

For Office Use Only:

File Number ANPL2023181
Related File Number _____
Pre-consultation Meeting _____
Application Submitted may 24. 2023
Complete Application _____

Application Fee \$1711.00 ✓ paid.
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner A. Wallace
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310543060014000000

A. Applicant Information

Name of Owner Bradley & Kimberly Lockhart

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 27 Poplar Rd
Town and Postal Code Port Rowan N0E1M0
Phone Number 5195505633
Cell Number 5195505762
Email bklockhart1999@gmail.com

Name of Applicant Brad Lockhart
Address 27 Poplar rd
Town and Postal Code Port Rowan Ont N0E1M0
Phone Number 5195505633
Cell Number 5195505633
Email bklockhart1999@gmail.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

RBC Bank Tillsonburg Branch

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

SWAL PLAN 429 LOT 14, 0.17AC 56.00FR 135.00D, ,

Municipal Civic Address: 27 Poplar Rd Port rowan Ont N0E1M0

Present Official Plan Designation(s): RR

Present Zoning: RR[1-Z-2014]

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Primary Residence Family Home

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
2 Storey Home existing and remaining untouched on lands
5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.
6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
Proposed building is a Garage and covered boat port.
7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:
8. If known, the length of time the existing uses have continued on the subject lands:
9. Existing use of abutting properties:
Properties on 2 sides are cottage/homes.
10. Are there any easements or restrictive covenants affecting the subject lands?
☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	17 Meters				
Lot depth	41 Meters				
Lot width					
Lot area	702 M/Sq				
Lot coverage		10%		15%	5%
Front yard					
Rear yard					
Height		5 Meters		4.88 Meters	
Left Interior side yard		1.2 Meters		5.9 Meters	
Right Interior side yard		1.2 Meters		1.2 Meters	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other Usable floor area		56 M/Sq		46.54 M/Sq	

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The actual garage is not that big. Lot overage is mainly due to Roof/cover over Boat well

This area has no walls but still technically counts towards SQ footage

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

Not required for these properties

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Not Required

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☒ On the subject lands or ☒ within 500 meters – distance 10 Meters

Floodplain

☒ On the subject lands or ☒ within 500 meters – distance 5 meters

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☒ On the subject lands or ☒ within 500 meters – distance 5 meters

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|---|---|
| <input checked="" type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|--|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input checked="" type="checkbox"/> Other (describe below) |
-

Engineered and approved Holding Tank system

Storm Drainage

- | | |
|--|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input checked="" type="checkbox"/> Other (describe below) | |
-

Natural runoff to lake

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

No Habitable space is proposed in either garage or boathouse.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

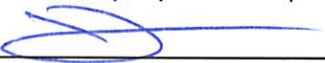
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

March 28 / 2023


Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Brad Lockhart am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

March 28 / 2023

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Brad Lockhart of Port Rowan Ont

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

27 Poplar Rd Port Rowan Ont



Owner/Applicant/Agent Signature

In Province of Ontario

This 2 day of Feb

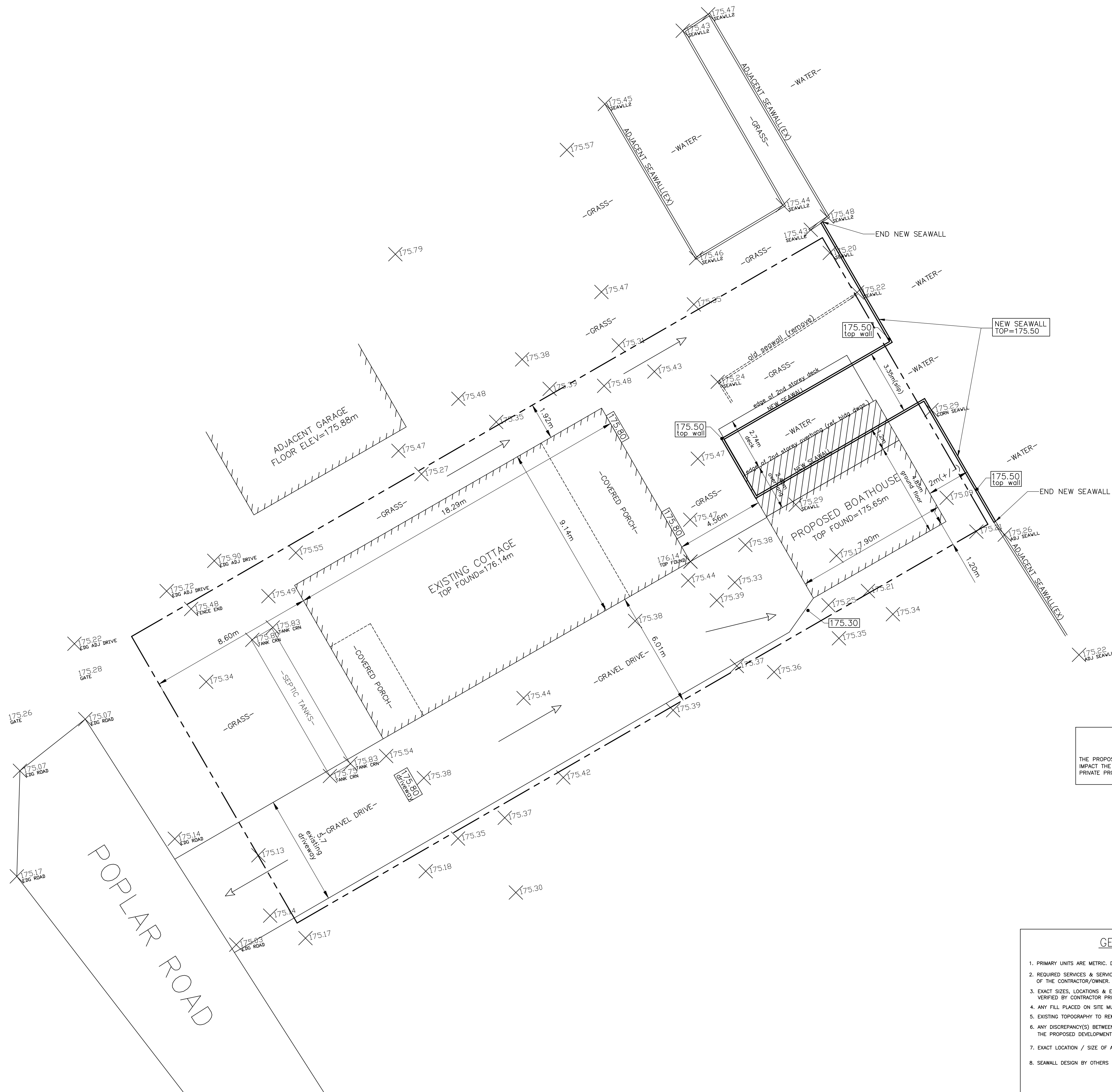
A.D., 2023

Hannelore Yager

A Commissioner, etc.



Hannelore Tenley Yager, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires November 21, 2025.



STORMWATER MANAGEMENT

THE PROPOSED INCREASE IN IMPERVIOUS AREA IS NEGLIGABLE. THE PROPOSAL WILL NOT SIGNIFICANTLY IMPACT THE EXISTING DRAINAGE PATTERN OF THE PROPERTY. NO IMPACTS TO MUNICIPAL OR ADJACENT PRIVATE PROPERTY ARE ANTICIPATED. NO STORM WATER MANAGEMENT CONTROLS ARE PROPOSED.

LEGEND

- PROPERTY LINE
- EXISTING DITCH
- OVERLAND DRAINAGE ROUTE
- EXISTING GRADE ELEVATION (AND DESCRIPTION)
- PROPOSED GRADE ELEVATION

GENERAL NOTES

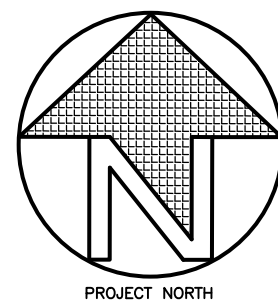
- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT SIZES, LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (FIBER OPTIC, WATER, GAS, BELL, ETC.) ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO TO A MIN. 98% STANDARD PROCTOR DENSITY.
- EXISTING TOPOGRAPHY TO REMAIN UNLESS OTHERWISE NOTED.
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- EXACT LOCATION / SIZE OF ADDITIONAL LANDSCAPING AREAS BY OWNER.
- SEAWALL DESIGN BY OTHERS

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

- ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO M.C. ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
- DIMENSIONS ARE METRIC

NO.	REVISION	DESCRIPTION	DATE	BY
0		ISSUED FOR APPROVAL	MAY 20 2021	RM

DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



M.C. ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-428-8960
E-mail: mail@mceengineering.net
A DIVISION OF 392583 ALTA. LTD.

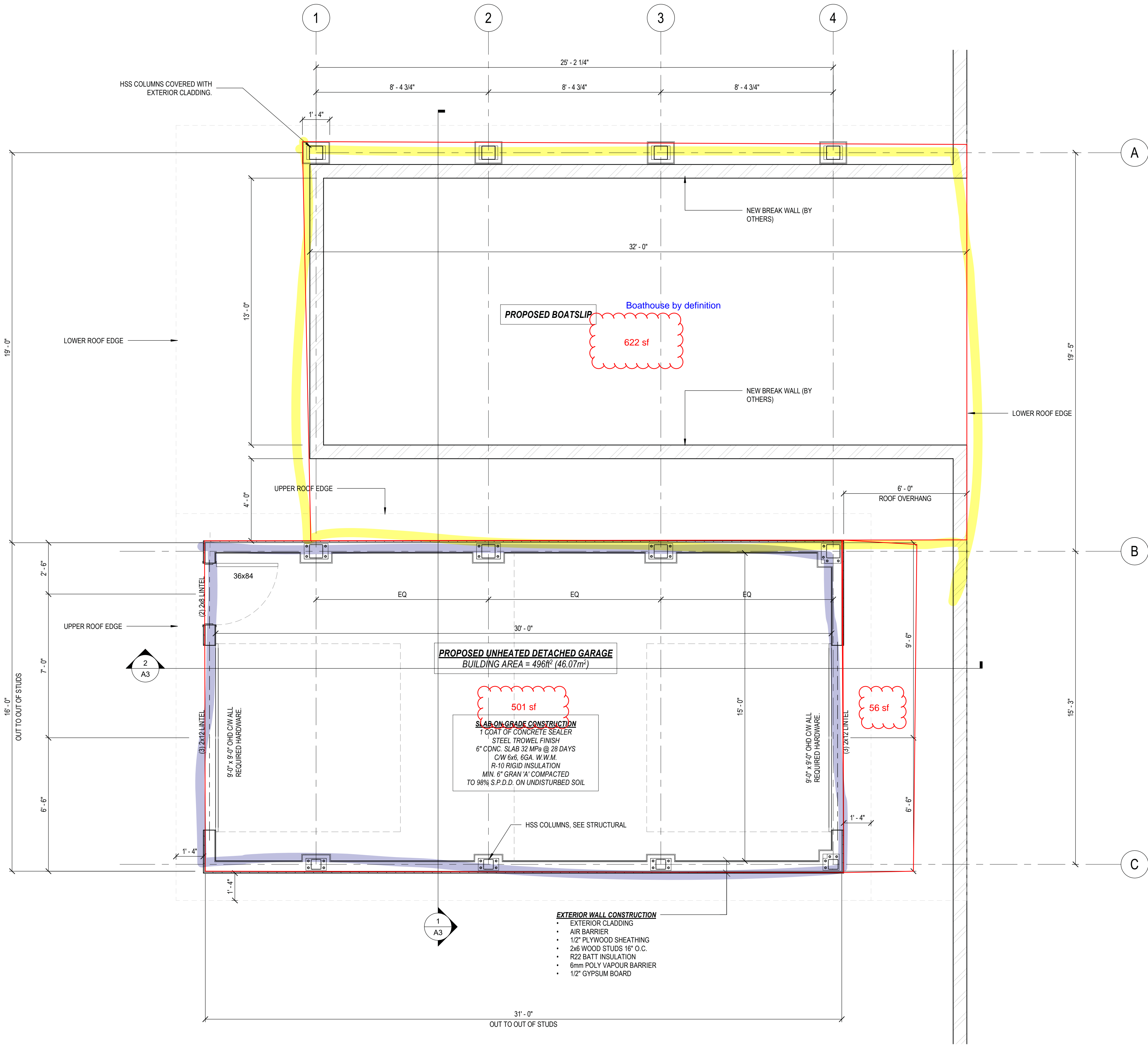
PROJECT NAME

SITE PLAN FOR
LOCKHART - NEW BOATHOUSE
#27 POPLAR ROAD
LONG POINT, NORFOLK COUNTY

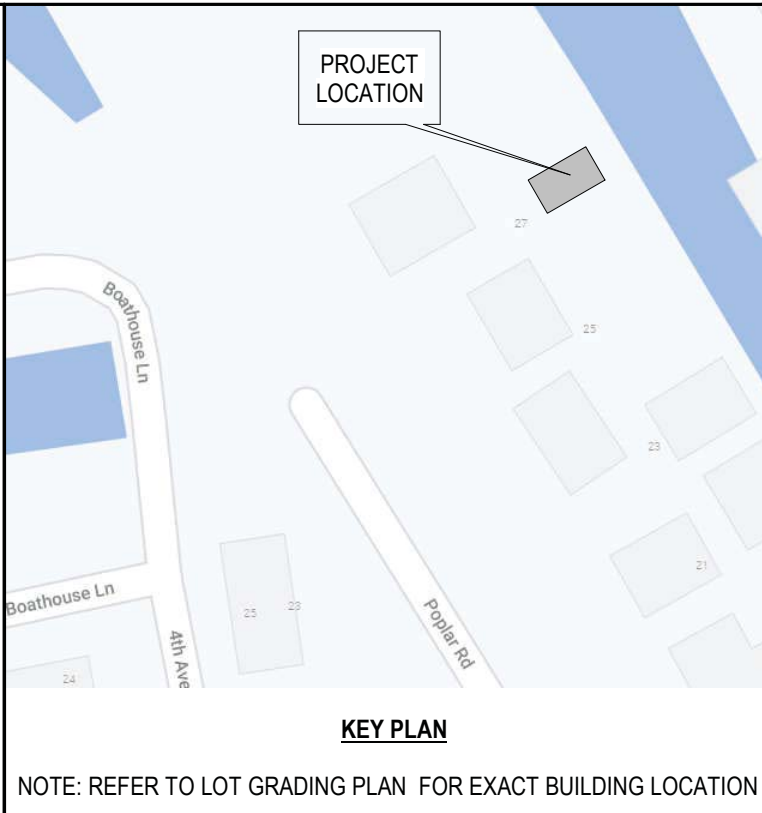
SHEET TITLE
LOT GRADING PLAN

SCALE
1:150 METRIC
DRAWN BY
R. MORRISON
CHECKED BY
M.E.M.
DATE
MAY 2021
FILE NAME
7222

PROJECT NO.
7222
DWG. NO.
SP1
REV. NO.
1



1 GROUND FLOOR PLAN
3/8" = 1'-0"



ITEM		BUILDING CODE MATRIX				OBC REFERENCE	
1	PROJECT DESCRIPTION: Lockhart's New Boathouse Garage Long Point, ON	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input type="checkbox"/> CHANGE OF USE			PART 9	
2	MAJOR OCCUPANCY(s): Group C					Div. A 1.1.2.4	
3	BUILDING AREA (m ²): 46.07					Div. B 9.10.2	
4	GROSS BUILDING AREA(m ²): 46.07					Div. A 1.4.1.2	
5	DESIGN & REVIEW: Engineer					Div. A 1.2.1.1	
6	NUMBER OF STORIES ABOVE GRADE: 1					Div. A 1.4.1.2	
7	HEIGHT OF BUILDING IN METERS: 4.87						
8	MEZZANINE(S) AREA IN m ² : n/a					Div. A 9.10.4.1	
9	NUMBER OF STREETS/ACCESS ROUTES: 1					Div. A 9.10.20.3	
10	OCCUPANCY CLASSIFICATION: Group C - Detached Garage/Boathouse					Div. A 9.10.2.1	
11	WATER SERVICE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					Div. B 9.31	
12	CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBINATION					Div. A 9.10.6	
13	MINIMUM NUMBER OF REQUIRED EXITS: 1					Div. B 9.9.8.2	
14	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS:					Div. B 9.10.14, 9.10.15	
	WALL	AREA OF EBF(m ²)	LIMITING DISTANCE (m)	L/H OR H/L	MAXIMUM % OF UNPROTECTED OPENINGS	PROPOSED % OF UNPROTECTED OPENINGS	FRR (HR)
	NORTH	39.85	>0.6	2.4:1	NOT APPLICABLE TO BUILDING AS PER OBC 9.10.14.5.(3)		
	EAST	19.32	>0.6	1.23:1			
	SOUTH	39.85	>0.6	2.4:1			
	WEST	19.32	>0.6	1.23:1			

GENERAL NOTES

GENERAL CONSTRUCTION NOTES:

- THE BUILDING AND STRUCTURES DESCRIBED ON THESE DRAWINGS ARE DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 (INCLUDING ALL UPDATES AND ALL APPLICABLE REFERENCE STANDARDS).
- ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND ALL OTHER CONTRACT DOCUMENTS.
- ALL DIMENSIONS, LEVELS AND DETAILS SHALL BE CHECKED AND ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- DRAWINGS MUST NOT BE SCALED.

