

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

---

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** \_\_\_\_\_**A. Applicant Information****Name of Owner** \_\_\_\_\_

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Applicant** \_\_\_\_\_

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Agent**

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

---

---

---

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

---

---

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

---

---

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

---

---

8. If known, the length of time the existing uses have continued on the subject lands:

---

9. Existing use of abutting properties:

---

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

---

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot <b>TOTAL</b> coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
USEABLE FLOOR AREA TOTAL (ACCESSORY)					
COVERED CAR PORT (ACCESSORY COVERAGE)					
USEABLE FLOOR AREA BOAT HOUSE					
Stall size					
Loading Spaces					
Accessory Other coverage					

**NOTE: Front, rear, interior yard setback values are for boat house only**



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

---

---

---

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

---

---

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

---

---

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

---

---

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

---

---

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells         |
| <input type="checkbox"/> Individual wells      | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal sewers                               | <input type="checkbox"/> Communal system        |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |   |                                       |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers           | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |                                       |
- 

2. Existing or proposed access to subject lands:

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road  | <input type="checkbox"/> Other (describe below) |

Name of road/street:

---

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

---

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

---

---

---

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

---

Owner/Applicant/Agent Signature

---

Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

---

Owner

---

Date

---

Owner

---

Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



**K. Declaration**

I, \_\_\_\_\_ of \_\_\_\_\_

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

\_\_\_\_\_

\_\_\_\_\_

Owner/Applicant/Agent Signature

In \_\_\_\_\_

This \_\_\_\_\_ day of \_\_\_\_\_

A.D., 20\_\_\_\_

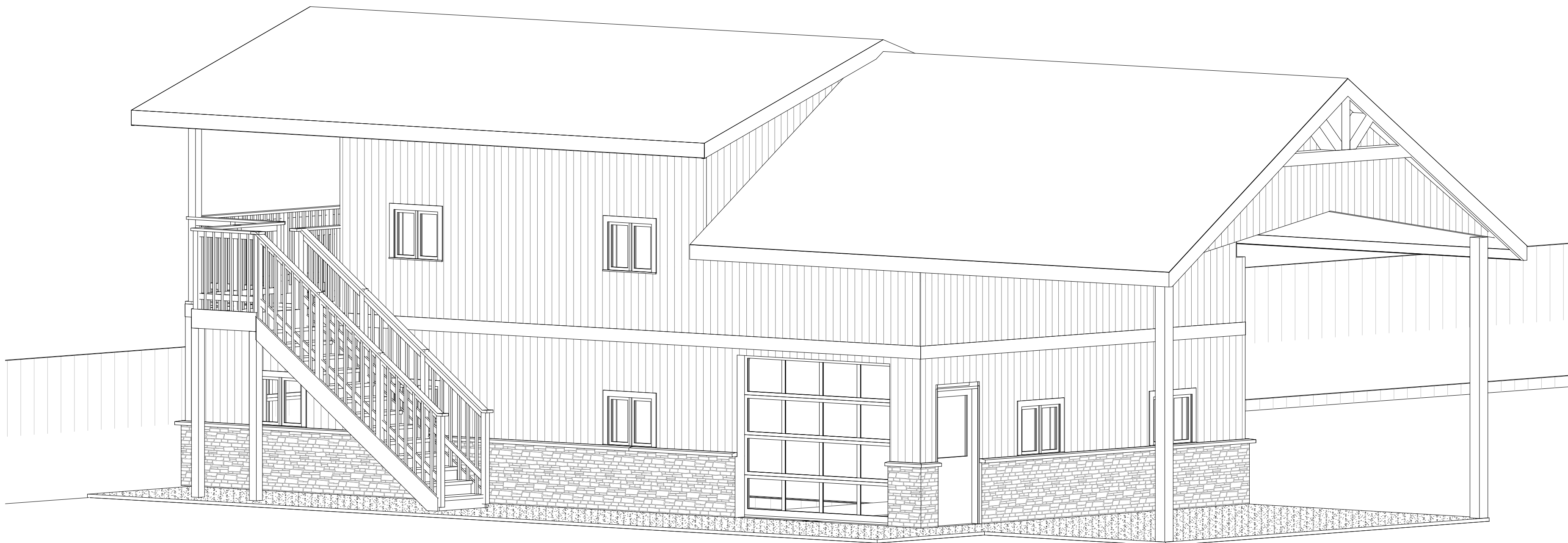
\_\_\_\_\_

A Commissioner, etc.

DRAWINGS PROVIDED FOR

# ACCESSORY BOAT HOUSE

32 CLUBHOUSE ROAD, TURKEY POINT, ON



NOTES:

THIS DRAWING SET IS TO BE READ  
IN CONJUNCTION WITH  
SPECIFICATION PACKAGE

1	2023-03-22	ISSUED FOR SPA
NO.	DATE:	DESCRIPTION:

[illegible]


PROJECT  
NORTH

TRUE  
NORTH

PROFESSIONAL ENGINEER'S SEAL



SHAKESPEARE, ONTARIO, CANADA  
PH: (519)-625-8025  
FX: (519)-625-8966

CONTRACTOR TO CHECK ALL DIMENSIONS  
AND ELEVATIONS AND REPORT ANY  
DISCREPANCIES TO THE ENGINEER BEFORE  
PROCEEDING WITH THE WORK

DO NOT SCALE THE DRAWINGS

CLIENT:

QUIST CONTRACTING INC.

LOCATION:

32 CLUBHOUSE ROAD, TURKEY POINT, ON

PROJECT TYPE:

PROJECT TITLE:  
ACCESSORY BOAT HOUSE

PROJECT STATUS AND VERSION:
-----------------------------

CONSTRUCTION DRAWINGS

DRAWN BY:

DB

<p>PAGE DESCRIPTION:</p>	
--------------------------	--

TITLE PAGE

SCALE:

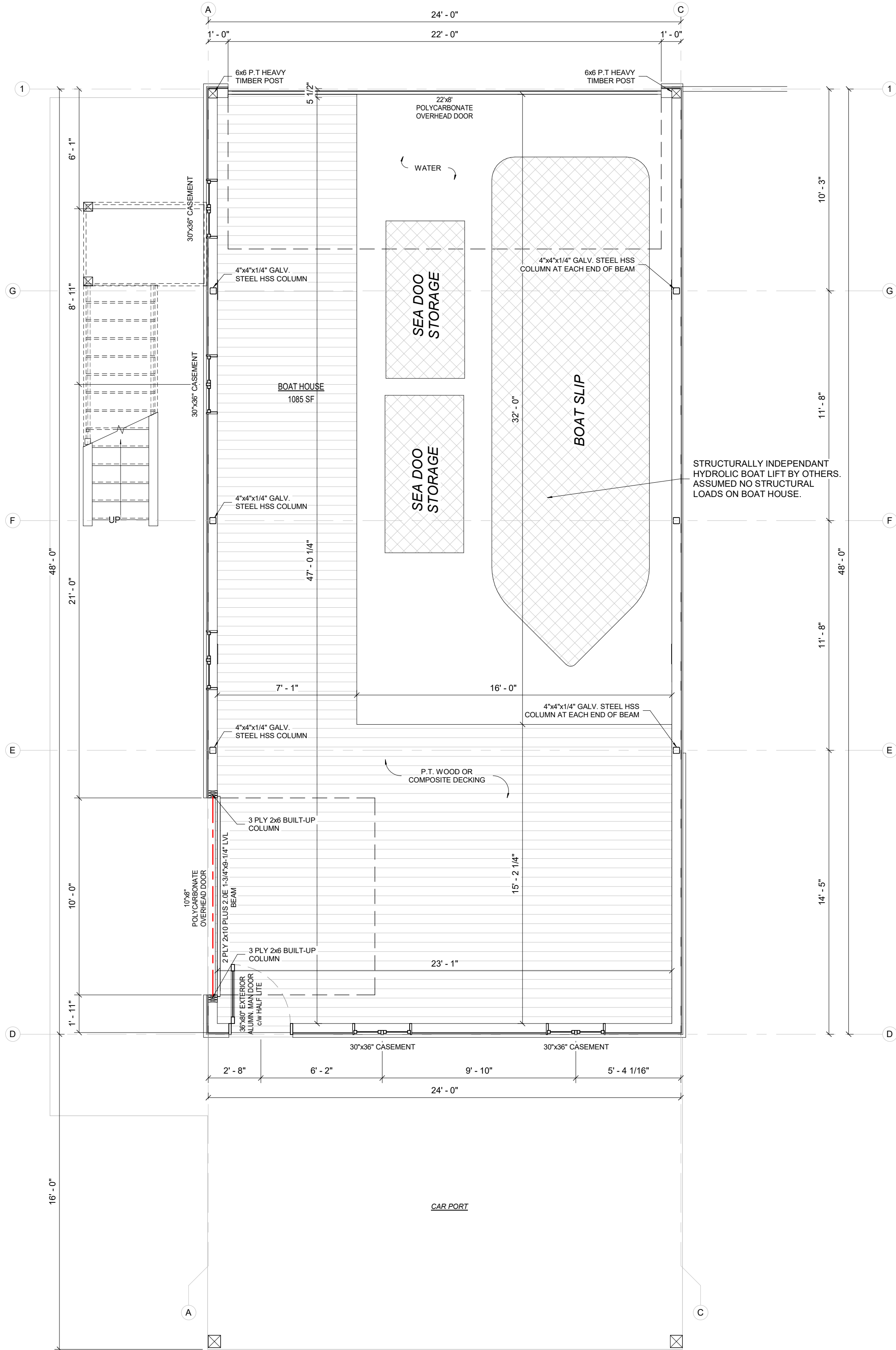
AS NOTED

FILE:

8136-1

PAGE NUMBER:

A0.0



**GENERAL NOTES:**

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT ALL CONSTRUCTION TO MEET OR EXCEED ONTARIO BUILDING CODE (OBC) REQUIREMENTS.

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO STONECREST ENGINEERING.

ANY SUBSTITUTIONS OR CHANGES TO THE PLANS SHOULD BE REVIEWED WITH STONECREST ENGINEERING.

**FRAMING PLAN NOTES:**

WINDOW AND DOOR SIZES GIVEN ON PLAN ARE NOMINAL SIZES. ALL SIZES TO BE VERIFIED WITH OWNER AND ADJUSTED TO MANUFACTURERS SPECIFICATIONS

ROOM SIZE DIMENSIONS GIVEN ARE THE HORIZONTAL AND VERTICAL DIMENSIONS FROM THE FACE OF THE STUDS OF THE WALLS

INTERIOR DIMENSIONS ARE THE FACE OF THE STUDS. WALLS ARE DIMENSIONED TO ACTUAL SIZE (i.e. > 2x4 STUD= 1½" x 3½")

THE FRAMING CONTRACTOR IS TO INSULATE ALL VOIDS AND CAVITIES THAT WILL NOT BE ACCESSIBLE TO THE INSULATING CONTRACTOR

ALL INTERIOR PARTITIONS ARE TO BE SUPPORTED ON FLOOR JOISTS OR BLOCKING AT 4'-0" o/c MAX. WITH A BLOCK UNDER THE HINGE SIDE OF EVERY DOOR

IT IS RECOMMENDED THAT ALL WOOD USED IS PRESSURE TREATED FOR EXPOSURE TO HIGH HUMIDITY LEVELS.

**NOTE:**

EXTERIOR SQUARE FOOTAGE MAIN FLOOR: 1,152 SQ FT (107 SQ.M.)

UPPER USUABLE FLOOR AREA: 576 SQ FT (53.51 SQ.M.)

UPPER DECK: 240 SQ FT (22.3 SQ.M.)

STAIR AREA: 79 SF (7.3 SQ. M.)

TOTAL BOAT HOUSE USUABLE FLOOR AREA = **160.51 SQ. M**

AS PER APPROVED MINOR VARIANCE \_\_\_\_\_ :

MAX. ALLOWABLE HEIGHT = 7 m

ALLOWABLE SQUARE FOOTAGE = 56 SQ.M. (602 SQ.FT.)

**ENGINEERED TRUSSES & BEAMS:**

IT IS THE TRUSS DESIGNERS RESPONSIBILITY TO DETERMINE ALL LOADS THAT WILL BE SUPPORTED BY THE PROPOSED BEAMS.

THE TRUSS DESIGNER MUST SUPPLY ENGINEERED STAMPED DRAWINGS FOR ALL BEAMS AND TRUSSES FOR APPROVAL (PRIOR TO FABRICATION) TO:

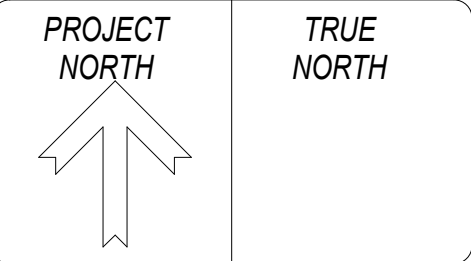
1. THE BUILDING OWNER
2. STONECREST ENGINEERING
3. THE CHIEF BUILDING OFFICIAL
4. THE BUILDER

**NOTES:**

THIS DRAWING SET IS TO BE READ IN CONJUNCTION WITH SPECIFICATION PACKAGE

1	2023-03-22	ISSUED FOR SPA
NO.	DATE:	DESCRIPTION:

LEGEND:	
	SPOT ELEVATION
	SMOKE/CARBON MONOXIDE DETECTOR
	WALL IDENTIFICATION TAG
	COLUMN IDENTIFICATION TAG



PROFESSIONAL ENGINEER'S SEAL

SHAKESPEARE, ONTARIO, CANADA  
PH: (519)-625-8025  
FX: (519)-625-8966

CONTRACTOR TO CHECK ALL DIMENSIONS AND ELEVATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK

DO NOT SCALE THE DRAWINGS

CLIENT: QUIST CONTRACTING INC.

LOCATION: 32 CLUBHOUSE ROAD, TURKEY POINT, ON

PROJECT TYPE: ACCESSORY BOAT HOUSE

PROJECT STATUS AND VERSION: CONSTRUCTION DRAWINGS

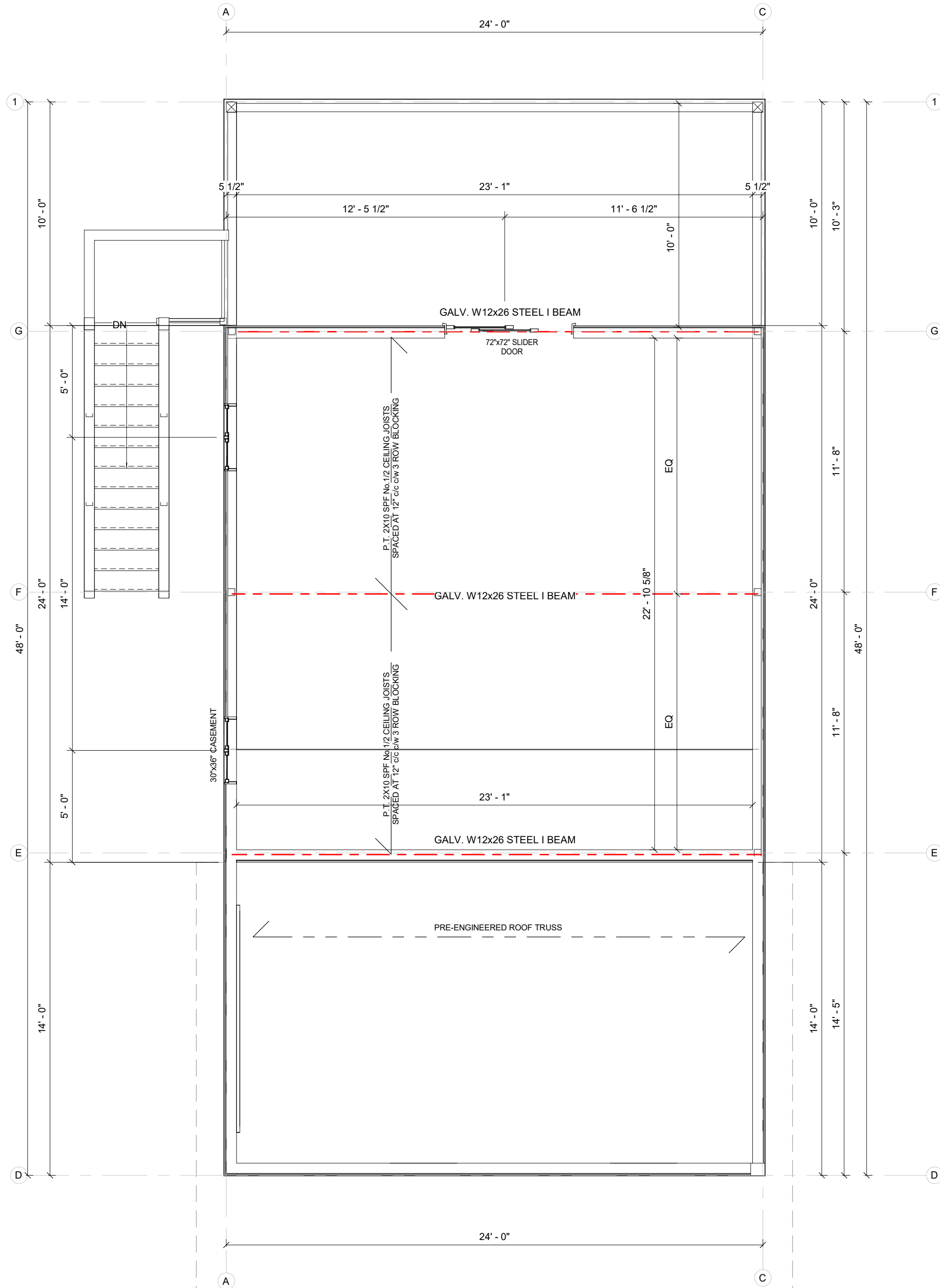
DRAWN BY: DB

PAGE DESCRIPTION: FLOOR PLAN

SCALE: AS NOTED

FILE: 8136-1

PAGE NUMBER:



1 EXTERIOR UPPER DECK FLOOR PLAN  
A3 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT ALL CONSTRUCTION TO MEET OR EXCEED ONTARIO BUILDING CODE (OBC) REQUIREMENTS.

