

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application. application for detached garage, 2nd storey addition

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	20.106m	existing lot			
Lot depth	55.839m 55.875m	existing lot			
Lot width	20.106m	existing lot			
Lot area	1124.13sqm	existing lot			
Lot coverage	8.5% for garage only	10%			
Front yard	14.34				
Rear yard	>30m				
Height	4 m	7m		6.55m	
Left Interior side yard	10.51m				
Right Interior side yard	1.79				
Exterior side yard (corner lot)	n/a				
Parking Spaces (number)	>2	2			
Aisle width					
Stall size					
				upper floor of 746sqft/69sqm proposed, total useable floor 164sqm	
Usable Space	1024sqft / 95sqm	100sqm			64sqm

MM Ross May 30/23

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

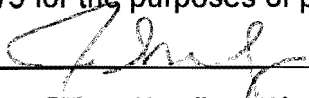
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

03/29/2023

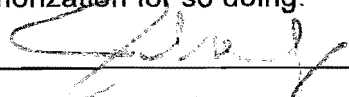
Date

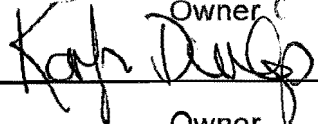
J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Robert & Kathryn Dunlop am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mike Ross / William J. Ross Construction Ltd to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner


Owner

03/29/2023

Date
03/29/2023

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Mike Ross of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe

Mike Ross

Digitally signed by Mike Ross
DN: cn=Mike Ross, o=William J. Ross Construction Ltd., ou,
email=mike@rossconstruction.ca, c=CA
Date: 2023.02.25 17:19:29 -05'00'

Owner/Applicant/Agent Signature

In Norfolk County

Mike Ross

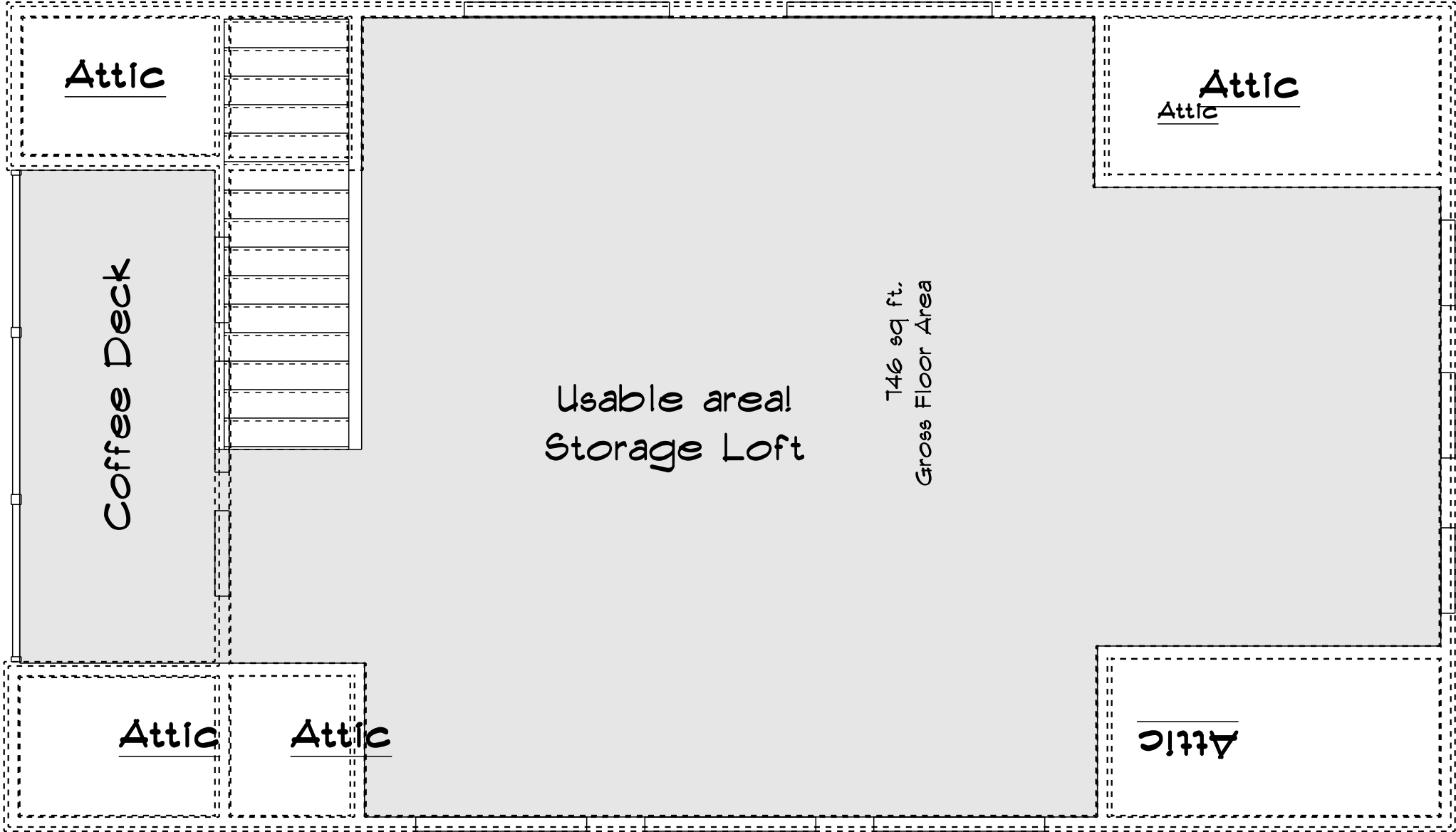
This 9 day of May

A.D., 2023

Jodi Lynn Platt-Schimus

A Commissioner, etc.

Jodi Lynn Platt-Schimus, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 1, 2025.



EST. 1984

WILLIAM J.

ROSS

CONSTRUCTION LTD.

REGISTERED ARCHITECT
OF ONTARIO

Certified Designer

BCIN: # 27639

MIKE ROSS

877 Ireland Road
Simcoe
Ontario

PHONE: 519-426-6985
mike@rossconstruction.ca

N3Y 4K2

SOFTPLAN

ARCHITECTURAL DESIGN SOFTWARE

A

SECTION LETTER

11

PAGE NUMBERS

PROPOSED PROJECT For:

Robert & Kathryn Dunlop

157 Woodstock
Long Point
Ontario

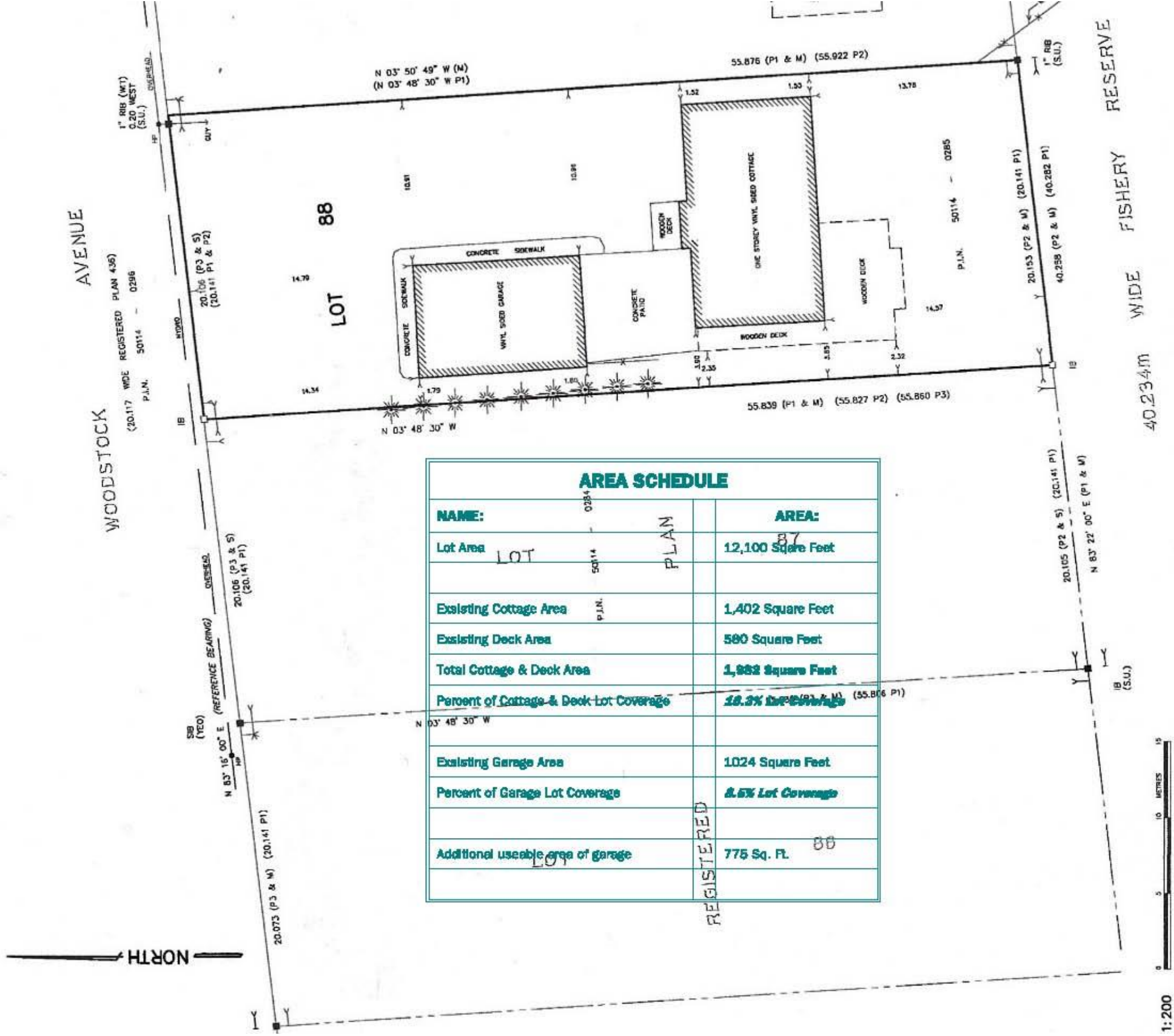
APPROVED: By owners

SCALE: 1/4" = 1'-0"

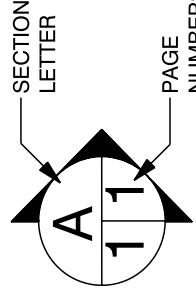
PRINT DATE: May 7, 2023

PAGE: 1

Usable Area of loft



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE



BCIN: # 27639

WILLIAM J. ROSS
CONSTRUCTION LTD.