49 North Street East
Tillamook, ON
N4C 1B4
info@grassmere.com

P: 519.842.4392
C: 519.883.3430
F: 519.688.3470
www.grassmere.com

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M/C ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF M/C ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

1	ISSUED FOR PRE - PERMIT REVIEW	11/05/2022	TAS
REV. NO	DESCRIPTION	DATE	BY

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

M/C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-428-8960
E-mail: drawing@mceengineering.net
A DIVISION OF 382583 ALBERTA LTD.

PROJECT NAME

Detached Garage Boathouse For

Lockhart's

27 Poplar Road
Long Point, ON

SHEET TITLE

Floor Plan, Location Plan

SCALE	As indicated	PROJECT NO.	7278
DRAWN BY	TAS	DWG. NO.	A1
CHECKED BY	ZL/JA	REV. NO.	1
DATE	May 11, 2022		
FILE NAME			

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

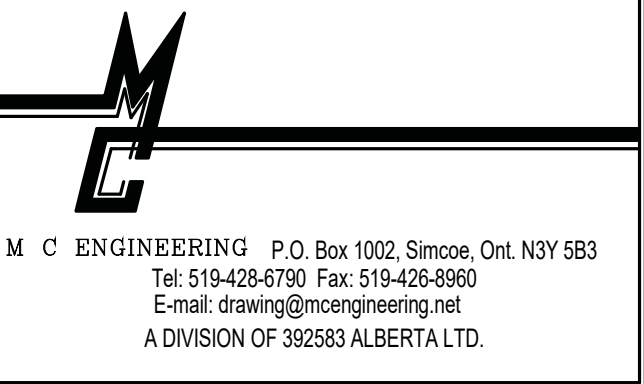
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M C ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

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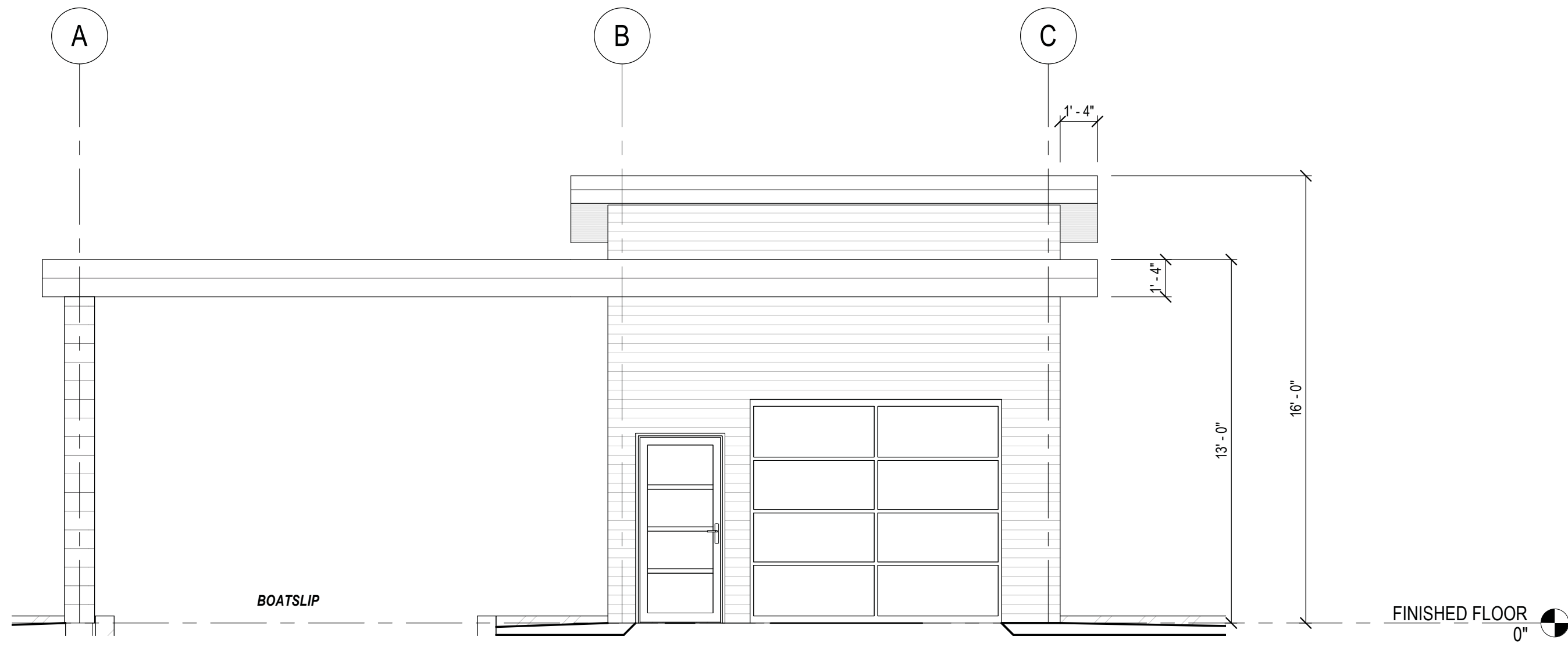
1	ISSUED FOR PRE - PERMIT REVIEW	11/05/2022	TAS
REV. NO	DESCRIPTION	DATE	BY

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

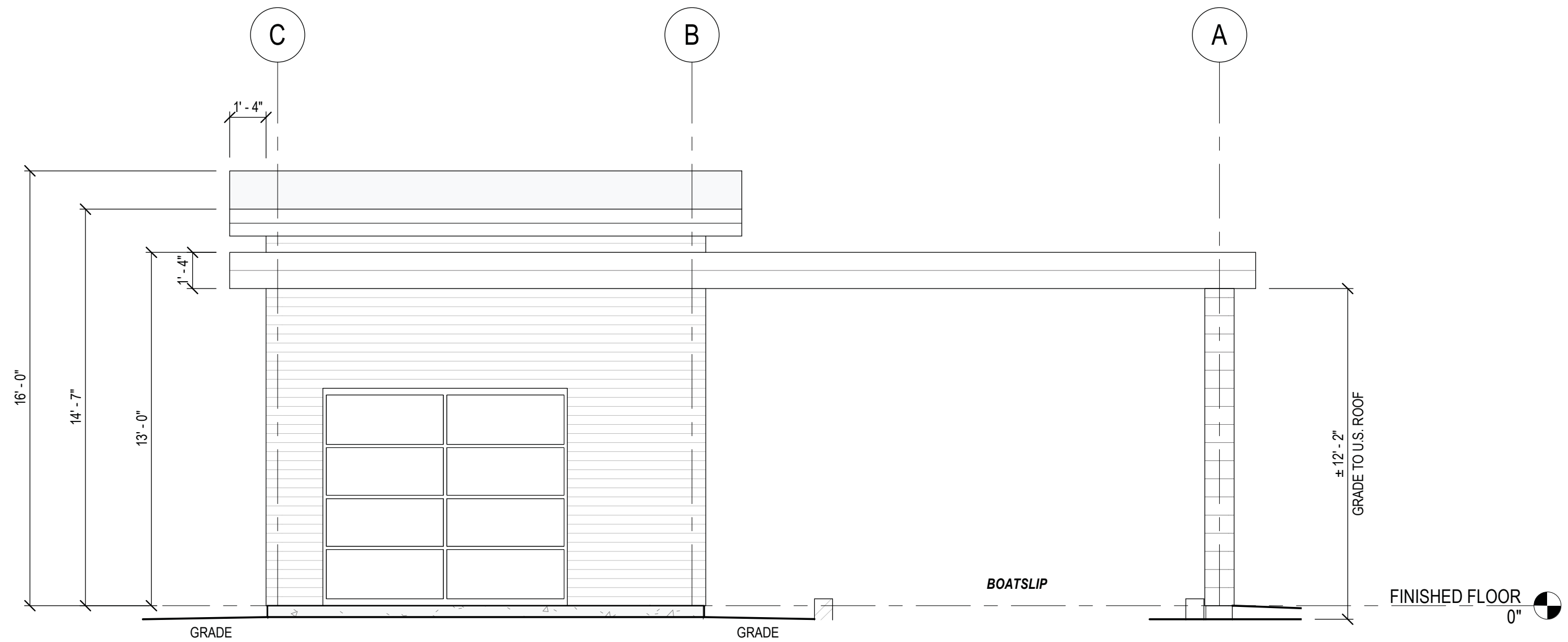


PROJECT NAME
Detached Garage Boathouse For
Lockhart's
27 Poplar Road
Long Point, ON
SHEET TITLE
Elevations

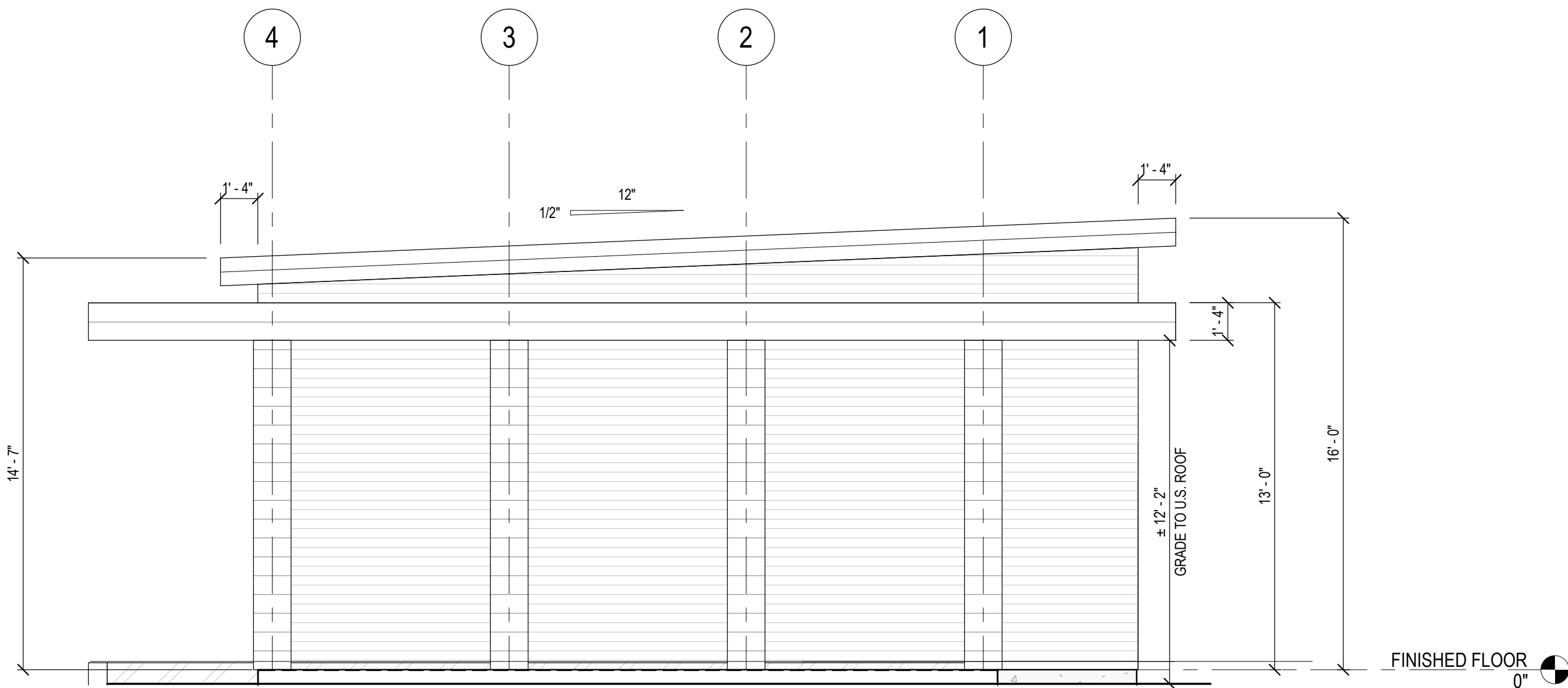
SCALE	1/4" = 1'-0"	PROJECT NO.	7278
DRAWN BY	TAS	DWG. NO.	A2
CHECKED BY	JA/ZL	REV. NO.	1
DATE	May 11, 2022		
FILE NAME			



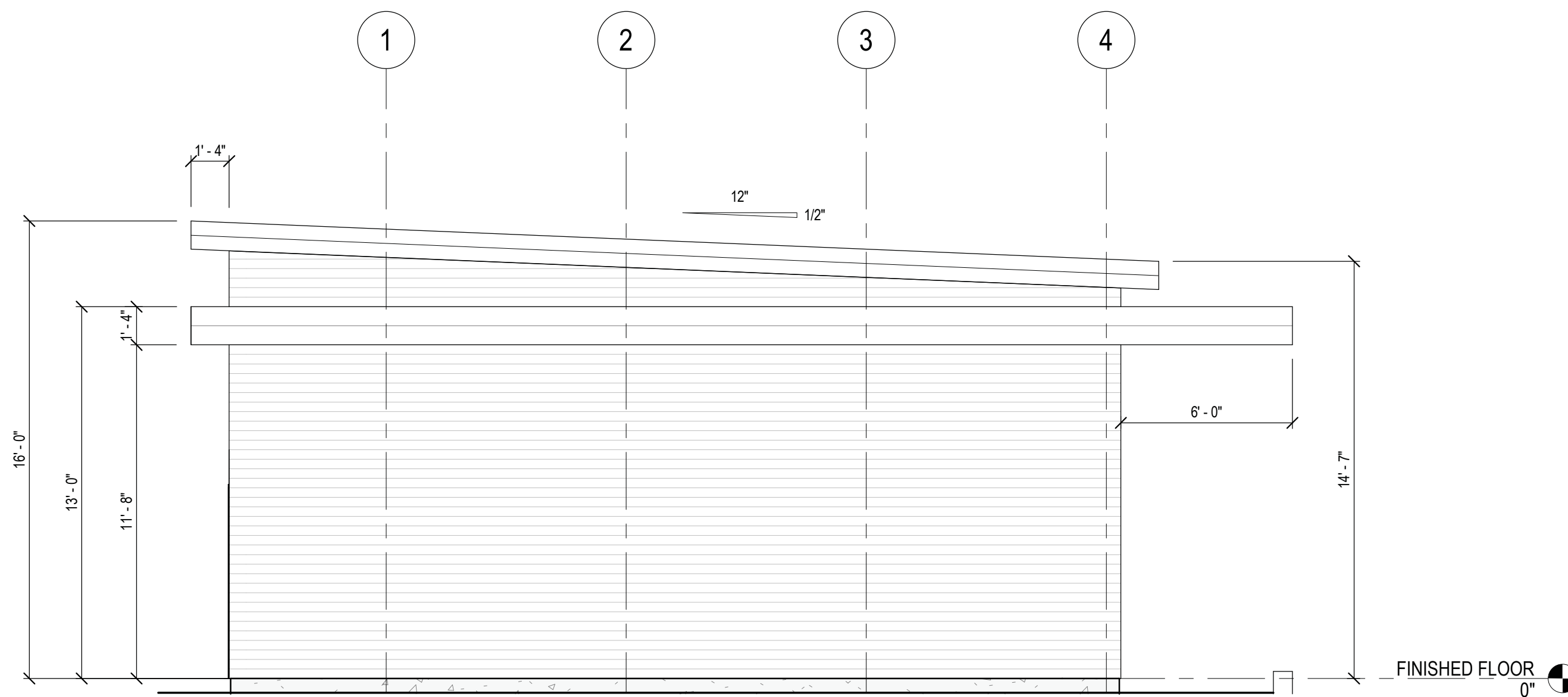
① WEST ELEVATION
1/4" = 1'-0"



