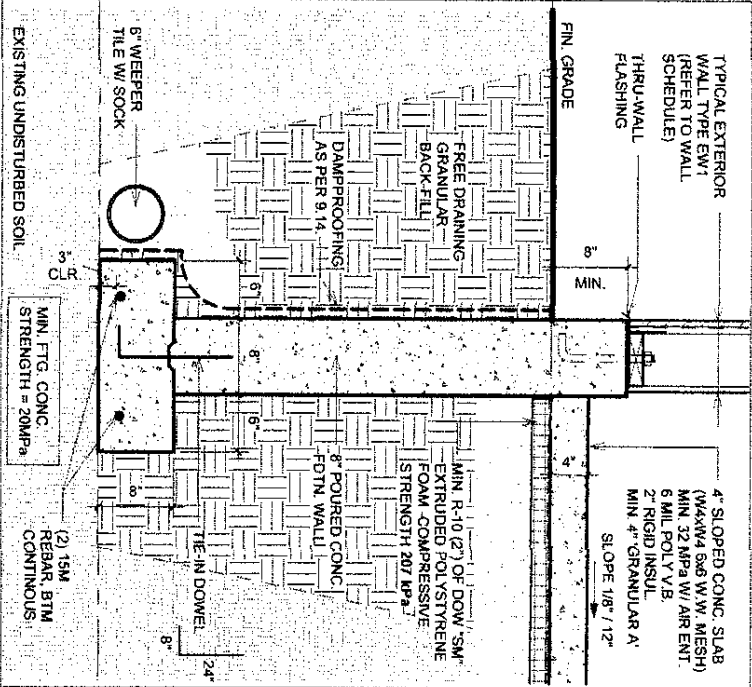
POST AND
1
A-8
scale: 1/4" = 1'-0"



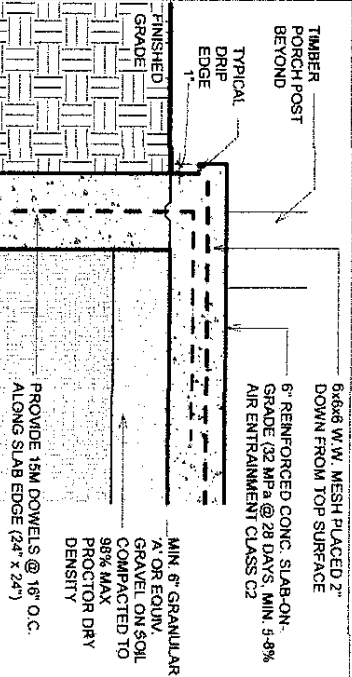
3
A-8a
SECTION 1
scale: 1" = 1'-0"