MIKE ROSS
877 Ireland Road
Simcoe
Ontario N3Y 4K2
PHONE: 519-426-6985
mike@rossconstruction.ca

PROPOSED PROJECT For:

Robert & Kathryn Dunlop

157 Woodstock
Long Point Ontario

APPROVED: By owners

SCALE: As Noted

PRINT DATE: May 7, 2023

PAGE: 3

Survey

21'-10"
6.655 M

Grade

TOP OF ROOF



GARAGE ROAD SIDE
SCALE: 1/4" = 1'-0"

BCIN: # 27639

SECTION
LETTER

A

11

PAGE
NUMBERS

PROPOSED PROJECT For:

Robert & Kathryn Dunlop

157 Woodstock
Long Point Ontario

APPROVED: By owners

SCALE: 1/4" = 1'-0"

PRINT DATE: May 7, 2023

PAGE: 4

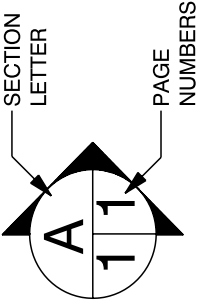
Front of Proposed 2nd Floor addition

COTTAGE SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



MIKE ROSS
877 Ireland Road
Simcoe
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mike@rossconstruction.ca

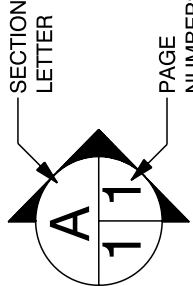


PROPOSED PROJECT For:
Robert & Kathryn Dunlop
157 Woodstock
Long Point Ontario
APPROVED: By owners
SCALE: 3/16" = 1'-0"
PRINT DATE: May 7, 2023
PAGE: 5
Front of Proposed 2nd floor addition to Cottage

157 Woodstock Ave, Long Point

Area Schedule

Name:	Area: (Imperial)	Area: (Metric)
Lot Area	12,100 Sq. Feet	1124.13 Sq. Metres
Exsisting Cottage Area	1,402 sq. Feet	130.25 Sq. Metres
Exsisting Deck Area	580 sq. Feet	53.89 Sq. Metres
Total Cottage & Deck Area	1,982 Square Feet	184.14 Sq. Metres
Percent of Cottage and Deck Lot Coverage	16.3% Lot Coverage	16.3 % Lot Coverage
Exsisting Garage Area	1,024 Sq. Feet	95.13 Sq. Metres
Percent of Garage Lot Coverage	8.5% Lot Coverage	8.5% Lot Coverage
Addition useable area of garage	775 Sq. Feet	72 Sq. Metres



BCIN: # 27639



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877 Ireland Road
Simcoe
Ontario N3Y 4K2
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mike@rossconstruction.ca

PROPOSED PROJECT For:

Robert & Kathryn Dunlop

157 Woodstock
Long Point Ontario

APPROVED: By owners

PAGE: 6

SCALE: As Noted

PRINT DATE: May 7, 2023

Area Schedule

TOTAL RIDGE HEIGHT
14'-1 7/8" (4.32)

V.D. RIDGE HEIGHT
11'-6 5/8" (3.52)

11'-0" (3.32)

TOP OF HOUSE EOTH WALL
0'-0" (0.0)

REAR ELEVATION GRADE
-2'-3 1/2" (-0.77)

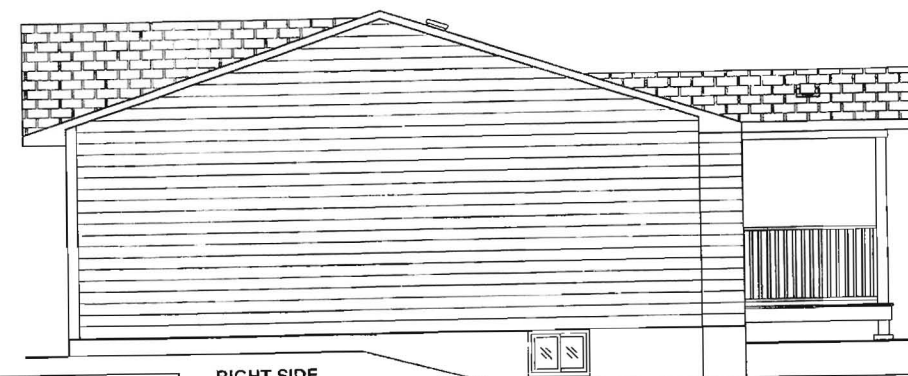


FRONT OR LAKESIDE ELEVATION

ROOF NOTES:
-4/12 ROOF PITCH w/
1'-10" OVERHANGS

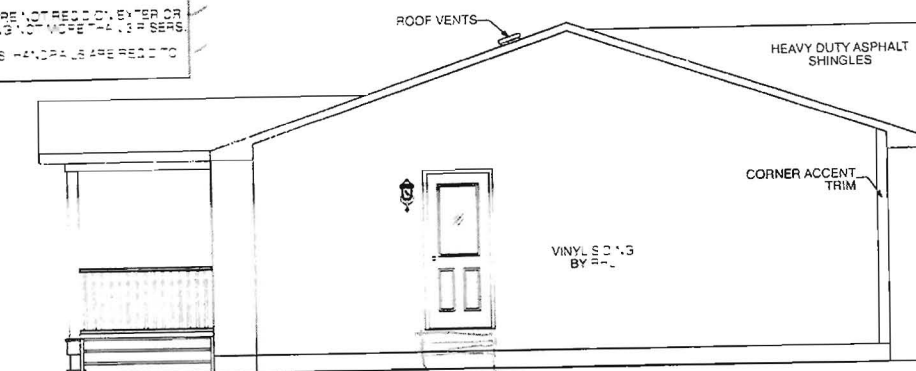


REAR OR ROADSIDE ELEVATION



RIGHT SIDE ELEVATION

REAR DECK
RAILINGS ARE ONLY REQ'D ON DECKS
HAVING A DIFFERENCE OF MORE THAN
1'-11 5/8" BETWEEN ELEVATION AND THE
WALKING SURFACE
HANDRAILS ARE NOT REQ'D ON STAIRS OR
STAIRS HAVING A DIFFERENCE OF MORE THAN
1'-11 5/8" BETWEEN ELEVATION AND THE
WALKING SURFACE



LEFT SIDE ELEVATION

REVIEWED
JUL 16 2010
PER CHIEF BUILDING OFFICIAL
TOWN OF HURON

FINAL PRINTS

THESE ARE YOUR FINAL PRINTS FROM WHICH WE WILL BUILD YOUR HOME. ANY CHANGES WILL BE SUBJECT TO A MINIMUM \$1000 CHARGE PER CHANGE.

DRAWING LOG

DAY - PREL. PRINTS APRIL 16/10
DAY - FINAL PRINTS MAY 17/10



ROYAL HOMES
LIMITED

WINGHAM, ONTARIO - CANADA

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BUILDING CODE QUALIFICATION

THE DRAWING PACKAGE ENCLOSED HAS BEEN REVIEWED IN ACCORDANCE WITH THE QUALIFICATION PROGRAM OUTLINED BY THE O.B.C.

DESIGNER : KEN ATKINSON BCIN : 23281

SIGNATURE :

