

<b>For Office Use Only:</b>	ANPL2023111	Application Fee	1711.00
File Number		Conservation Authority Fee	
Related File Number		Well & Septic Info Provided	
Pre-consultation Meeting		Planner	Andrew Wallace
Application Submitted		Public Notice Sign	
Complete Application	Mar. 27, 2023		

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310541060089100000

**A. Applicant Information**

**Name of Owner** JONATHON & ASHLEY DINEVSKI

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 360 2ND CONCESSION ROAD STR

Town and Postal Code COURTLAND N0J 1E0

Phone Number N/A

Cell Number 2899711885

Email JONDINEV@HOTMAIL.COM

**Name of Applicant** SAME AS OWNER

Address

Town and Postal Code

Phone Number

Cell Number

Email

**Name of Agent** N/A  
**Address** \_\_\_\_\_  
**Town and Postal Code** \_\_\_\_\_  
**Phone Number** \_\_\_\_\_  
**Cell Number** \_\_\_\_\_  
**Email** \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

SAME AS OWNER

## **B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

MID CON 3 STR PT LOT 18 RP, 37R4146 PARTS 1 & 2, IRREG, 1.56AC  
100.40FR D

Municipal Civic Address: 360 2ND CONC RD STR RR 2 COURTLAND, ON N0J 1E0

Present Official Plan Designation(s): ?

Present Zoning: A1[1-Z-2014]

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

PRIVATE RESIDENCE

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

ALL BUILDINGS TO BE RETAINED. (BARN, DWELLING, GARAGE)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

BEDROOM, BATHROOM, BASEMENT STORAGE, REC ROOM

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

ADDITION TO EXISTING DWELLING

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

N/A

9. Existing use of abutting properties:

FARM LAND (CORN FIELD)

10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

~~SHARED LANEWAY WITH FARMER OF ABUTTING PROPERTY~~

### C. Purpose of Development Application

Note: Please complete all that apply.

#### 1. Site Information

#### Existing

#### Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	n/a	
Lot depth		
Lot width		
Lot area		
Lot coverage		
Front yard		
Rear yard		
Left Interior side yard		
Right Interior side yard		
Exterior side yard (corner lot)		

#### 2. Please outline the relief requested (assistance is available):

ALLOWANCE TO BUILD ADDITION TO COME WITHIN 1.5 METERS (5 FEET) TO REAR LOT LINE

#### 3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

OTHER ADDITION LOCATIONS ARE NOT DESIRABLE AS THEY WILL INTERFERE WITH EXISTING BEDROOMS/ KITCHEN/ BATHROOM, SEPTIC AND GAS LINES. THE MOST PRACTICAL LOCATION WAS CONSIDERED.

#### 4. Description of land intended to be severed in metric units:

Frontage:	N/A
Depth:	
Width:	
Lot Area:	
Present Use:	
Proposed Use:	
Proposed final lot size (if boundary adjustment):	



If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

**5. Description of proposed right-of-way/easement in metric units:**

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

**6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:**

Owners Name: N/A

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

#### **D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐Yes ☐No ☒Unknown  
If yes, specify the uses (for example: gas station, or petroleum storage):
  
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐Yes ☐No ☒Unknown
  
3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

N/A

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_



## F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water  
☐ Individual wells

- ☐ Communal wells  
☒ Other (describe below)

SINGLE WELL

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Sewage Treatment

- ☐ Municipal sewers

- ☐ Communal system

- ☒ Septic tank and tile bed in good working order ☐ Other (describe below)
- 

Storm Drainage

- ☐ Storm sewers  
☐ Other (describe below)

- ☐ Open ditches

N/A

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2. Existing or proposed access to subject lands

- ☒ Municipal road  
☐ Unopened road

- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street:

2ND CONCESSION RD STR

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## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



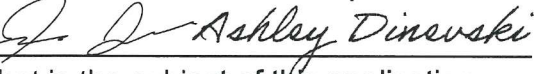
Owner/Applicant/Agent Signature

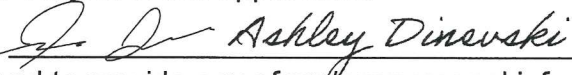
MARCH 14, 2023

Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We  am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize  to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

JONATHON DINEVSKI

Owner

Ashley Dinevski

Owner

MARCH 14, 2023

Date

MARCH 14, 2023

Date

**K. Declaration**

I, Jonathan Dinevski of Courtland

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

RAB

[Signature]  
Owner/Applicant/Agent Signature

In Norfolk County

This 17<sup>th</sup> day of March

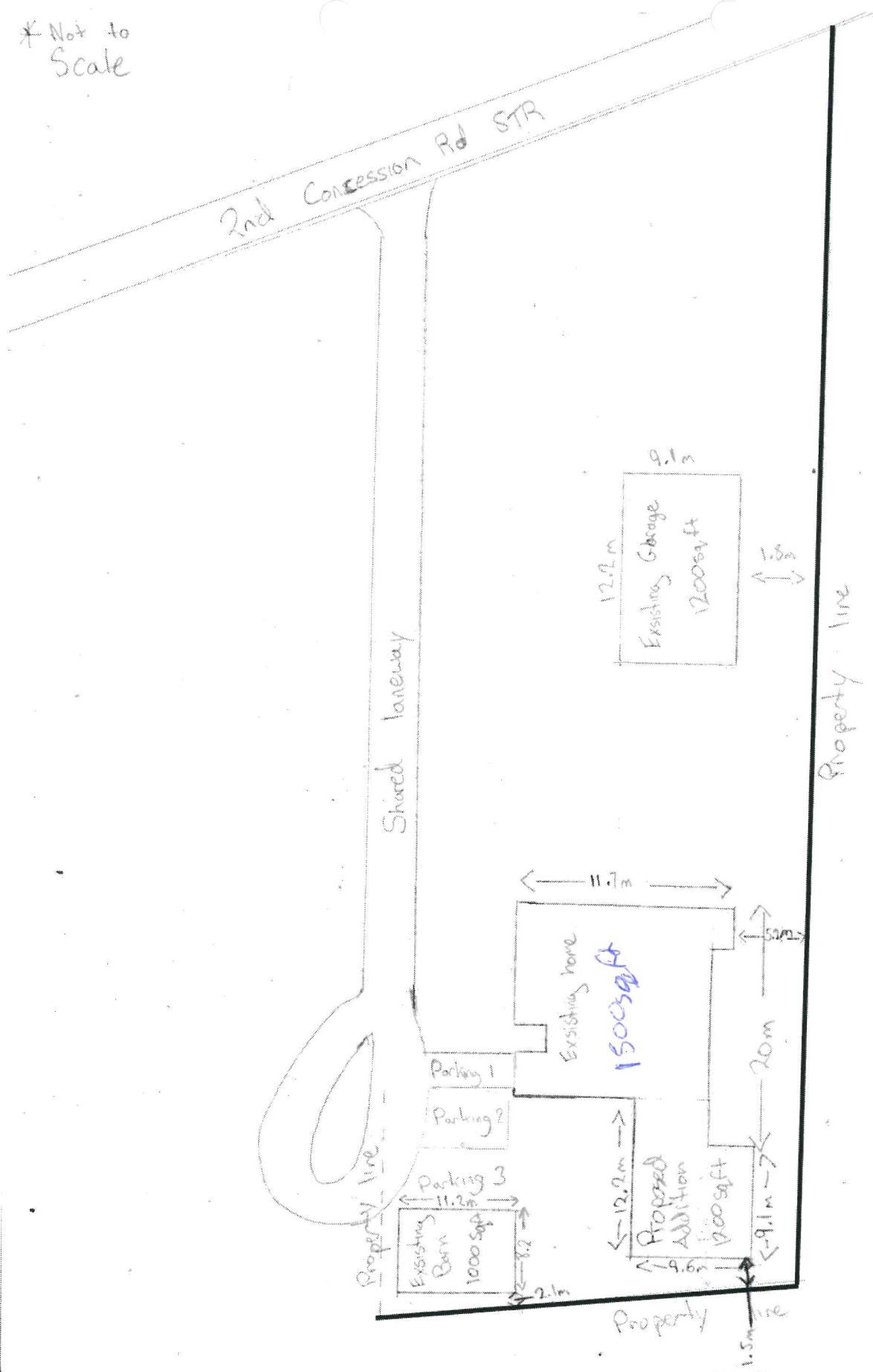
A.D., 20 23

Jodi Lynn Pfaff-Schimus, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 1, 2025.

[Signature]  
A Commissioner, etc.