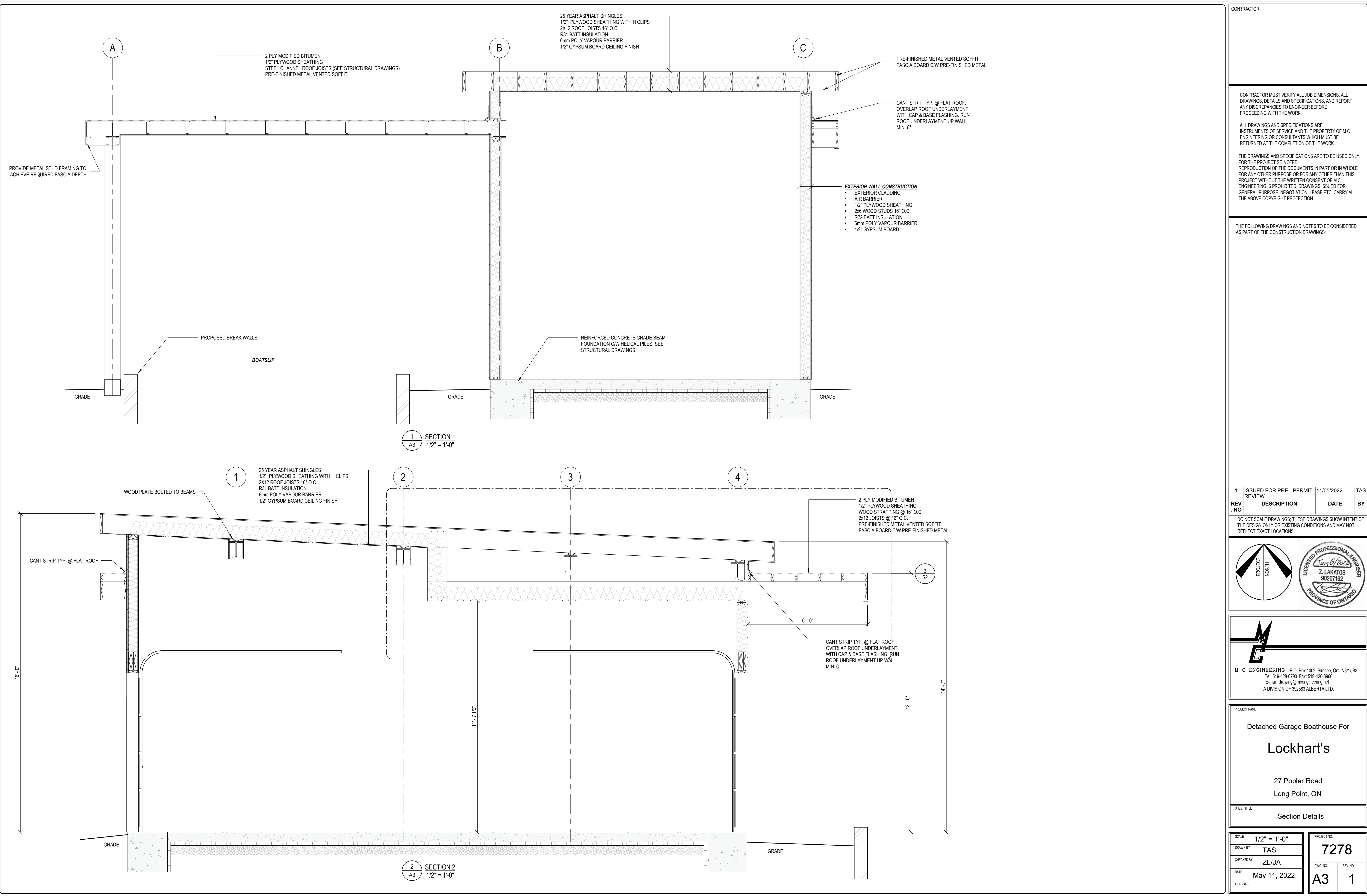
② EAST ELEVATION
1/4" = 1'-0"



③ NORTH ELEVATION
1/4" = 1'-0"



④ SOUTH ELEVATION
1/4" = 1'-0"



STRUCTURAL STEEL

DIVISION 05 00 00 : METALS

1. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS PRIOR TO THE START OF FABRICATION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL SUBMIT FOR REVIEW, SHOP DRAWINGS OF HIS WORK. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR THE ACCURACY OF HIS WORK.
4. ALL EXTERIOR GUARDRAIL FABRICATIONS TO BE HOT DIP GALVANIZED UNLESS OTHERWISE SPECIFIED.

05 10 00 - STRUCTURAL METAL FRAMING

1. DRAWINGS: THE BUILDING MANUFACTURER SHALL PROVIDE COMPLETE ERECTION DRAWINGS. THESE DRAWINGS SHALL SHOW ANCHOR BOLT SETTINGS, TRANSVERSE CROSS SECTIONS, SIDEWALL, ENDWALL AND ROOF FRAMING, SHEETING AND FLASHING DETAILS AND ACCESSORY INSTALLATION DETAILS.
2. CERTIFICATION: STANDARD DRAWINGS AND DESIGN ANALYSIS SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER. THE CSSBI "CERTIFICATE OF DESIGN" SHALL BE FURNISHED.
3. ALL STRUCTURAL MILL SECTIONS OR WELDED PLATE SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH "CSA SPECIFICATION OF DESIGN FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
4. ALL COLD FORMED STEEL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH CSA S136 LATEST "SPECIFICATION FOR DESIGN FOR COLD FORMED STEEL STRUCTURAL MEMBERS".
5. DESIGN LOADS SHALL BE APPLIED IN ACCORDANCE WITH THE OBC OF CANADA(2012).
6. BUILDING COMPONENTS SHALL BE DESIGNATED TO MEET THE MOST SEVERE CONDITIONS PRODUCED BY LOAD COMBINATIONS AS PER THE OBC OF CANADA(2012).
7. PRIMARY FRAMING STEEL: STEEL FOR HOT ROLLED STRUCTURAL SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION A-36 SPECIFICATION A-36 OR CSA G40.21 GRADE 350W.
8. SECONDARY FRAMING STEEL: STEEL USED TO FORM PURLINS, GIRTS, EAVE STRUTS AND CROSS SECTIONS SHALL BE FLAT STOCK AND HAVE A MINIMUM YIELD POINT OF 50.000PSI.
9. ALL FRAMING MEMBERS SHALL BE SHOP FABRICATED FOR BOLTED FIELD ASSEMBLY. THE SURFACES OF THE BOLTED CONNECTIONS SHALL BE SMOOTH & FREE FROM BURRS OR DISTORTION.
10. ALL BOLTED CONNECTIONS IN PRIMARY STRUCTURAL FRAMING SHALL BE MADE USING STRUCTURAL QUALITY A325 OR A490 BOLTS, COMPLETE WITH HARDENED WASHERS, AS DETERMINED BY THE DESIGN.
11. UNLESS OTHERWISE SPECIFIED OR SHOWN, THE FOLLOWING CODES AND STANDARDS SHALL APPLY:

02 30 00 - EXCAVATION SUPPORT AND PROTECTION

- OBC ONTARIO BUILDING CODE(2012)
 - CAN/CSA-G40-20/G40 21 STRUCTURAL QUALITY STEELS
 - CISC CANADIAN INSTITUTE OF STEEL CONSTRUCTION HANDBOOK OF STEEL CONSTRUCTION, CODE OF STANDARD PRACTICE FOR STRUCTURAL STEEL
 - CSA-S16.1 DESIGN OF STEEL STRUCTURES FOR BUILDINGS
 - CSA W47.1 CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL STRUCTURES
 - CSA W59-13 WELDED STEEL CONSTRUCTION (METAL ARC WELDING).
12. STRUCTURAL STEEL SHAPES AND PLATES SHALL BE IN ACCORDANCE WITH CSA G40.M81 (LATEST EDITION). ALL ROLLED STRUCTURAL SHAPES AND PLATES SHALL CONFORM TO CSA G40.21, GRADE 350W.
13. DESIGN DETAILS AND CONNECTIONS IN ACCORDANCE WITH REQUIREMENTS OF CAN/CSA-S16.1 TO RESIST FORCES, MOMENTS, AND SHEARS AND ALLOW FOR MOVEMENTS INDICATED.
14. IF SHEARS ARE NOT INDICATED, SELECT OR DESIGN CONNECTIONS TO SUPPORT REACTION FROM MAXIMUM UNIFORMLY DISTRIBUTED LOAD THAT CAN BE SAFELY SUPPORTED BY BEAM IN BENDING, PROVIDED NO POINT LOADS ACT ON BEAM.
15. FOR NON-STANDARD CONNECTIONS, SUBMIT SKETCHES AND DESIGN CALCULATIONS STAMPED AND SIGNED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED OR LICENSED IN PLACE OF THE WORK. IN ADDITION TO THE ABOVE, A QUALIFIED PROFESSIONAL ENGINEER REGISTERED OR LICENSED IN THE PLACE OF THE WORK MUST CERTIFY ALL CONNECTION DESIGN.

16. ASTM A325, LATEST REVISION, (FRICTION TYPE CONNECTION) 3/4" DIAMETER IN 13/16" DIAMETER HOLES UNLESS NOTED OTHERWISE.
17. UNLESS OTHERWISE INDICATED PROVIDE WALL ANCHORS INCLUDING EMBEDDED STEEL PLATES, BASE PLATES, STEEL ANGLE LINTELS, SHEAR ANGLE FOR HOLDING MASONRY, MISCELLANEOUS CURB ANGLES, AND ALL OTHER HARDWARE TO BE EMBEDDED IN CONCRETE FOR STEEL MEMBERS ON CONCRETE STRUCTURE INCLUDING ANCHOR BOLTS AND STEEL SUPPORTS.
18. ANGLE LINTELS SHALL HAVE A BEARING OF AT LEAST 6" AT EACH END, OR AS NOTED ON DRAWINGS; IF DOUBLED, SHALL BE BOLTED OR WELDED BACK TO BACK. IF ANGLE SEATS ARE AT DIFFERENT ELEVATIONS, STEEL PACKING SHALL BE SUPPLIED TO PROVIDE EVEN BEARINGS.
19. PROVIDE, AS REQUIRED, ONE ANGLE LINTEL OF APPROPRIATE SIZE FOR EACH 4' MASONRY WALL THICKNESS OVER ALL OPENINGS IN WALLS FOR DUCTS, RADIATOR RECESSES, HOOE CABINETS, ELECTRIC PANELS, ETC. UNLESS A REINFORCED CONCRETE LINTEL, OR CONCRETE FILLED LINTEL BLOCK, IS NOTED FOR THE OPENING.
20. CLEAN, PREPARE SURFACES AND SHOP PRIME STRUCTURAL STEEL IN ACCORDANCE WITH CAN/CSA-S16.1.
21. CLEAN ALL MEMBERS, REMOVE LOOSE MILL SCALE, RUST, OIL, DIRT AND OTHER FOREIGN MATTER. PREPARE SURFACE ACCORDING TO SSPC SP7 (BRUSH) SLT.
22. APPLY ONE COAT OF CISC/CPMA 1-73A PRIMER IN SHOP TO ALL STEEL SURFACES TO ACHIEVE MINIMUM DRY FILM THICKNESS OF 3.0 MILS. EXCEPT:

- SURFACES AND EDGES TO BE FIELD WELDED.
- FACING SURFACES OF SLIP CRITICAL CONNECTION.
- BELOW GRADE SURFACES IN CONTACT WITH SOIL.
- APPLY PAINT UNDER COVER, ON DRY SURFACES ONLY AND WHEN SURFACE AND AIR TEMPERATURES ARE ABOVE 41°F.
- MAINTAIN DRY CONDITION AND 41°F MINIMUM TEMPERATURE UNTIL PAINT IS THOROUGHLY DRY.
- STRIP PAINT FROM BOLTS, NUTS, SHARP EDGES AND CORNERS BEFORE PRIME COAT IS DRY.
- SURFACES TO BE HOT DIPPED GALVANIZED.

CONCRETE

DIVISION 06 00 00 : WOOD PLASTICS AND COMPOSITES

1. ALL WOOD MATERIALS, FABRICATION AND ERECTING TO BE IN ACCORDANCE WITH CSA 8096-194 ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA (LATEST EDITION).
2. ALL TIMBER FOR RAFTERS, LINTELS, BEAMS TO BE SPF #1 & #2 UNLESS NOTED OTHERWISE ON PLAN.
3. ALL TIMBER SHALL CONFORM TO RECOGNIZED NOMINAL SIZES SHOWN ON PLAN AND STRESS RATINGS FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT CONFORM TO DIMENSIONS AND SPECIES.
4. WHERE LVL, TJ, OR OTHER JOIST SYSTEMS ARE SPECIFIED, FABRICATOR SHALL SUPPLY ALL NECESSARY PLANS INCLUDING LOCATION, LOADINGS, ALLOWABLE STRESSES TEMPORARY AND PERMANENT BRACING AND SHALL BEAR A SEAL OF A PROFESSIONAL ENGINEER.
5. ALL CONNECTORS PENETRATING EXISTING ROOFING MEMBRANES MUST HAVE SELF SEALING HEAD AND/OR BE SEALED TO PREVENT ROOF LEAKS AT PENETRATION POINTS.

06 10 00 - ROUGH CARPENTRY

1. ALL WOOD DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROVISIONS/OF THE LATEST EDITION OF CSA STANDARD CAN/CSA-086.
2. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, ALL WOOD SHALL BE OF SPECIES S-P-F WITH WOOD QUALITY OF NO.2 OR BETTER.
3. PROVIDE A MINIMUM OF 6" BEARING FOR ALL WOOD BEAMS AND LINTELS.
4. SHEATHING: EXTERIOR WALLS: FIR/SPRUCE PLYWOOD
ROOF: SHEATHING GRADE FIR/SPRUCE PLYWOOD
5. ALL SHEATHING SHALL BE FASTENED TO THE STUD FRAMING WITH MINIMUM 3" COMMON NAILS @ 12" O.C. IN THE FIELD, AND @ 6" O.C. AT SUPPORTED EDGES. REFER TO PLANS FOR ALL ADDITIONAL SHEAR WALL/DIAPHRAGM BLOCKING AND NAILING.
6. CUT FRAMING MEMBERS ACCURATELY TO SIZE, FIT CLOSE AND TIGHT, SECURELY ANCHOR BY NAILING OR SPIKING AND LEAVE PLUMB AND LEVEL.
7. PRESSURE TREATED WOOD IN CONTACT WITH CONCRETE OR MASONRY, IN ACCORDANCE WITH CAN/CSA-080 SERIES.
8. EXTERIOR LUMBER TO BE EXPOSED TO ELEMENTS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
9. INSTALL PLYWOOD SHEATHING WITH SURFACE GRAIN AT RIGHT ANGLES TO ROOF FRAMING AND WITH JOINTS LIGHTLY BUTTED, USING H-CLIPS.
10. ALL JOINTS SHALL HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.
11. INSTALL MEMBERS LEVEL, SQUARE AND PLUMB. INSTALL FURRING AND BLOCKING AS REQUIRED TO SPACE OUT AND SUPPORT FINISHES, FACINGS, FASCIA, SOFFIT, SILING,ELECTRICAL MOUNTS AND OTHER WORK AS REQUIRED.
12. INSTALL ROUGH BUCKS, NAILERS, AND LININGS TO ROUGH OPENINGS AS REQUIRED PROVIDING BACKUP TO FRAMES AND OTHER WORK.
13. INSTALL WOOD NAILERS, CURBS, AND OTHER WOOD ROOF SUPPORTS AS REQUIRED AND SECURE USING GALVANIZED STEEL FASTENERS.
14. FRAME, ANCHOR, FASTEN, TIE AND BRACE MEMBERS TO PROVIDE NECESSARY STRENGTH AND RIGIDITY.

THERMAL AND MOISTURE PROTECTION

CAULKING & SEALANTS

07 90 00 - JOINT PROTECTION

1. SEALANTS AND CAULKING TO BE ONE PART ACRYLIC TERPOLYMER, CONFORMING TO CGSB-19 GP-5M, BY TREMCO OR APPROVED EQUAL AND PRIMER TO SUIT.
2. INSTALL JOINT BACKING MATERIAL IN MAXIMUM LENGTHS WITH MINIMUM NUMBER OF JOINTS OR SPLICES.
3. FINISH SURFACES OF CAULKING SMOOTH, FULL BEAD, FREE FROM RIDGES, WRINKLES, SAGS, AIR POCKETS AND EMBEDDED OBJECTS.
4. PROVIDE CAULKING AT ALL LOCATIONS SHOWN ON DRAWINGS AND WHERE REQUIRED TO ACHIEVE A COMPLETELY WATERTIGHT JOINT.