FOR : Robert & Jill Day

PROJECT : PM# 4845
CUSTOM HURONDALE #22

TARION NO. 12962

CSA CERTIFIED - CAN/CSA-A277-08

DRAWN BY : TMD

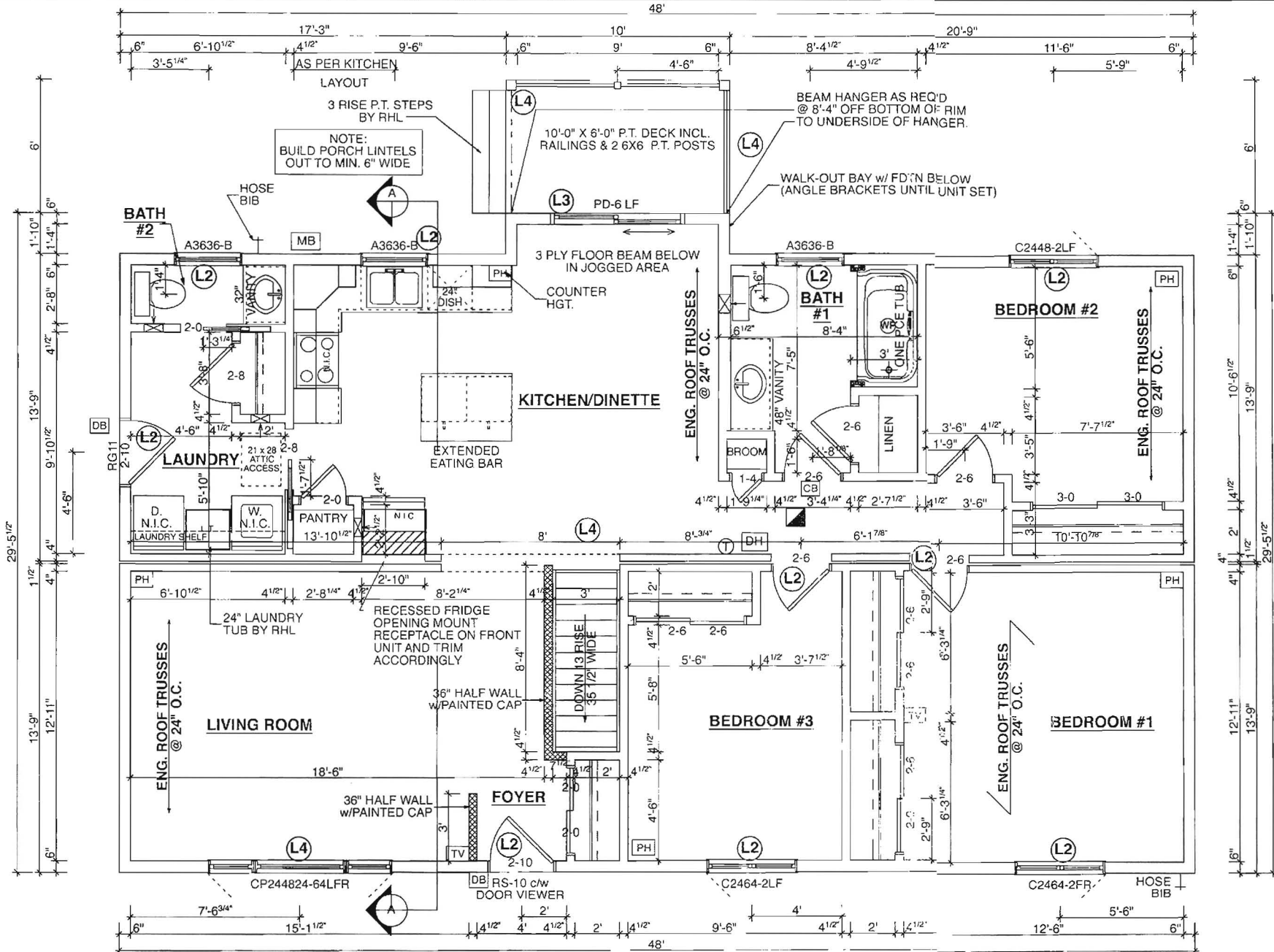
APPROVED BY : KAN

SCALE : 3/16" = 1'-0"

DATE : 19/05/10

DWG#

1



FLOOR PLAN

LINTEL SCHEDULE	
LINTEL ID	LINTEL SIZE
L1	2 PLY 2x4
L2	2 PLY 2x6
L3	2 PLY 2x8
L4	2 PLY 2x10
L5	2 PLY 2x12
LINTELS ARE MADE OF SPRUCE-PINE -FIR No.1 OR No.2 GRADE	

HRV NOTES & LEGEND

-EXHAUST DUCTING FOR HRV IS:
4" ROUND PIPE WITH ROUND DIFFUSER
(BATH AND LAUNDRY)
3 1/4" X 10" DUCT WITH 4"X10" GRILLE
AND REMOVABLE FILTER (KITCHEN).
-HRV SUPPLY AIR TO BE DIRECTLY
CONNECTED TO FURNACE RETURN IF
FORCED AIR FURNACE.

HRV EXHAUST

NOTE:
-ACTUAL USABLE FLOOR SPACE MAY VARY
FROM STATED FLOOR AREA
-MAIN FLOOR SQUARE FOOTAGE = 1344sq.ft.

EXTERIOR NOTES:
-ENTIRE HOME TO BE HORIZ. VINYL SIDING
-SHUTTERS AS PER ELEVATIONS
-25'-9" PEAK TO FASCIA
-18"x24" RECTANGULAR VENT AS PER ELEVATIONS
-CORNER ACCENT TRIM AS PER ELEVATIONS
-SOFFIT ACCENT TRIM AS PER ELEVATIONS
-COLONIAL GRILLES PER ELEVATIONS
-10'-0" PORCH ROOF ON REAR EXTENDED OUT 6'-0"

GENERAL NOTES:
1. 7/16" O.S.B. ROOF SHEATHING
C/W "H" CLIPS
2. 7/16" O.S.B. WALL SHEATHING w/
BUILDING WRAP
3. 5/8" T&G O.S.B. SUBFLOOR

NOTE:
ELECTRICAL HOOK-UP OF HOME
AS PER CONTRACT BY RHL

NOTE:
-DECORA SWITCHES,
RECEPTACLES
-INCANDESCENT
BULBS

NOTE:
LOW "E" WINDOWS
WITH NO ARGON &
NO BRICKMOULD

NOTE:
EAVESTROUGH & DOWNSPOUTS
BY ROYAL HOMES LIMITED

- DEHUMIDISTAT
- WATERPROOF POTLITES
- TELEPHONE JACK
- TELEVISION ROUGH-IN
- THERMOSTAT LOCATION
- SMOKE DETECTOR/CO
DETECTOR COMBO
- CHIME BOX INSTALLED
ABOVE DOOR
- DOOR BELL LOCATION
- ATTIC ACCESS
- METER BASE

ROOF NOTES:
-4/12 ROOF PITCH
-1'-10" OVERHANGS

NOTE:
FORCED AIR PROPANE
FURNACE BY RHL

BLOCKING TO BE INSTALLED
AT ALL TOILETS FOR FUTURE
GRAB BARS

BLOCKING TO BE INSTALLED
AT TOP & BOTTOM OF STAIR
FOR HANDRAIL BRACKET

NOTE:
FLAT SLAB INTERIOR
DOORS PAINTED WHITE

FINAL PRINTS

THESE ARE YOUR FINAL PRINTS FROM WHICH WE WILL
BUILD YOUR HOME. ANY CHANGES WILL BE SUBJECT
TO A MINIMUM \$1000 CHARGE PER CHANGE.

DRAWING LOG	
DAY : PRES. PRINTS: APRIL 16/10	
DAY : FINAL PRINTS: MAY 17/10	

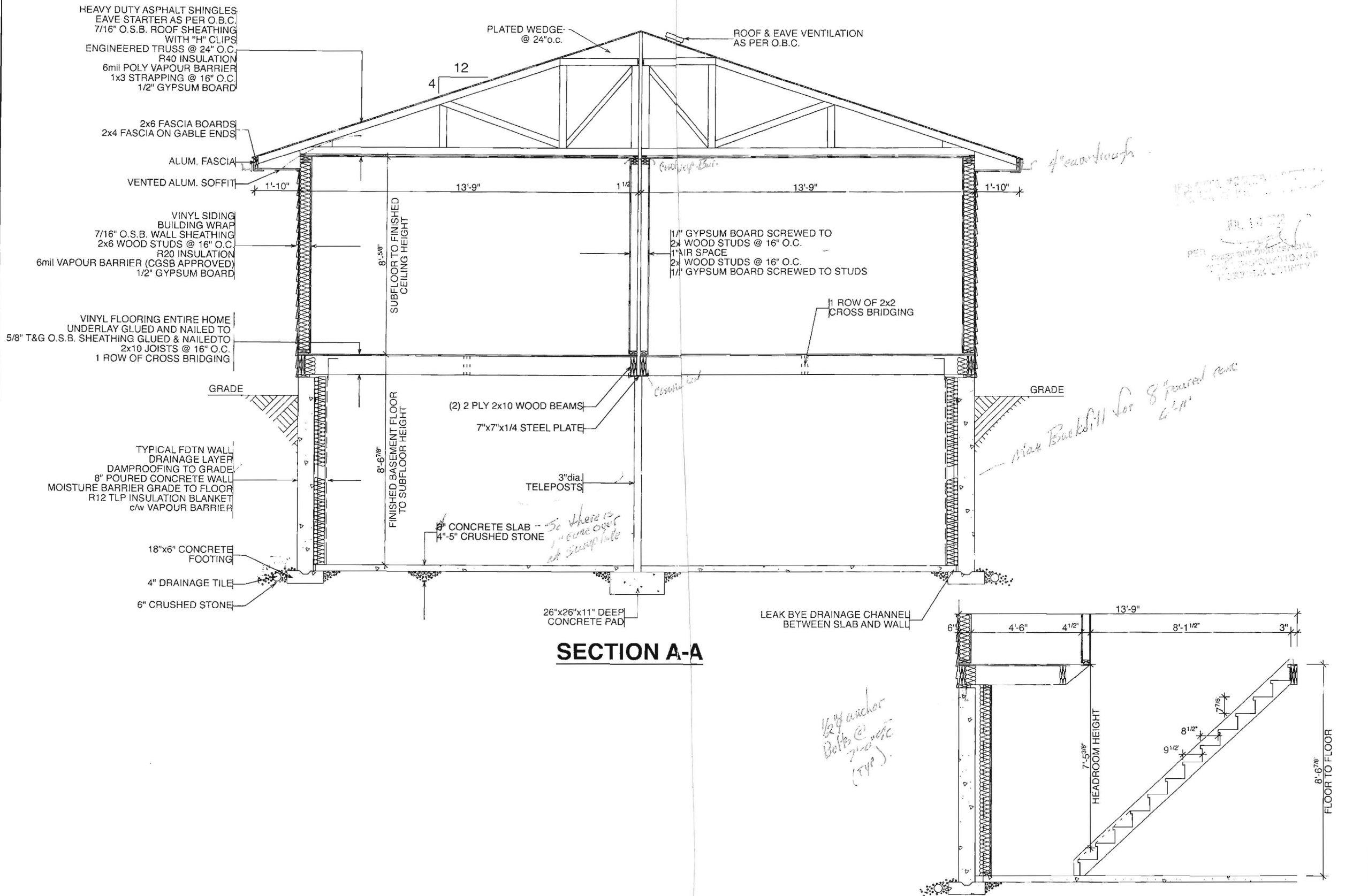


ROYAL HOMES
LIMITED
WINGHAM, ONTARIO - CANADA

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DESIGNER : KEN ATKINSON	BCIN : 23281
SIGNATURE :	