\* Not to Scale



PROPOSED ADDITION

1. REQUIRE THIS PLAN TO BE RECEIVED AND DEPOSITED UNDER THE REGISTRY ACT.  
 DATE August 8, 1988  
*Kim S. Husted*  
 KIM S. HUSTED CLERK  
 REGISTRY AND REGISTRATION FOR THE MUNICIPALITY OF MIDDLETON  
 (Reg. 37)

PLAN 37R-4146  
 RECEIVED AND DEPOSITED  
 DATE August 8, 1988  
*Kim S. Husted*  
 KIM S. HUSTED CLERK  
 REGISTRY AND REGISTRATION FOR THE MUNICIPALITY OF MIDDLETON  
 (Reg. 37)

CAUTION: THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE REGISTRY ACT.

PART SCHEDULE		
PARTS	LOT	CON.
1 AND 2	OUT OF 18	3 STR.
	449342	MIDDLETON

PLAN OF SURVEY OF  
 PART OF LOT 18  
 CONCESSION 3, SOUTH OF TALBOT ROAD  
 GEOGRAPHIC TOWNSHIP OF MIDDLETON  
 MUNICIPALITY OF THE  
 TOWNSHIP OF NORFOLK  
 REGIONAL MUNICIPALITY OF  
 HALDIMAND-NORFOLK

SCALE - 1 INCH = 60 FEET  
 KIM S. HUSTED O.L.S.  
 1988

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
 (1) - THE SURVEY WAS MADE IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE THEREUNDER.  
 (2) - THIS SURVEY WAS COMPLETED ON THE 8th DAY OF JUNE 1988

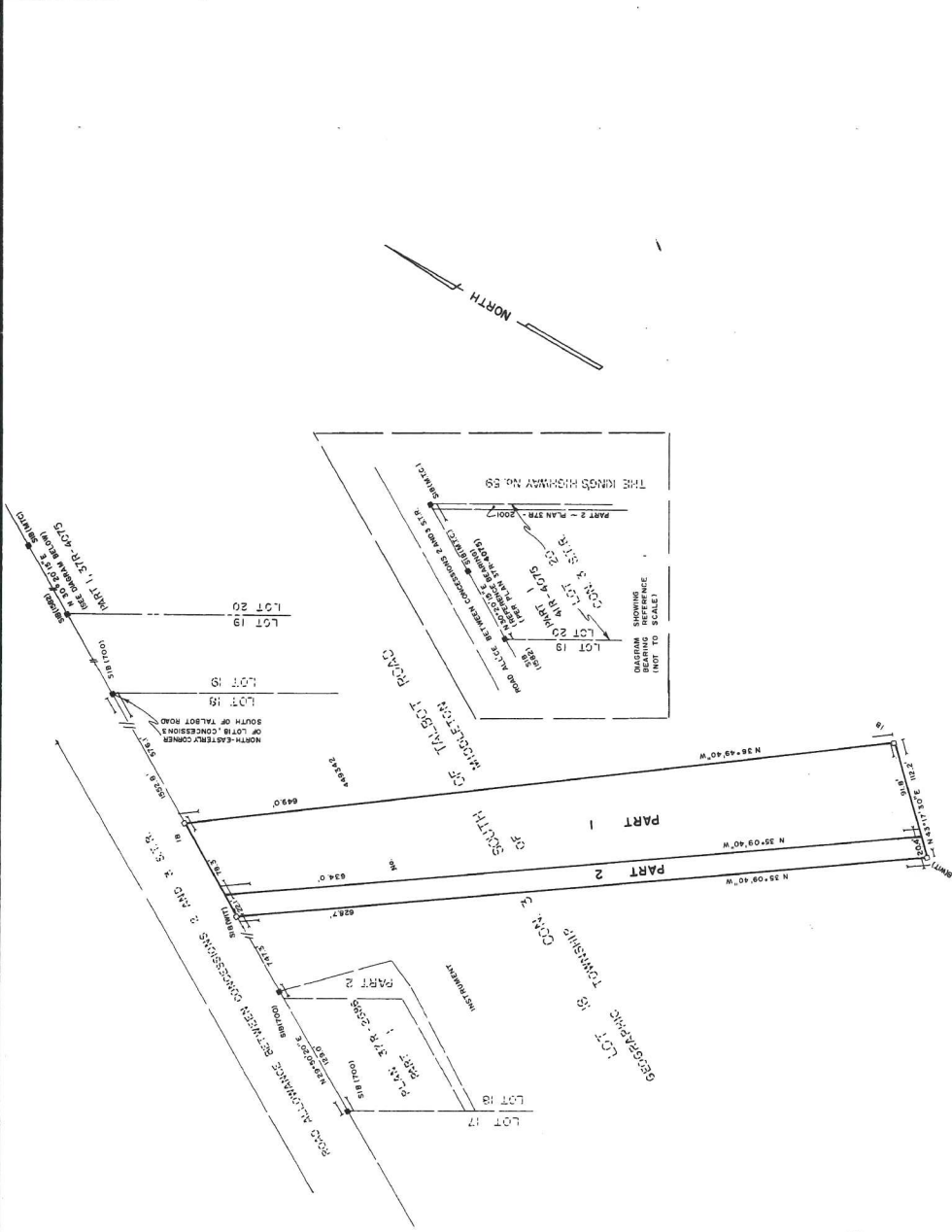
*August 8, 1988*  
 DATE  
*Kim S. Husted*  
 KIM S. HUSTED  
 O.L.S.  
 ONTARIO LAND SURVEYOR

NOTES

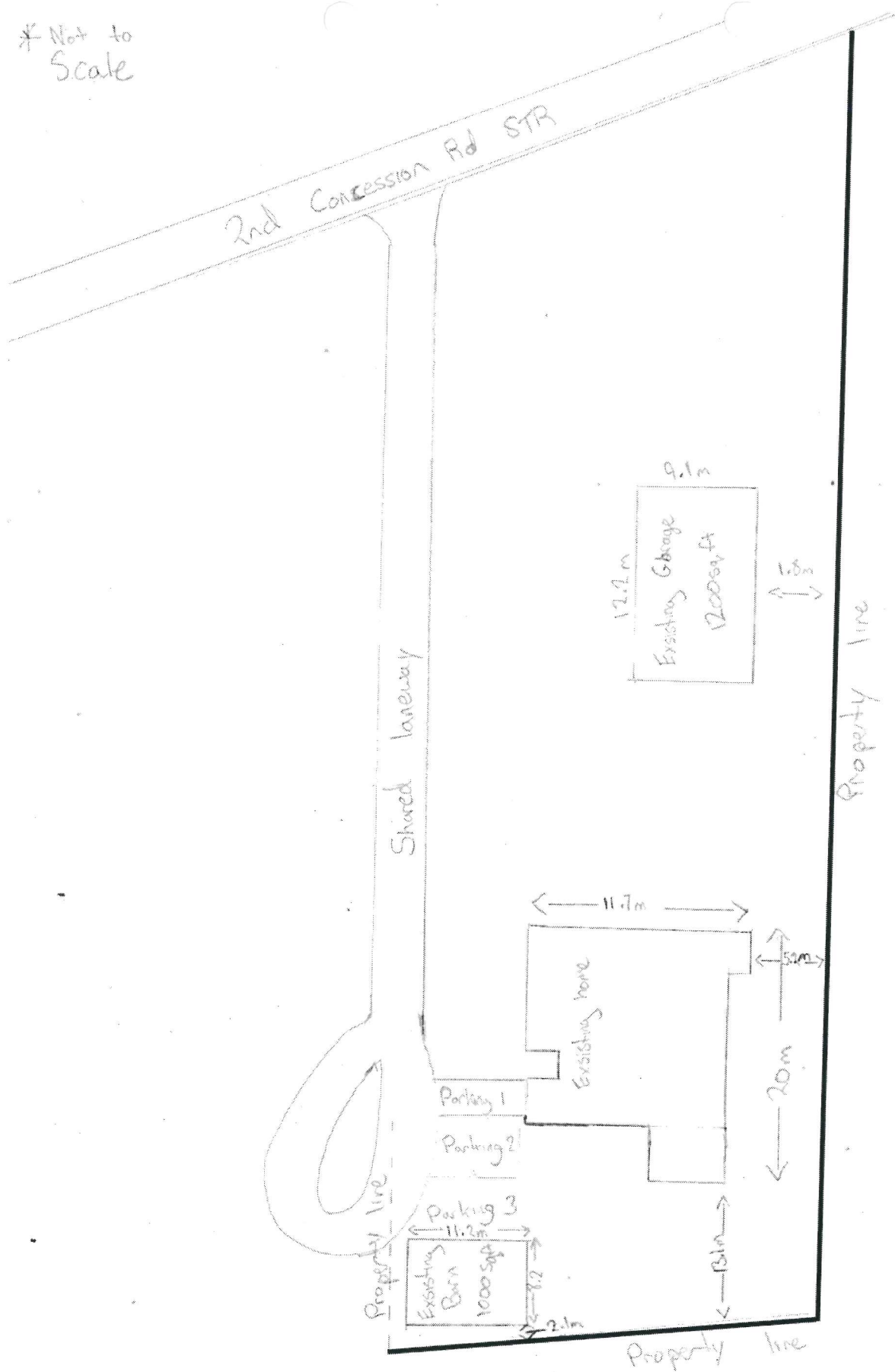
(1) - BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE NORTH BY THE MAGNETIC DECLINATION OF TALBOT ROAD AS SHOWN ON PLAN 37R-4078 HAVING A BEARING OF N30°20'5" E.