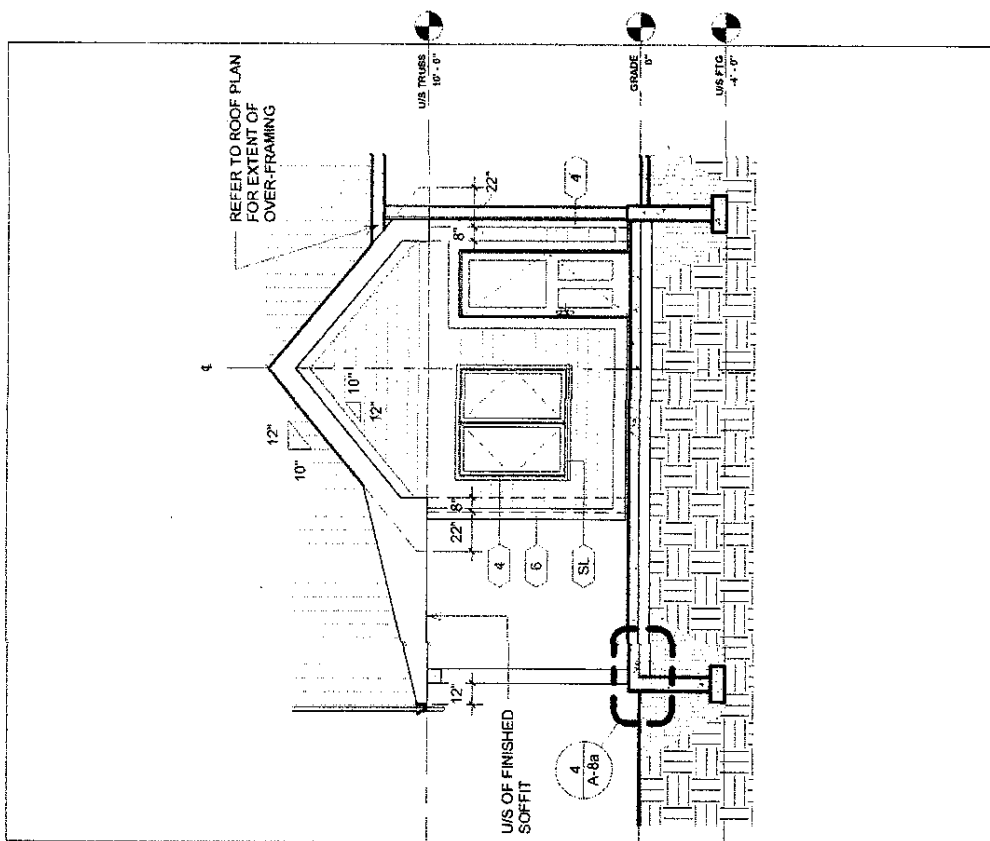
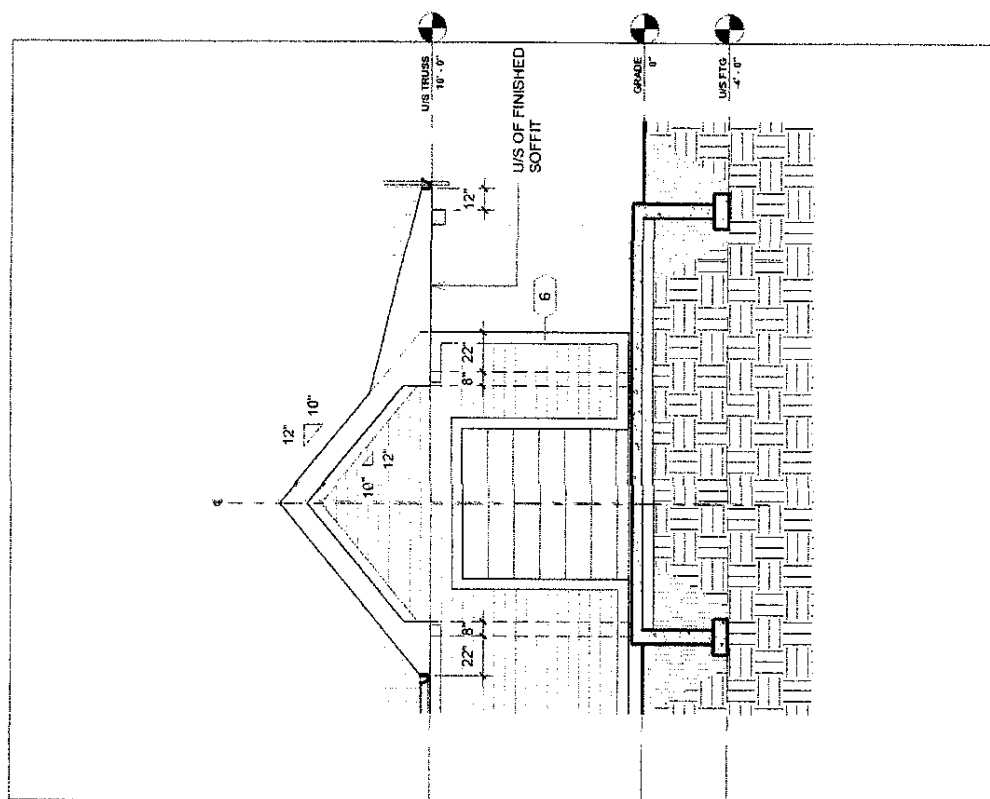


