

For Office Use Only:	ANPL2023130	Application Fee	\$1711.00
File Number	_____	Conservation Authority Fee	N/A
Related File Number	_____	Well & Septic Info Provided	N/A
Pre-consultation Meeting	_____	Planner	Hanne Yager
Application Submitted	Resub. April 4, 2023	Public Notice Sign	-
Complete Application	April 14, 2023		

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 49301050500

A. Applicant Information

Name of Owner Tyler Cook

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1963 Turkey Point Rd

Town and Postal Code Simcoe N3Y 4J9

Phone Number _____

Cell Number 519-427-3056

Email Tylercook139@hotmail.com

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Tyler Cook

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Green Corners CHR CON 9 PT LOT 12

Municipal Civic Address: 1963 Turkey Point Road Simcoe, ON

Present Official Plan Designation(s): Hamlet

Present Zoning: RH

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

I live on the property

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Small 1 car garage that will be removed
and the house I live in is on site

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

1 storey garage/storage building, no
dwelling spaces will be inside

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

1986

9. Existing use of abutting properties:

Residential, scrap yard across the road

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	34.6m				
Lot depth	170.3m				
Lot width	34.6m				
Lot area	(5892.38m ²) 1.18 acres				
Lot coverage		10% 589.23m ²	3.2.1(g)	222.99m ²	
Front yard		1.2m	3.2.1(d)	44m	
Rear yard		1.2m	3.2.1(e)	52m	
Height		6m	3.2.1(a)	5.86m	
Left Interior side yard		1.2m	3.2.1(d)	28m	
Right Interior side yard		1.2m	3.2.1(d)	1.8m	
Exterior side yard (corner lot)					
Parking Spaces (number)	3			4	
Aisle width					
Stall size					
Loading Spaces					
Other UFA		100m ²	3.2.1(g)	213.79m ²	113.79m ²

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

wanting to build building with larger
LFA then permitted

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

Scrap yard across the road

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance 120 m

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☒ Individual wells

☐ Communal wells

☐ Other (describe below)

Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Attached is a certified site drainage plan
with shop location shown roughly

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

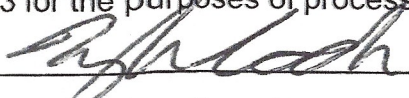
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature

December 19/22

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Tyler Cook of 1963 Turkey Point Rd

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

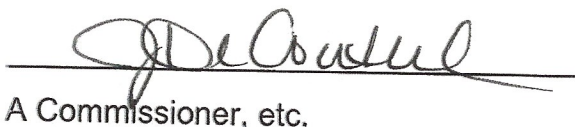
The Town of Simcoe


Owner/Applicant/Agent Signature

In Norfolk County

This 22nd day of December

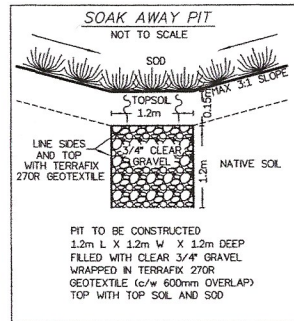
A.D., 20 22


A Commissioner, etc.

Joelle Denine DeCoutere, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires September 2, 2024.

NOTES

- (1) - PRIOR DIMENSIONS SHOWN ON REGISTERED PLAN 37R-9703
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (176.50) AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - THE UNDERSIDE OF FOOTING ELEVATIONS IS BASED ON A 6" WALL AND 6 & 1/2" FOOTING (1.98m) TO BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ALL EAVESTROUGHS ARE TO OUTLET AT REAR OF BUILDING
- (11) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, NAD83 (GCRS) HTV2.0 (2010)
- (12) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 23rd DAY OF FEBRUARY, 2023



PROPOSED LOT GRADING AND DRAINAGE SITE PLAN FOR: TYLER COOK 1963 TURKEY POINT ROAD SIMCOE

PIN: 50193 - 0165 (LT)