LEGEND  
 (1) - DENOTES SURVEY MONUMENT FOUND  
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KIM HUSTED SURVEYING LTD.  
 ONTARIO LAND SURVEYOR  
 50 FOX ALLEY, TILLSBURG ONTARIO, N4G 3P4  
 PHONE: 519-842-3838  
 PROJECT: 88-634 REFERENCE:



\* Not to Scale

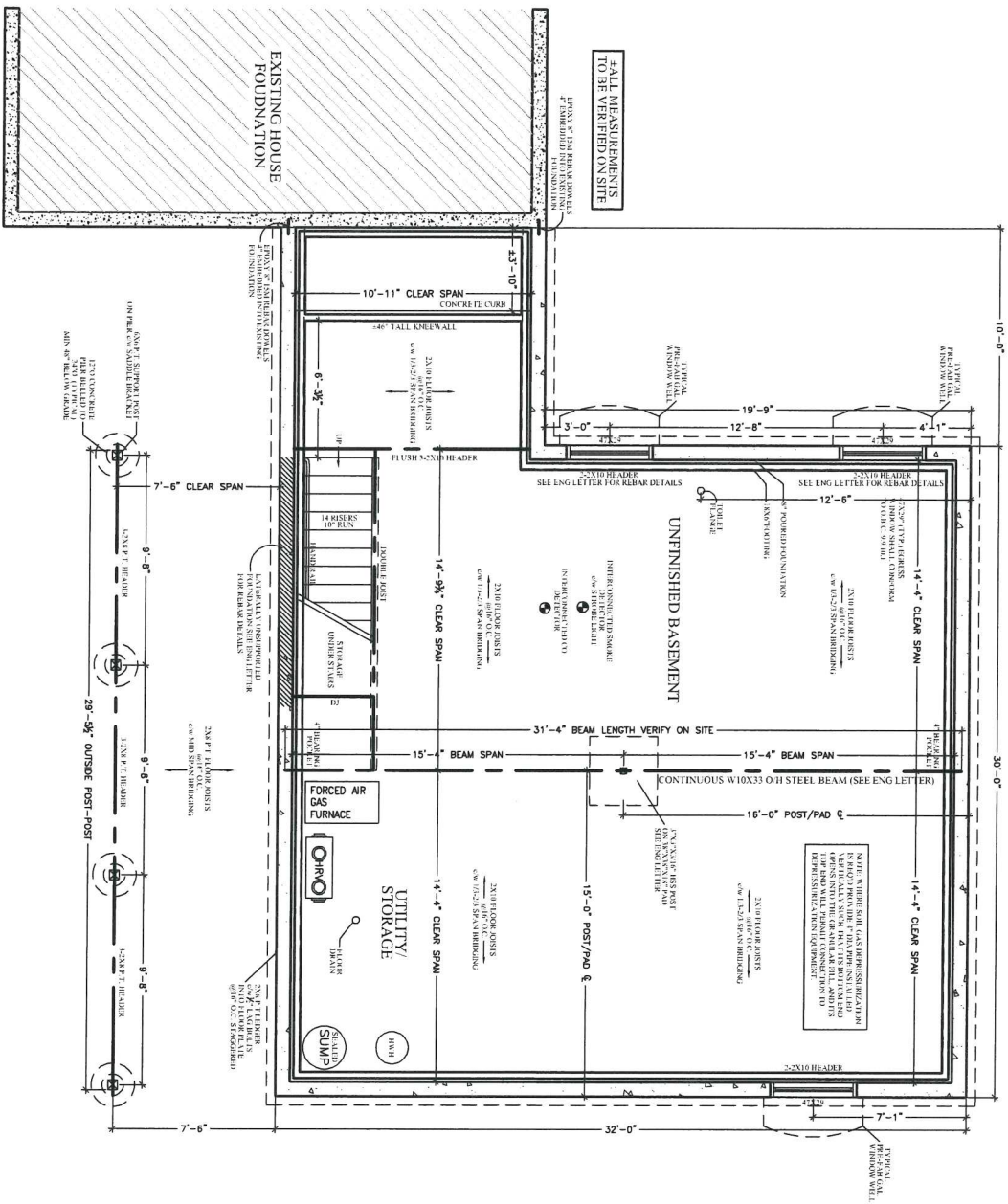


(current)

ALL BUILDINGS RETAINED,

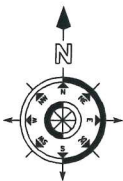
# FOUNDATION PLAN

Scale 3/16"=1'-0"



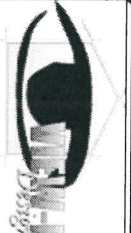
## GENERAL NOTES

1. ALL FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2018 INTERNATIONAL FOUNDATION CODE (IFC).
2. ALL EXTERIOR FOUNDATIONS SHALL BE A MINIMUM 18" WIDE AND 12" DEEP.
3. ALL INTERIOR FOUNDATIONS SHALL BE A MINIMUM 12" WIDE AND 12" DEEP.
4. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE SLAB ON GRADE.
5. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE SLAB ON GRADE.
6. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE SLAB ON GRADE.
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1. ALL FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2018 INTERNATIONAL FOUNDATION CODE (IFC).

NO.	DESCRIPTION
1	FOUNDATION PLAN
2	FOUNDATION PLAN
3	FOUNDATION PLAN
4	FOUNDATION PLAN
5	FOUNDATION PLAN
6	FOUNDATION PLAN
7	FOUNDATION PLAN
8	FOUNDATION PLAN
9	FOUNDATION PLAN
10	FOUNDATION PLAN