FOR : Robert & Jill Day	DRAWN BY : TMD	DWG#
PROJECT : PM# 4845 CUSTOM HURONDALE #22	APPROVED BY : KAN	2
TARION NO. 12962	SCALE : 1/4" = 1'-0"	
-CSA CERTIFIED - CAN/CSA-A277-08	DATE : 19/05/10	



RECEIVED
JUL 14 2010
PER CHIEF BUILDING OFFICIAL
TOWN OF HURON
HURON COUNTY

SECTION A-A

STAIR SECTION

FINAL PRINTS
THESE ARE YOUR FINAL PRINTS FROM WHICH WE WILL BUILD YOUR HOME. ANY CHANGES WILL BE SUBJECT TO A MINIMUM \$1000 CHARGE PER CHANGE.

DRAWING LOG	
DAY : PRES. PRINTS: APRIL 16/10	
DAY : FINAL PRINTS: MAY 17/10	

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WINGHAM, ONTARIO - CANADA
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BUILDING CODE QUALIFICATION	FOR : Robert & Jill Day	DRAWN BY : TMD	DWG#
THE DRAWING PACKAGE ENCLOSED HAS BEEN REVIEWED IN ACCORDANCE WITH THE QUALIFICATION PROGRAM OUTLINED BY THE O.B.C.	PROJECT : PM# 4845 CUSTOM HURONDALE #22	APPROVED BY : KAN	4
DESIGNER : KEN ATKINSON - BCIN : 23281	TARION NO. 12962	SCALE : 3/8" = 1'-0"	
SIGNATURE : <i>[Signature]</i>	CSA CERTIFIED - CAN/CSA-A277-08	DATE : 19/05/10	



Notice of Final Inspection PRSEP20100605

Simcoe: 8 Schellburg Ave.
Simcoe, ON
N3Y 2J4
519-426-4377
Langton: 22 Albert St.
Langton, ON
N0E 1G0
519-875-4485

This document serves as notice that the Septic Permit number PRSEP20100605 has been inspected, approved, and closed.

PROPERTY INFORMATION

ADDRESS 157 WOODSTOCK AVE, Norfolk, ON

ROLL NO. 3310543060286000000

LEGAL DESCRIPTION SWAL PLAN 436 LOT 88, IRREG, 0.28AC
66.08FR 183.32D

TOWNSHIP Norfolk - S. Walsingham

PURPOSE OF CONSTRUCTION

To install a replacement septic system for new cottage: EQ - 36 Infiltrator

PERMIT INFORMATION

CURRENT USE: Cottage

CONSTRUCTION TYPE 110 - Single House, single detached home, bungalow,
linked home (linked at

PROPOSED USE: Cottage

COST OF CONSTRUCTION \$325.00

CONTACT INFORMATION


OWNER: DAY JILL
ADDRESS: 1151 RIVERSIDE DR UNIT 7
LONDON, ON N6H 2T7

APPLICANT: BAYSIDE SEPTIC SERVICE INC.
ADDRESS: R.R. 1
ST. WILLIAMS, N0E1P0

COMMENTS

*** BUILDING PERMIT COMPLETE ***

Inspection	Date	Status	Comments
Septic Backfill Inspection	November 25, 2010	Passed	1) Attended site & contractor was not on-site, and observed the following: a) EQ-36 Infiltrator system - Filter bed system; b) Tank - REID'S - 3600(L) - Effluent filter was in-place - 3" Polylok lids; c) 3 runs @ 16' plus end-caps @ 4' o.c. and appeared level; d) 3" septic drain pipes, no glue; e) Fall from tank to top header was approximately 6"; f) Contractor to supply "As-Installed" dwg; g) Contractor to supply sand report. *** OK TO BACKFILL ONCE READY ***NOTE: i) Once I receive the Sand Report and "As-Built", I'll sign off on this permit. Thank You.
Septic Final Inspection	December 09, 2010	Passed	1) Received copies of sand report and as-built - OK 2) All work complete.


Bill Brouwer, Building Inspector



June 17, 2010

Robert and Jill Day
7-1151 Riverside Drive
London, Ontario
N6H 2T7

Attention: Jill and Robert Day

Dear Jill and Robert:

Reference: Grading Plan Approval
157 Woodstock Avenue
Long Point, Norfolk County
Permit No. 2010-140

As per your request, we have reviewed and approved the proposed grading plan for the above-mentioned property.

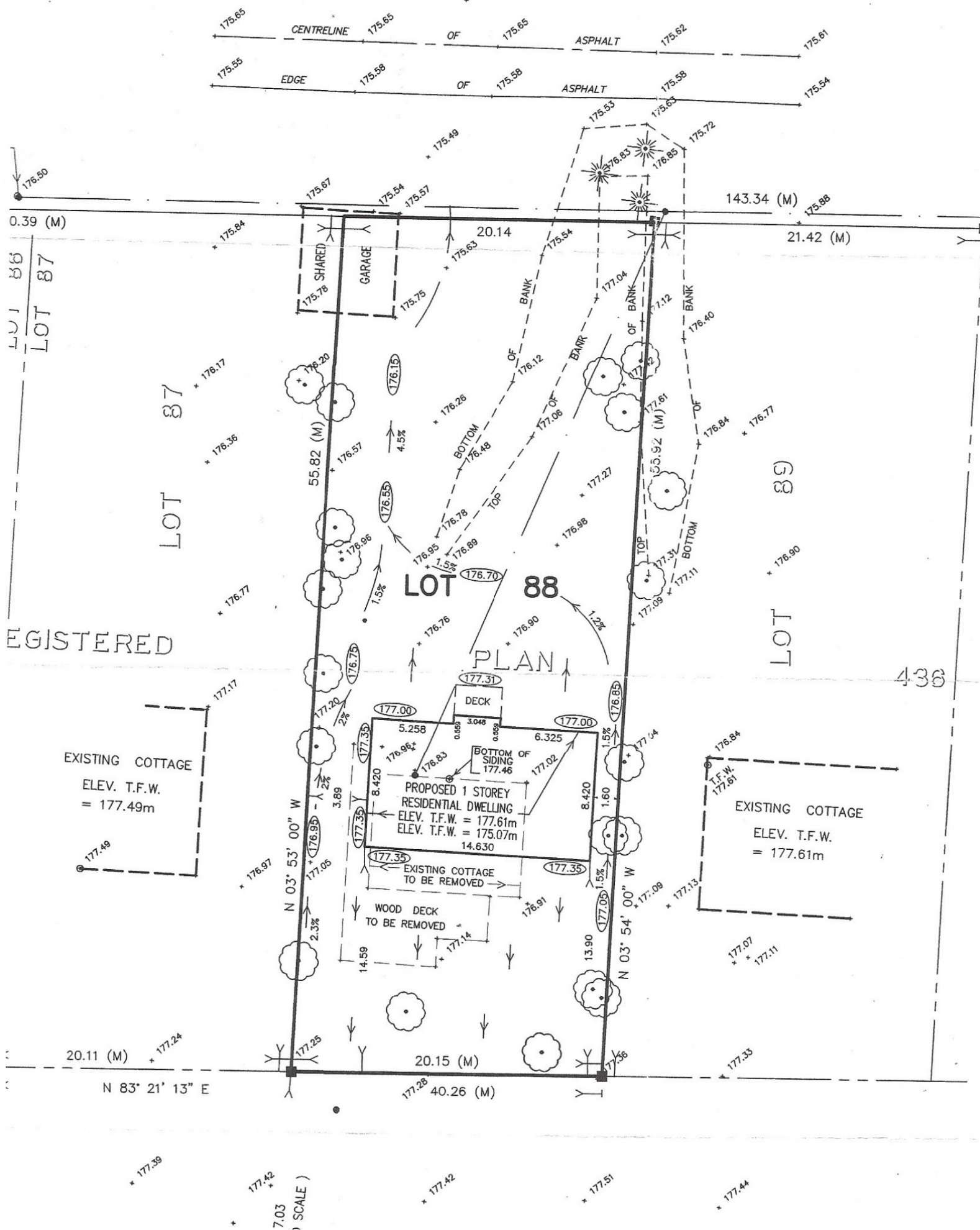
A signed copy of this current plan has been returned to the Norfolk County Building Division in Simcoe.

Enclosed is a stamped copy of your plan for your files.

Yours Truly,

A handwritten signature in black ink, appearing to read "Jeff Lavigne".

Jeff Lavigne
Municipal Technologist - Drainage





**NORFOLK COUNTY
- BUILDING DIVISION -**

PERMIT NO. PRBD 2010-0460
DATE DEC 16, 2010
OWNER DAY JILL
CONTRACTOR SCOTT
LOCATION 157 WOODSTOCK AVE.