SCALE 1 : 300

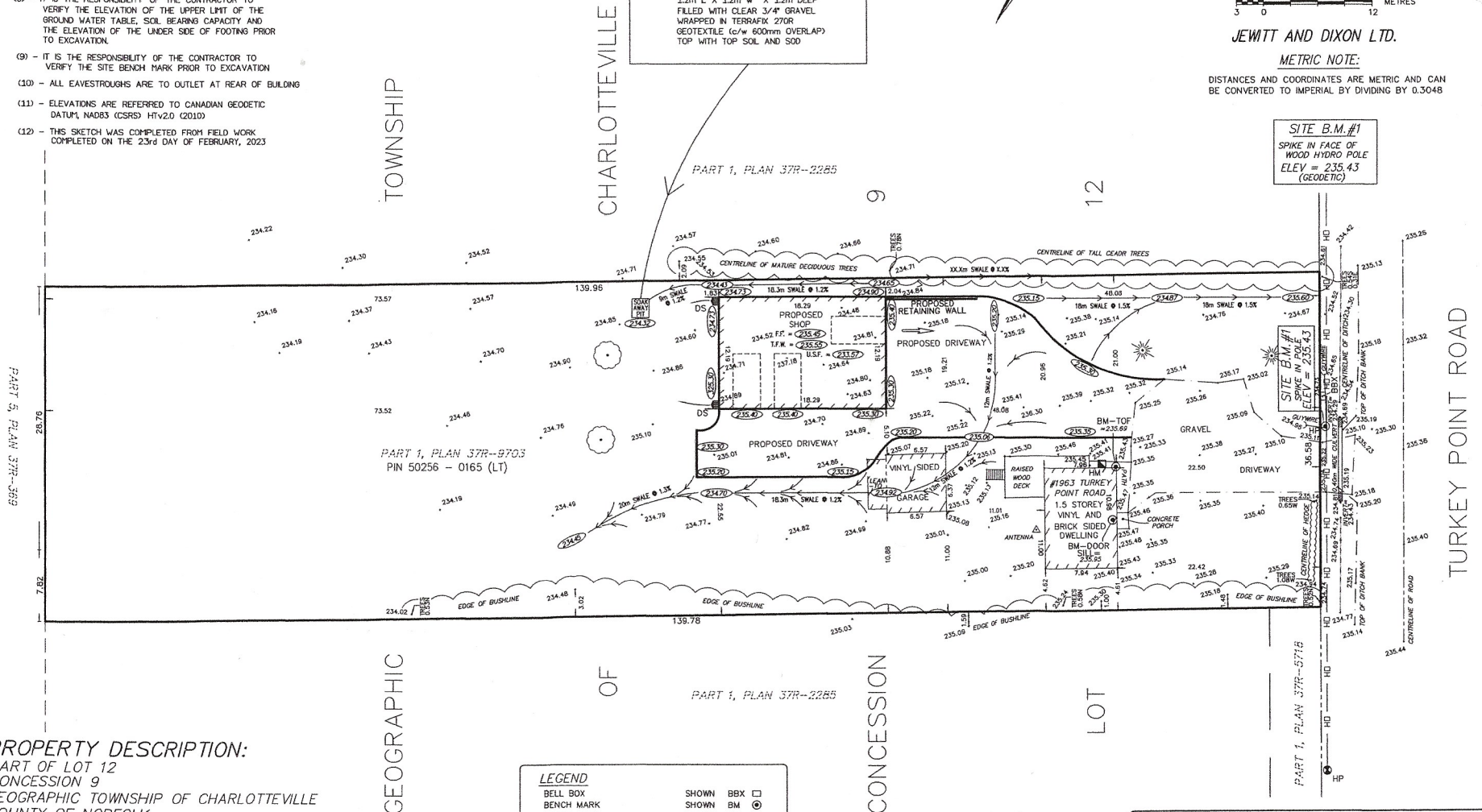
3 0 12 METRES

JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

SITE B.M.#1
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 235.43
(GEODETIC)



PROPERTY DESCRIPTION:

PART OF LOT 12
CONCESSION 9
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE
COUNTY OF NORFOLK

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

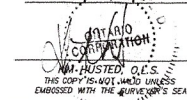
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LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
DOWN SPOUT	SHOWN	DS	⬇
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
HYDRO POLE	SHOWN	HP	—
HYDRO METER	SHOWN	HM	—
CANIFEROUS TREE	SHOWN	—	—
DECIDUOUS TREE	SHOWN	—	—

MARCH 31, 2023



JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

51 PARK ROAD, SIMCOE, ONTARIO, N3Y 4J9
PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

F.W.	- J.M.R.
CALC.	- J.M.R.
PLAN	- M.T.C.
CHECK	- K.H.
CLIENT	- COOK
21-3658-TOPO	



The Corporation of Norfolk County

By-Law 2017-04

Lot Grading and Drainage

THIS FORM IS TO BE SUBMITTED WITH EVERY LOT GRADING PLAN

Municipal Address: 1963 Turkey Point Road, Simcoe

And/or

PIN: 50193-0165

SELECT THE **ONE** PURPOSE FOR SUBMITTING THIS FORM:

☒ Proposed Grading Plan for Infill Lot:

I, Kim Husted O.C.S., a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan provides drainage in accordance with the Ontario Building Code and applicable Municipal regulations for the works to be constructed that are the subject of the Building Permit Application to which this is attached.

☐ Proposed Grading Plan within a Plan of Subdivision:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Master Grading Plan in the Plan of Subdivision Master Grading Plan, registered as:

_____(common name of the Plan of Subdivision and Registration Number).

IN ANY INSTANCE ABOVE NOTING "UNDER MY SEAL", AFFIX SEAL
BELOW:

March 10 / 2023



SEAL (Qualified Person)

(Sign and date over the seal)

Name: Kim S. Husted, O.L.S.

License Number: 1582

This form approved by the County Official under delegated authority under Norfolk County By-Law 2016-04



1. CONTENT OF THESE DRAWINGS DOES NOT RELEASE THE CONTRACTOR FROM ERRORS ON CONDITIONS ON HIS PART IN COMPLIANCE WITH NATIONAL AND LOCAL BUILDING CODES, REGULATIONS AND AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL DETERMINE FOR HIMSELF ALL RISKS, LEVELS, AND DIMENSIONS OF ERECTION AND/OR DISTINGUISHMENTS.

2. IF SCALE OR DIMENSIONS NOTED WITH "N.T.S." INDICATES THE SIZE OR LOCATION OF THE ELEMENTS AS SHOWN MAY NOT REFLECT THE ACTUAL SIZE OR LOCATION TO BE CONSTRUCTED.

3. IF SCALE OR DIMENSIONS ARE SHOWN ARE NOMINAL, EXACT R.I.S.D. AND CONCRETE FINISHES ARE FOR MANUFACTURER. INITIAL AS FOR MANUFACTURER RECOMMENDED INSTRUCTIONS. DIMENSIONS OF REINFORCING BARS ARE NOMINAL. CONTRACTOR SHALL NOT REFLECT BUILDING ELEVATIONS IN RELATION TO SITE TERMINUS OR FINISH GRADE.

4. FOUNDATIONS ARE ACTIVE TO THE LINE AS COMPLETED AS NOTED AND INDICATED.

5. CONTRACTOR SHALL DETERMINE SLAB, STAIRS, AND CONCRETE FINISHES AND FLOORING MATERIAL, STEPS IN RELATION TO SITE CONDITIONS.

6. CONTRACTOR SHALL PROVIDE ALL MATERIALS, FINISHES, FIXTURES AND EQUIPMENT. LOCATIONS OF THE SAME (IF SHOWN) SHALL BE VERIFIED PRIOR TO APPLICATION.

7. CONTRACTOR SHALL DETERMINE LOCATION OF CABINETS, VANITIES, AND COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

1. ALL EXCAVATION TO O.B.C. 9.12.

1. PLACEMENT OF FOOTINGS SUSPECTED TO BE LESS THAN A 24" ABOVE HIGH WATER TABLE, TO NOT REDUCE SIZE OF FOUNDATION AS SHOWN.
2. ALL FOOTINGS TO BE FOUNDED ON UNDISTURBED SOIL, HAVING A MINIMUM BEARING CAPACITY OF 2000 P.S.F..
3. ALL FOOTINGS TO BE POURED CONCRETE
4. SEE WALL SECTION FOR REINFORCING DETAILS.
5. CONTRACTOR TO DETERMINE FOR HIMSELF HEIGHT AND LOCATION OF FOUNDATION WALL STEPS IN CONJUNCTION WITH SITE GRADING PLAN AND ELEVATIONS.
6. CONSULT SITE GRADING FOR DEPTHS OF WALK-OUT FOOTINGS
7. TRUSS LAYOUT INCLUDING POINT LOAD LOCATIONS TO BE CONFIRMED PRIOR TO INSTALLATION OF FOUNDATIONS.