**\*PROPERTY OF VIEW-IT DESIGN\***

**VIEW-IT DESIGN**  
4001 FORT BURNELL  
VANCOUVER, BC V6N 1A8

**DINEVSKI RESIDENCE**  
3601 LANGTON CIRCLE  
VANCOUVER, BC V6N 1A8

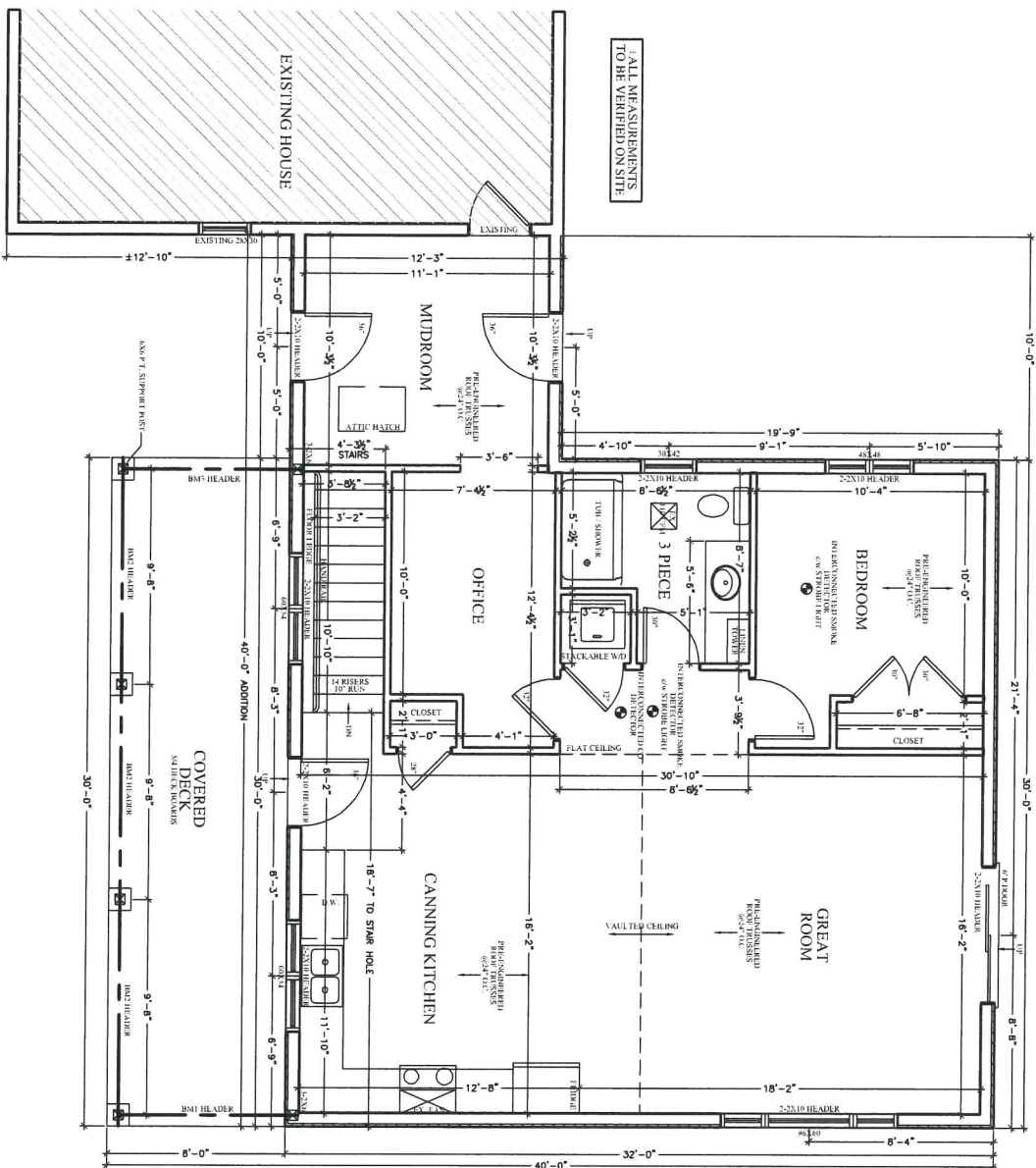
**FOUNDATION PLAN**

DESIGNED BY: TONY WALL  
DRAWN BY: TONY WALL  
DATE: SEPTEMBER 2022  
SHEET NO. 1 OF 2

**A1**

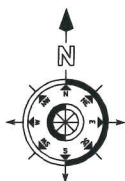


## Scale 3/16"-1'-0"



### FORNICATION PLANS NOTED

1. ALL BUILDINGS TO EXTERIOR/INSULATION WALLS
2. ALL PROFILES SHALL BE IN AIR DIRECTION ON CONCRETE/BRICK WALL, INSULATION AND BRACING (CLIMATE - 2500 F/1390 C)
3. CONCRETE/BRICK WALL SHALL BE PROTECTED FROM EXTERIOR/INSULATION AND BRACING BY MINIMUM 100% MINIMUM DRY HEAVY DUTY GALVANIZED STEEL
4. ALL EXTERIOR PROFILES SHALL BE ANSIMPAN 4240 HOT DIPPED PHENOLIC OR COB TO PROTECT FROM RUST AT ALL TIMES
5. CONCRETE/BRICK WALLS SHALL HAVE ANSIMPAN 25 DAY COMPRESSIVE STRENGTH OF A MINIMUM 25 DAY COMPRESSIVE STRENGTH OF 10,000 PSI (68.95 MPa) OF CONCRETE/BRICK WALL
6. MINIMUM 10% COVER TO HAVE MINIMUM 1.7" COVER AT BOTTOM OF SLAB



Free & 2011  
H.P.N. : 27053

SOCIABLE POLYMER	
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FAX: 519.874.0087

**DINEVSKI RESIDENCE**  
360 2ND CONCESSION  
LANGTON, ON

LANGUON, ON

POSED HOUSE PLAN:

### MAIN FLOCK PLAN

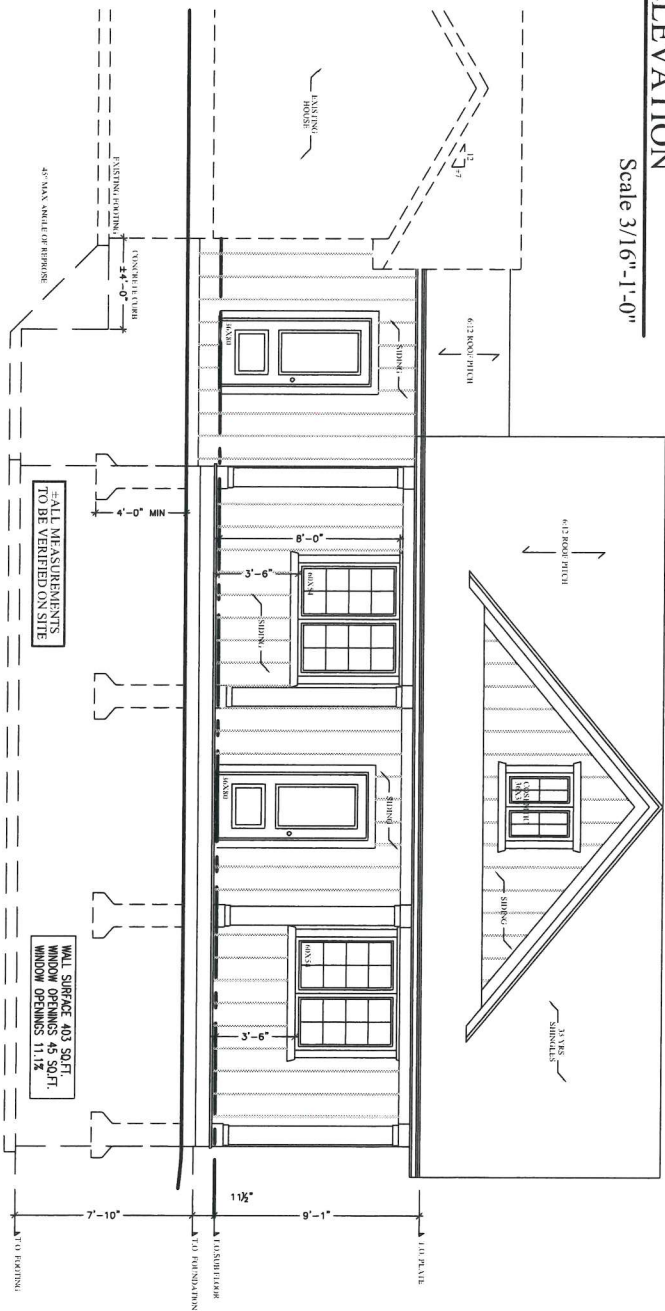
SCALE SHE DWG

PO# 22308

2 OF 8

A2

## Scale 3/16"-1'-0"



## FOUNDATION PLAN NOTES

- [illegible]

The first and last responsibility for the college work on behalf of a firm is placed under subsection 2.17.d. of the code. It is unqualified and the firm is responsible for the appropriate choice of writing.

[illegible]

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PHONE: 410-681-1133  
FAX: 410-681-4487

DINEVSKI RESIDENCE  
360 2ND CONCESSION  
LANGTON, ON

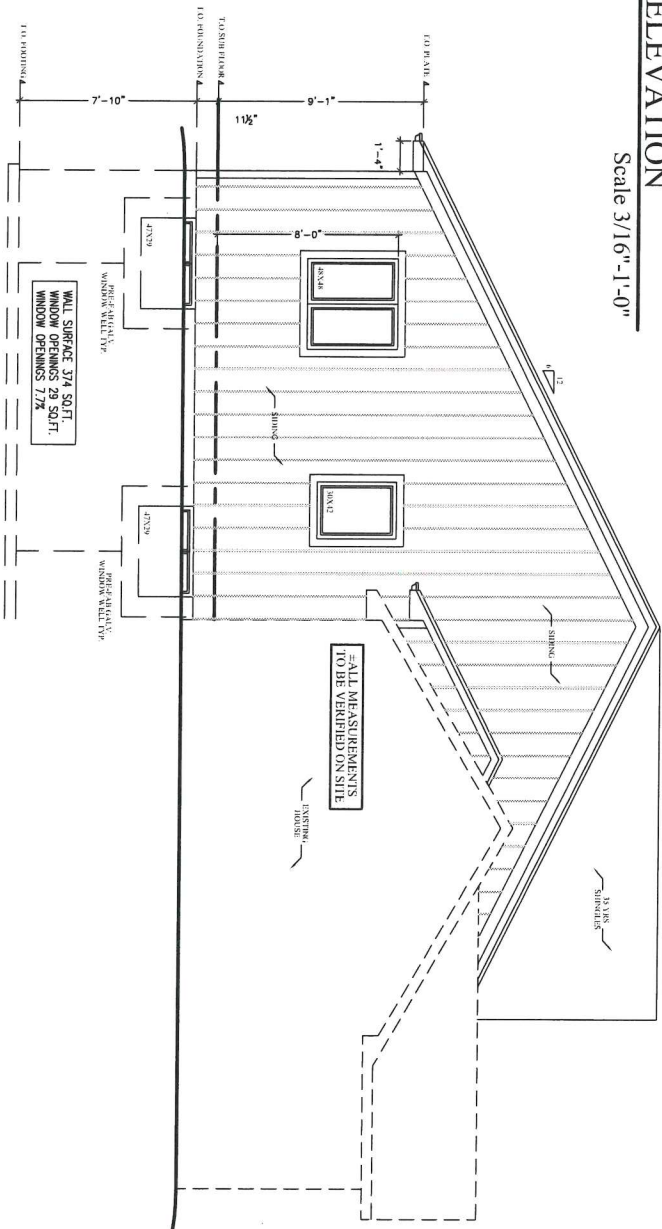
ELEVATION

DRAWN BY: TONY WALL	SCALE: SEE DRAWING
BCTN: 29620	PO#: 22308
DATE: SEPTEMBER 2022	
SHEET NO. 1 OF 8	

A3

NORTH ELEVATION

Scale 3/16"=1'-0"



GENERAL NOTES

1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
2. EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
3. EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
4. ALL EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
5. CONCRETE SHALL BE CAST IN PLACE AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
6. ALL EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
7. ALL EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
8. ALL EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
9. ALL EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.
10. ALL EXISTING FOUNDATION SHALL BE EXPOSED AND REINFORCED WITH STEEL REINFORCEMENT BARS AND CONCRETE SHALL BE CAST IN PLACE.