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO STONECREST ENGINEERING.

ANY SUBSTITUTIONS OR CHANGES TO THE PLANS SHOULD BE REVIEWED WITH STONECREST ENGINEERING.

**WOODEN DECK:**  
2x8 P.T. JOISTS AT 16" c/c ON 6x6 P.T. POSTS AND 3 PLY P.T. 2x10 HEADERS

INSTALL JOISTS ON HEADER AGAINST PERIMETER OF PROPOSED STRUCTURE, SECURE RIM JOISTS VIA 3/8" LAG BOLTS AT MIN. 36" c/c

JOISTS ARE PERMITTED TO BE INSTALLED ON TOP OF HEADERS OR WITH JOISTS HANGERS FOR FLUSH BEAM OPTION

UTILIZE SONO TUBES/PRECAST FOOTING SUPPORTS WITH PROPER FROST COVERAGE

**NOTES:**  
THIS DRAWING SET IS TO BE READ IN CONJUNCTION WITH SPECIFICATION PACKAGE

NO.	DATE:	DESCRIPTION:
1	2023-03-22	ISSUED FOR SPA

- LEGEND:**
- SPOT ELEVATION
  - S.D. C.M. SMOKE/CARBON MONOXIDE DETECTOR
  - W1 WALL IDENTIFICATION TAG
  - C1 COLUMN IDENTIFICATION TAG



PROJECT NORTH  
TRUE NORTH

PROFESSIONAL ENGINEER'S SEAL

**StoneCrest**  
ENGINEERING

SHAKESPEARE, ONTARIO, CANADA  
PH: (519)-625-8025  
FX: (519)-625-8966

CONTRACTOR TO CHECK ALL DIMENSIONS AND ELEVATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK

DO NOT SCALE THE DRAWINGS

CLIENT: QUIST CONTRACTING INC.

LOCATION: 32 CLUBHOUSE ROAD, TURKEY POINT, ON

PROJECT TYPE: ACCESSORY BOAT HOUSE

PROJECT STATUS AND VERSION: CONSTRUCTION DRAWINGS

DRAWN BY: DB

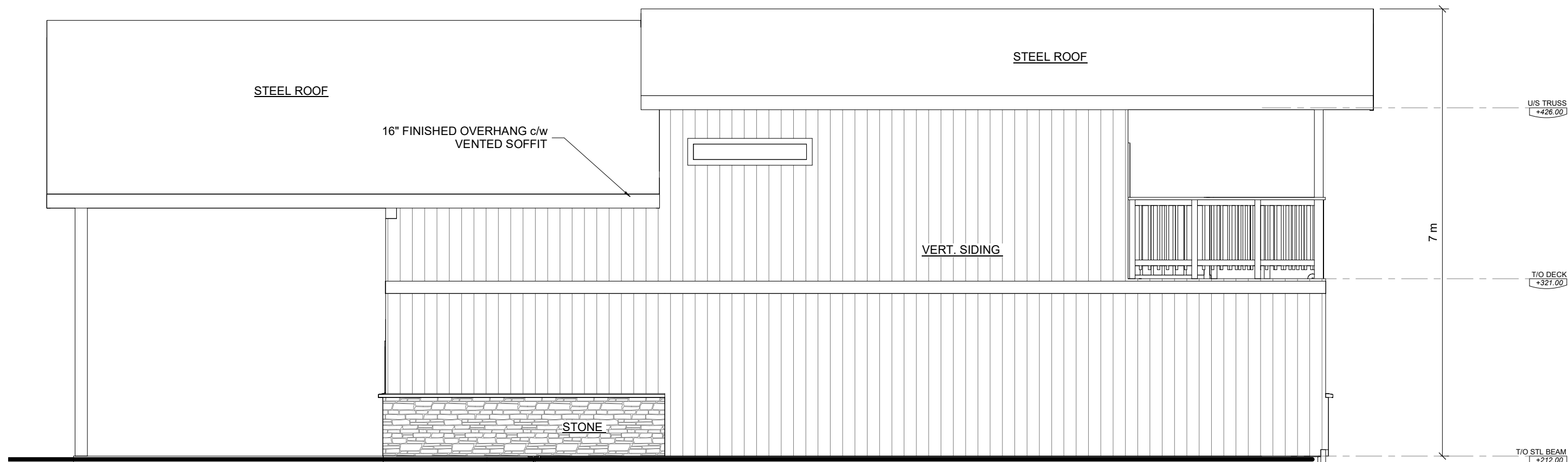
PAGE DESCRIPTION: EXTERIOR DECK FLOOR PLAN

SCALE: AS NOTED

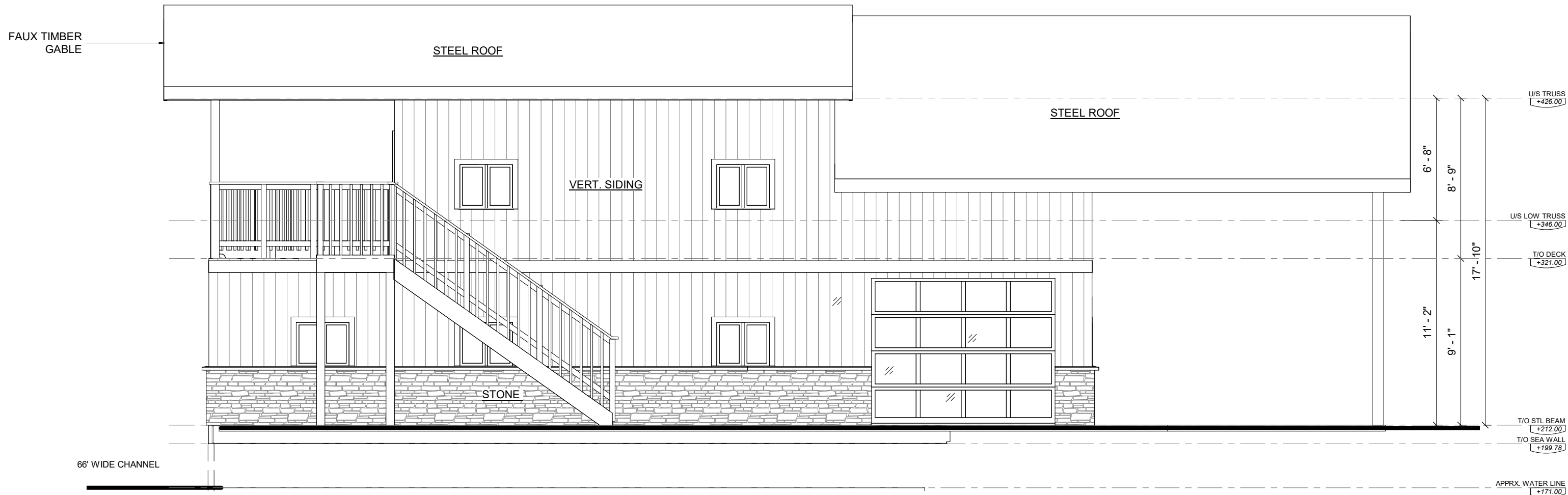
FILE: 8136-1

PAGE NUMBER:

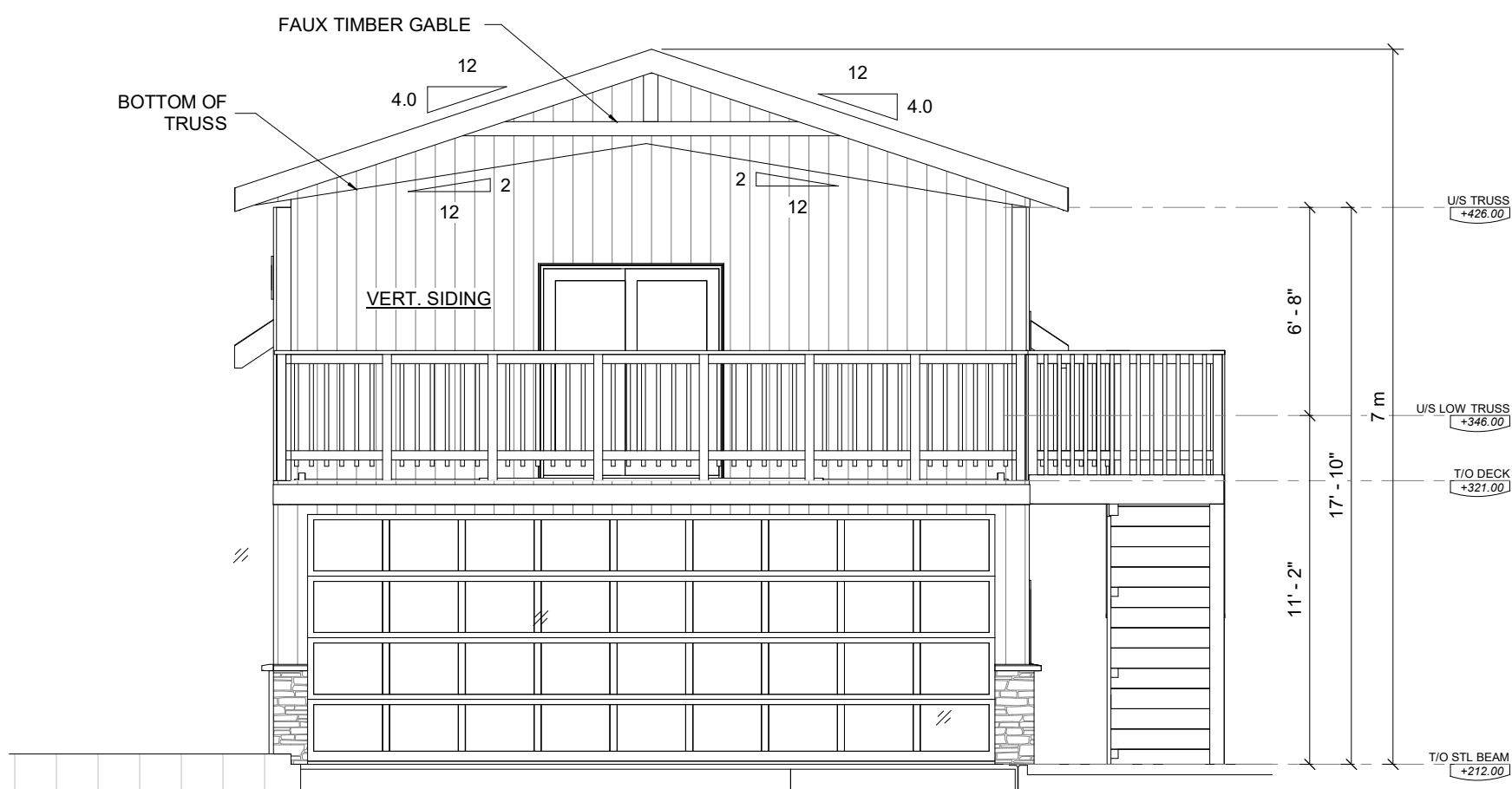




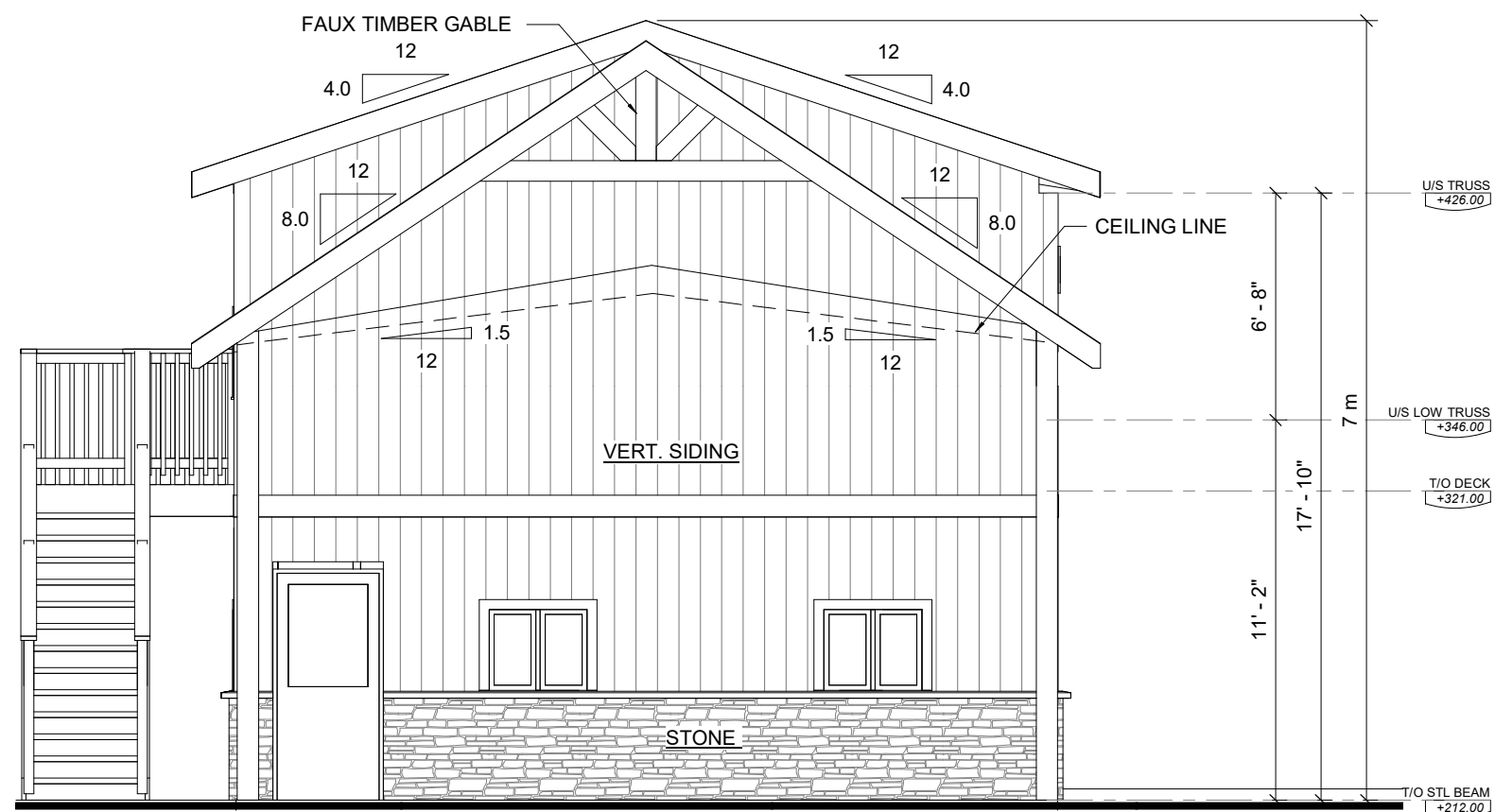
E1 EAST ELEVATION  
EV-1 SCALE: 3/16" = 1'-0"



1 WEST ELEVATION  
EV-1 SCALE: 3/16" = 1'-0"



E2 NORTH ELEVATION  
EV-1 SCALE: 3/16" = 1'-0"



E3 SOUTH ELEVATION  
EV-1 SCALE: 3/16" = 1'-0"

NOTES:  
THIS DRAWING SET IS TO BE READ  
IN CONJUNCTION WITH  
SPECIFICATION PACKAGE

1	2023-03-22	ISSUED FOR SPA
NO.	DATE:	DESCRIPTION:

- LEGEND:
- SPOT ELEVATION
  - S.D. C.M. SMOKE/CARBON MONOXIDE DETECTOR
  - W1 WALL IDENTIFICATION TAG
  - C1 COLUMN IDENTIFICATION TAG