1. ALL CONCRETE TO D.B.C. 9.3. AND 9.16.4.
2. FOOTINGS, FOUNDATION WALLS, AND PIERS;
15MPa (2200 p.s.i.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE,
4" MAXIMUM SLUMP.
3. FLOORS ON GROUND;
25 MPa (3600 p.s.i.) @ 28" DAYS, 3/4" MAXIMUM AGGREGATE
4" MAXIMUM SLUMP.
4. GARAGE, CARPORT FLOORS, AND EXTERIOR FLATWORK;
32 MPa (4650 p.s.i.) @ 28 DAYS, 3/4" MAXIMUM AGGREGATE,
4" MAXIMUM SLUMP, 5-8% AIR ENTRAPMENT.

1. CONTRACTOR TO CONFIRM OVERHANG AND RAISED HEEL HEIGHT PRIOR TO TRUSS FABRICATION.
2. TRUSSES TO BE OF RAISED HEEL DESIGN. HEEL HEIGHT TO BE MEASURED FROM TOP OF WALL PLATE OR BEAM TO POINT WHERE OUTSIDE FACE OF STUD WALL INTERSECT TOP PLANE OF TRUSS TOP CHORD.
3. GABLE TRUSS SHALL BE REQUIRED OVER ALL END WALLS OF GABLE ROOFS.

1. FOR WINDOW INSTALLATION HEIGHTS SEE ELEVATIONS.
2. JOIST MATERIAL: - S.P.F. (SPRUCE, PINE, FIR) No. 1 and No. 2.
3. CONTRACTOR SHALL REVIEW FOR HIMSELF ALL PREFABRICATED STRUCTURAL COMPONENTS - ENGINEERS REPORTS & SHOP DRAWINGS, AND FURNISH THE SAME FOR BUILDING INSPECTORS REVIEW.
4. INSTALL FULL BEARING WOOD STUD POSTS BELOW ALL GIRDER TRUSSES.
5. CARRY ALL POINT LOADS TO FOUNDATION.
6. SEE ROOF PLAN, BUILDING & WALL SECTIONS FOR TRUSS DETAILS AND NOTES.

S.D.	- SMOKE DETECTOR.	F.L.	- FLOOR LINE
C.D.	- CASHION WINDOW DETECTOR	S.P.F.	- SPRUCE, PINE, FIR
C.H.	- COLLING HEIGHT.	S.L.	- SELECT STRUCTURAL
F.D.	- FLOOR DRAIN	L.V.L.	- LAMINATED VENEER LUMBER
B.U.B.	- BUILD-UP BEAM.	G.L.T.	- GLUE LAMINATED TIMBER
B.U.C.	- BUILD-UP COLUMN.	P.T.	- PRESSURE TREATED
S.P.	- STUD PILING	C.W.	- CEILING WOOD
P.L.	- POINT LOAD.	W.W.F.	- WELDED W.W. FABRIC
F.M.	- FLUSH MOUNTED MEMBER.	G.	- GAUGE
U.S.	- UNDERSIDE.	I.S.	- INSULATED STEEL DOOR
T/	- TOP OF MEMBER.	F.D.	- FRENCH DOOR
U.S.W.	- UNDER SIDE WALL	T.P.	- TRENCH POCKET DOOR
C.J.	- CONTROL JOINT (SAW CUT)	S.D.	- SLIDING PATIO DOOR
E.J.	- EXPANSION JOINT (RP BOARD)		

1. HEATING, AIR CONDITIONING, VENTILATION AND ELECTRICAL DESIGN BY OTHERS.
2. ALL ELECTRICAL AND FUEL BURNING APPLIANCES TO BE INSTALLED AS PER APPLICABLE CODES, AND MANUFACTURERS SPECIFICATIONS.
3. H/VAC AND ELECTRICAL DESIGN BY OTHERS.
4. SMOKE ALARMS TO MEET THE REQUIREMENTS OF O.B.C. 9.10.17.
5. LIGHTING OF ENTRANCES AND INTERIOR SPACES TO O.B.C. 9.34.2

1. WORK THIS DRAWING WITH ALL OTHER ARCHITECTURAL DRAWINGS.

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW.	12/13/22
0	ISSUED FOR CONSTRUCTION.	

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PRODUCED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION		
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED		\$22

QUALIFICATION INFORMATION SCOTT GILES	218
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SCOTT GILES
BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0E 1Y0
519-443-7950