1. The owner and the architect shall be responsible for the accuracy of the information provided in this drawing and the owner shall be responsible for the accuracy of the information provided in this drawing.

Drawn By: [Signature]

Date: 09/01/2021

Sheet Title: [Blank]

Sheet Title: [Blank]

Sheet Title: [Blank]

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\*PROJECT OF VIEWPOINT ARCHITECTS\*

VIEWPOINT DESIGN  
8821 FORT BURNELL  
DENVER, CO 80231

DINEVSKI RESIDENCE  
360 2ND CONVENTION  
LANSING, MI 48201

PROPOSED HOUSE PLANS

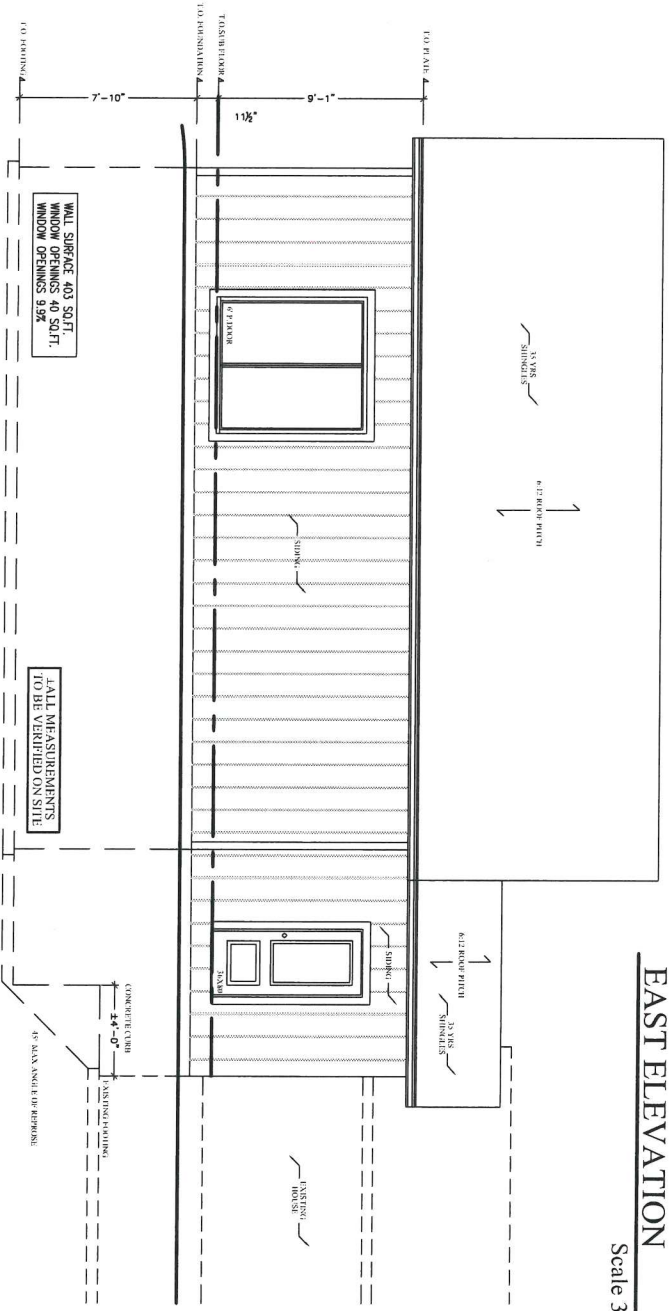
ELEVATION

DRAWN BY: TONY WALL SCALE: SEE PLAN

DATE: SEPTEMBER 2021

SHEET NO. 1 OF 1

A4



EAST ELEVATION  
Scale 3/16"=1'-0"

GENERAL NOTES

1. ALL DIMENSIONS TO EXTERIOR FINISHES UNLESS NOTED OTHERWISE.
2. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.
3. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.
4. ALL EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.
6. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.
7. FINISHES SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.
8. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 CANADIAN NATIONAL BUILDING CODE (CNBC) 2021.1.1.1.

1. This plan and elevation are prepared by the designer as an advisory document only. It is not to be used for construction without the approval of the designer. The designer is not responsible for the construction of the building or for the safety of the building or for the safety of the occupants of the building.

SCHEDULE OF FINISHES	
NO.	FINISH
1	WALLS
2	FLOORS
3	CEILING
4	DOORS
5	WINDOWS
6	ROOFING
7	PAINTING
8	LANDSCAPING
9	EXTERIOR LIGHTING
10	EXTERIOR FURNITURE

SCHEDULE OF FINISHES	
NO.	FINISH
1	WALLS
2	FLOORS
3	CEILING
4	DOORS
5	WINDOWS
6	ROOFING
7	PAINTING
8	LANDSCAPING
9	EXTERIOR LIGHTING
10	EXTERIOR FURNITURE



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SUITE 100  
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CANADA  
TEL: (416) 291-1111  
WWW.VIEW-ITDESIGN.COM

DINEVSKI RESIDENCE  
360 2ND CONGRESSION  
LANGTON, ON  
PROPOSED HOUSE PLANS  
ELEVATION

DRAWN BY: TONY WALL  
REV. 2020  
DATE: SEPTEMBER 2023  
SCALE: 3/16"=1'-0"  
SHEET NO.: 2 OF 8  
A5

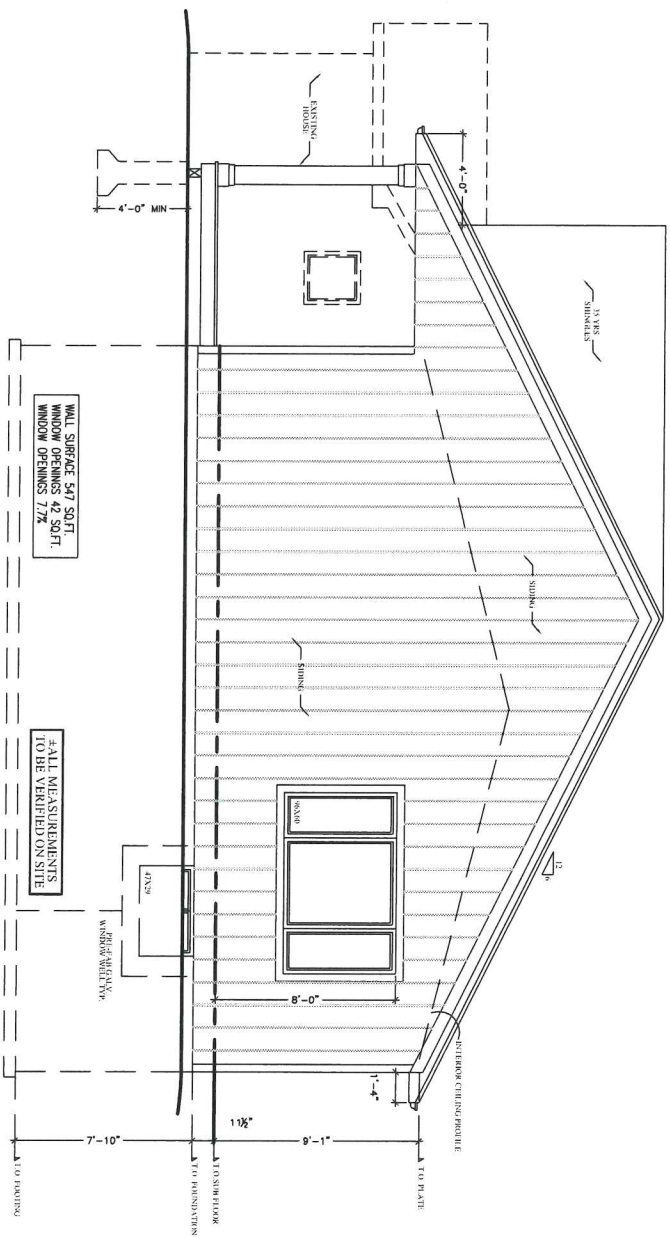


GENERAL NOTES

1. ALL DIMENSIONS TO EXTERIOR FINISHES UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS SHALL BE APPROXIMATELY 1/4" TOLERANCE.
3. ALL DIMENSIONS SHALL BE APPROXIMATELY 1/4" TOLERANCE.
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10. ALL DIMENSIONS SHALL BE APPROXIMATELY 1/4" TOLERANCE.