PROJECT  
NORTH

TRUE  
NORTH

PROFESSIONAL ENGINEER'S SEAL

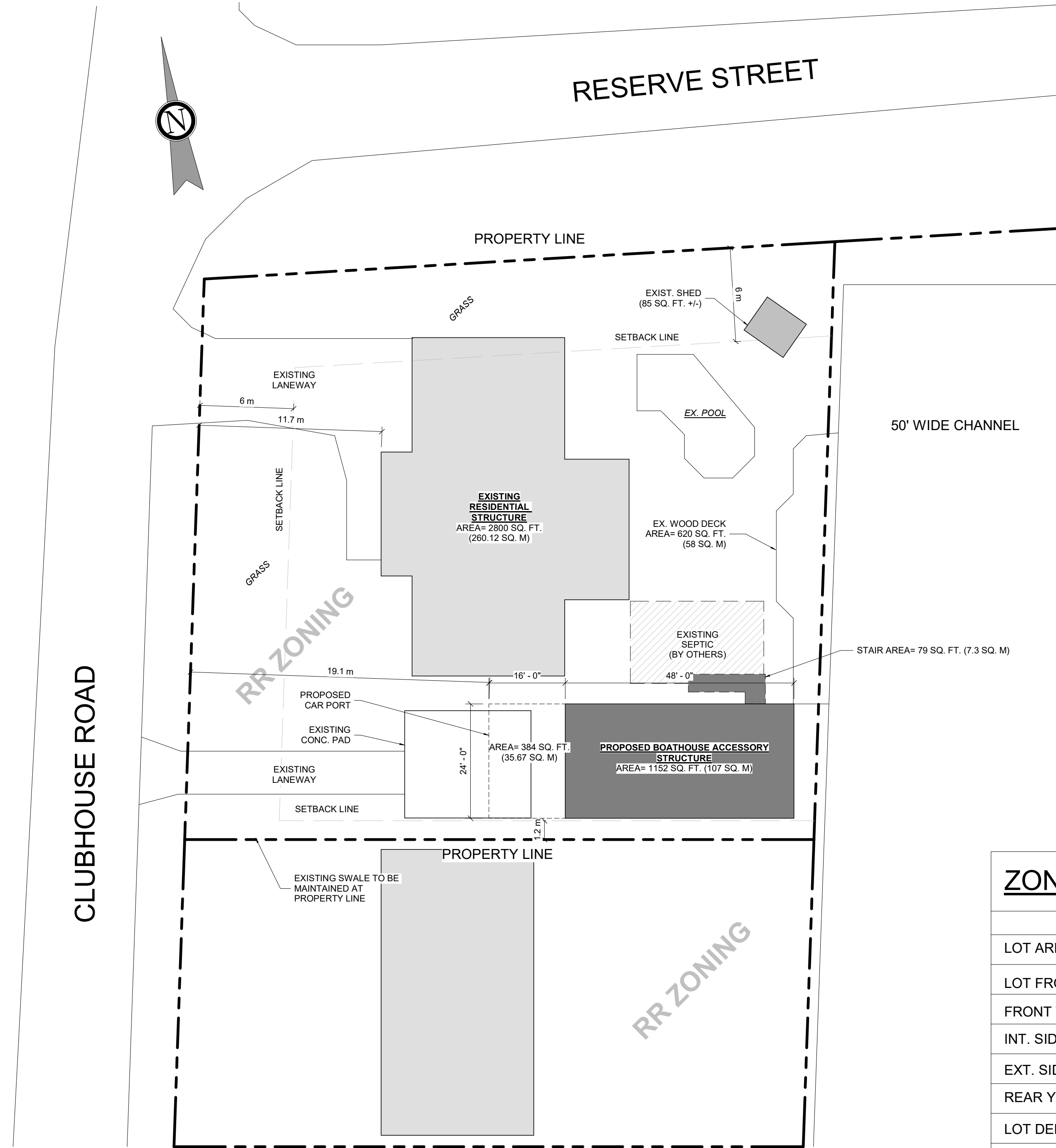


SHAKESPEARE, ONTARIO, CANADA  
PH: (519)-625-8025  
FX: (519)-625-8966

CONTRACTOR TO CHECK ALL DIMENSIONS  
AND ELEVATIONS AND REPORT ANY  
DISCREPANCIES TO THE ENGINEER BEFORE  
PROCEEDING WITH THE WORK  
DO NOT SCALE THE DRAWINGS

CLIENT:  
QUIST CONTRACTING INC.  
LOCATION:  
32 CLUBHOUSE ROAD, TURKEY POINT, ON  
PROJECT TYPE:  
ACCESSORY BOAT HOUSE  
PROJECT STATUS AND VERSION:  
CONSTRUCTION DRAWINGS

DRAWN BY:  
DB  
PAGE DESCRIPTION:  
BUILDING ELEVATIONS  
SCALE:  
AS NOTED  
FILE:  
8136-1  
PAGE NUMBER:



## SITE LEGEND

- PROPERTY LINE
- ZONING REQUIREMENT SETBACKS
- FENCE
- GRADING SLOPE

## SITE NOTES

ZONING INFORMATION:

RESORT RESIDENTIAL, RR ZONING  
ALL SET BACKS ARE BASED ON PROPOSED  
PROPERTY LINE LOCATIONS AND MAY NEED TO BE CONFIRMED  
WITH AN ONTARIO LAND SURVEYOR

AS PER APPROVED MINOR VARIANCE \_\_\_\_\_ :  
MAX. ALLOWABLE HEIGHT = 7 m  
ALLOWABLE SQUARE FOOTAGE = 56 SQ.M. (602 SQ.FT.)  
MAXIMUM LOT COVERAGE OF 29.2% (EXISTING)  
LOT AREA= 13928 SQ.FT (1294 SQ.M)

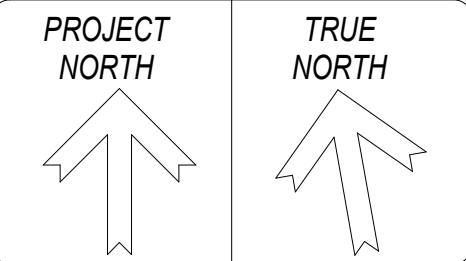
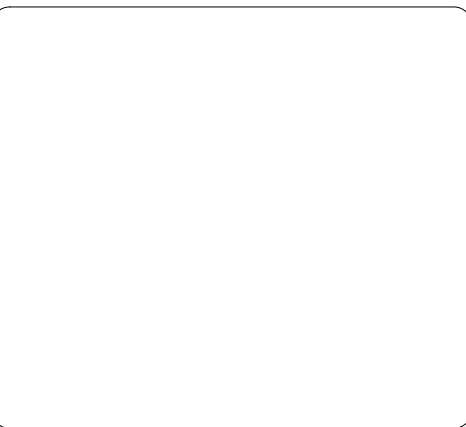
EXTERIOR SQUARE FOOTAGE MAIN FLOOR: 1,152 SQ.FT (107 SQ.M.)  
UPPER USUABLE FLOOR AREA: 576 SQ.FT (53.51 SQ.M.)  
UPPER DECK: 240 SQ.FT (22.3 SQ.M.)  
STAIR AREA: 79 SF (7.3 SQ. M.)  
TOTAL BOAT HOUSE USUABLE FLOOR AREA = **160.51 SQ. M**

ADDRESS  
32 CLUB HOUSE ROAD, TURKEY POINT  
GEOGRAPHICAL TOWNSHIP OF NORFOLK

GRADING:  
EXISTING GRADES AND SLOPES TO BE MAINTAINED.  
EXISTING DRAINAGE TO BE MAINTAINED, FOOT PRINT OF BUILDING  
TO MATCH EXISTING BOATHOUSE.

NOTES:  
THIS DRAWING SET IS TO BE READ  
IN CONJUNCTION WITH  
SPECIFICATION PACKAGE

1	2023-03-22	ISSUED FOR SPA
NO.	DATE:	DESCRIPTION:



PROFESSIONAL ENGINEER'S SEAL

**StoneCrest**  
ENGINEERING

SHAKESPEARE, ONTARIO, CANADA  
PH: (519)-625-8025  
FX: (519)-625-8966

CONTRACTOR TO CHECK ALL DIMENSIONS  
AND ELEVATIONS AND REPORT ANY  
DISCREPANCIES TO THE ENGINEER BEFORE  
PROCEEDING WITH THE WORK

DO NOT SCALE THE DRAWINGS

CLIENT:  
QUIST CONTRACTING INC.