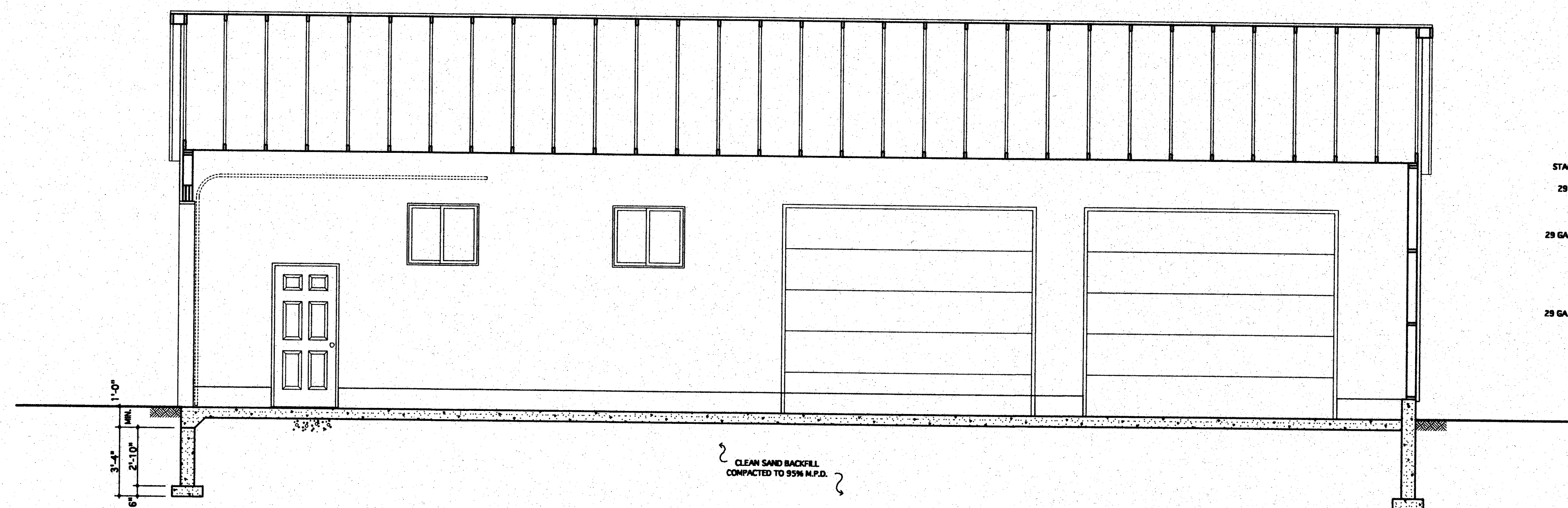
PROJECT

PROPOSED ACCESSORY BUILDING
FOR
Tyler Cook

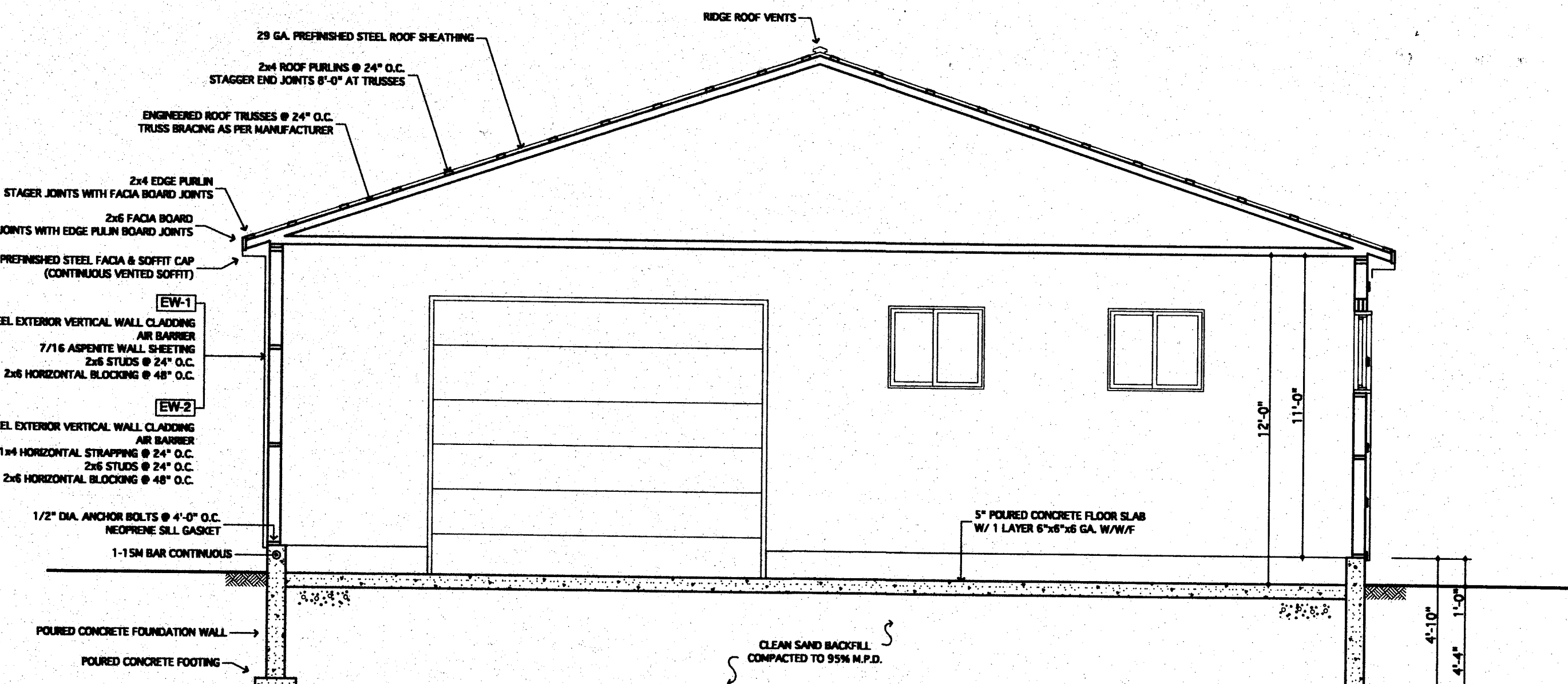
1963 TURKEY POINT ROAD, SINCOTE, COUNTY OF NORFOLK.