Grassmere
CONSTRUCTION LTD.

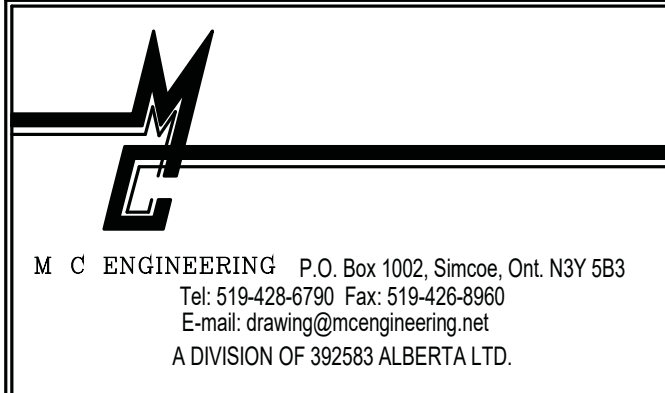
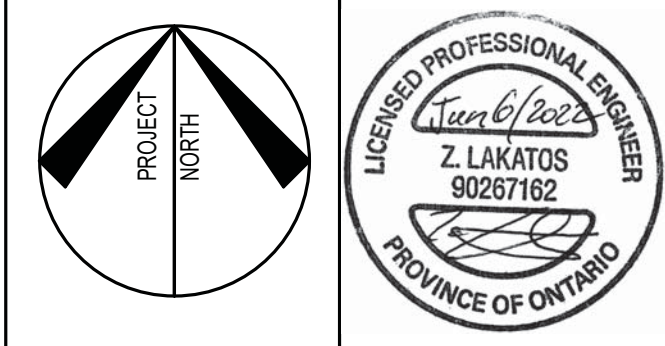
P: 519.842.4392
C: 519.983.3430
F: 519.688.2470
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PROJECT NAME

Detached Garage Boathouse For

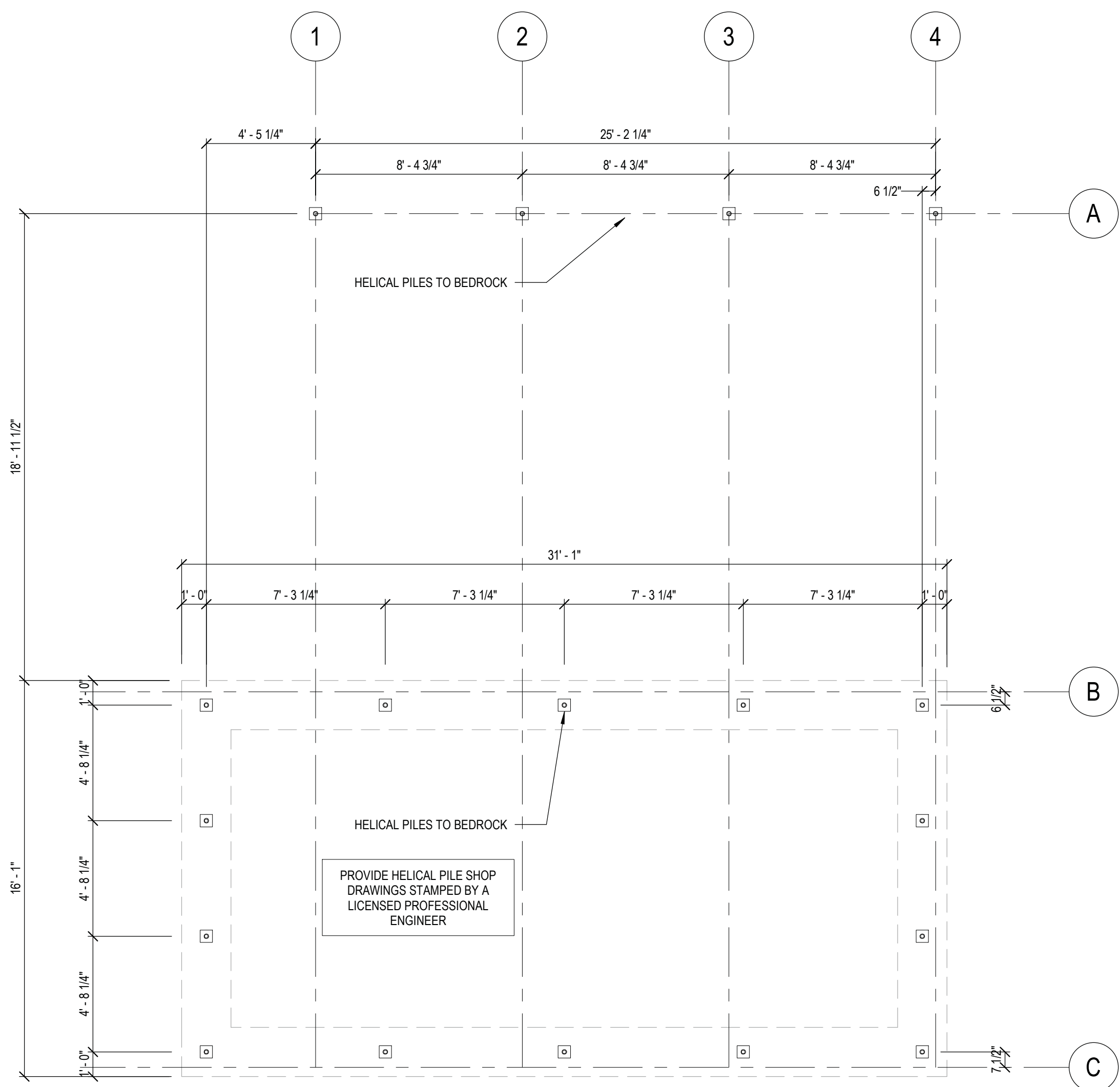
Lockhart's

27 Poplar Road
Long Point, ON

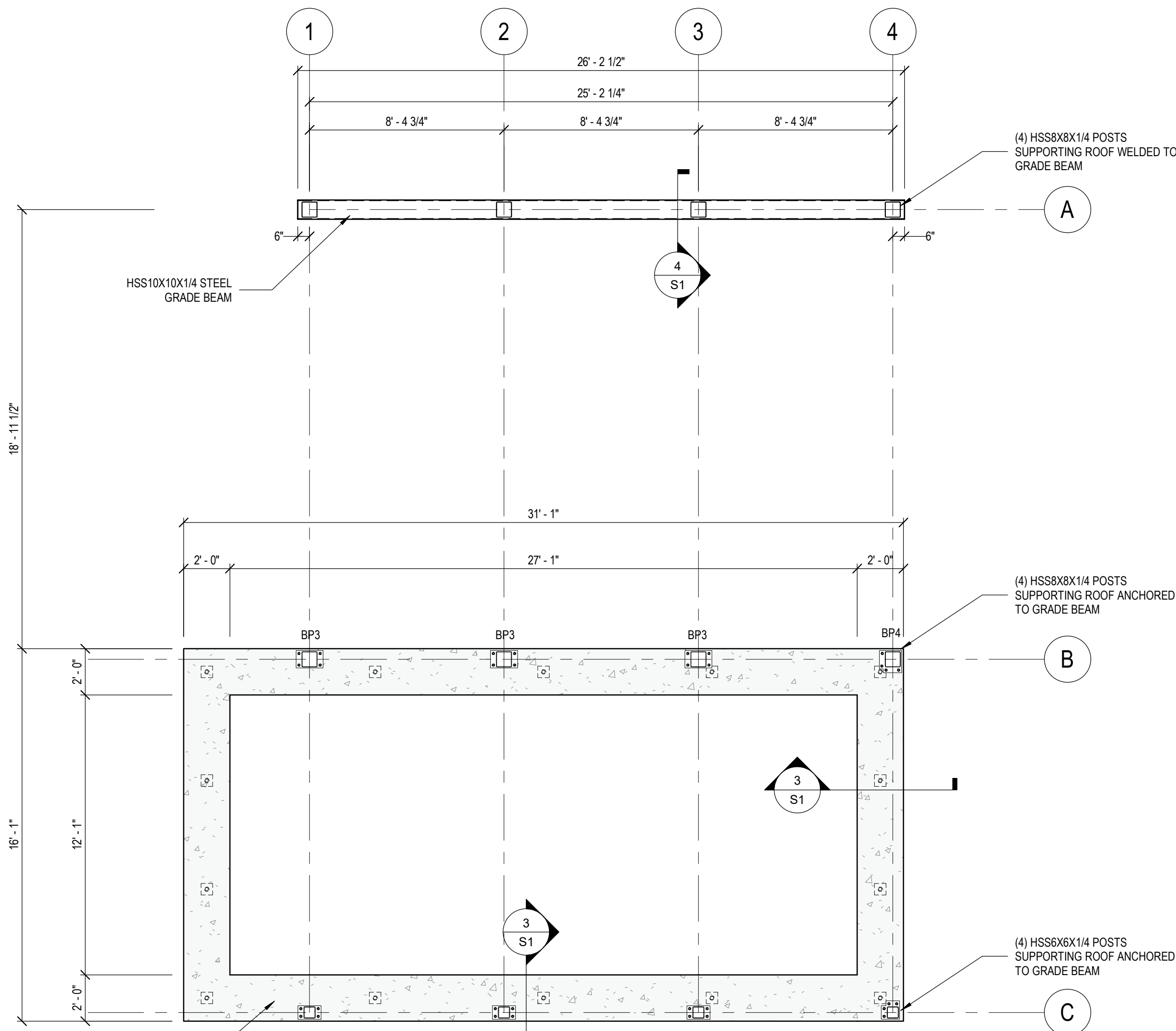
Notes & Specs

SCALE	1 1/2" = 1'-0"	
DRAWN BY	Author	
CHECKED BY	Checker	
DATE	May 11, 2022	
FILE NAME		

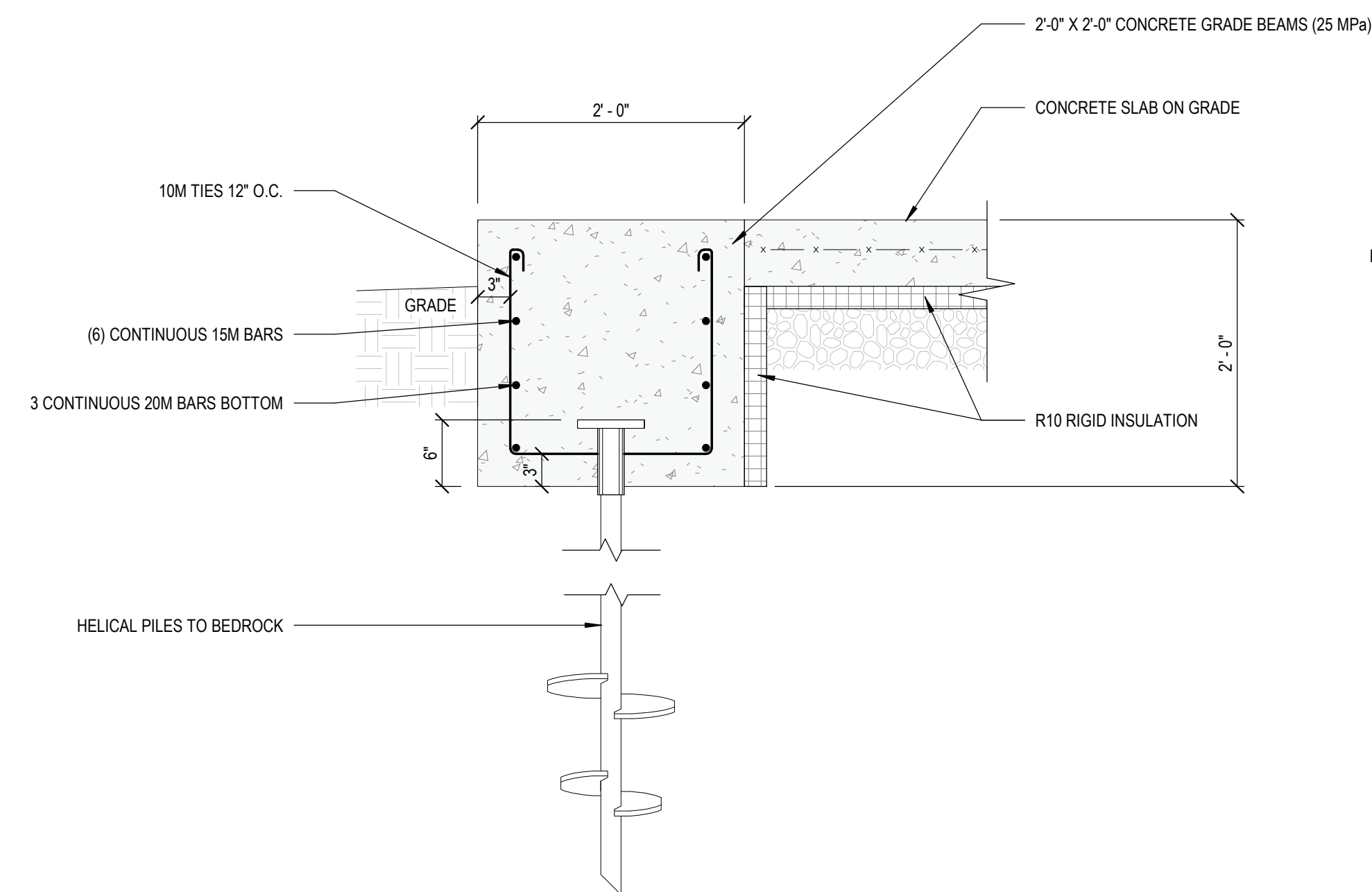
PROJECT NO.	
7278	
DWG. NO.	REV. NO.
A4	1



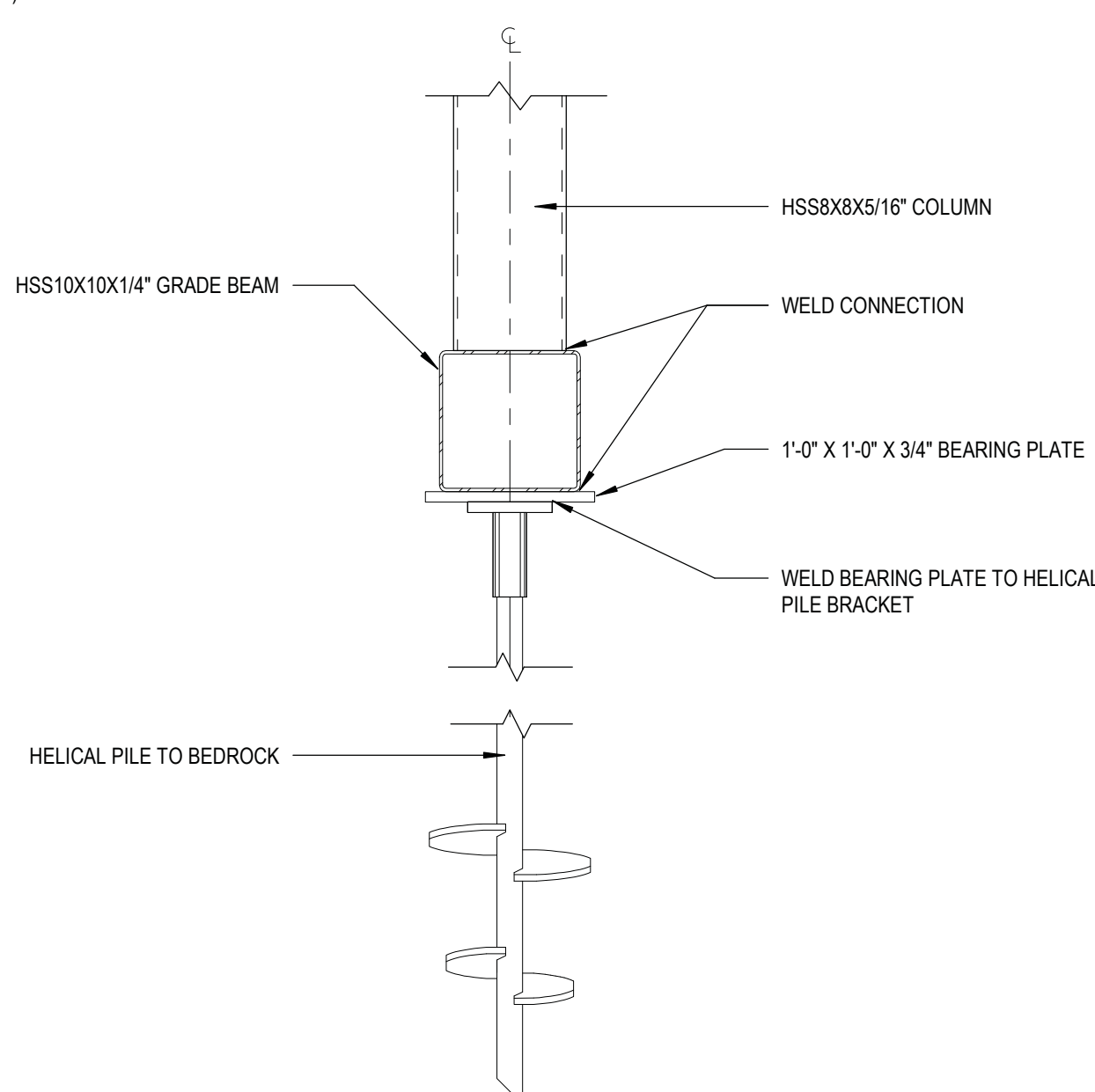
1 HELICAL PILE PLAN
1/4" = 1'-0"