LOCATION:  
32 CLUBHOUSE ROAD, TURKEY POINT, ON

PROJECT TYPE:  
ACCESSORY BOAT HOUSE

PROJECT STATUS AND VERSION:  
CONSTRUCTION DRAWINGS

DRAWN BY:  
DB

PAGE DESCRIPTION:  
SITE PLAN

SCALE:  
AS NOTED

FILE:  
8136-1

PAGE NUMBER:  
SP1

ZONING BY-LAW INFORMATION TABLE		
	PROPOSED	ZONING BY-LAW
LOT AREA	1294 m <sup>2</sup>	0.4 hec.
LOT FRONTAGE	35.0 m	18.0 m
FRONT YARD SETBACK	15.0 m	MIN. 6 m
INT. SIDE YARD SETBACK	1.2 m	1.2 m
EXT. SIDE YARD SETBACK	N/A	6 m
REAR YARD SETBACK	9 m, 1.2 m	0m ALONG CHANNEL
LOT DEPTH	39.8 m	39.8 m
LOT COVERAGE (ACCESSORY)	16.7%	10% MAX.
LOT COVERAGE (ALL BLDG'S)	36.7%	25% MAX.
USABLE FLOOR AREA	160.51 m <sup>2</sup>	56 m <sup>2</sup>
BUILDING HEIGHT	7 m	MAX. 5m

March 14, 2023

Norfolk County  
Committee of Adjustment  
185 Robinson Street,  
Suite 200, Simcoe, ON  
N3Y 5L6

Attn: Members of the Committee of Adjustment

## MINOR VARIANCE REASONS FOR INCREASE IN AREA / HEIGHT FOR PROPOSED BOAT HOUSE MINOR VARIANCES

### INTRODUCTION

Stonecrest Engineering Inc. has prepared a brief summary of relative items pertaining to a 4th proposed minor variance that our firm is presently involved in. The application pertains to a boat house with a covered car port as per the provided drawings and application.

The applicable definitions have been provided for reference in the definition section of this reasoning report as well as items open to interpretation and list of comparable local boat houses.

### PROPOSED MINOR VARIANCE RELIEF JUSTIFICATION

As per the provided and completed report by the planner has been involved in 3 previous boat house projects with this being the fourth. The justification will be similar to previous accepted / approved projects so the following reasoning can be applied:

- Our firm has worked with county staff to establish how usable floor area would be defined. Currently these values are depicted higher because there is no ability to recognize upper storage, mechanical spaces for boat lift equipment or any similar occasional use. Further clarity on this definition will help future applicants navigate through this more efficiently as most boat houses benefit from an upper level for storage, mechanical and structural reasons. When combining a residential accessory structure and a boat house the definitions seems to hint at an exclusion of not having to include the usable floor area for a garage attached to a building (d). It is interesting to note that a garage floor space for vehicles can be excluded in this scenario but a boat slip for boats may not. Mechanical shafts may also be excluded for example but there is no recognition for mechanical spaces to be exempt from the calculation. No relief was provided in the interpretation for the combination of the residential car port / boat house structure which is why these values are higher. Boat houses are permitted to be 56 square meters and residential accessory buildings are permitted to be 100 square meters. We wanted to combine these values when attaching these structures at 156 square meters but have currently not been permitted to do so due to zoning by-law interpretation. It stands to reason if these facilities are constructed independently they are entitled to these areas that when

combined should not be reduced. All clients wish to use the upper space for outdoor furniture storage during the off season and for space relative to the boat lift mechanics where possible.

- In terms of height allowances it is interesting to note that a residential accessory structure for this particular zoning is allowed to be 7m while a boat house is restricted to only 5m. The sizes of current boats are becoming increasingly larger so while an owner is able to build a 7m high garage without a minor variance a boat house can not resulting in many minor variance applications. Additional height is requested to accommodate a larger / taller boat. We understand that by default boat houses are capped at 5m in height, accessory structures are capped at 7m in height and cottages are capped at 9m in height. An overall increase in height for boat houses would prevent many future applications.
- Lot coverage can also benefit from further clarity as there seem to be multiple lot coverage categories. First you have the total lot coverage requirements and then you have individual component lot coverage requirements for accessory and primary structures. It is not clear if subsidiary usable areas such as decks have to be applied to the primary or accessory structures and how this is divided. For lot coverage of accessory structures it is not clear if their associated decks are counted towards their regulatory 10% or if they are only to be counted in the total lot coverage. Lot coverage indicates that it pertains to the 1<sup>st</sup> storey so there is no clarity on what is to be done in regards to a raised deck at an upper level. The most conservative approach has been taken for these minor variances but this is worth pointing out as it will inflate these values.
- Further considerations for increases in height relate to rising water levels, larger boats and outdoor furniture / similar seasonal relater storage for winter months.

## DEFINITIONS

“USABLE FLOOR AREA” shall mean the total area of all floors of a building, outdoor patio or cafe, or dwelling unit including: a) a hallway, aisle, stairway and corridor within a suite or unit; b) an internal wall and partition within a suite or unit; c) a storage room and storage area within a suite or unit; d) a boatslip in the case of a boathouse; e) a habitable room or area in the basement of a dwelling. But **excluding**: a) an area occupied by a common area in a multi-tenant building including but not limited to a public stairwell, public or shared corridor and lobby; b) a mechanical shaft; c) an entry vestibule not within a dwelling unit; d) a garage attached to a building; e) an unfinished basement in a dwelling used for storage or laundry. The usable floor area for a dwelling is measured from the outside face of exterior walls or to the centre-line of party or common walls. The usable floor area for all other buildings shall be measured from the inside face of exterior walls, interior common walls and firewalls.

“LOT COVERAGE” shall mean the percentage of the lot area covered by the **first storey** of all buildings, including accessory buildings, decks or unenclosed porches on the lot and including all projections but exclusive of canopies and overhanging eaves.

5.8.2 Zone Provisions In an RR Zone, no building or structure shall be erected or altered except in accordance with the following provisions: a) minimum lot area: 0.4 hectares b) minimum lot frontage: i) interior lot 15 metres ii) corner lot 18 metres c) minimum front yard: 6 metres d) minimum exterior side yard: 6 metres e) minimum interior side yard: i) attached garage 1.2 metres each side ii) detached garage 3 metres and 1.2 metres f) minimum rear yard: 9 metres g) maximum building height: 9.1 metres [50-Z-2017] h) maximum lot coverage: 15% plus an additional 10% maximum lot coverage for all accessory buildings and structures (including boat houses)

3.2.2 Boathouse Notwithstanding Subsection 3.2.1, a boathouse as an accessory use to a residential use shall comply with the provisions in the applicable Zone and with the following provisions: a) minimum exterior side yard – 6 metres; b) minimum interior side yard – 1.2 metres, except where a boathouse, is erected on a common lot line in which case no interior side yard setback is required; c) maximum building height – 5 metres; d) maximum total





usable floor area – 56 square metres; e) maximum lot coverage – shall not occupy more than 10 percent of the lot area, for all accessory buildings; f) shall not contain a dwelling unit, habitable room or washroom facilities.

3.2.1 No building or structure which is accessory to any permitted residential use in any Zone shall: a) exceed a building height of 5 metres in an Urban Residential Zone (R1 to R6), 7 metres in the Resort Residential Zone (RR), 8 metres in the Agricultural Zone (A), and 6 metres in all other Zones [8-Z-2020]; b) occupy any part of a front yard, except: i. an accessory building or structure in an Agricultural Zone (A) which shall occupy no part of a required front yard; c) occupy any part of a required exterior side yard; d) be nearer than 1.2 metres of a lot line within an interior side yard or 1.2 metres of an interior lot line within a front yard; e) be nearer than 1.2 metres of an interior lot line within a rear yard except: i. in the case of a mutual private garage in the rear yard on a common interior side lot line, no separation distance is required; ii. in the case of a rear lot line adjoining a private or public lane, no setback is required; f) in the case of a through lot, be nearer than 6 metres from any street line or the average setback of the nearest structures whichever is less;

g) occupy more than 10 percent of the lot area, for all accessory buildings together, to a maximum of **55 square metres** usable floor area in an Urban Residential Zone (R1 to R6) and **100 square metres** usable floor area in all other Zones, excluding Agricultural Zone (A) where a maximum size of 200 square metres of usable floor area is permitted to a maximum of 10 percent of the lot area. [7-Z-2018] Swimming pools shall not constitute a structure for the purposes of this provision; h) be established on any lot until or unless the main building or use to which it is accessory is established.