DESIGNED	S. GILES
DRAWN	S. GILES

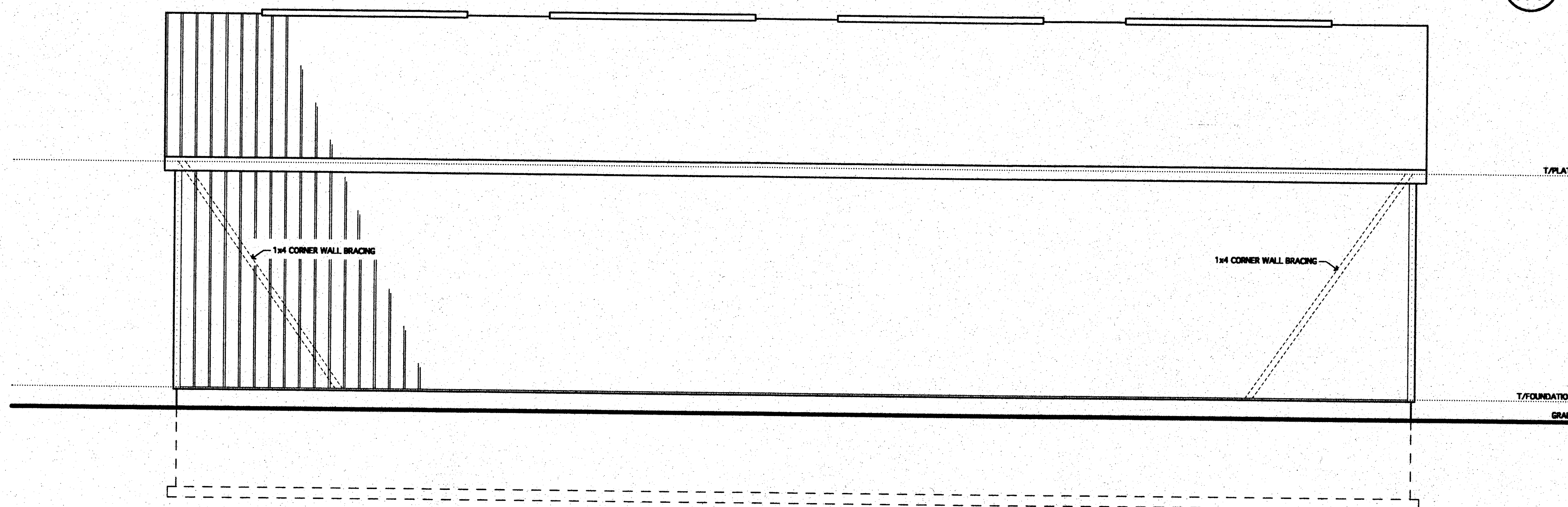
SCALE	1/4" = 1'-0"
DATE	12/08/22



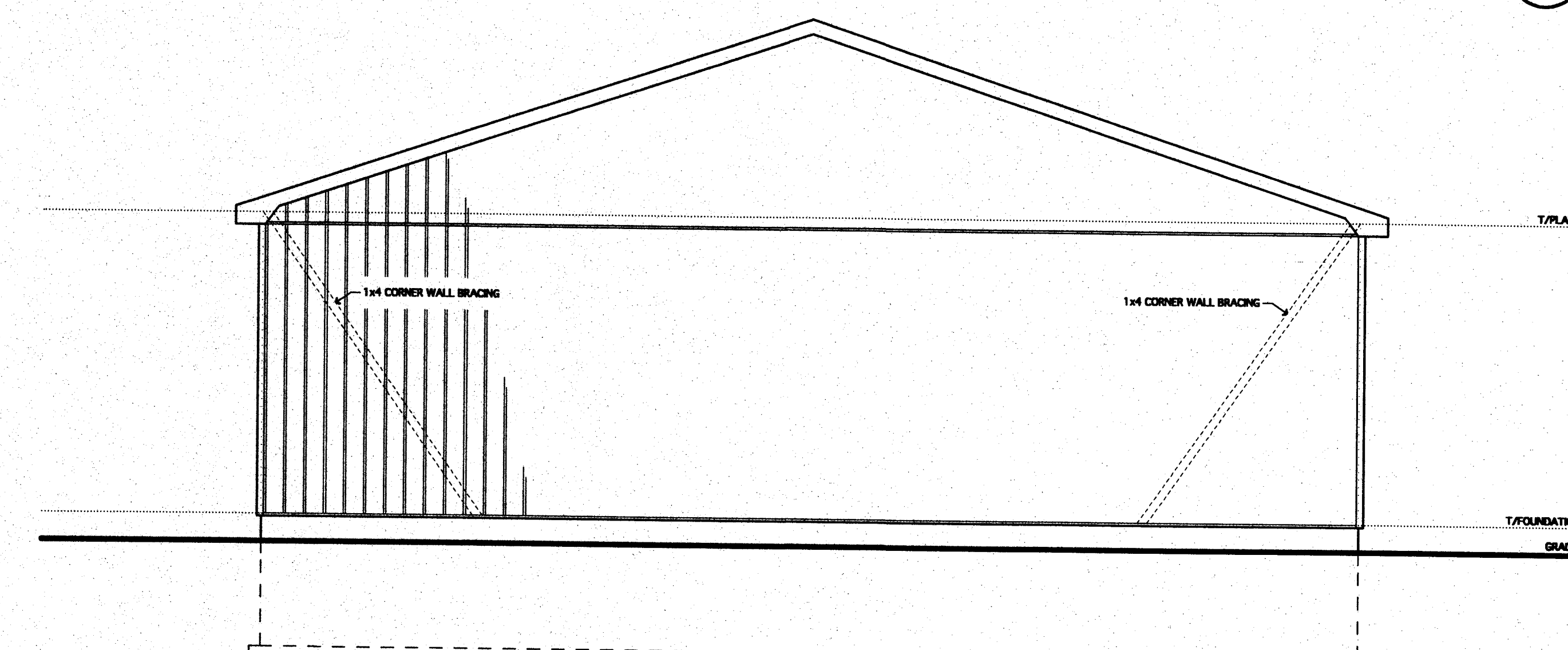
BUILDING SECTION
BB
A1



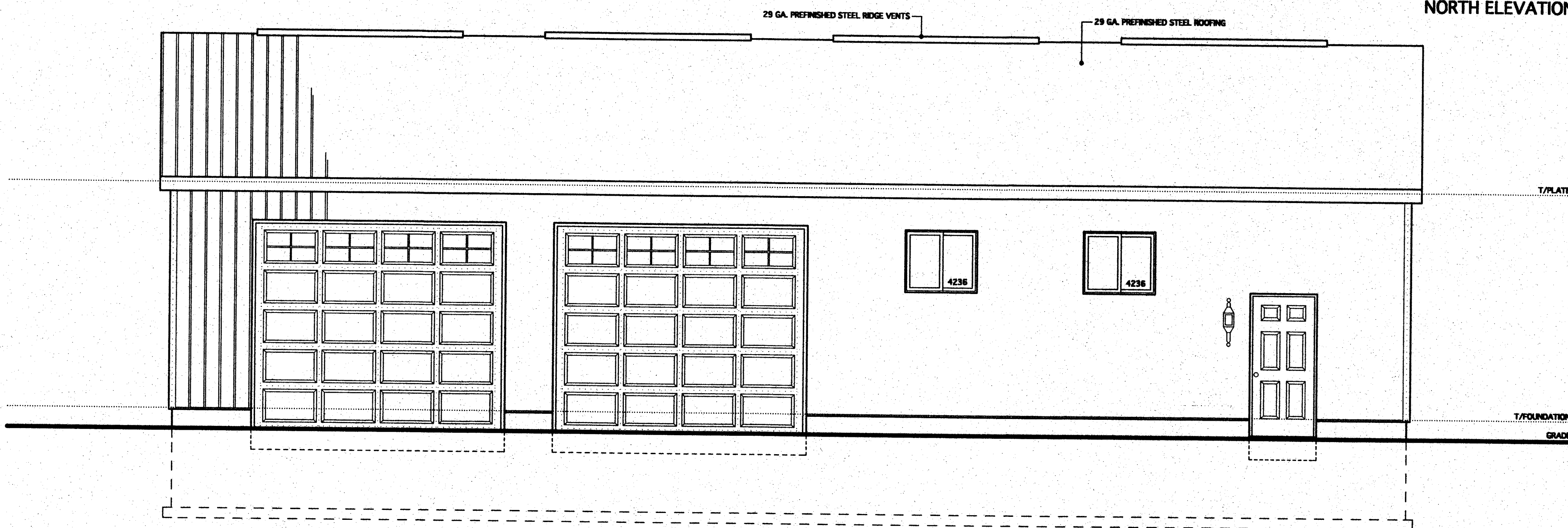
BUILDING SECTION
AA
A1



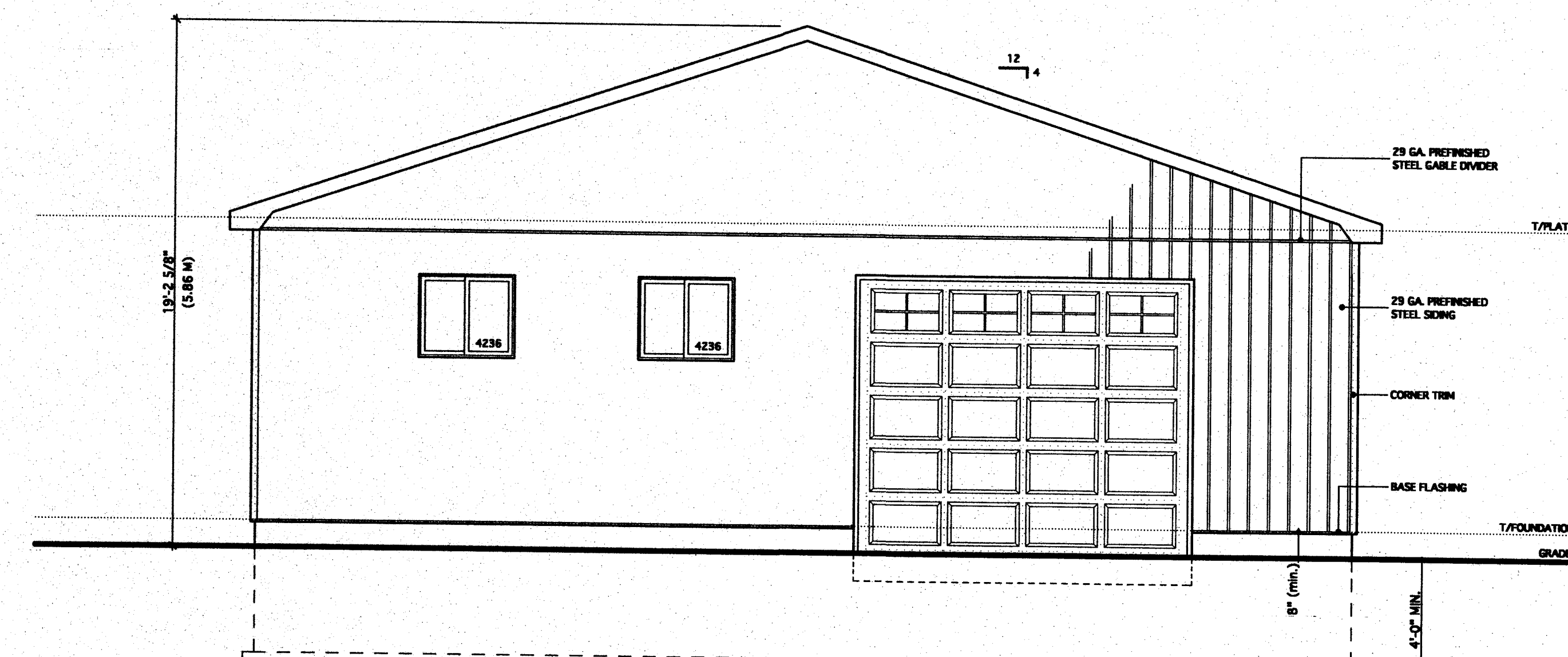
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

*** NOT FOR CONSTRUCTION ***

THESE DRAWINGS ARE THE PROPERTY OF
SCOTT GILES BUILDING TECHNOLOGIES INC. AND HAVE BEEN PRODUCED
SOLELY TO AND FOR THE CONSTRUCTION OF THE STRUCTURE OF TITLE.
ANY OTHER USE IS PROHIBITED WITHOUT WRITTEN CONSENT.