SOUTH ELEVATION

Scale 3/16"=1'-0"



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VIEW-IT DESIGN  
RR#1 PORT BURWELL  
NANTUCKET, MA 02543

DINEVSKI RESIDENCE  
300 2ND CONCERNION  
LANGTON, ON

PROPOSED HOUSE PLANS

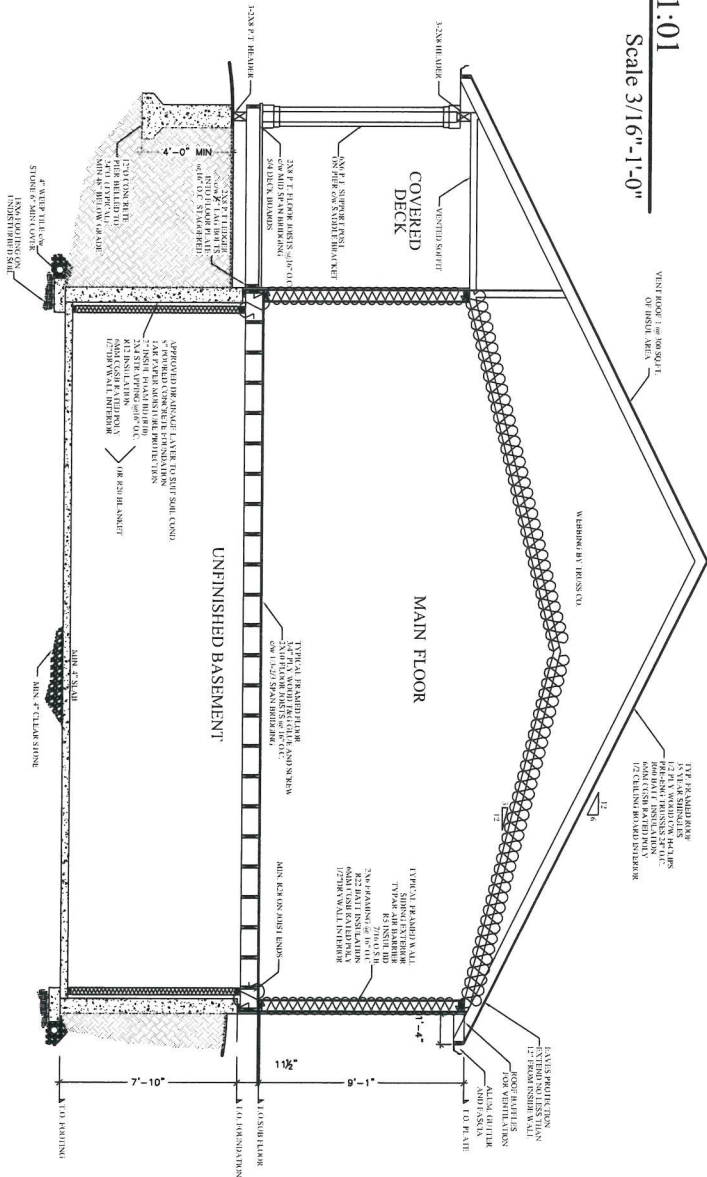
ELEVATION

DRAWN BY: TONY WALL  
DATE: 2008  
SHEET NO. 6 OF 8

A6

SECTION 01.01

Scale 3/16"=1'-0"

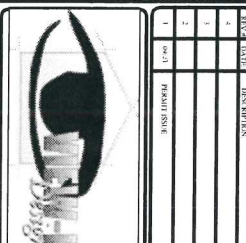


GENERAL NOTES

1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS
2. ALL PARTITIONS SHALL BE AN PRECAST CONCRETE 200 P.S.I.
3. EXTERIOR FINISHES SHALL BE AS SHOWN IN THE SCHEDULE
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1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS  
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9. ALL EXTERIOR FINISHES SHALL BE AS SHOWN IN THE SCHEDULE  
10. ALL INTERIOR FINISHES SHALL BE AS SHOWN IN THE SCHEDULE

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	100	CU YD
2	STEEL	100	LB
3	BRICK	100	1000
4	CEMENT	100	CU YD
5	SAND	100	CU YD
6	GRAVEL	100	CU YD
7	ROOFING	100	CU YD
8	INSULATION	100	CU YD
9	PAINT	100	CU YD
10	GLASS	100	CU YD



VIEW-IT DESIGN  
360 2ND CONCERNION  
LANGTON, ON  
PROPOSED HOUSE PLANS  
SECTION  
DRAWN BY: TONY WALL  
DATE: SEPTEMBER 2023  
SHEET NO: 7048  
A7

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY

THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL DRAWINGS FOR HEATING & AIR CONDITIONING SYSTEM AND HEAT LOSS & GAIN CALCULATIONS AND BALANCING REPORTS AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE AND BE FAMILIAR WITH PART 9 OF THE CODE

## INTERIOR:

USE 200mm (7 7/8")  
UN 255mm (10")  
TREAD 278mm (11")  
NOSING: 25mm (1")

UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS:  
MINIMUM HEADROOM 1950mm (6' 5")  
GUARD HEIGHT AT LANDING: 902mm (35 1/2")  
AT STAIRS BETWEEN: 902mm (35 1/2")  
GUARD SPACING 100mm (4") NON CLIMBABLE  
HANDRAILS INSTALLED BETWEEN 920mm (36")

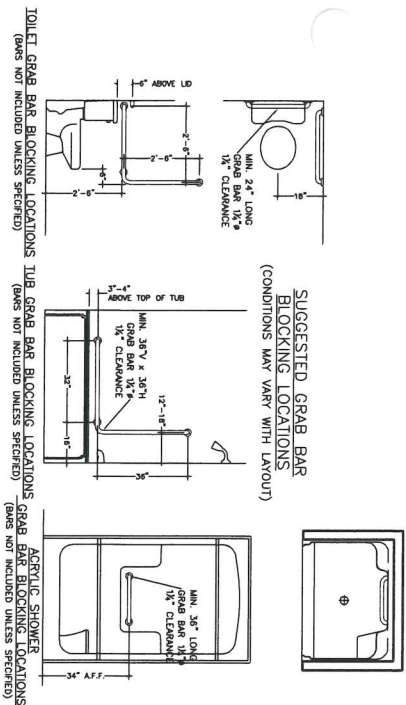
## AS PER OBC SECTION 9.15 &amp; 9.16

ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MIN SOIL BEARING PRESSURE OF 2000 PSF. CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS.

## STEP FOOTINGS

MAX RISE 600mm (23 5/8") FOR FIRM SOIL  
MAX RISE 400mm (16" FOR SAND OR GRAVEL  
MIN RUN BETWEEN RISERS 600mm (23 5/8")  
ANGLE OF DEPOSIT 45°

CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO SUFFICIENT DEPTH TO PROVIDE ADEQUATE FROST PROTECTION.



## AS PER OBC SECTION 9.2.3.

ALL STRUCTURAL LUMBER TO BE SP#2 CONSTRUCTION OR BETTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS SHOWN IN THE SPECIFICATIONS AND THE BUILDING CODE.  
SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-10" MAX ON SPACING WITH 4" MIN JOIST END BEARING TO BE 1/2 MIN.  
BEAMS & GIRDERS SHALL HAVE A 1/2" MIN END BEARING  
BEAMS & POINT LOADS SHALL BE SUPPORTED FULL WIDTH TO FOUNDATION  
ALL NON LOAD BEARING PARTITIONS SHALL BE SUPPORTED BY DOUBLE FLOOR JOIST OR SOLID BLOCKING AT 3'1" O.C.  
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED FROM MOISTURE.

## AS PER OBC SECTION 9.2.4

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH 09C SECTION 9.2.3 INSULATION REQUIREMENTS. INSULATE EXTERIOR WALLS MIN. R60 IN EXPOSED CEILINGS WITH ATTIC SPACE MIN. R30 C/I IN FOUNDATION WALLS ENCLOSED HEATED SPACE.

VAPOUR BARRIERS SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACE OF ANY THERMALLY INSTALLED WALL CEILING & FLOOR ASSEMBLIES AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION. ALL PENETRATION OF THE VAPOUR BARRIER TO BE MADE TO MAINTAIN THE INTEGRITY OF THE BARRIER SYSTEM.