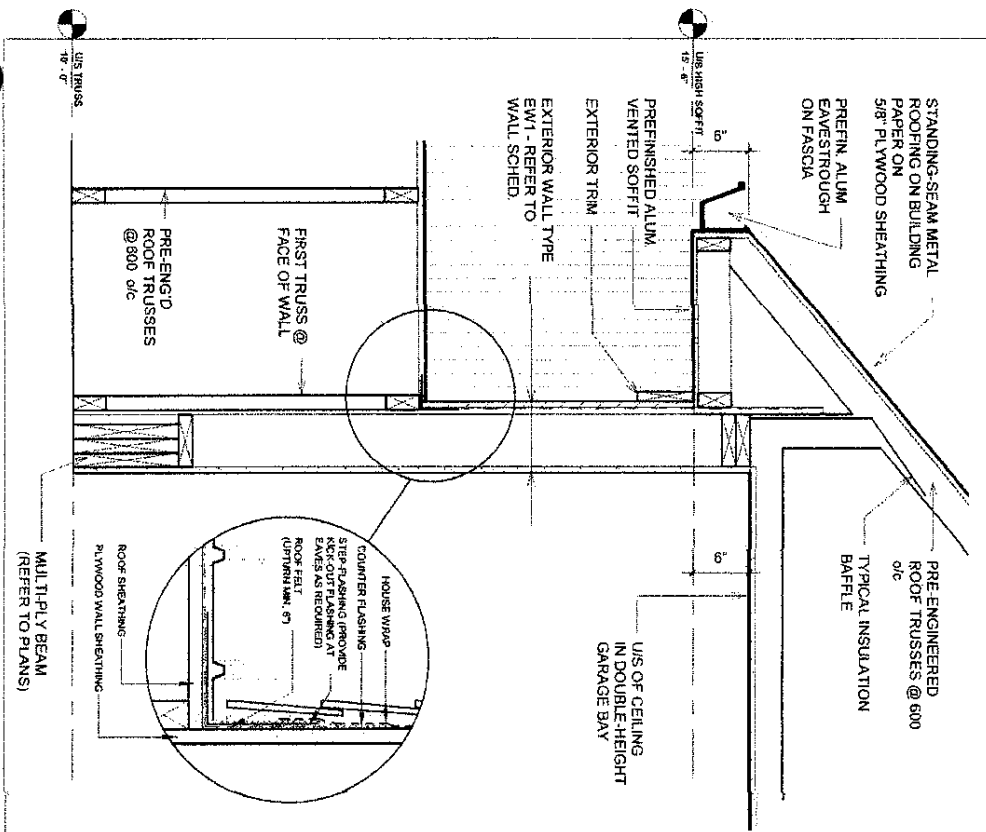
2 SECTION 1
A-8a scale: 1" = 1'-0"