BUILDING PERMIT INSPECTIONS

☐ Subgrade ☐ Framing ☐ Drywall or Plaster ☐ Other
☐ Foundation ☐ Insulation ☐ Occupancy ☐ Final

PLUMBING PERMIT INSPECTIONS

☒ Rough In ☒ Other RIM TEST. ☐ Final

SEPTIC PERMIT INSPECTIONS

☐ Rough In ☐ Other ☐ Final

☒ Approved ☐ Not Approved

DEFICIENCIES _____

- FINAL AT OCCUPANCY -

Kim Miller
INSPECTOR

(See Over)

☐ Simcoe 519-426-4377 Ext. _____
☒ Langton 519-875-4485 Ext. 1823



Building Permit PRBD20111772

Simcoe: 8 Schellburg Ave.
Simcoe, ON
N3Y 2J4
519-426-4377
Langton: 22 Albert St.
Langton, ON
N0E 1G0
519-875-4485

This permit is issued pursuant to the Building Code Act, S.O. 1992, c.23.

PROPERTY INFORMATION

ADDRESS 157 WOODSTOCK AVE, Norfolk, ON

ROLL NO. 3310543060286000000

LEGAL DESCRIPTION SWAL PLAN 436 LOT 88, IRREG, .28AC
66.08FR 183.32D
APPLICATION NUMBER L389

TOWNSHIP Norfolk - S. Walsingham
ZONING

PURPOSE OF CONSTRUCTION

2 car detached garage

PERMIT INFORMATION

CURRENT USE:

CONSTRUCTION TYPE 110 - Single House, single detached home, bungalow,
linked home (linked at

PROPOSED USE:

COST OF CONSTRUCTION \$15,000.00

CONTACT INFORMATION

OWNER: DAY ROBERT AVERYDAY JILL
ADDRESS: 157 WOODSTOCK AVE RR 3157
WOODSTOCK AVE RR 3
PORT ROWAN, ON N0E 1M0PORT
ROWAN, ON N0E 1M0

APPLICANT:
ADDRESS:

COMMENTS

DETACHED GARAGE

No person shall construct or demolish a building or cause a building to be constructed or demolished unless a permit has been issued therefor by the chief building official.

Except as authorized by the building code, a person shall not occupy or use a building or part of a building that is newly erected or installed or permit it to be occupied or used until a permit has been issued therefor by the chief building official.

Neither the issuance of this permit nor the carrying out of inspections by Norfolk County shall relieve the owner or contractor from full responsibility for compliance with all applicable statutes, regulations and by-laws, and with all agreements entered into by the owner or applicable said lands, pursuant to statutory law.

Subject to the provisions of the Building Code Act, the chief building official may revoke a permit issued under this Act if it was issued on mistaken, false or incorrect information; if, after six months after its issuance, the construction or demolition in respect of which it was issued has not, in the opinion of the chief building official, been seriously commenced; if the construction or demolition of the building is, in the opinion of the chief building official, substantially suspended or discontinued for a period of more than one year; if it was issued in error; if the holder requests in writing that it be revoked; or if a term of the agreement under clause 8.(3)(c) has not been complied with.

Pursuant to subsection 13.(1) of the Building Code Act, persons to whom this building permit is issued are instructed **NOT TO COVER CONSTRUCTION UNTIL THE REQUIRED INSPECTIONS HAVE BEEN COMPLETED AND APPROVED BY A NORFOLK COUNTY BUILDING INSPECTOR AS LISTED IN BY-LAW 2008-174 AS AMMENDED.**

I have read and understand the above.

ISSUED BY:

David McPherson

AS PER:

Fritz R. Enzlin CBCO, CRBO
Chief Building Official
Manager, Building & Bylaw

Signature of owner or authorized agent

Date

Signature of building inspector

11/22/11

Date

ISSUE DATE: Nov 22, 2011
Fee

Amount

Date Paid

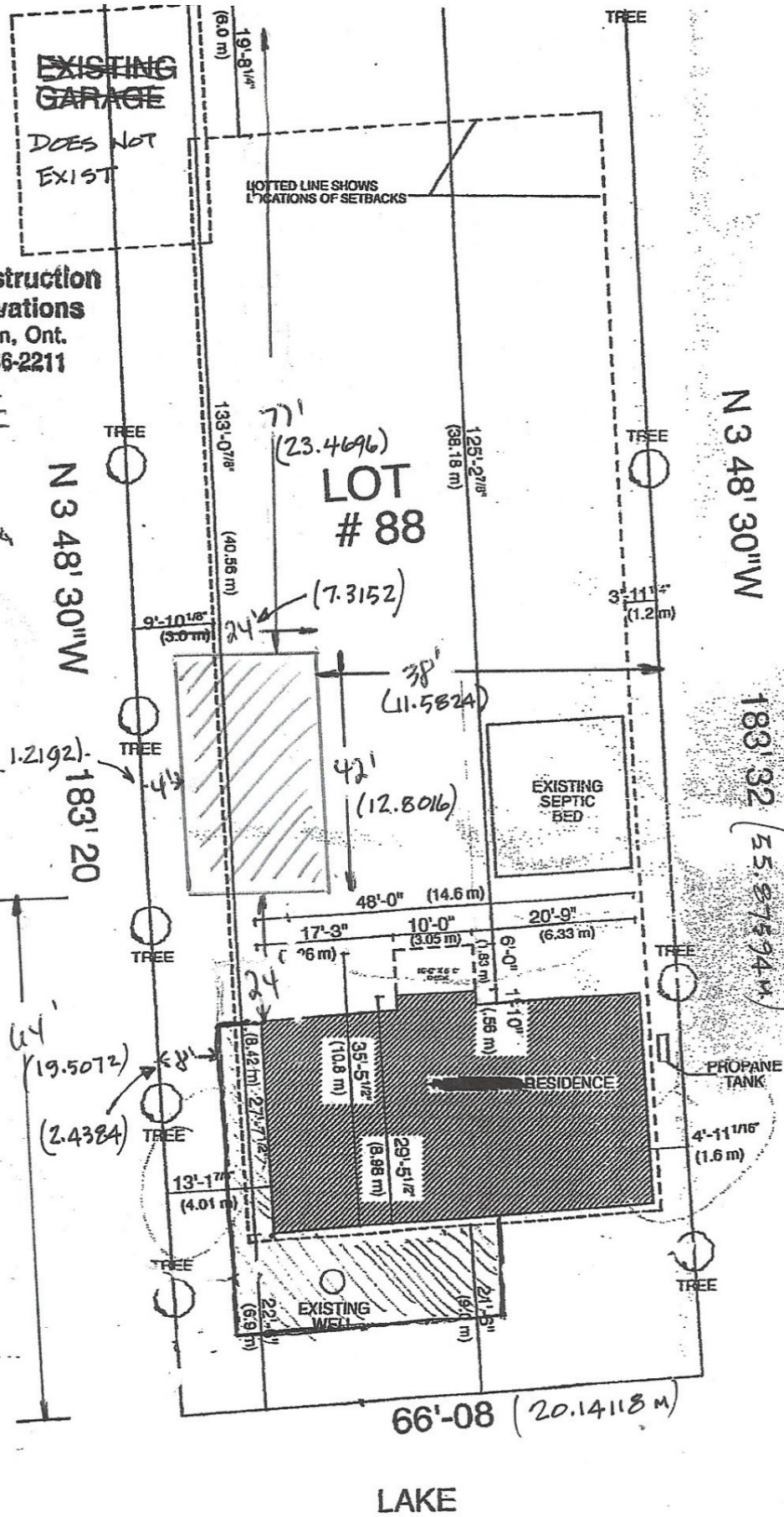
Single Family Dwelling-Accessory
Total :

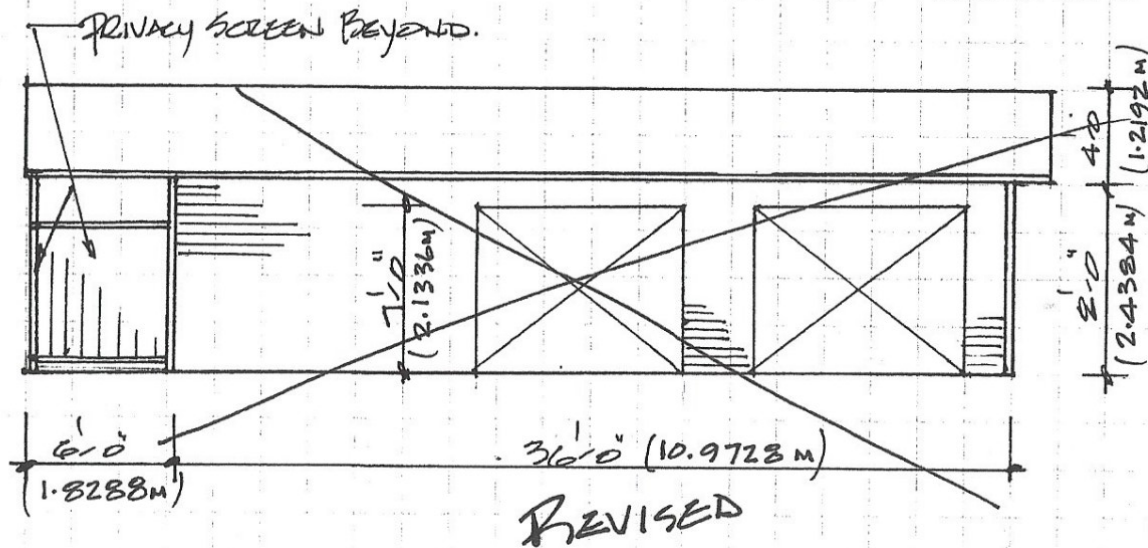
\$231.00
\$231.00

Jeff Neuman Construction
Building & Renovations
 R.R. #3, Port Rowan, Ont.
 NOE 1MO (519) 586-2211