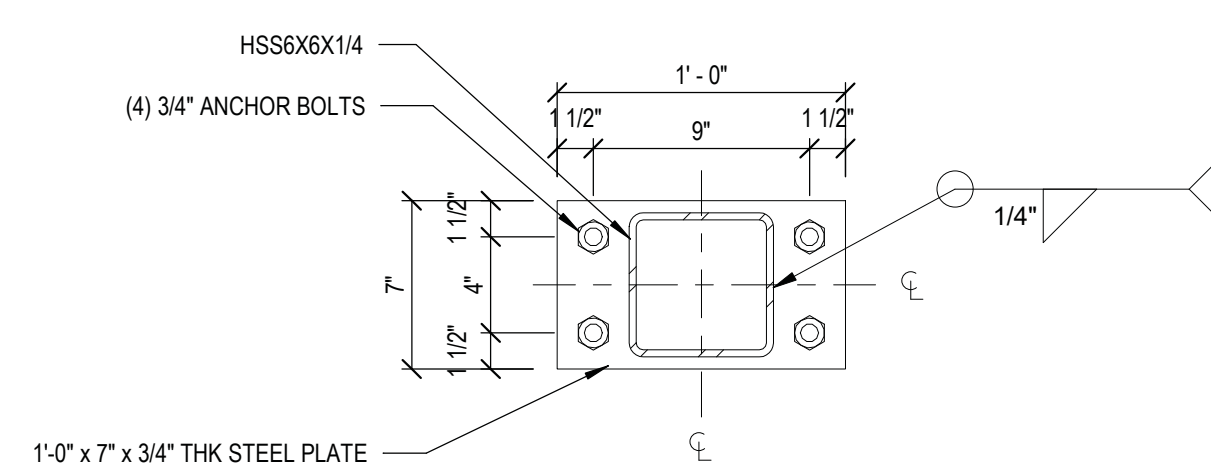
2 GRADE BEAM & COLUMN PLAN
1/4" = 1'-0"



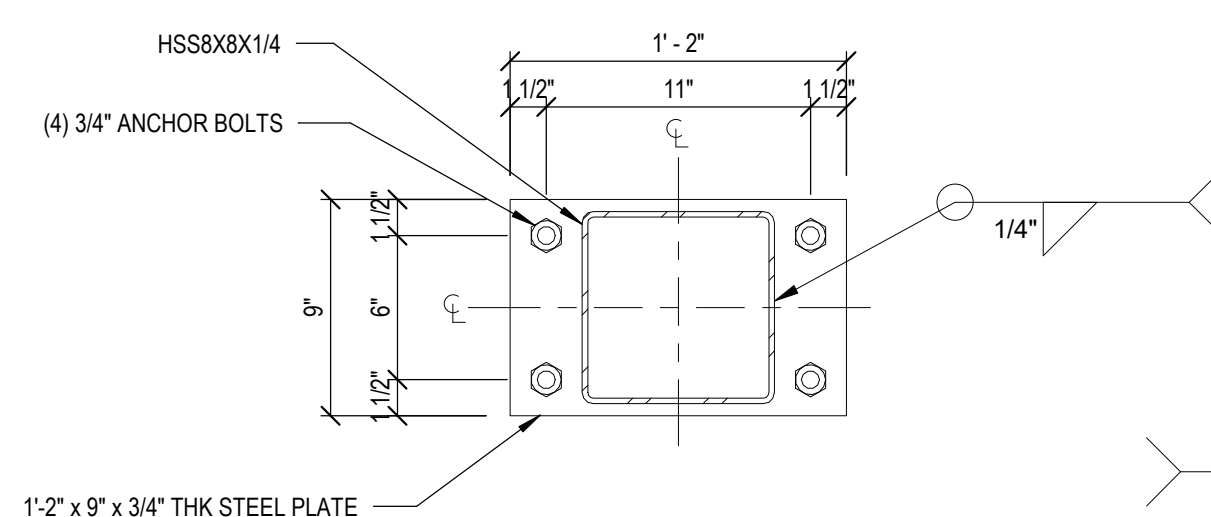
3 CONCRETE GRADE BEAM AND PILE DETAIL
1" = 1'-0"



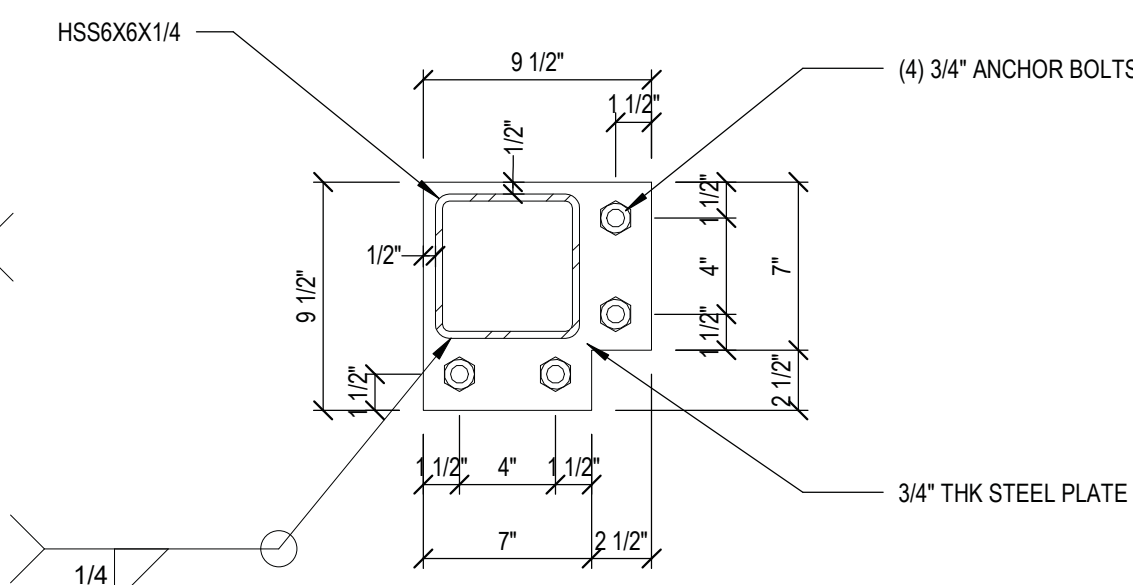
4 STEEL GRADE BEAM AND PILE DETAIL
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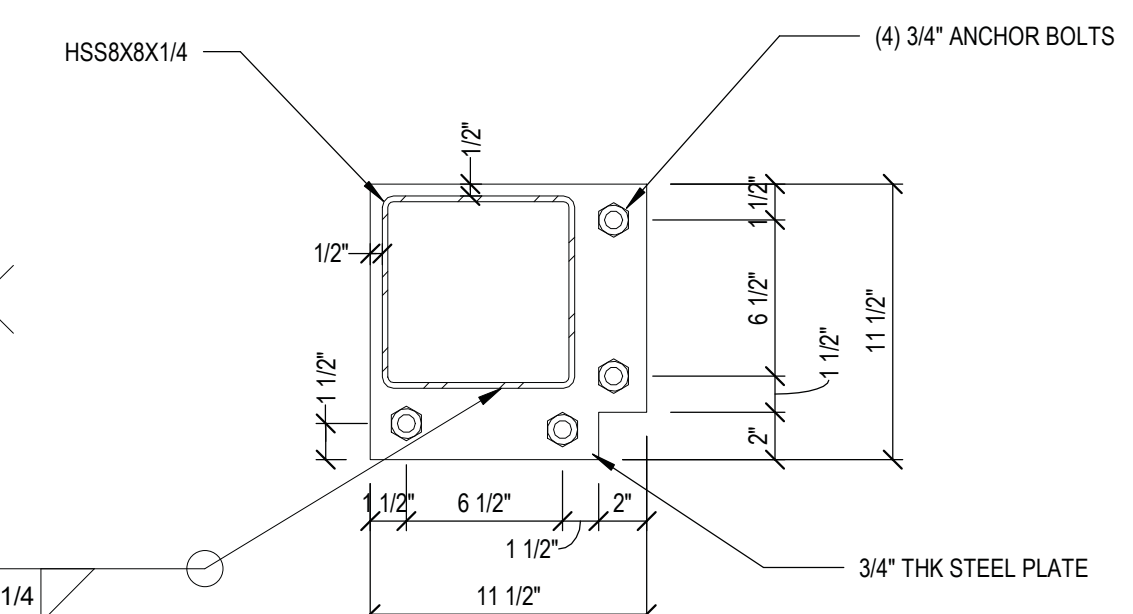
5 BP1 - BASEPLATE
1 1/2" = 1'-0"



7 BP3 - BASEPLATE
1 1/2" = 1'-0"



6 BP2 - BASEPLATE
1 1/2" = 1'-0"



8 BP4 - BASEPLATE
1 1/2" = 1'-0"

DESIGN LOADS

DESIGN LOADS:

PROJECT # - 7278-GRASSMERE-LOCKHART'S BOATHOUSE

GENERAL COMMENTS:

DESIGN DATA FOR: LONG POINT, ONTARIO.
DESIGN BASED ON ULS AND SLS PROCEDURES AS PER PART 4 OF O.B.C.

SNOW LOADS:

FROM TABLE 1.2 OF SB-1
Is = IMPORTANCE FACTOR FOR ULS = 1.0
Is = IMPORTANCE FACTOR FOR SLS = 0.9
Cb = BASIC ROOF SNOW LOAD FACTOR = 0.5
Cw = WIND EXPOSURE FACTOR = 1.0
Cs = SLOPE FACTOR = 1.0
Ca = SHAPE FACTOR = 1.0

THE FOLLOWING CLIMATIC DATA WAS USED TO
DETERMINE THE SPECIFIED SNOW LOAD:

Ss = GROUND SNOW LOAD = 1.2 kPa = 25 PSF
Sr = 1/50 ASSOCIATED RAIN LOAD = 0.4 kPa = 8.4 PSF

WIND LOADS:

FROM TABLE 1.2 OF SB-1
CATEGORY 2 BUILDING
Iw = IMPORTANCE FACTOR FOR ULS = 1.0
Iw = IMPORTANCE FACTOR FOR SLS = 0.75
Ct = 1.0, INTERNAL PRESSURE CATEGORY = 2

BASED ON THE HOURLY WIND PRESSURE
THE REFERENCE VELOCITY PRESSURE DETERMINED IN
ACCORDANCE TO SUB-SECTION 1.1.2.
FOR MAJOR COMPONENTS 1/50 = 0.48 kPa = 10 PSF

ROOF LOADS:

DEAD LOAD MIN. = 1.0 kPa = 20 PSF (EXCLUDING SELF WEIGHT)
LIVE LOAD = 1.0 kPa = 20 PSF

FLOOR LOADS:

LIVE LOAD = 2.4 kPa = 50 PSF

GEOTECH INFORMATION:

FOUNDATION DESIGN BASED ON:
72 kPa (1500 psf) AT SERVICEABILITY LIMIT STATES



CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL
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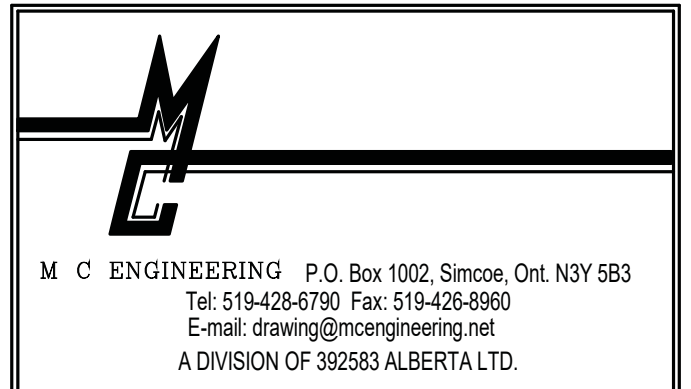
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REV. NO	DESCRIPTION	DATE	BY
1	ISSUED FOR PRE - PERMIT REVIEW	11/05/2022	TAS

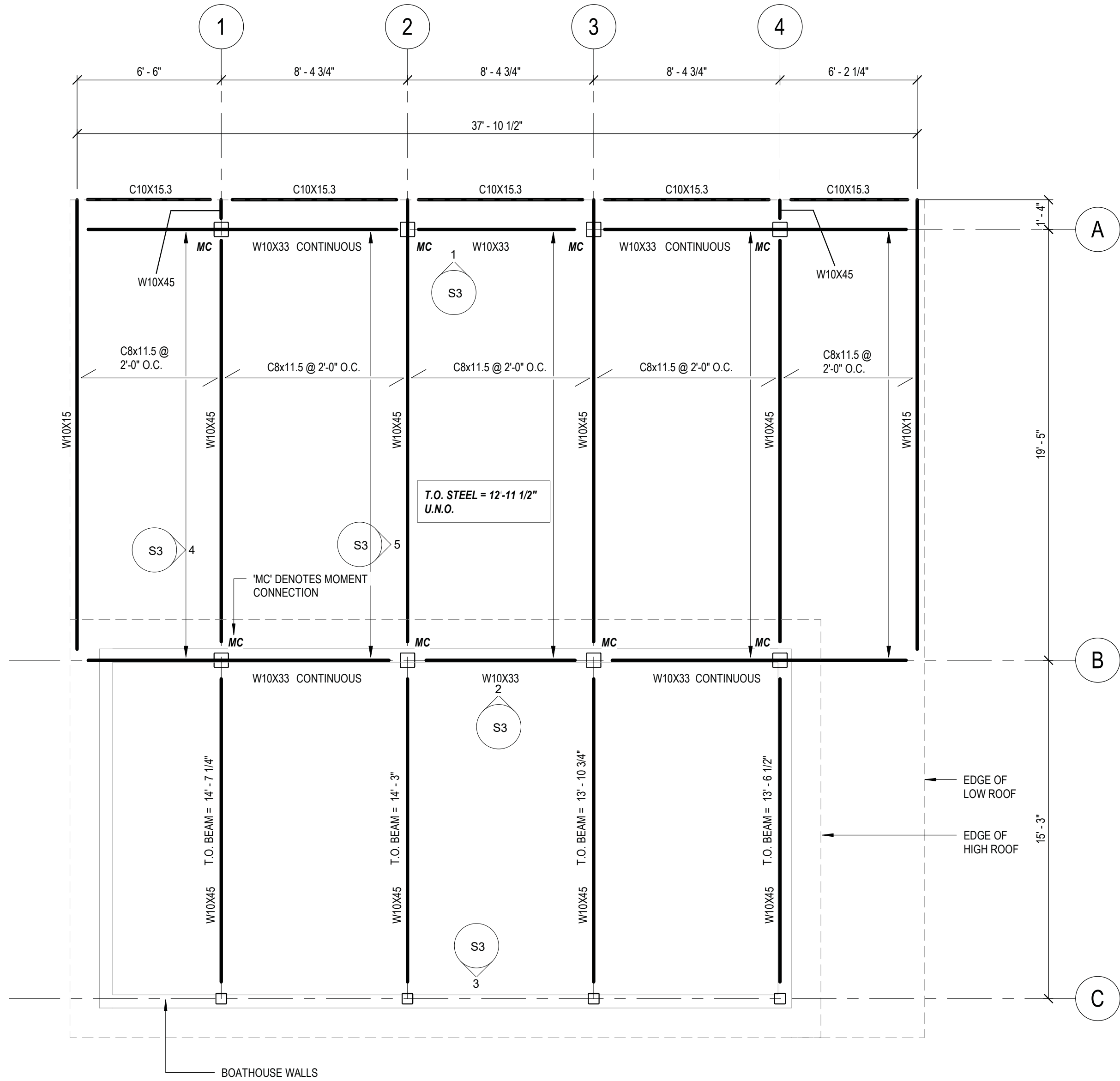
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PROJECT NAME
Detached Garage Boathouse For
Lockhart's
27 Poplar Road
Long Point, ON