4
A-8a
EXTERIOR
Scale: 1" = 1'-0"







1 ROOF AT WALL JUNCTION
 A-8b Scale: 1" = 1'-0"

A-8b

FRIESEN GARAGE

10 Centre Street, Port Royal, ON, N6E 1M0

DETAILS

Issue Date

For Review Only

#	Date	Description
1	APRIL 6, 2022	ISSUED FOR REVIEW

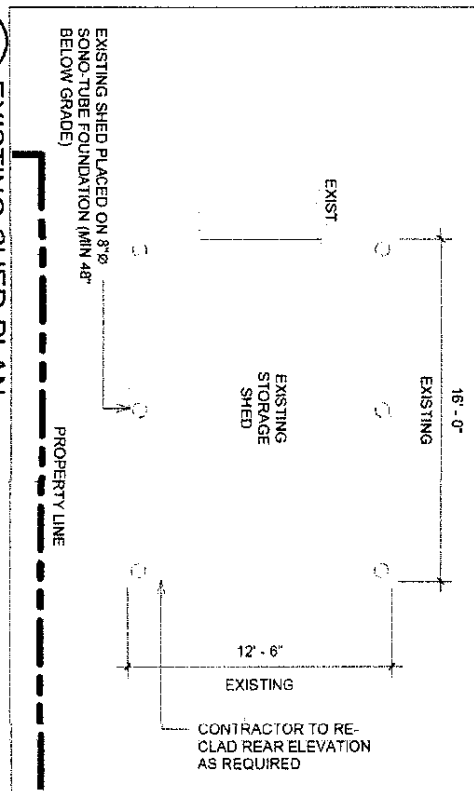
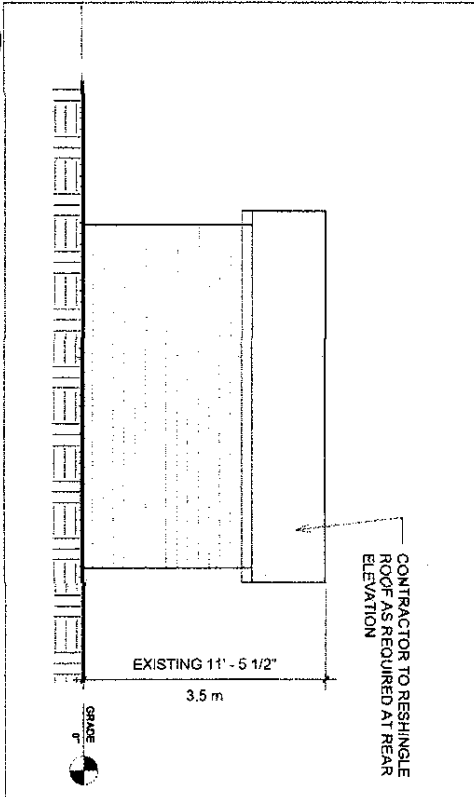
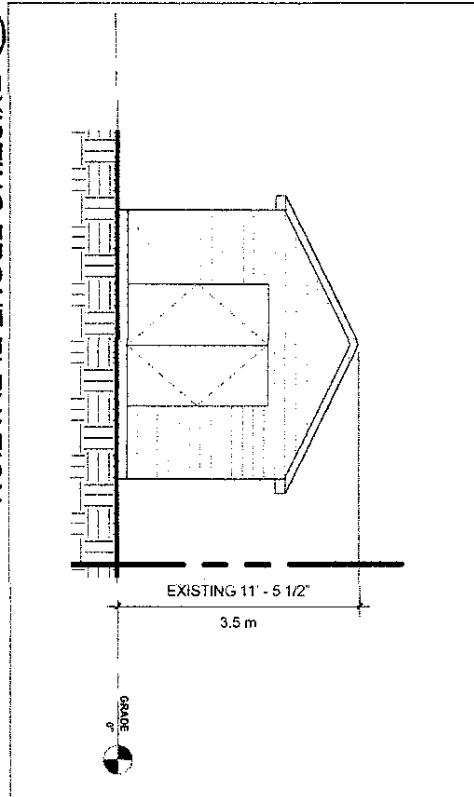
ALL WORKS TO BE DONE IN CONFORMANCE WITH THE ONTARIO BUILDING CODE (OBC), AND ALL OTHER AUTHORITIES HAVING JURISDICTION. UNLESS NOTED OTHERWISE, ALL CODES MENTIONED REFER TO DIVISION B OF THE OBC 2012. THE BUILDING CODE CAN BE ACCESSSED ONLINE AT: <http://www.ontario.ca/building-code> 120322

10. DOORS, WINDOWS, KILNDRITS, AND INTERIOR FINISHES (CONTINUED)...
WATERPROOF FINISHES SHALL BE PROVIDED ON WATER RESISTANT DACKING, AROUND SHOWERS AND BATHTUBS, AS PER ARTICLES 7.29.2 AND 9.23.1.8
9.23.11.4
CONCRETE FLASHING GENERAL WATERTIGHTNESS SHALL PROVIDE SHALLS WITH OUTWARD SLOPE, AS PER 9.23.1.8
ALL CALLINGS TO CORRELY WITH SUBSECTION 9.22.4
ALL SUBSECTION TO CORRELY WITH SUBSECTION 9.22.4
ALL SUBSECTION TO CORRELY WITH SUBSECTION 9.22.4

Issue Date For Review Only

4/5/2022 10:14:52 PM

1	APRIL 8, 2022	ISSUED FOR REVIEW
#	Date	Description



EXISTING SHED (VINYL CLAD SIDING ON WOOD STRUCTURE) TO BE DETACHED FROM EXISTING GARAGE (EXISTING GARAGE TO BE DEMOLISHED) AND RELOCATED ON PROPERTY. SET ON FOUNDATION OF CONCRETE SONOTUBES. FACADE TO BE RECLAD AS REQUIRED. ROOF TO BE RESHINGLED AS REQUIRED.