## LOCAL BOAT HOUSE REFERENCES

Numerous examples of larger and taller boat houses exist in comparison to the two proposed minor variances that we are proposing. Some of examples of these are:

- 123 Ordinance
- 2 Wallace Street
- 31a Cedar
- 31c Cedar
- 68 Clubhouse
- 70 Clubhouse
- 72 Clubhouse
- 78 Clubhouse
- 126 Ordinance
- 131 Ordinance
- 149 Ordinance
- 360 Cedar
- 372 Cedar
- 379 Cedar
- 385 Cedar
- 400 Cedar



- 6 Macaulay
- 24 Macaulay
- 127 Ordinance

Pictures have been provided as a reference in the Appendix.

## CONCLUSION

All clients ultimately desire to take the necessary steps to complete their desired boat houses and the process can be challenging. Further future clarity and updating the associated by-law may help future applicants and recognize the average need of current boat houses. The provided reasoning / comments will hopefully provide some verification of other viable interpretations that would benefit property owners in Turkey Point. In light of similar previously approved boat houses of equal or larger size we would request approval of these proposed minor variances.



## APPENDIX A COLLECTION OF BOAT HOUSE PICTURES











Appendices

Minor Variance Reasoning\_3.14.2023

















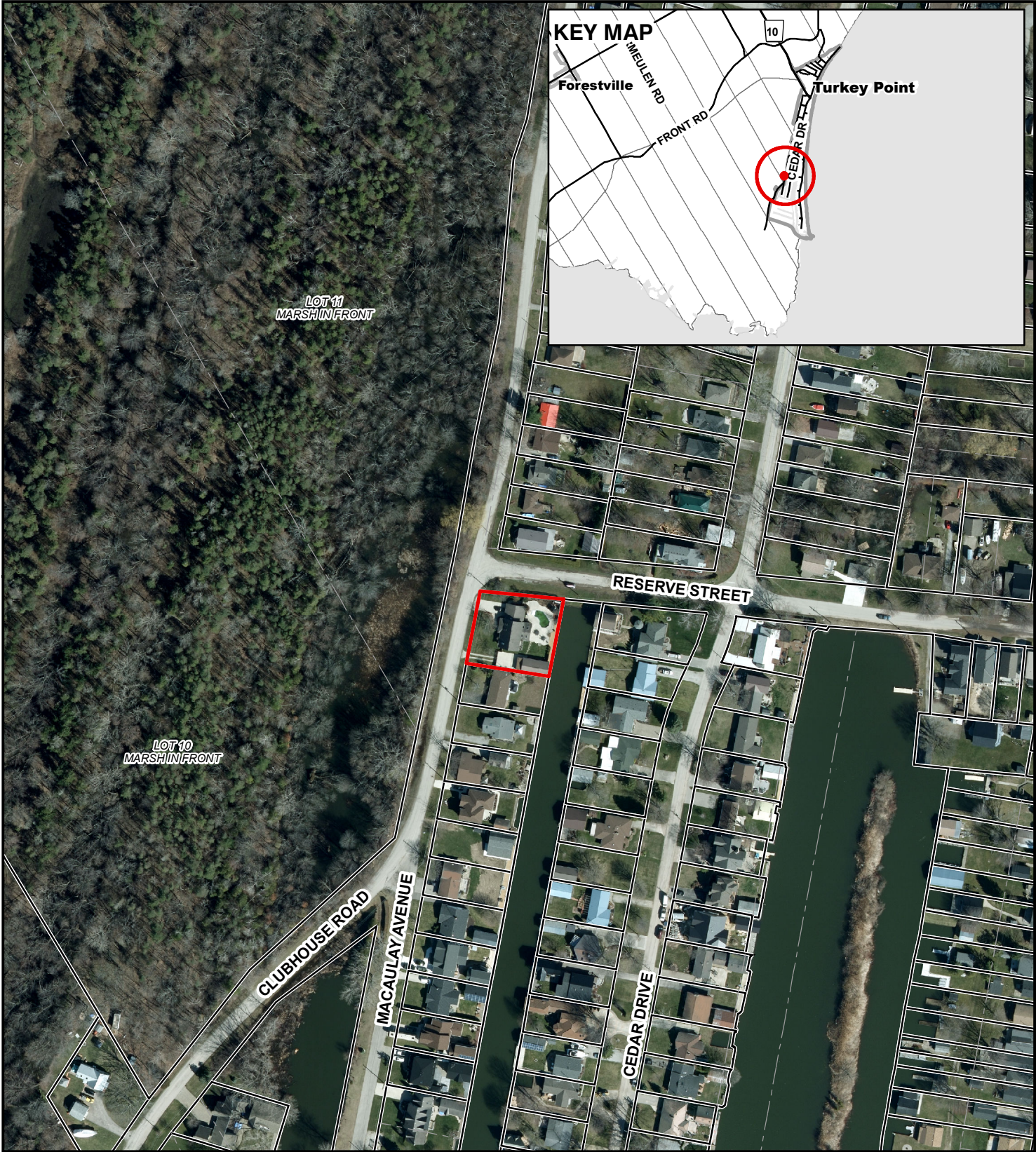


Appendices


Minor Variance Reasoning\_3.14.2023





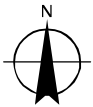


Legend

 Subject Lands

2020 Air Photo

4/27/2023



20 10 0 20 40 60 80 Meters

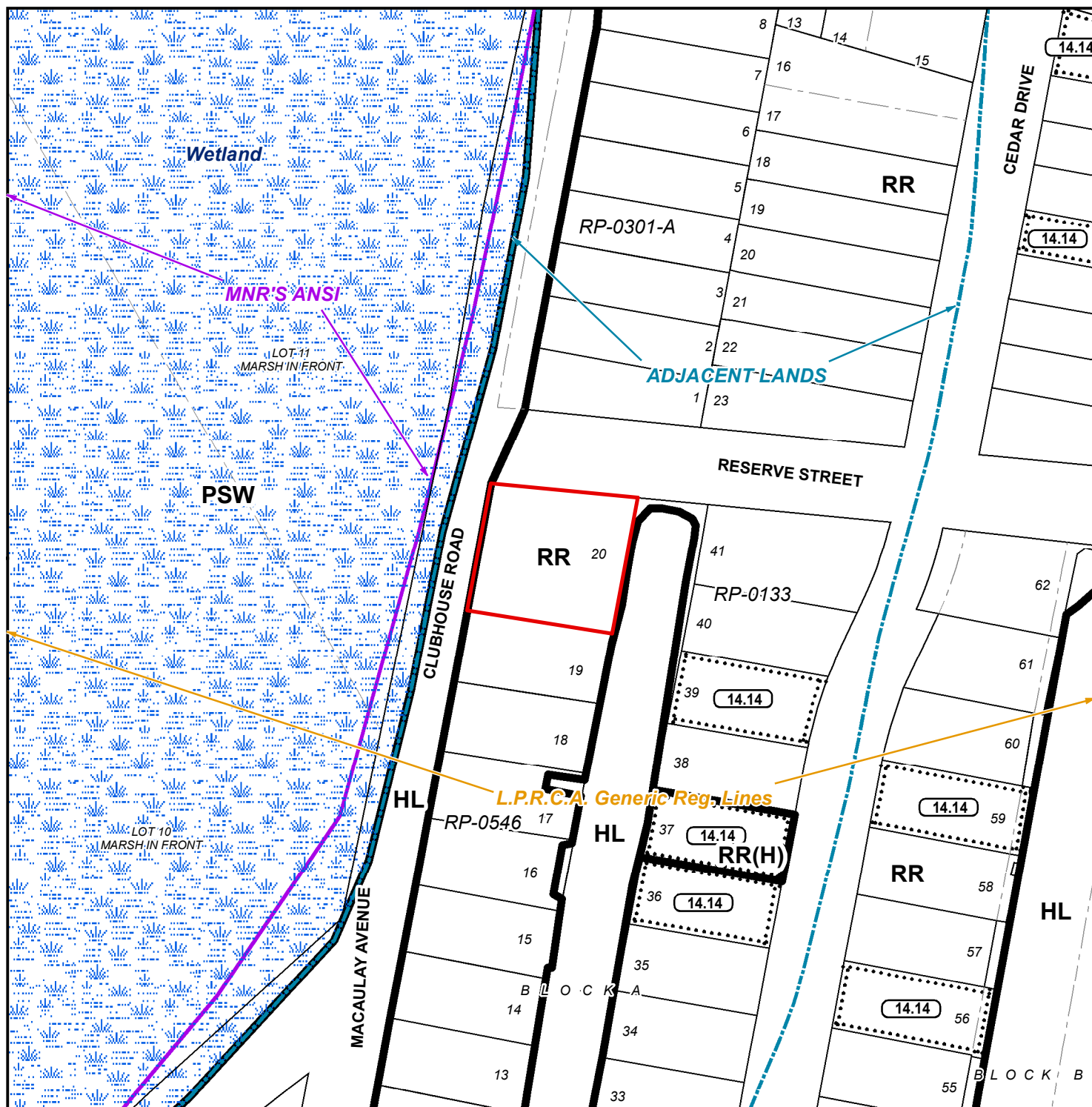


# MAP B

## ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2023135

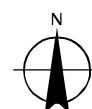


### LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone

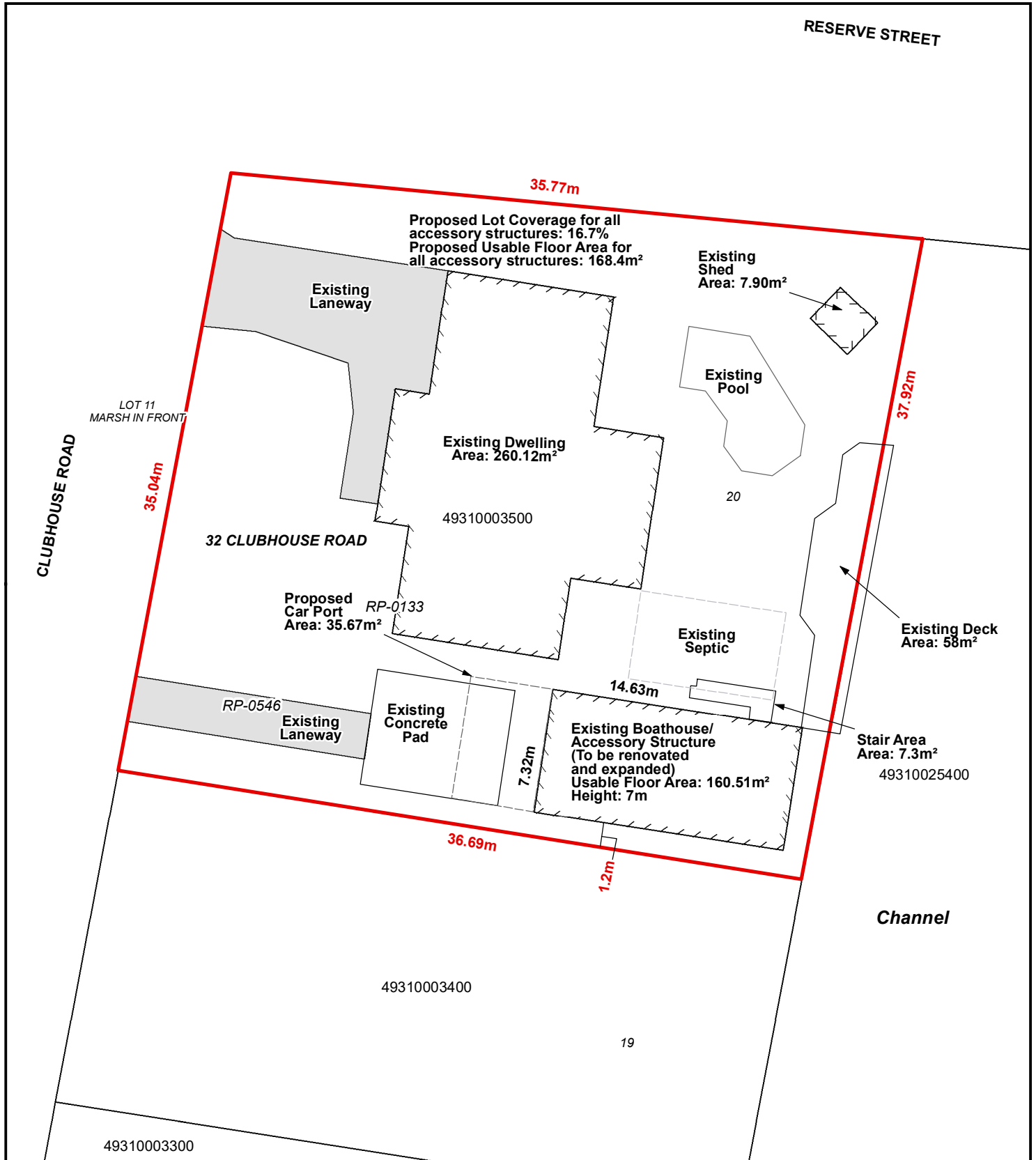
4/27/2023



10 5 0 10 20 30 40 Meters

# CONCEPTUAL PLAN

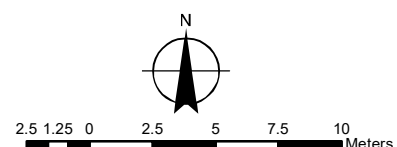
Geographic Township of CHARLOTTEVILLE



## Legend

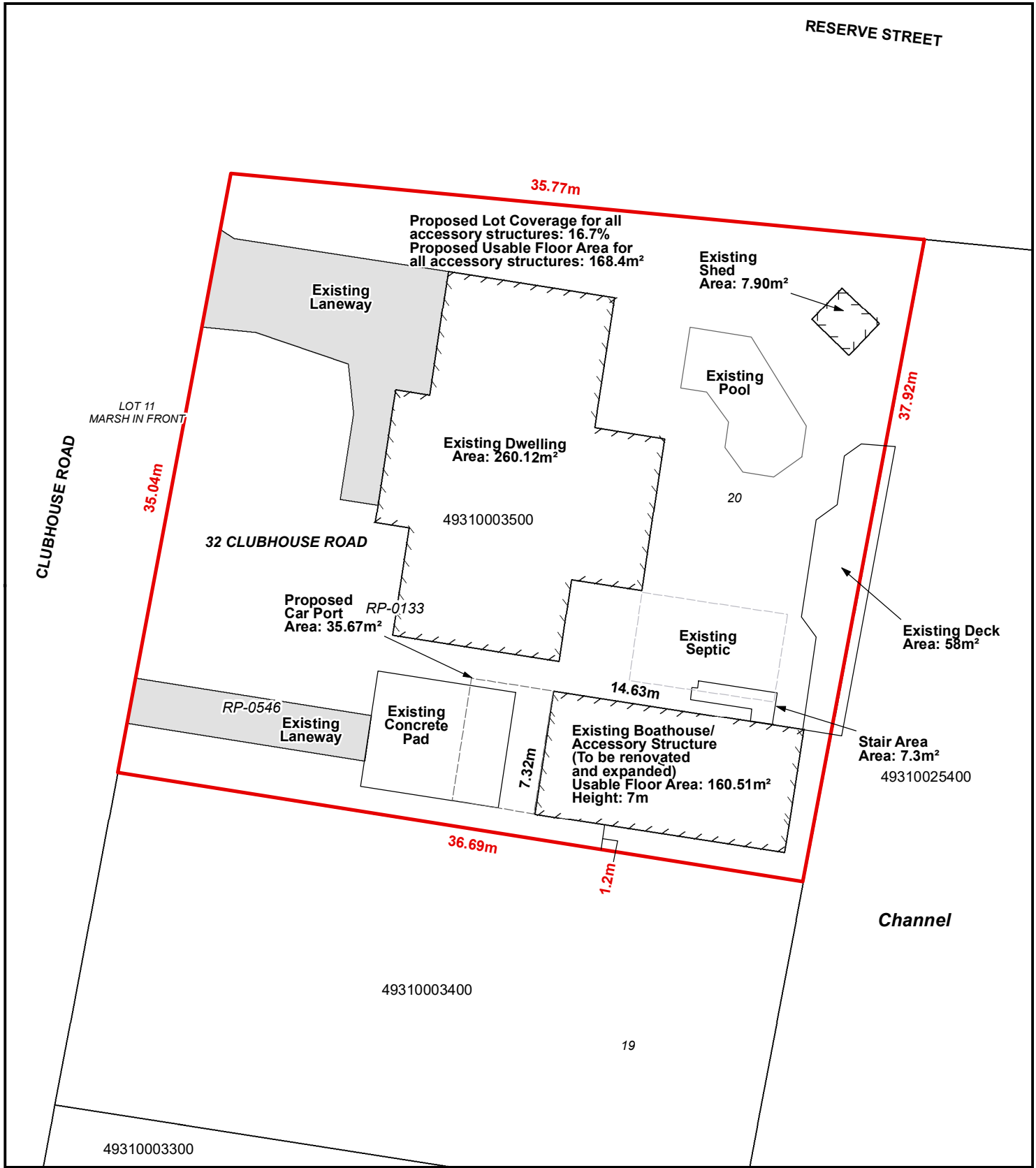
Subject Lands

4/27/2023




CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

4/27/2023