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	12/13/22
B	ISSUED FOR CONSTRUCTION	

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE
QUALIFICATIONS AND METS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO
DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED 32253
NAME RCN

QUALIFICATION INFORMATION
SCOTT GILES 21608
NAME SIGNATURE RCN

SCOTT GILES
BUILDING TECHNOLOGIES INCORPORATED
DESIGNERS OF FINE HOMES
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0E 1Y0
519-443-7950

PROJECT PROPOSED ACCESSORY BUILDING
FOR
Tyler Cook
1963 TURKEY POINT ROAD, SIMCOE, COUNTY OF NORFOLK

DESIGNED S. GILES SCALE 1/4" = 1'-0"
DRAWN S. GILES DATE 12/08/22

A
REVISION


A2
DRAWING

MAP A
CONTEXT MAP
Geographic Township of CHARLOTTEVILLE

ANPL2023130

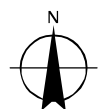


Legend

 Subject Lands

2020 Air Photo

5/3/2023



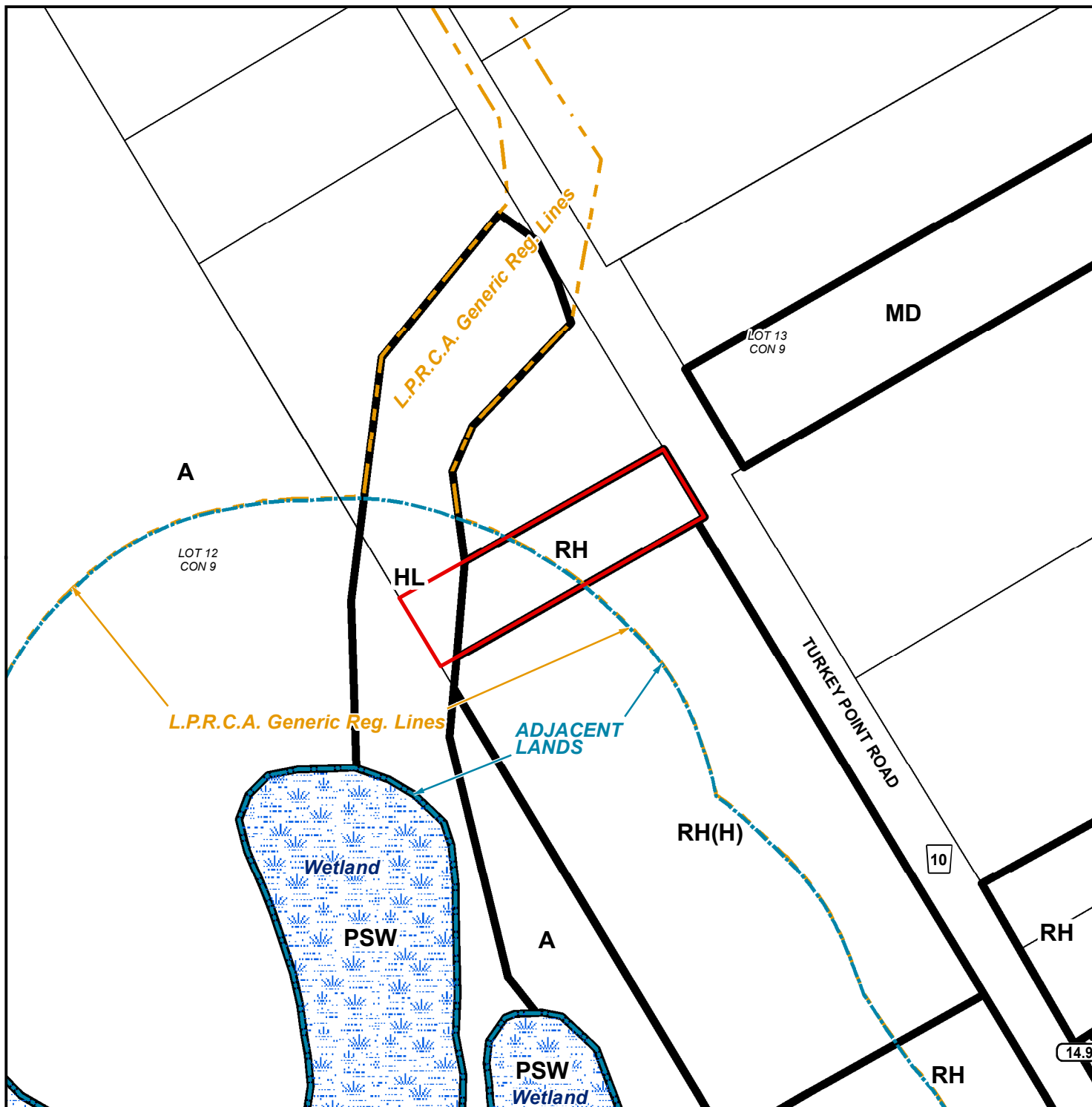
40 20 0 40 80 120 160 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2023130