A-10	FRIESEN GARAGE 9 Centre Street, Port Huron, MI, N3E 11N2			
	EXST. SHED TO BE RETAINED			
	Issue Date	For Review Only		
	1	APRIL 6, 2022	ISSUED FOR REVIEW	
	#	Date	Description	

MAP A
CONTEXT MAP
Urban Area of PORT ROWAN

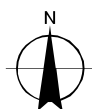
ANPL2023096



Legend

-  Subject Lands
-  Lands Owned
- 2020 Air Photo

4/6/2023



10 5 0 10 20 30 40
Meters

MAP B

ZONING BY-LAW MAP

Urban Area of PORT ROWAN

ANPL2023096



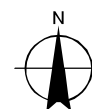
LEGEND

- Subject Lands
- Lands Owned

ZONING BY-LAW 1-Z-2014

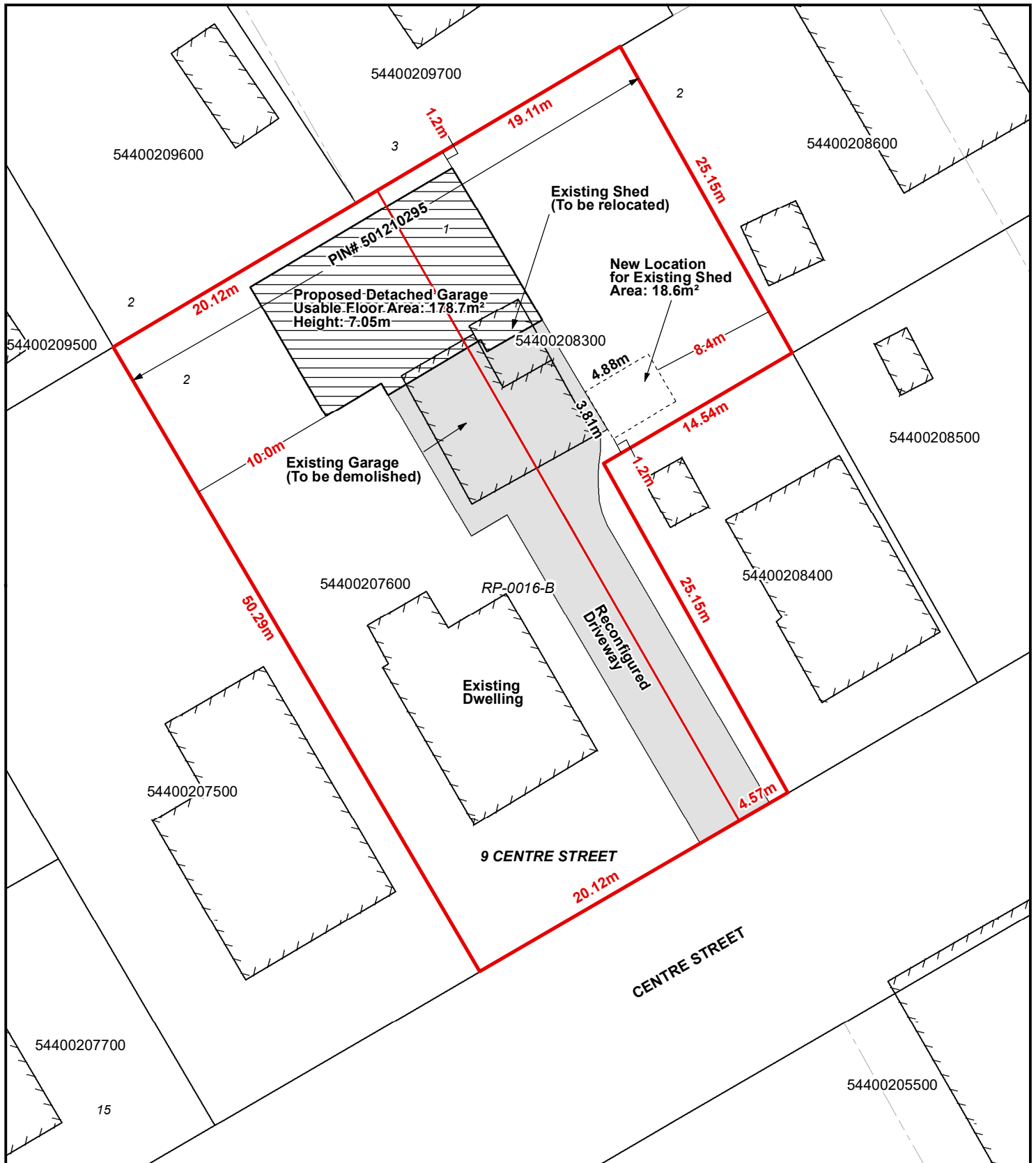
4/6/2023

- (H) - Holding
- CBD - Central Business District Zone
- IC - Community Institutional Zone
- IN - Neighbourhood Institutional Zone
- R1-A - Residential R1-A Zone
- R2 - Residential R2 Zone