AS PER OBC SECTION 9.7

DOORS TO DWELLING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS  
ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-6.0132-M STEEL INSULATED CONFORM TO CAN/CSG84-2-M  
WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS  
ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7-B RESISTANCE TO FORCED ENTRY  
EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE  
WITHOUT THE USE OF TOOLS, THESE WINDOWS MUST HAVE AN UNOBSTRUCTED OPEN AREA OF 3.8 SQ FT WITH NO DIMENSION LESS THAN 15

## AS PER OBC SECTION 9.32.3.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ. FT. MIN. OF UNOBSTRUCTED VENTILATION FOR EACH 100 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE EAVES. PROVIDE BAPHS AT THE EAVES TO PERMIT FREE UNOBSTRUCTED AIR FLOW. PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF DBC 9.32.2 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.3.4

ALL FLOOR LEVELS SHALL BE EQUIPPED WITH INTERCONNECTED SMOKE DETECTORS (TYPICAL ALL UNITS).

## GENERAL NOTES

- [illegible]

I agree and acknowledge responsibility for this change with out being  
of a firm is required under subsection 2.17 of the OIA  
I am qualified, and the firm is well set, in the appropriate above rating. There

	SQUARE FOOTAGE
DASH TO USE	TWO-SIXTY-ONE
FOLD DOWN DISPOSITION	
#	
3	
7	
906-81 PRODUCT CODE	



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**DINEVSKI RESIDENCE**  
360 2ND CONCESSION  
LANGTON, ON

PROPOSED HOUSE PLAN

NOTES

DRAWN BY: TONY WALL

DATE: SEPTEMBER 2023

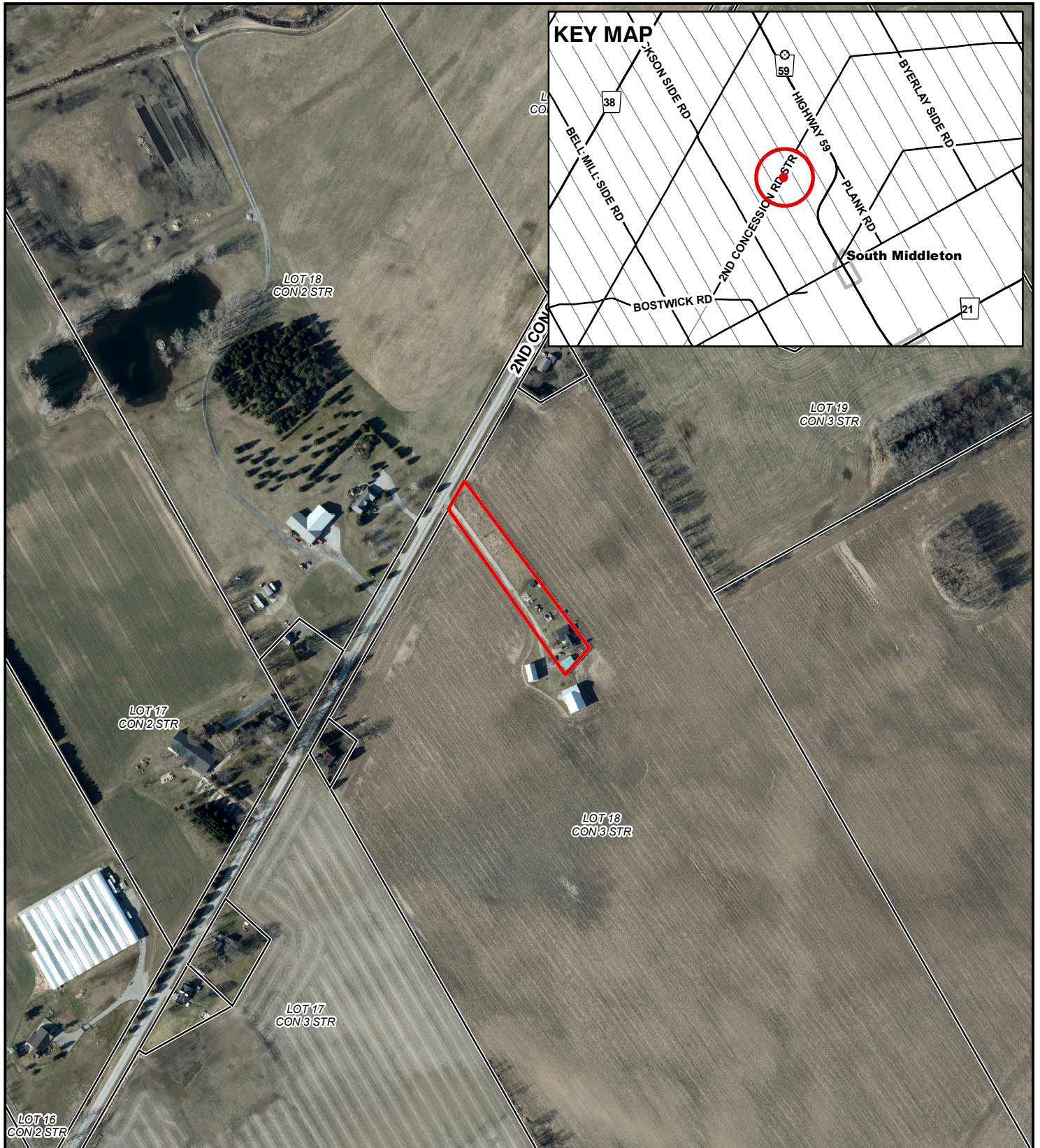
SHEET NO. 8 OF 8

A8




**MAP A**  
**CONTEXT MAP**  
Geographic Township of MIDDLETON

ANPL2023111

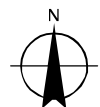


**Legend**

 Subject Lands

2020 Air Photo

5/8/2023

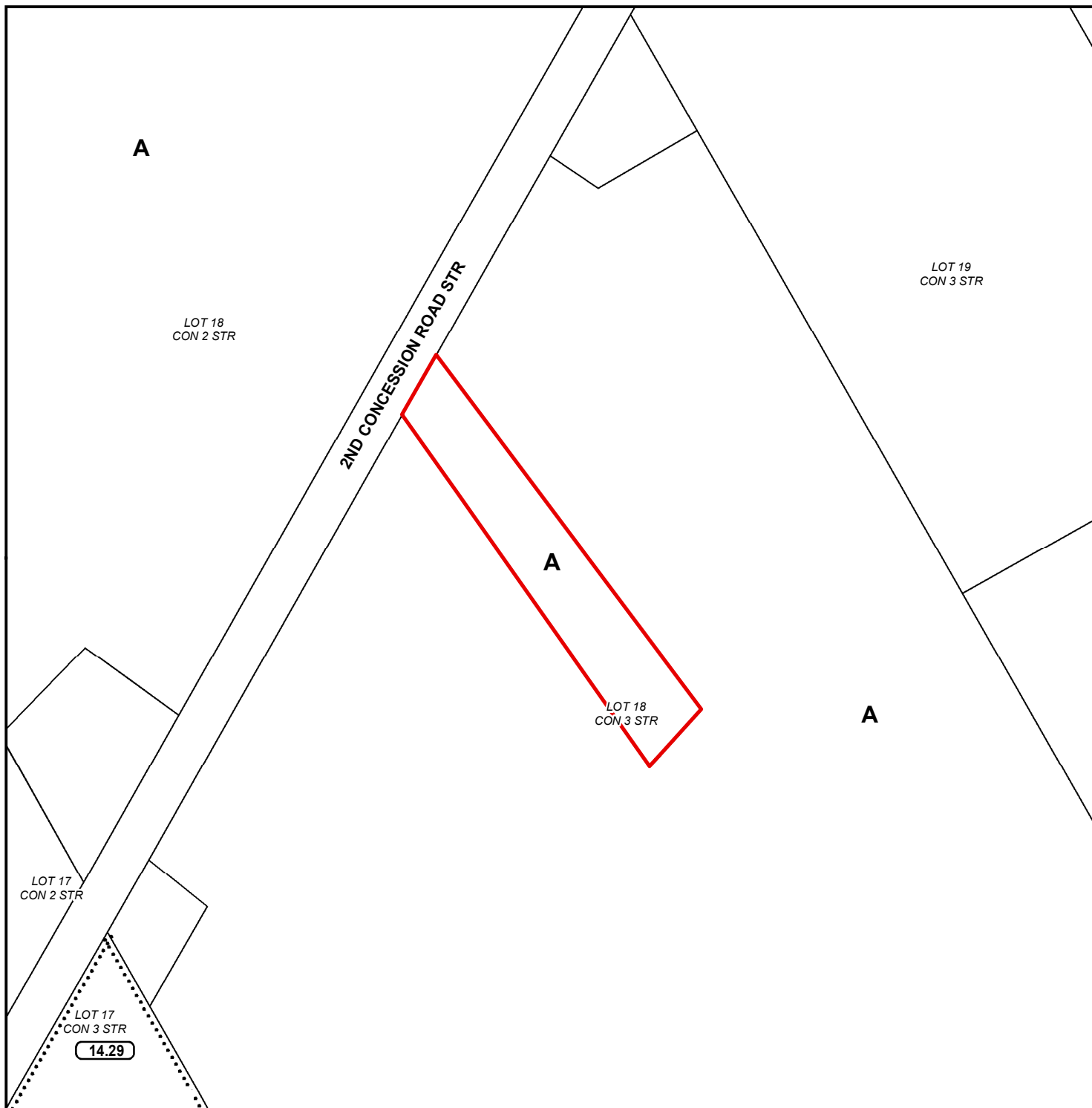


40 20 0 40 80 120 160 Meters



**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of MIDDLETON

ANPL2023111



**LEGEND**

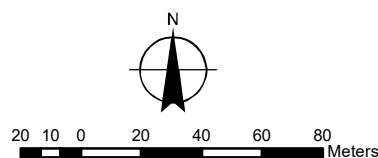
Subject Lands

ZONING BY-LAW 1-Z-2014

5/8/2023

(H) - Holding

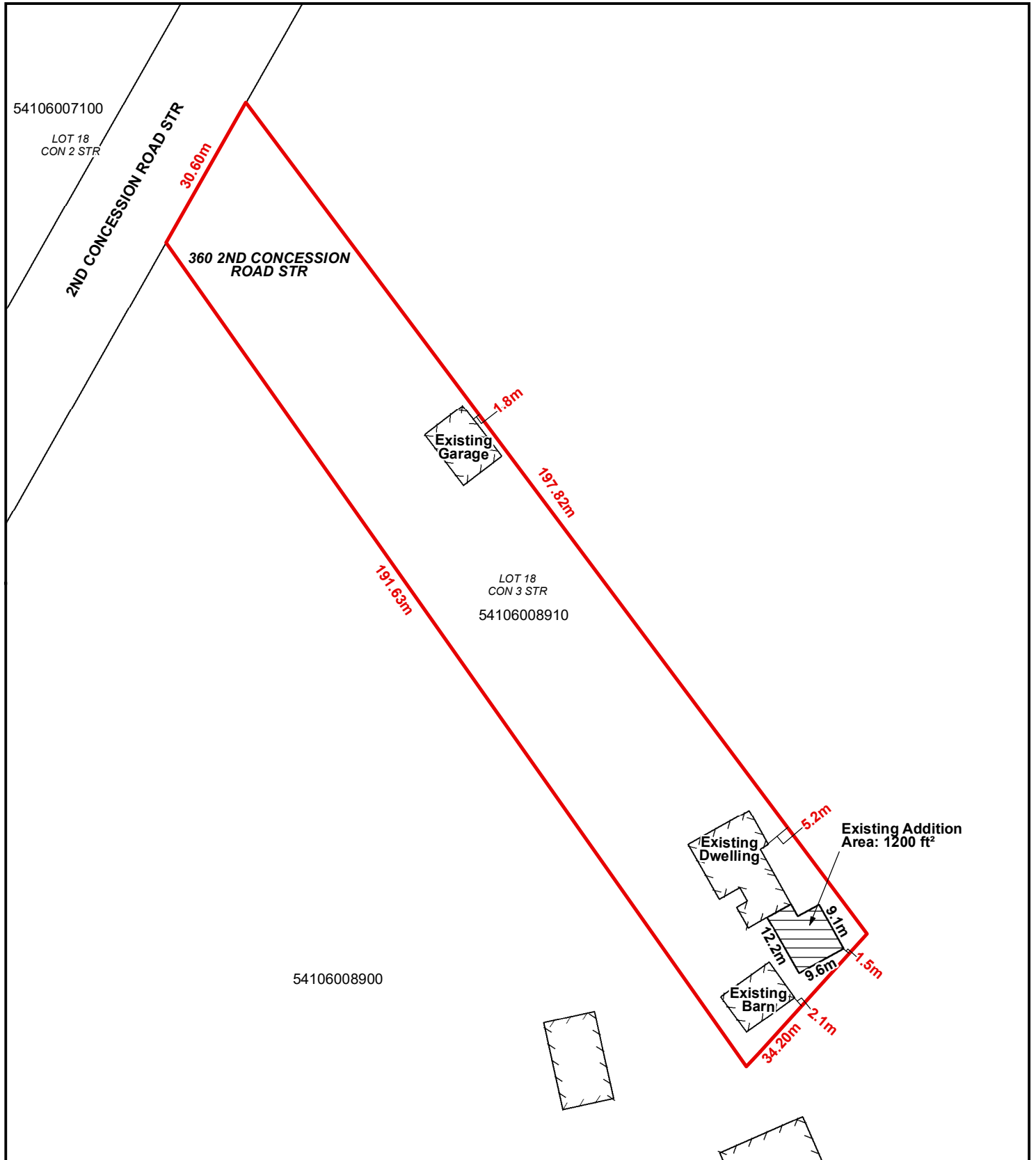
A - Agricultural Zone





# CONCEPTUAL PLAN

Geographic Township of MIDDLETON



## Legend

Subject Lands

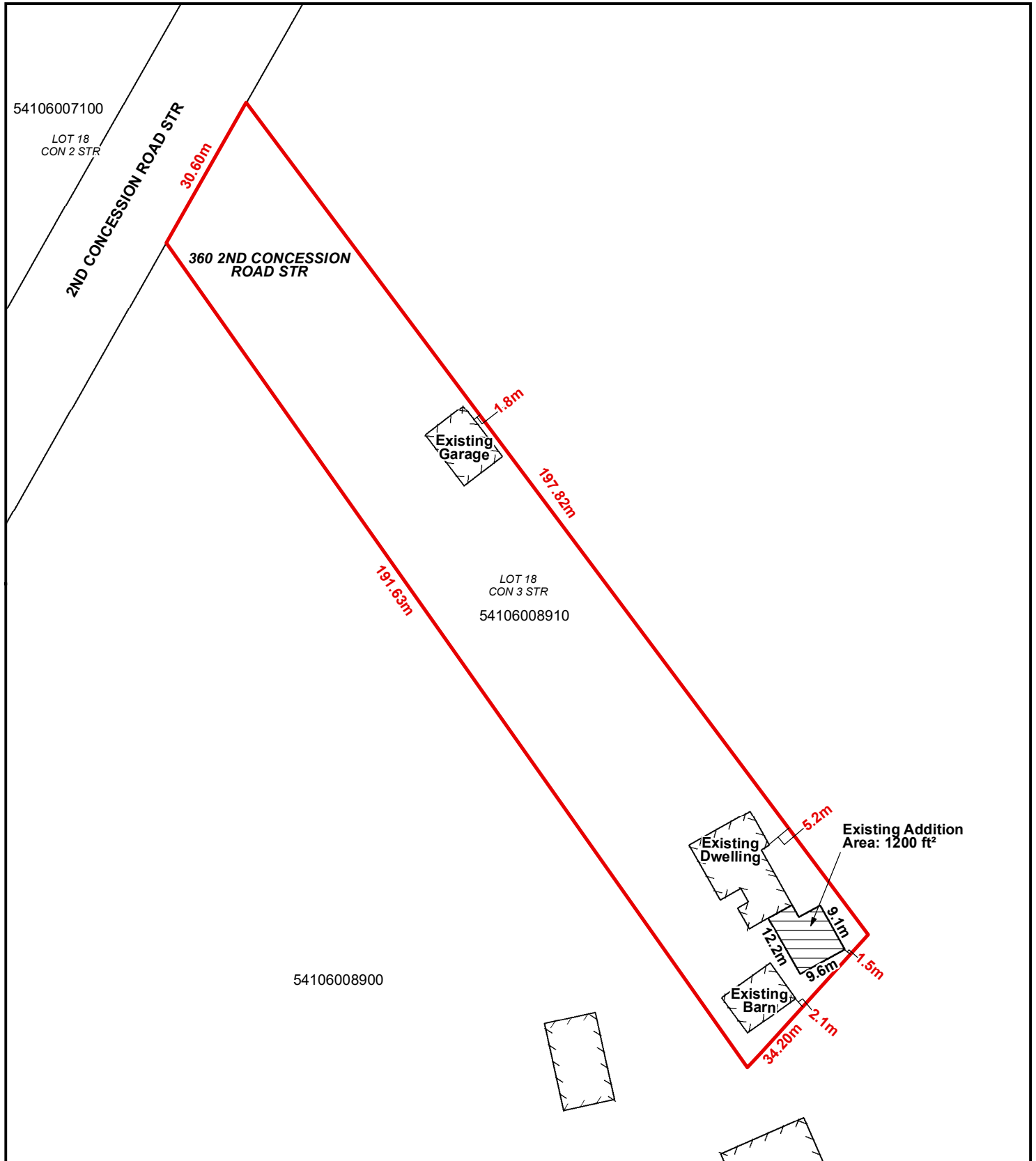
5/8/2023



8 4 0 8 16 24 32 Meters

## CONCEPTUAL PLAN

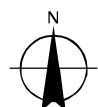
Geographic Township of MIDDLETON



### Legend

Subject Lands

5/8/2023



8 4 0 8 16 24 32 Meters