PROPOSED GARAGE

BOB DAY 157
 WINDY STICK AVE. LANE
 PORT ROWAN
 PLOT PLAN

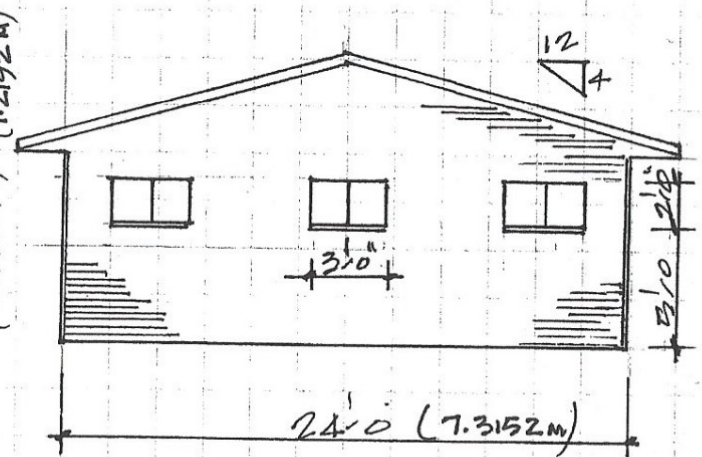




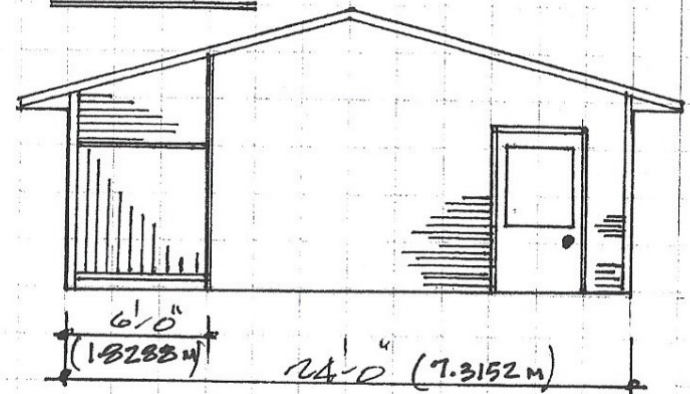
EAST ELEVATION

SPECIFICATIONS

HORIZONTAL VINYL SIDING TO MATCH EXISTING
 4/12 ROOF PITCH & 1'-10" OVERHANG
 HEAVY DUTY ASPHALT. SHINGLES
 EAVES TRAYS (2) & DOWNSPOUTS (4)
 7/16" OSB ROOF SHEATHING
 7/16" OSB WALL SHEATHING WITH BLDG WRAP
 ALUMINUM SOFFIT - WHITE
 VINYL WINDOWS - WHITE - FIVE INSUL GLASS
 INSULATED METAL ENTRANCE DOOR WITH 1/2 VITE
 INSULATED GARAGE DOORS 9'-0" x 7'-0" (2)

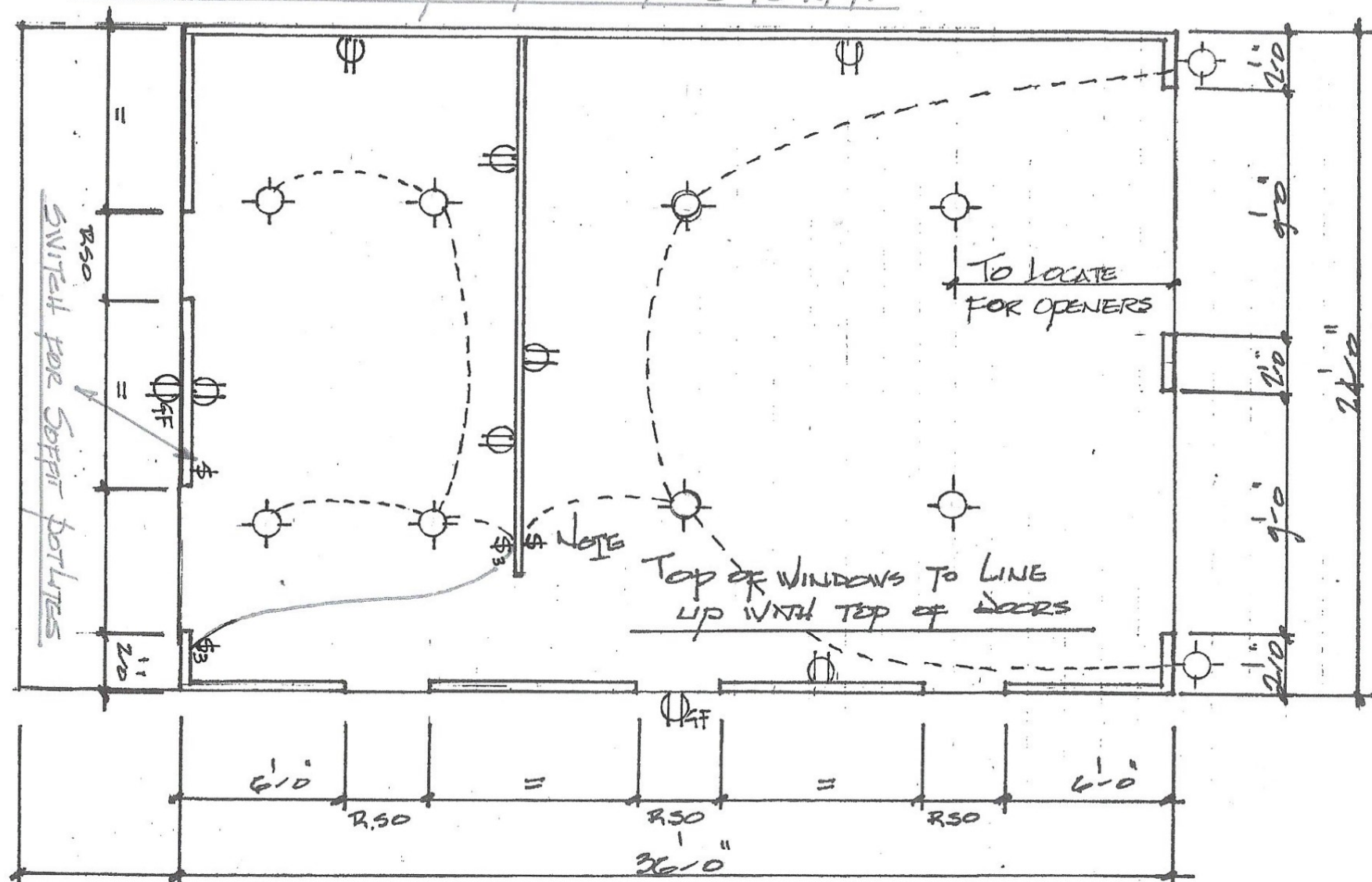


NORTH ELEV



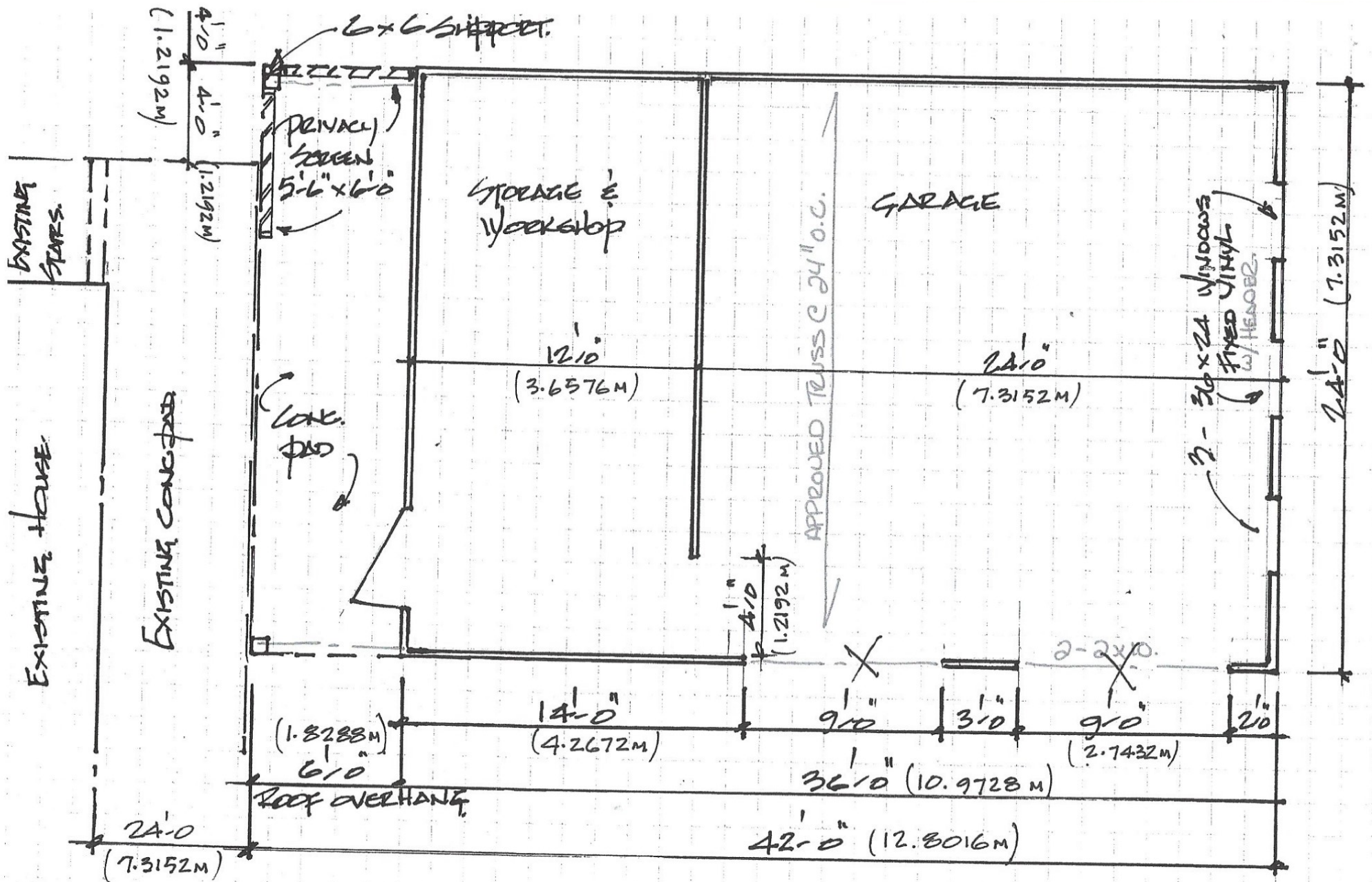
SOUTH ELEV.