8 4 0 8 16 24 32 Meters

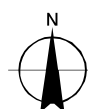
CONCEPTUAL PLAN
Urban Area of PORT ROWAN



Legend

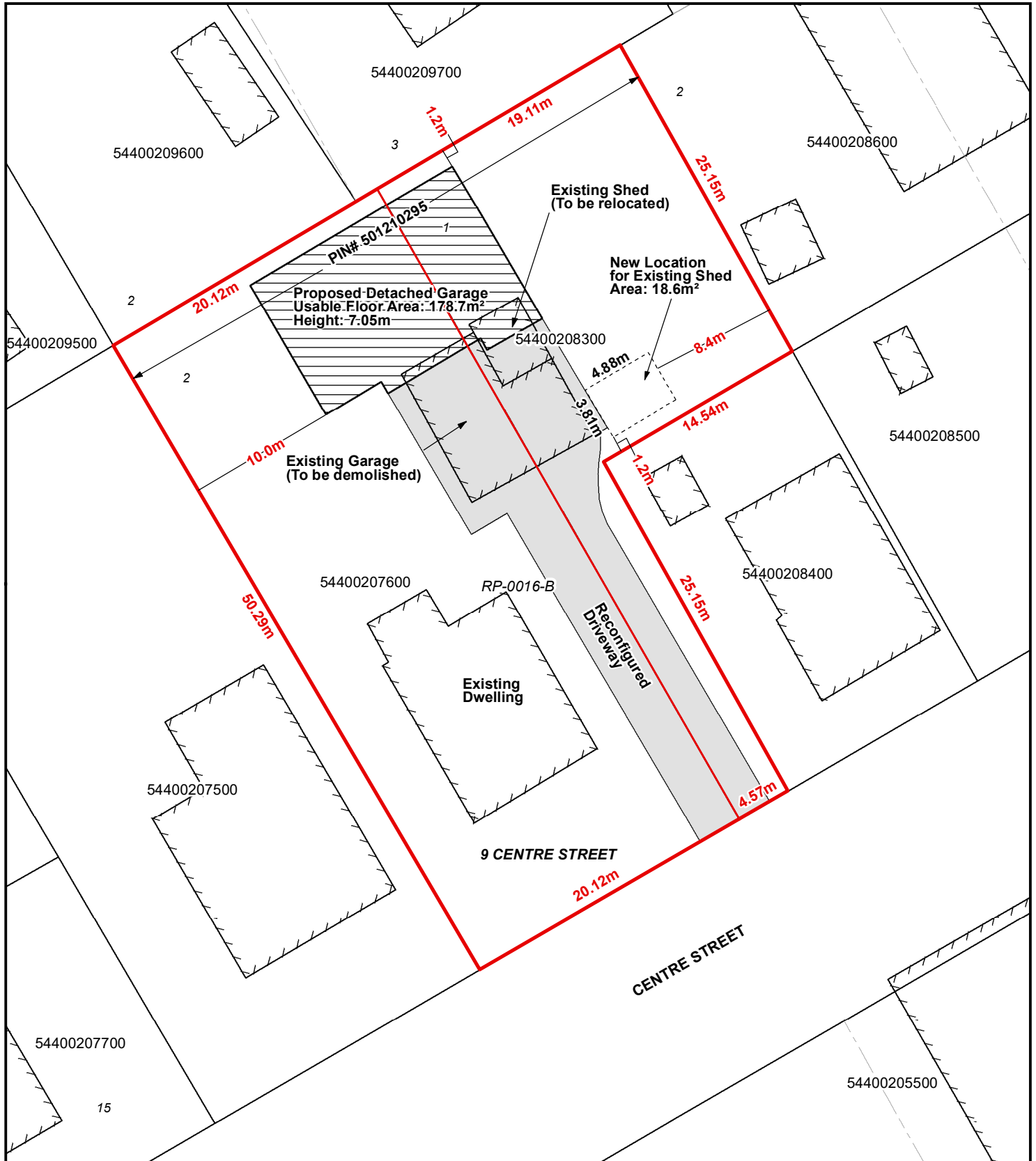
- Subject Lands
- Lands Owned

4/6/2023



CONCEPTUAL PLAN

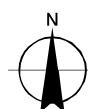
Urban Area of PORT ROWAN



Legend

- Subject Lands
- Lands Owned

4/6/2023



3.5 1.75 0 3.5 7 10.5 14 Meters