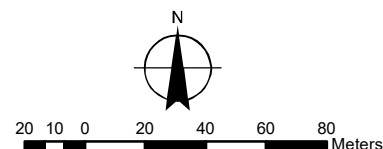
LEGEND

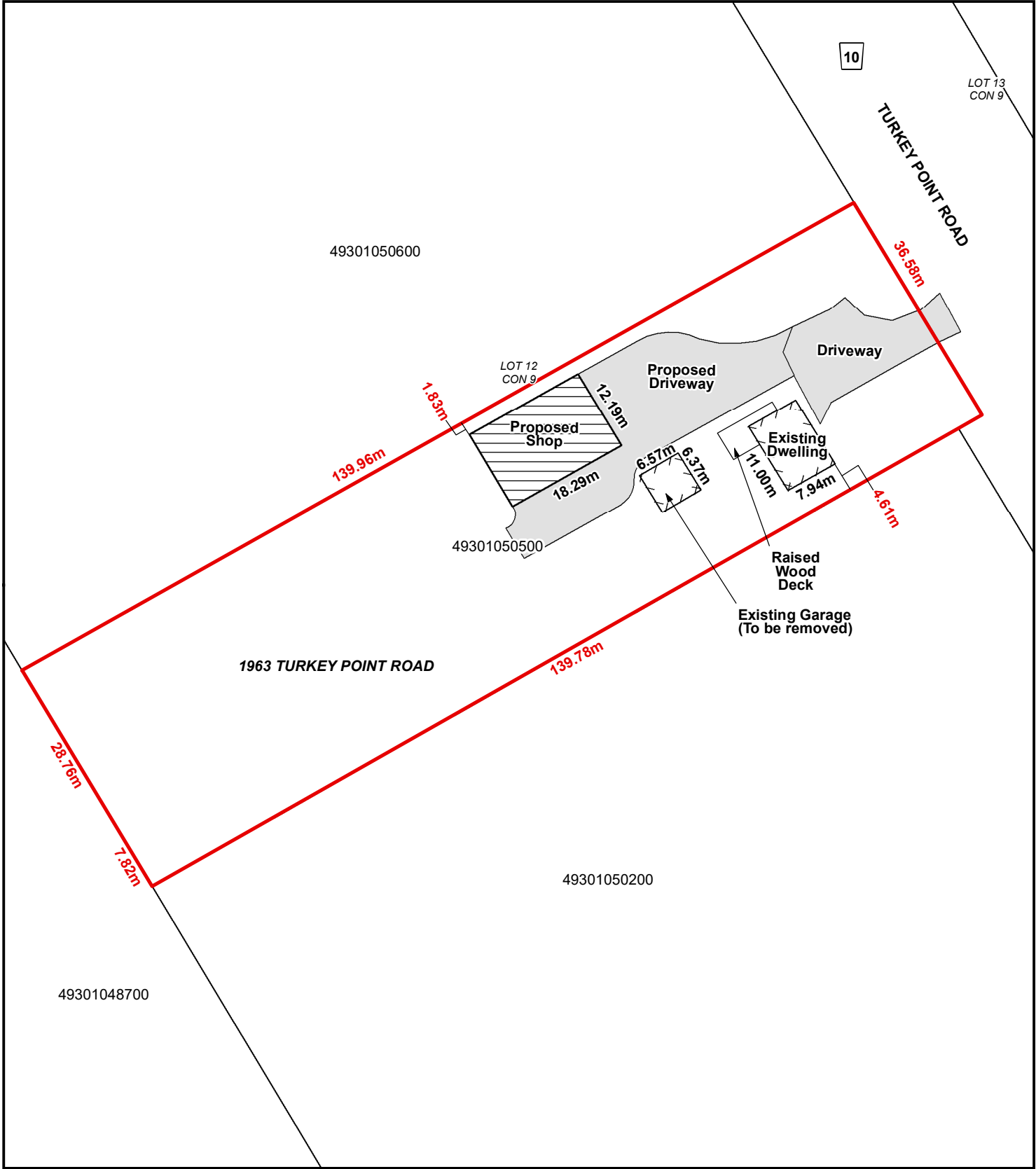
- Subject Lands
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

5/3/2023

- (H) - Holding
- A - Agricultural Zone
- MD - Disposal Industrial Zone
- RH - Hamlet Residential Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone



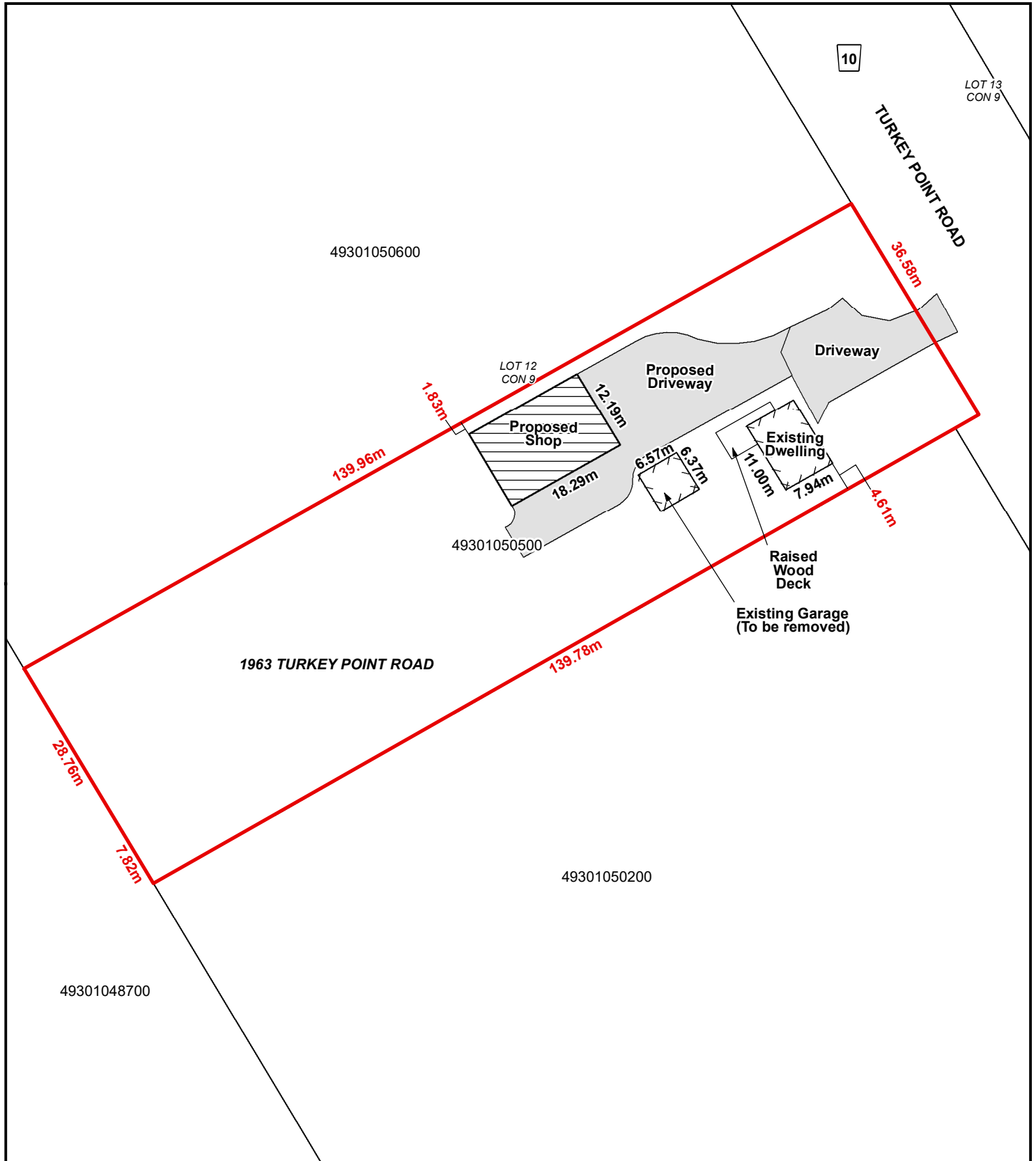


LOCATION OF LANDS AFFECTED


ANPL2023130

CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

5/3/2023