NOTE: ALL SWITCHES & RECEPTACLES TO BE 48" A.F.F.



157 WOODSTOCK AVE

Scale 3/16" = 1'-0"



157 Woodstock Ave

STAMPED TRUSS
DWGS REQ'D AT
TIME OF FRAMING
INSPECTION

2"xX" RAFTERS @ XX"
ON CENTRE.

2"xX" COLLAR TIES
@ XX" ON CENTRE.

X/X" ROOF
SHEATHING.

2"xX" CEILING JOISTS
@ XX" ON CENTRE.

DRAWINGS 1 TO 7 ILLUSTRATE A
WOOD FRAME GARAGE WITH A
FOUNDATION AND FOOTING. FOR
ALTERNATE CONSTRUCTION
METHODS SEE DRAWINGS 8 AND 9.

WOOD / VINYL / METAL SIDING.
SHEATHING PAPER.
X/X" SHEATHING.
2"xX" WOOD STUDS @ XX" O.C.
RXX INSULATION AND VAPOUR
BARRIER (OPTIONAL).
X/X" DRYWALL (OPTIONAL).

A MINIMUM 1/2" DIAMETER
ANCHOR BOLTS AT A MAXIMUM
7'-10" ON CENTRE ARE
REQUIRED. THEY SHALL BE
EMBEDDED A MINIMUM 4" INTO
THE FOUNDATION AND FASTENED
WITH NUTS AND WASHERS.

X/X" ANCHOR BOLTS
@ X'-X" ON CENTRE.

FOOTINGS SHALL BE
LOCATED A MINIMUM 4'-0"
BELOW GRADE TO
COMPETENT BEARING SOIL.

OPTION FOR HIGH
WATER TABLE.

2"x4" OR 2"x6" WOOD STUDS
AT A MAXIMUM 24" ON CENTRE
ARE PERMITTED FOR EXTERIOR
LOAD BEARING WALLS TO A
MAXIMUM 9'-10" HIGH.

INSULATION, VAPOUR BARRIER
AND DRYWALL ARE NOT REQUIRED
IF SHED / GARAGE IS UNHEATED.

FOUNDATIONS SHALL EXTEND A
MINIMUM 6" ABOVE GRADE
AND ALL WOOD MATERIALS
SHALL BE LOCATED A MINIMUM
6" ABOVE GRADE OR USE
PRESSURE TREATED WOOD.

MASONRY VENEER (BRICK) CAN BE
USED AS THE EXTERIOR CLADDING
IF FOOTINGS AND FOUNDATIONS
ARE PROVIDED AND BRICK ANGLES
ARE INSTALLED OVER OPENINGS.

X" THICK, XX MPa
CONCRETE SLAB ON GRADE.
X" THICK COMPACTED
GRANULAR BASE.
COMPETENT BEARING SOIL.

REMOVE ALL TOPSOIL AND
ORGANIC MATERIAL BELOW
GARAGE / SHED. REPLACE
WITH GRANULAR 'A'
COMPACTED IN 6" LIFTS.

X-2"xX"
LINTEL.

XX"xXX"
DOOR.

ENSURE THAT THE GRADE
IS SLOPED AWAY FROM
THE BUILDING.

GRADE

UNDISTURBED
SOIL.

BACKFILL.

X" THICK POURED CONCRETE
CONCRETE BLOCK FOUNDATION

XX" WIDE BY X" THICK
POURED CONCRETE FOOTING.

GARAGE / SHED - CROSS SECTION

SCALE: 3/8"=1'-0"
DATE: AUGUST, 2007

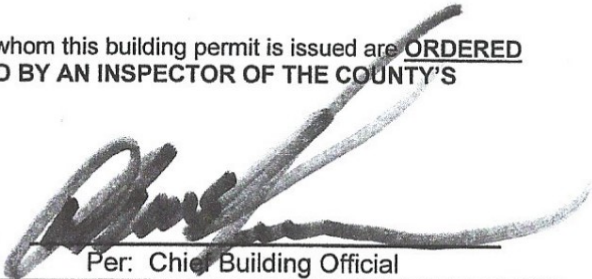


BUILDING PERMIT

PRBD2011 1772

1. This permit is issued subject to conditions stated on this Building Permit Placard and the Building Permit.
2. This permit is to be displayed on or in front of the Building for which it is issued in such a manner that it may be seen from the public road at all times until the Final Inspection is approved.
3. This permit **MAY** be revoked by the Chief Official if the subject construction is not seriously commenced within six months or when construction has been substantially suspended for one year.
4. Pursuant to subsection 13.(1) of the Ontario Building Code Act and article 2.4.5. of Ontario Building Code, persons to whom this building permit is issued are **ORDERED NOT TO COVER CONSTRUCTION UNTIL REQUIRED INSPECTIONS HAVE BEEN COMPLETED AND APPROVED BY AN INSPECTOR OF THE COUNTY'S BUILDING DIVISION**

ISSUED THIS **22ND** DAY OF **NOV.** 20 **11**


Per: Chief Building Official

INSPECTIONS MUST BE CALLED FOR ON THE FOLLOWING: (24 Hours Notice For Inspections Must Be Given)

BUILDING INSPECTIONS

- | | |
|------------------------|----------------------------------|
| 1. FORMS IN PLACE | 4. INSULATION and VAPOUR BARRIER |
| 2. BEFORE BACK FILLING | 5. DRYWALL APPLICATION |
| 3. FRAMING | 6. FINAL |