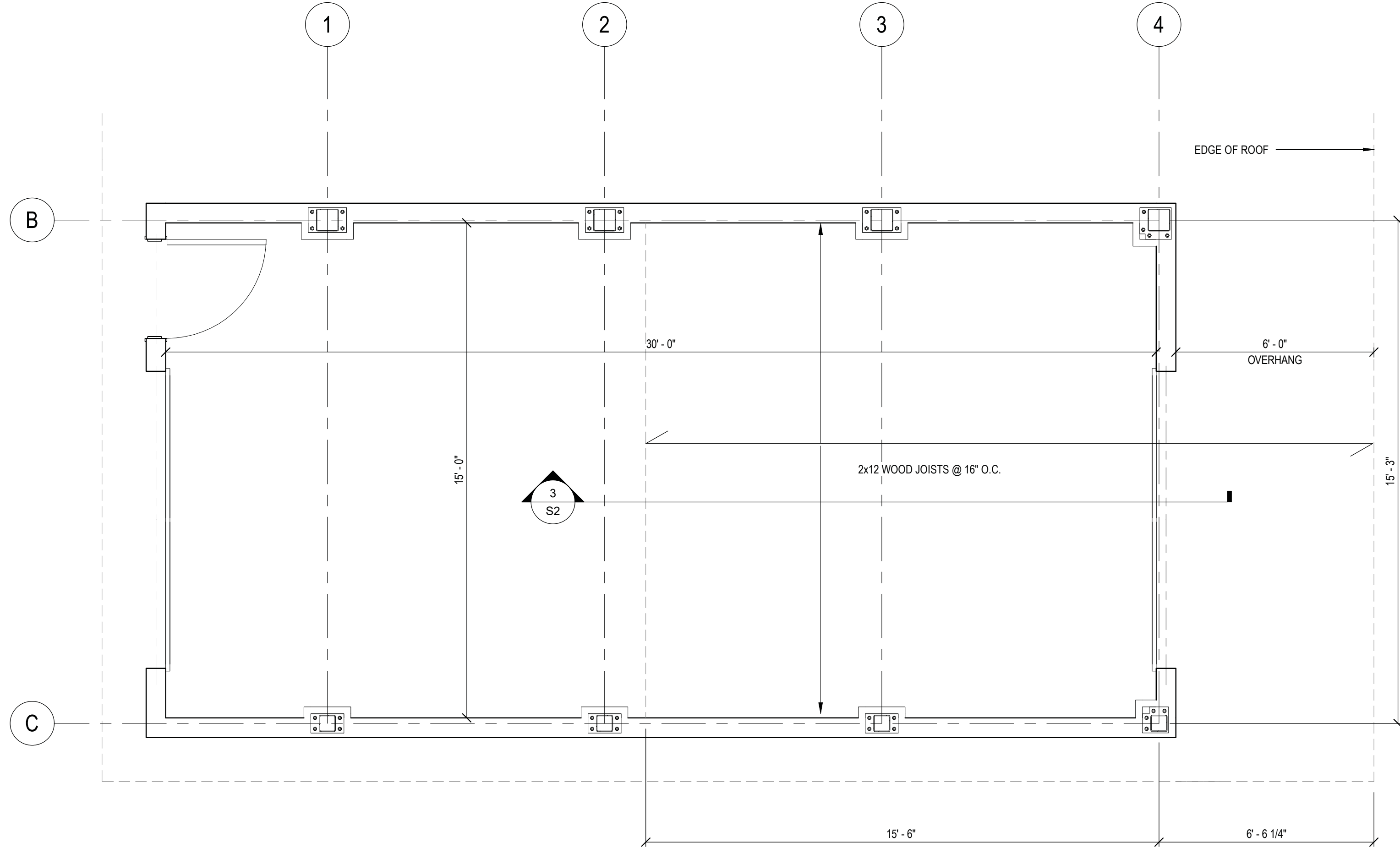
SHEET TITLE
Helical Pile, Grade Bm & Column Plans

SCALE As indicated	PROJECT NO. 7278
DRAWN BY TAS	DWG. NO. S1
CHECKED BY ZL/JA	REV. NO. 1
DATE May 11, 2022	
FILE NAME	

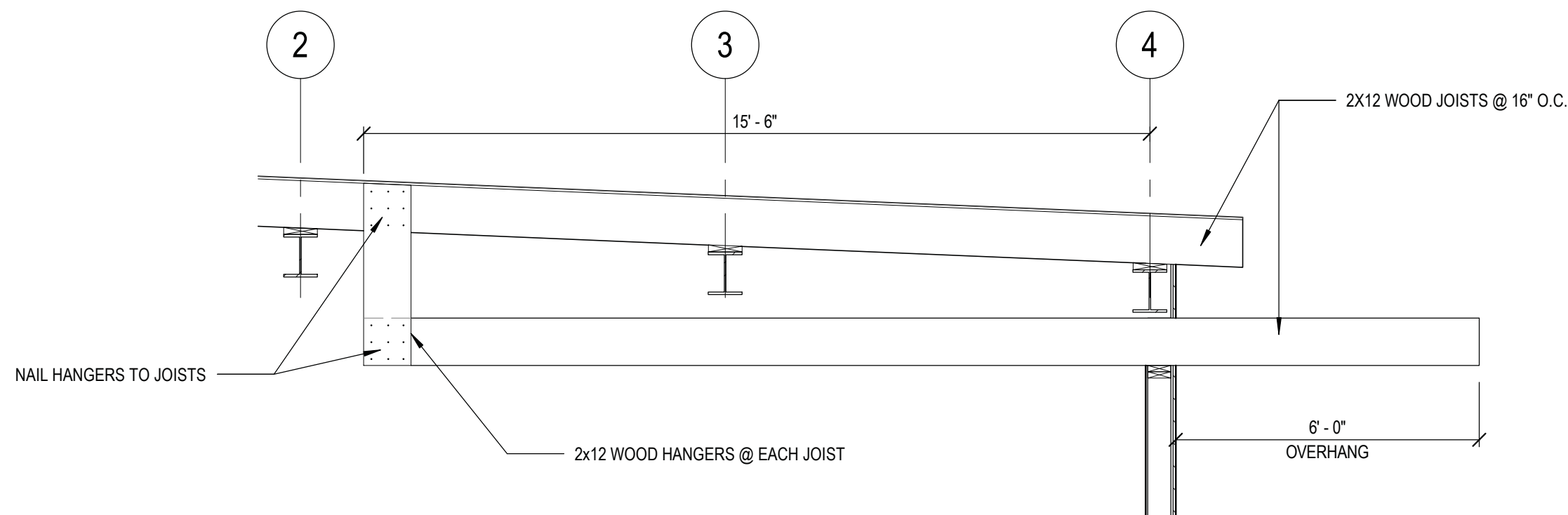


1 ROOF FRAMING PLAN
1/4" = 1'-0"

NOTE: PROVIDE STRUCTURAL STEEL SHOP DRAWINGS
STAMPED BY A LICENSED PROFESSIONAL ENGINEER



2 LOWER ROOF OVERHANG @ GARAGE
3/8" = 1'-0"



3 ROOF OVERHANG @ GARAGE SECTION DETAIL
3/8" = 1'-0"



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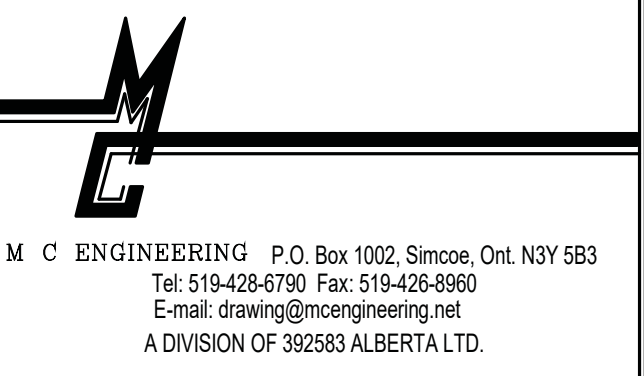
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REV. NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PRE - PERMIT REVIEW	11/05/2022	TAS

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PROJECT NAME
Detached Garage Boathouse For
Lockhart's
27 Poplar Road
Long Point, ON
SHEET TITLE
Roof Framing Plans

SCALE	As indicated	PROJECT NO.	7278
DRAWN BY	TAS	DWG. NO.	S2
CHECKED BY	Checker	REV. NO.	1
DATE	May 11, 2022		
FILE NAME			

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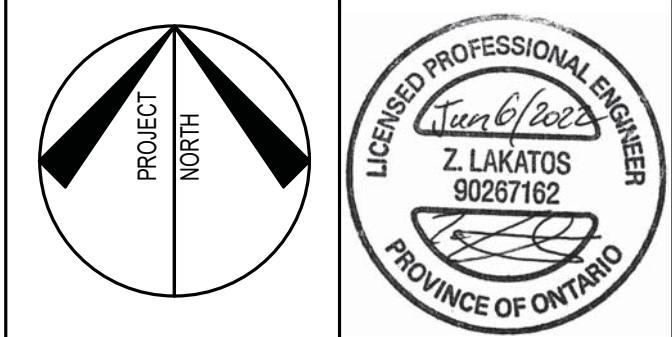
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1	ISSUED FOR PRE - PERMIT REVIEW	11/05/2022	TAS
REV. NO.	DESCRIPTION	DATE	BY

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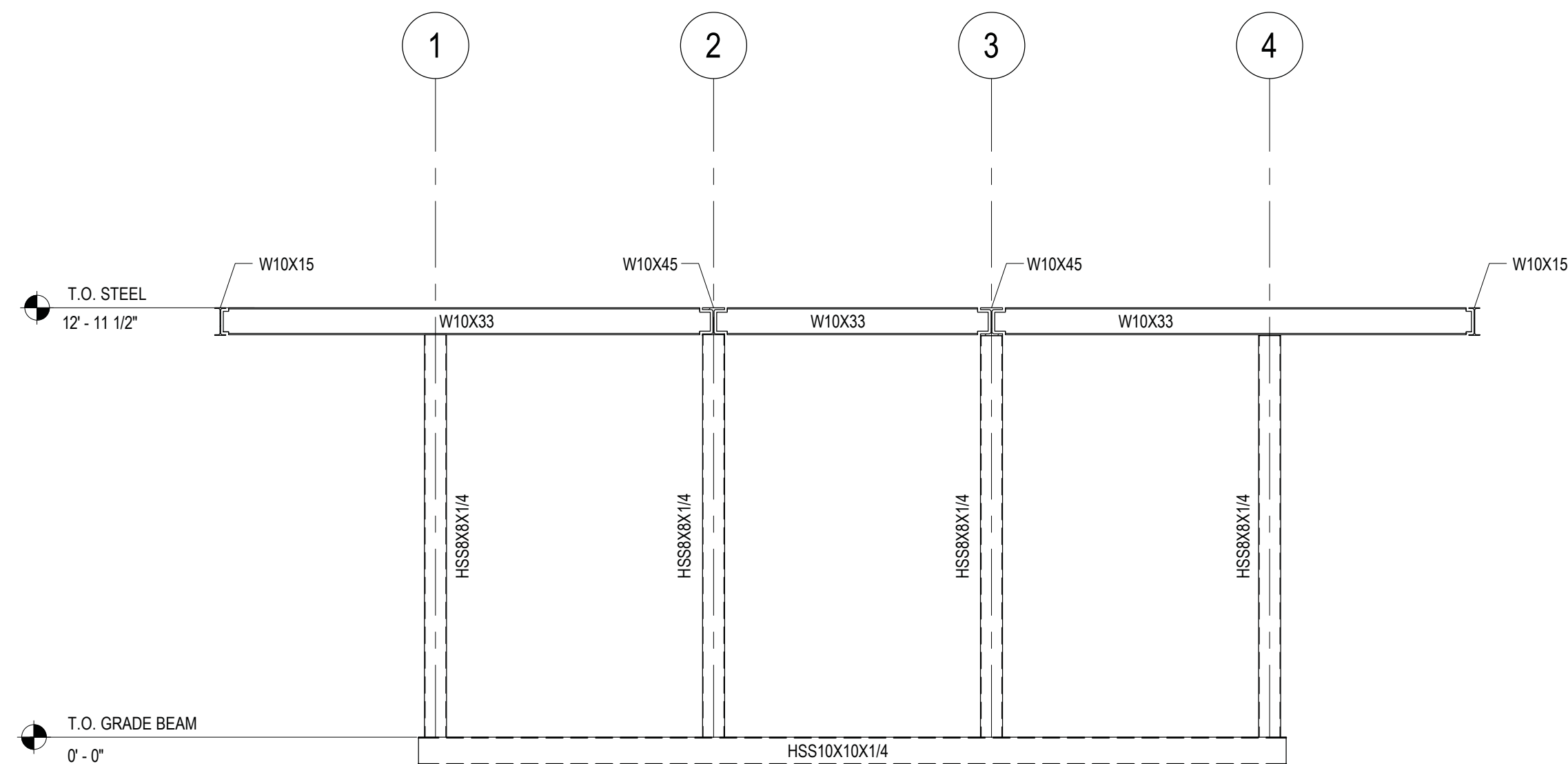
M/C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-426-8960
E-mail: drawing@mcengineering.net
A DIVISION OF 382683 ALBERTA LTD.