PLUMBING INSPECTIONS

1. ROUGH-IN
2. FINAL


INSPECTOR'S OFFICE HOURS ARE MONDAY – FRIDAY MORNINGS

TELEPHONE: **LANGTON
SIMCOE**

(519) 875-4485 press #1 for building div.
(519) 426-4377 ext. 2264

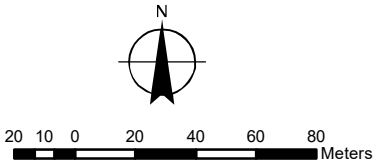


Legend

 Subject Lands

2020 Air Photo

6/13/2023

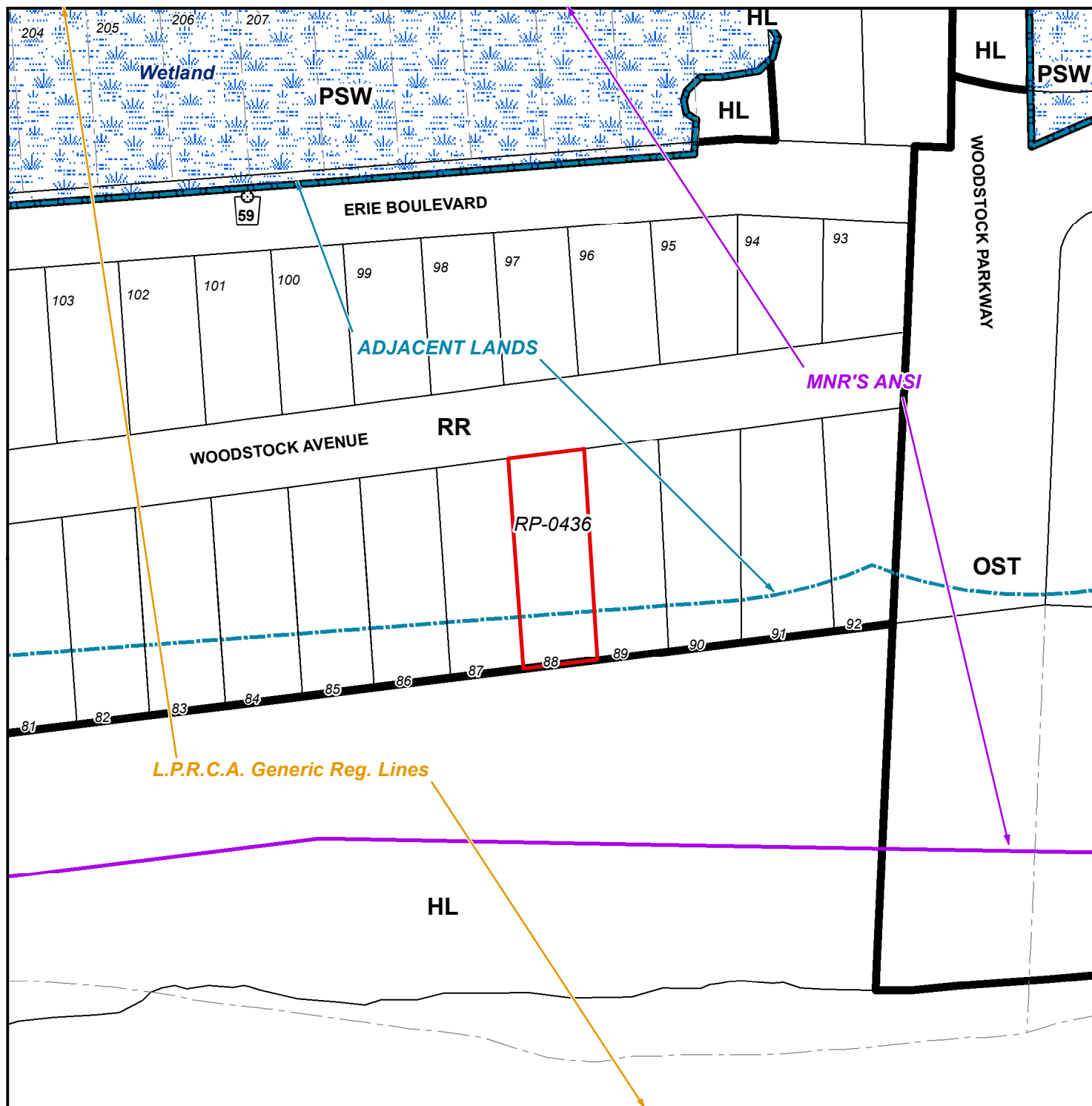


MAP B

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2023160



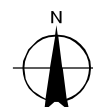
LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

6/13/2023

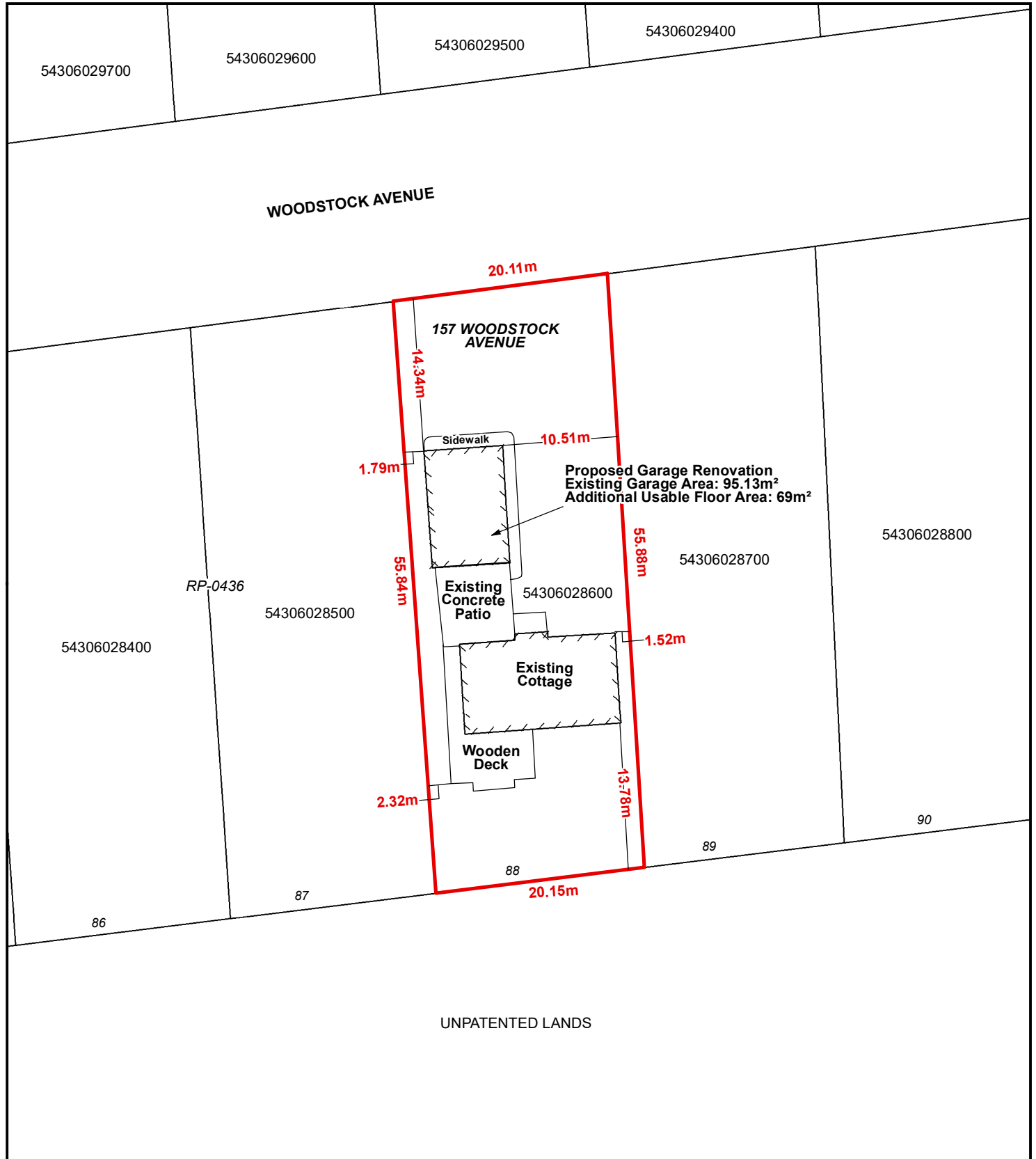
- (H) - Holding
- HL - Hazard Land Zone
- OST - Open Space Tent & Trailer Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone



10 5 0 10 20 30 40 Meters

CONCEPTUAL PLAN

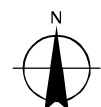
Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

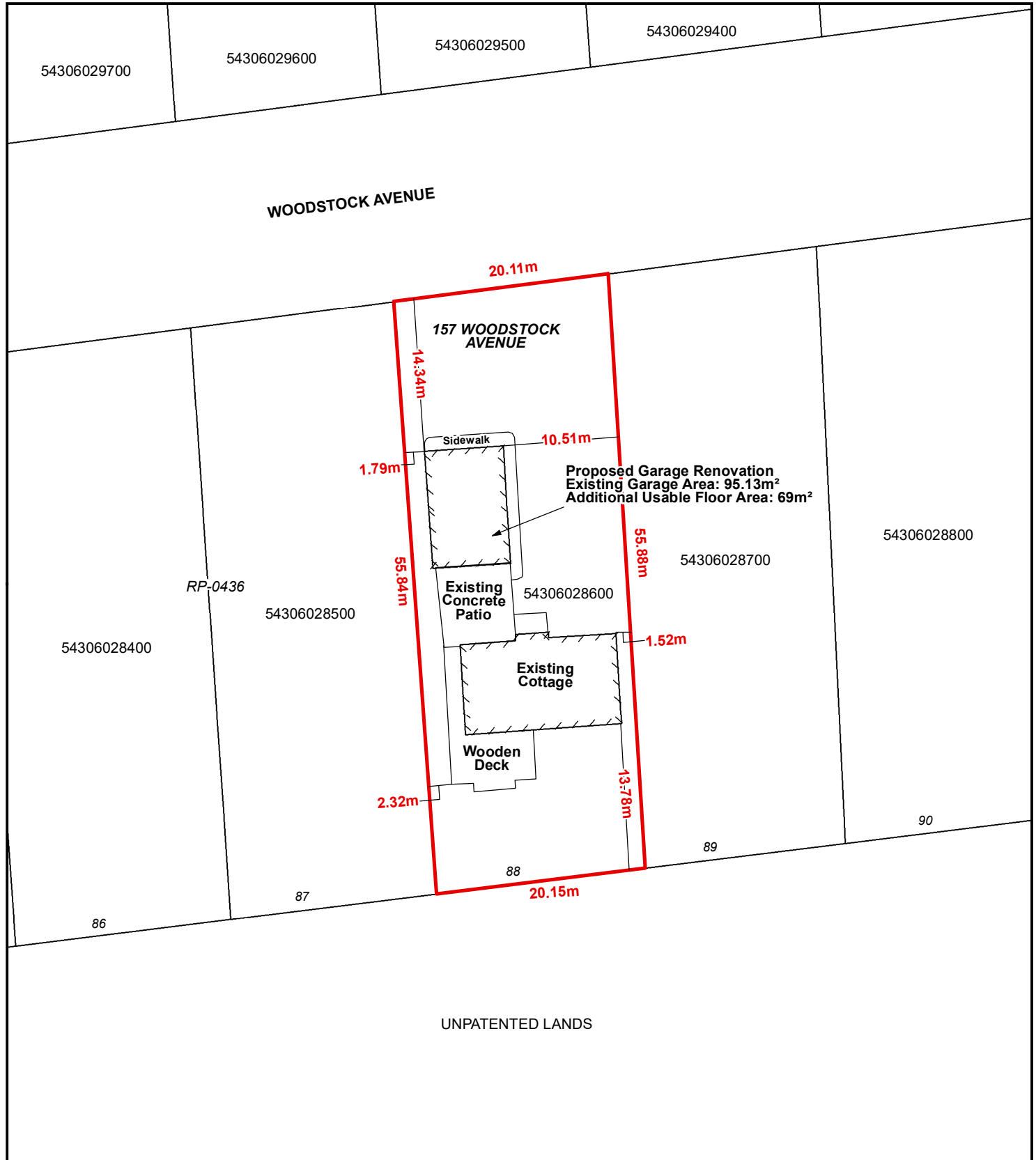
6/13/2023



4 2 0 4 8 12 16 Meters

CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

6/13/2023



4 2 0 4 8 12 16 Meters