PROJECT NAME
Detached Garage Boathouse For
Lockhart's

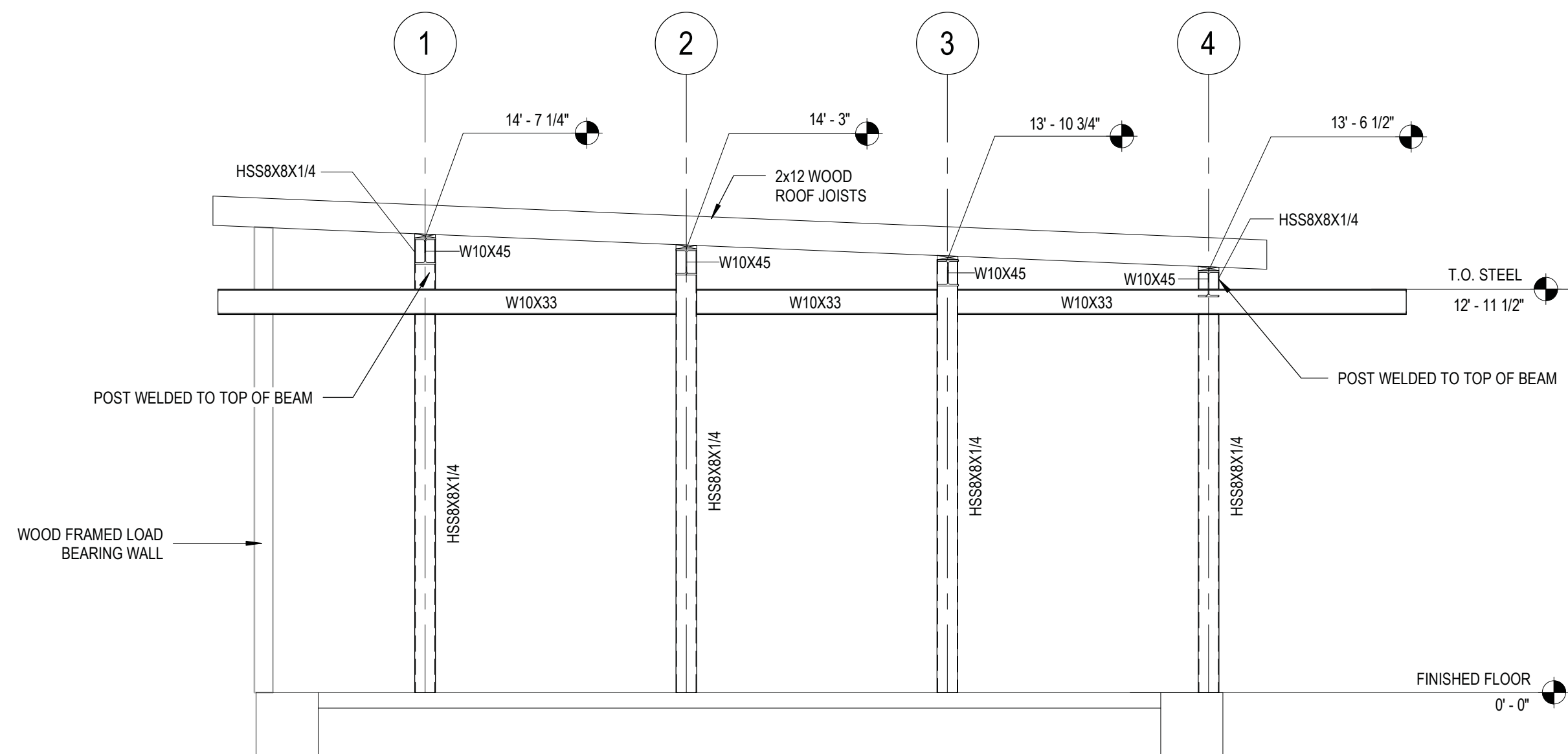
27 Poplar Road
Long Point, ON

SHEET TITLE
Structural Elevations

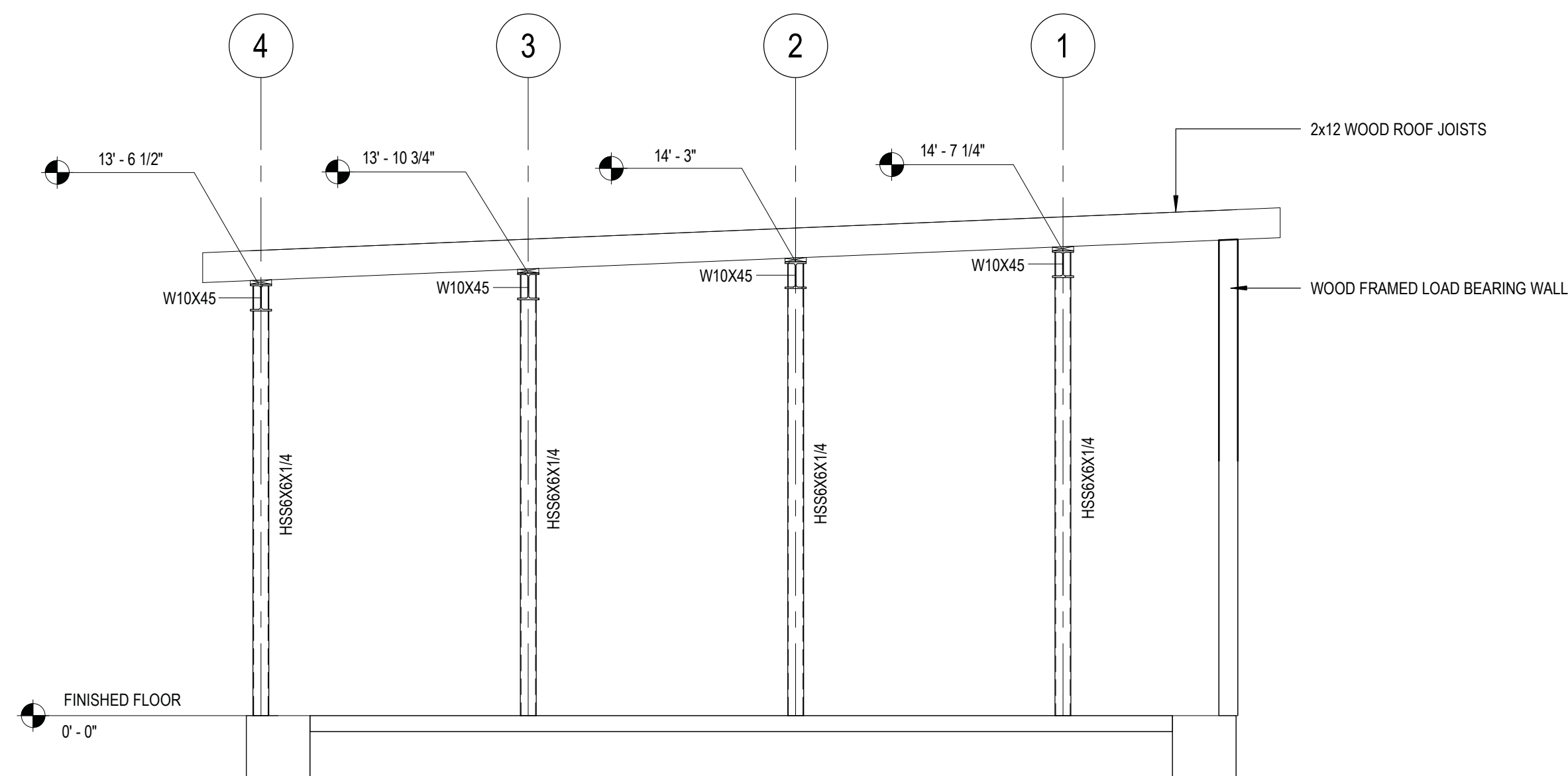
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DRAWN BY TAS	DWG. NO. S3
CHECKED BY ZL/JA	REV. NO. 1
DATE May 11, 2022	
FILE NAME	



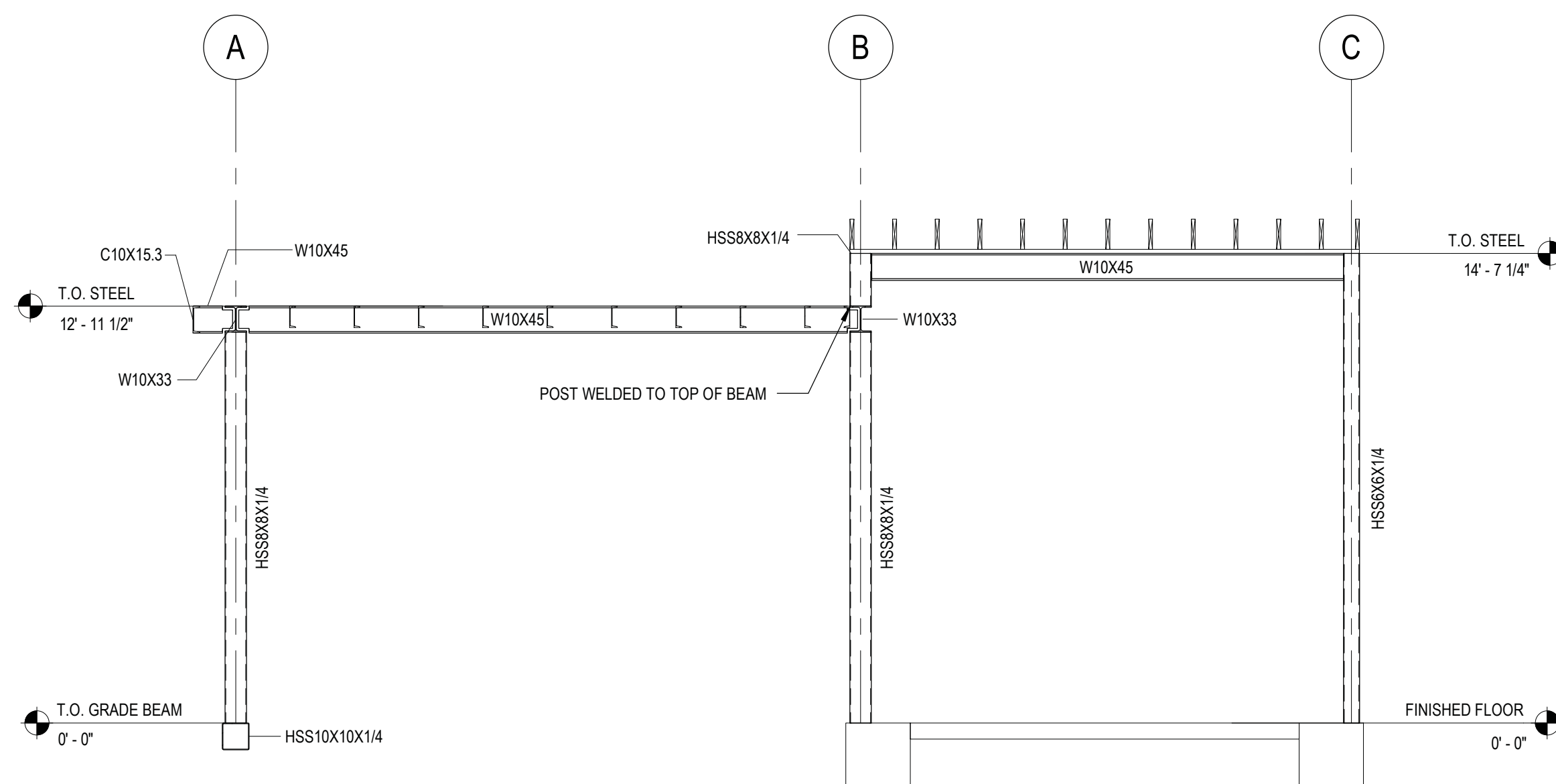
1 GRIDLINE A FRAMING ELEVATION
1/4" = 1'-0"



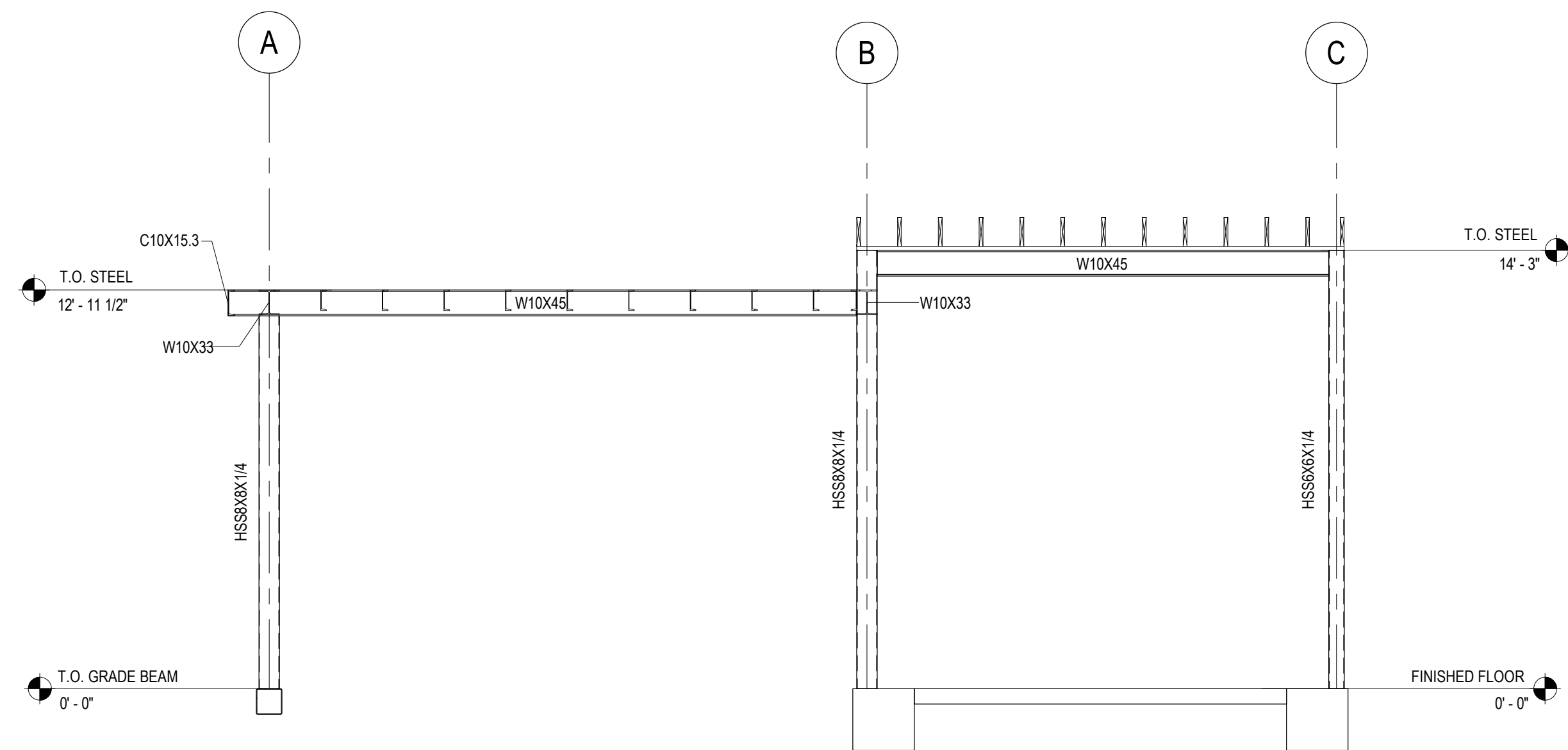
2 GRIDLINE B FRAMING ELEVATION
1/4" = 1'-0"



3 GRIDLINE C FRAMING ELEVATION
1/4" = 1'-0"



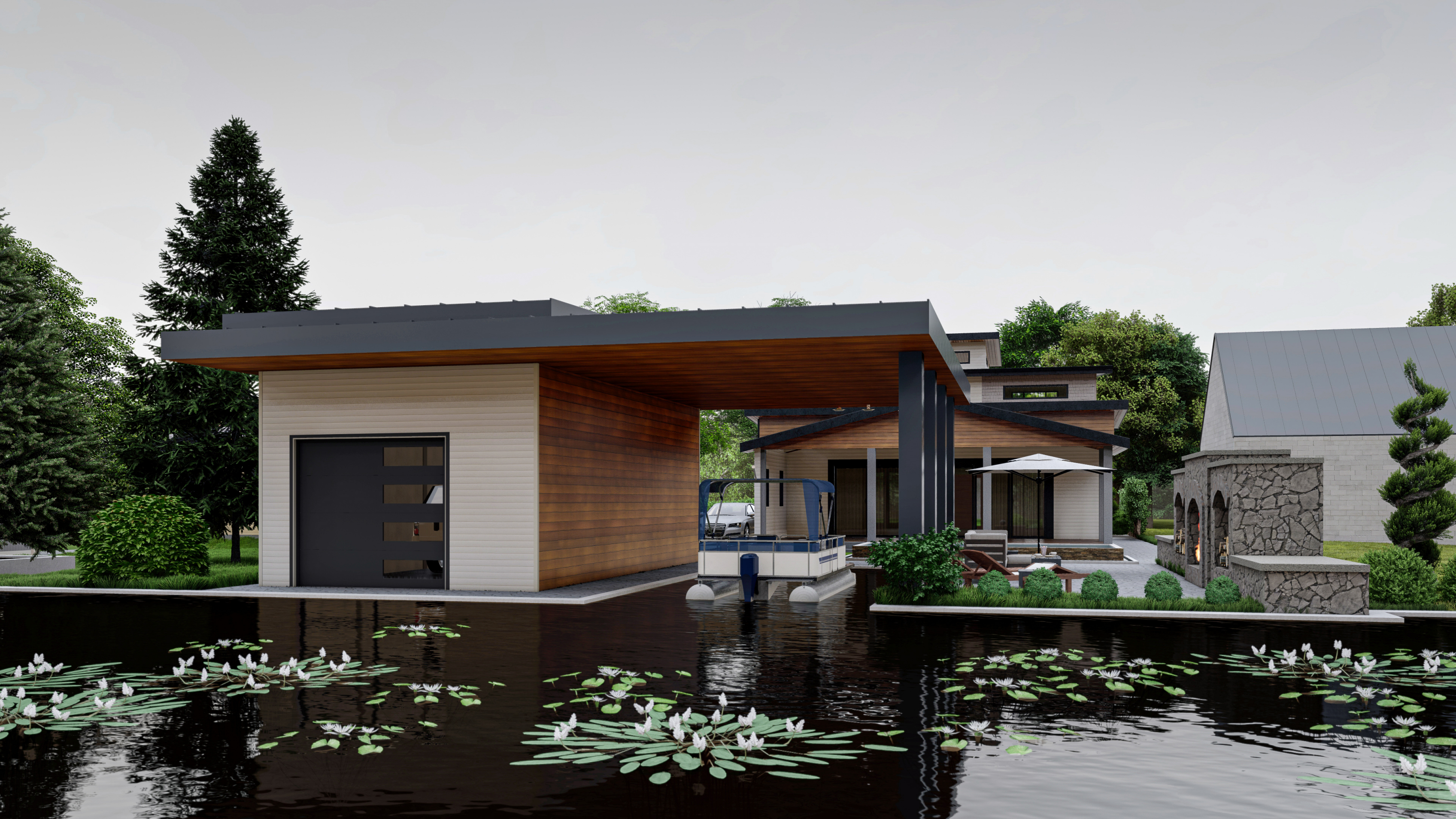
4 GRIDLINE 1 FRAMING ELEVATION
1/4" = 1'-0"



5 GRIDLINE 2 FRAMING ELEVATION
1/4" = 1'-0"

NOTE: PROVIDE STRUCTURAL STEEL SHOP DRAWINGS STAMPED BY A LICENSED PROFESSIONAL ENGINEER





**Roxanne
Lambrecht** <Roxanne.Lambrecht@norfolkcounty.ca>

Thu, Jul
28, 3:48 PM
to me

Hi Brad

I did the zoning review for the boathouse and accessory building.

Boathouse

I got approx. 622 sqft for the boathouse, but since the boathouse is not enclosed it does not count into useable floor area, so the max allowance of 56sqm actually does not apply here, however the boathouse roof does count into lot coverage.

The height of the boathouse is fine, and so is the distance it is to property lines.

Accessory building

The area of this building is 501sqft, with approximately a 56sqft overhang not supported by any vertical projections, so we consider it an overhanging eave, and it is not counted into lot coverage. This building is fine in height, and also the setbacks to property lines.

Your lot area was not plotted on the grading plan, so I had to take it from the data I had which is 0.1699acres, which is 687.56sqm (7400sqft) .

You are permitted up to 10% lot coverage for all accessory building on the lot.

I've attached the bylaw for resort residential which states in section 5.8.2 (h) the max lot coverage. Below is the definition for lot coverage.

The boathouse is considered an accessory building, so I have a lot coverage of 622sqft + 501sqft = 1123sqft (attached is my zoning review that shows this)
 $1123/7400 = 15\%$ lot coverage, so I have you over by 5% of what you are allowed.

If you cannot meet the 10% lot coverage, then a planning application will need to be applied for, for relief of section 5.8.2 (h) of the bylaw. You can contact them by emailing them at planning@norfolkcounty.ca to enquire about application costs and timelines.

“**LOT COVERAGE**” shall mean the percentage of the *lot area* covered by the *first storey* of all *buildings*, including *accessory buildings, decks or unenclosed porches* on the *lot* and including all projections but **exclusive of canopies and overhanging eaves**.

3.2.2 Boathouse

Notwithstanding Subsection 3.2.1, a *boathouse* as an *accessory use* to a residential use shall comply with the provisions in the applicable *Zone* and with the following provisions:

- a) minimum *exterior side yard* – 6 metres;
- b) minimum *interior side yard* – 1.2 metres, except where a *boathouse*, is *erected* on a common *lot line* in which case no *interior side yard setback* is *required*;
- c) maximum *building height* – 5 metres;
- d) maximum total *usable floor area* – 56 square metres;
- e) **maximum lot coverage – shall not occupy more than 10 percent of the lot area, for all accessory buildings;**
- f) shall not contain a *dwelling unit, habitable room* or washroom facilities.

Roxanne Lambrecht

Zoning Administrator

Robinson Administration Building

Building

Community Development Division

185 Robinson St., Suite 200, Simcoe, Ontario, Canada, N3Y 5L6

519-426-5870 x. 1839

Fax: 519-875-4789



Working together with our community

Concept Plan for 27 Poplar Rd Long Point
March 28 2023

This property is the primary residence of Brad & Kim Lockhart

Project is to construct a garage with overhang to cover single boat well.

This proposed project is similar to other boathouses in the surrounding area

I am requesting a minor variance due to lot coverage. The allowable amount is 10% for an accessory building and this project is 15% leaving a 5% overage .


Roxane Lambrecht did the Zoning review and stated that all set backs , height and useable floorspace are fine. Just the Lot coverage is needed.

The structure was designed to compliment the residence that was redone last year with the same look, shape and finishes. It consists of a 501 Sq foot Garage for tools, snowblower, lawn mower and bicycles. The covered area is a flat roof supported by 4 posts to cover the boat well. This part is 622 Sq footage of roof. There are no walls on 3 sides.

Attached are Concept Renderings, building stamped drawings and drainage plan.

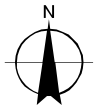


Legend

 Subject Lands

2020 Air Photo

6/14/2023



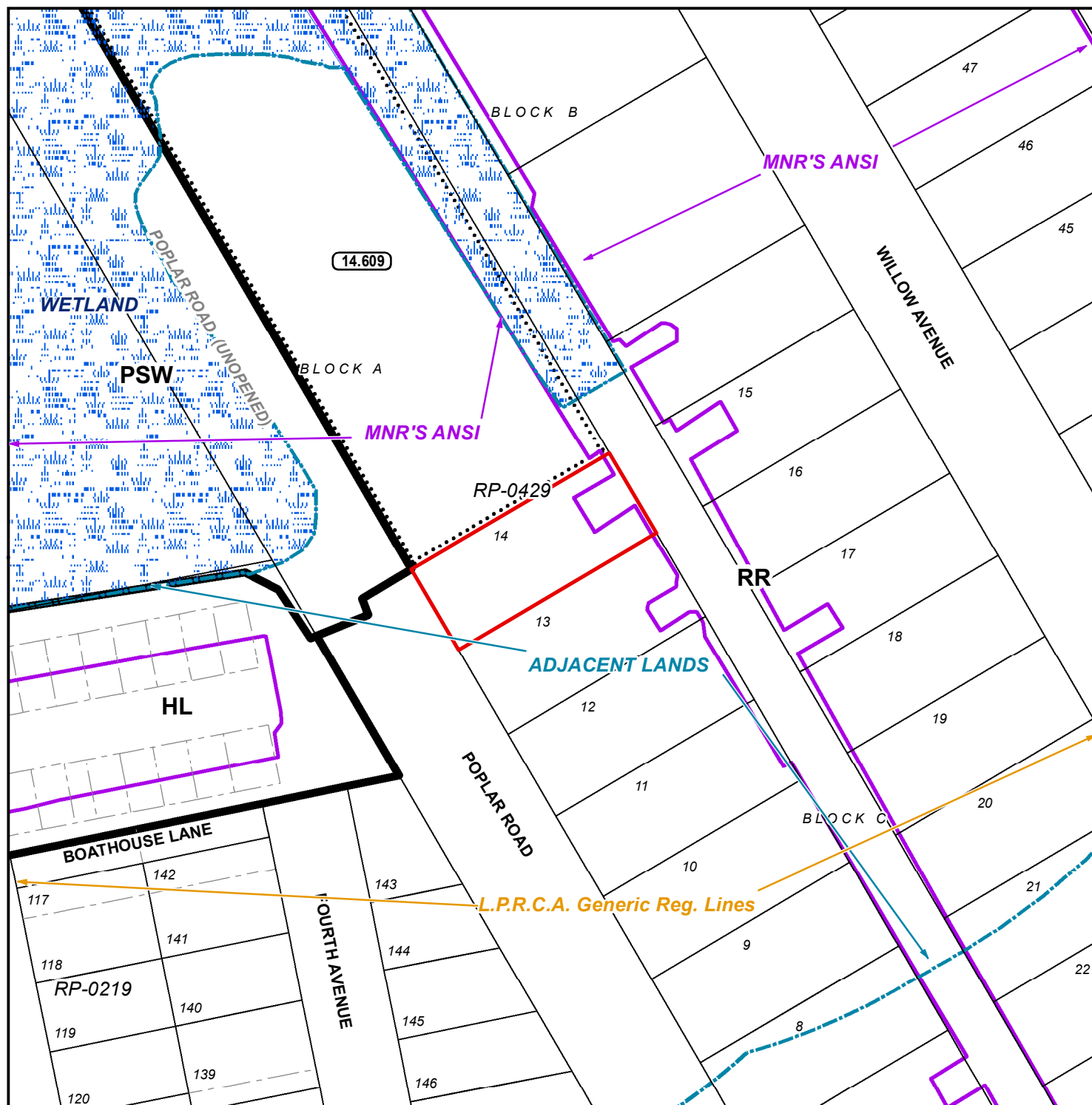
10 5 0 10 20 30 40 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2023181



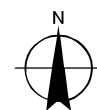
LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

6/14/2023

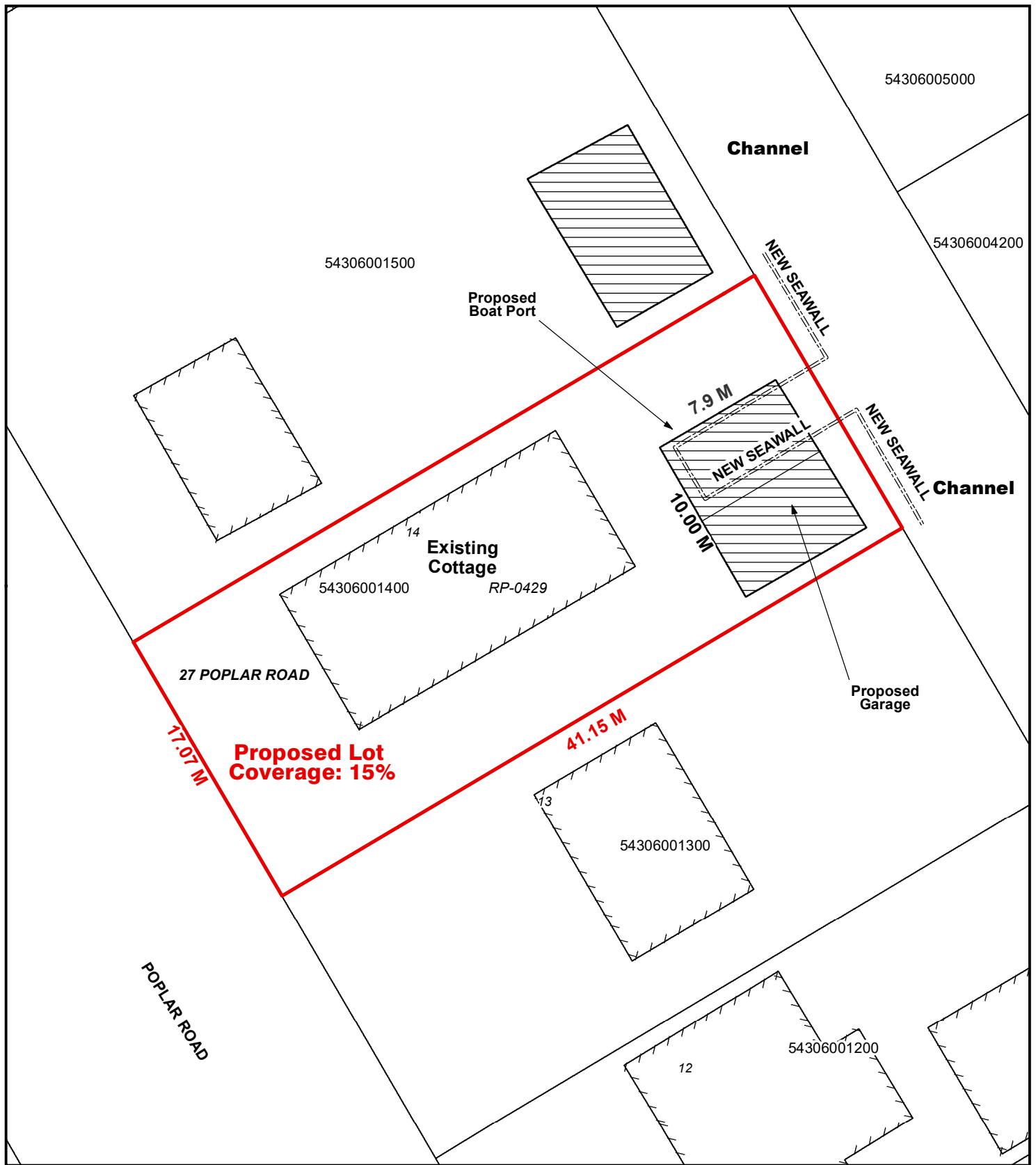
- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone



8 4 0 8 16 24 32 Meters

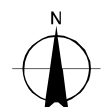
CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands



6/14/2023

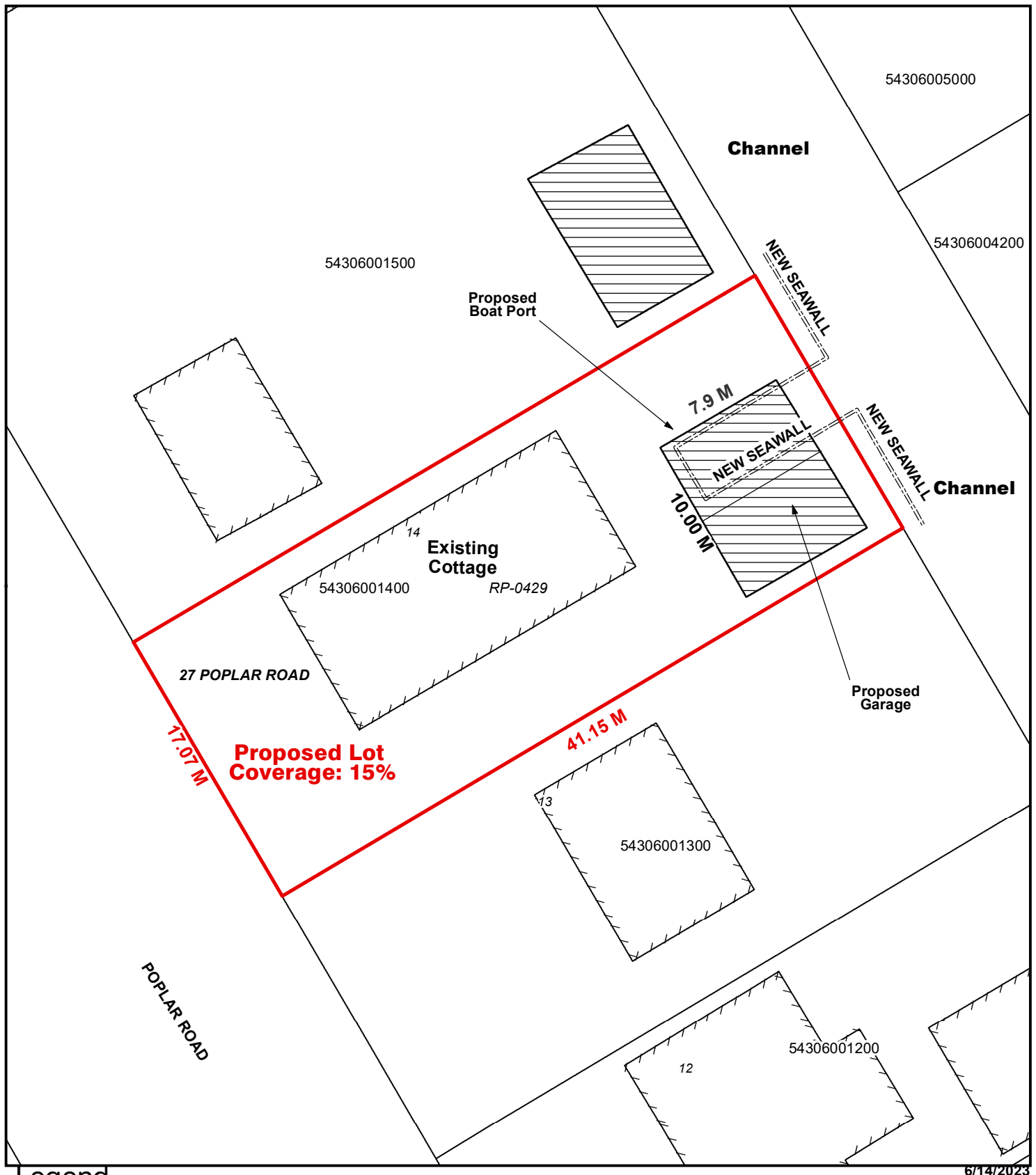
2.5 1.25 0 2.5 5 7.5 10 Meters

LOCATION OF LANDS AFFECTED


ANPL2023181

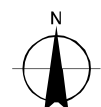
CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

 Subject Lands



6/14/2023

2.5 1.25 0 2.5 5 7.5 10 Meters