For Office Use Only: File Number Related File Number Pre-consultation Meeting Application Submitted Complete Application	May 24. 2023	Application Fee Conservation Authority Fee Well & Septic Info Provided Planner Public Notice Sign	\$1711.00 √ paio  A. Wallace	1.
	e/Boundary Adjustm	ent		
■ Minor Variance □ Easement/Right-of-		Zoning By-law Amendmen	t.	
Property Assessment	Roll Number: 3310	9543060014000000		
A. Applicant Informat	ion			
Name of Owner	Bradley & Kimberly Loc	khart		
It is the responsibility of ownership within 30 day	the owner or applic	ant to notify the planner of	any changes in	
Address	27 Poplar Rd			
Town and Postal Code	Port Rowan N0E1M0			
Phone Number	5195505633			
Cell Number	5195505762			
Email	bklockhart1999@gmail.d	com		
Name of Applicant	Brad Lockhart			
Address	27 Poplar rd			
Town and Postal Code	Port Rowan Ont N0E1M	0		
Phone Number	5195505633			
Cell Number	5195505633			
Email	bklockhart1999@gmail.c	com		



Na	ame of Agent			
Ac	ddress			
To	own and Postal Code			
Ph	none Number			
Ce	ell Number			
En	nail			
all		otices in respect o	s should be sent. Unless otherwise directed of this application will be forwarded to the	d,
	Owner	☐ Agent	☐ Applicant	
	ames and addresses of cumbrances on the sub RBC Bank Tillsonburg Bran	oject lands:	mortgagees, charges or other	
В.	Location, Legal Des	scription and Pro	perty Information	
1.		ude Geographic T	Fownship, Concession Number, Lot Numbe	r,
	SWAL PLAN 429 LOT 14			
	Municipal Civic Addres	SS: 27 Poplar Rd P	Port rowan Ont N0E1M0	
	Present Official Plan D	esignation(s): R	RR	
	Present Zoning: RR[1-	Z-2014]		
2.	Is there a special prov	ision or site specif	fic zone on the subject lands?	
	☐ Yes ■ No If yes,	please specify:		
3.	Present use of the sub Primary Residence Family			
				_



setback, in metric units, from front, rear and side lot lines, ground floor area, ground	
<ol> <li>If an addition to an existing building is being proposed, please explain what it w used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.</li> </ol>	ill be
6. Please describe all proposed buildings or structures/additions on the subject la Describe the type of buildings or structures/additions, and illustrate the setback, metric units, from front, rear and side lot lines, ground floor area, gross floor area coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application: Proposed building is a Garage and covered boat port.	
7. Are any existing buildings on the subject lands designated under the <i>Ontario Heritage Act</i> as being architecturally and/or historically significant? Yes □ No I If yes, identify and provide details of the building:	■
8. If known, the length of time the existing uses have continued on the subject lands	<del></del> :
<ol> <li>Existing use of abutting properties:</li> <li>Properties on 2 sides are cottage/homes.</li> </ol>	
10. Are there any easements or restrictive covenants affecting the subject lands?  ☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:	



# C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	17 Meters				
Lot depth	41 Meters				
Lot width					-
Lot area	702 M/Sq				
Lot coverage		10%		15%	5%
Front yard					7,0
Rear yard					
Height		5 Meters		4.88 Meters	
Left Interior side yard		1.2 Meters		5.9 Meters	
Right Interior side yard		1.2 Meters		1.2 Meters	
Exterior side yard (corner lot)					
Parking Spaces number)					
Aisle width					
Stall size					
oading paces					
other able floor area		56 M/Sq		46.54 M/Sq	



2.	Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:
	The actual garage is not that big. Lot overage is mainly due to Roof/cover over Boat well
	This area has no walls but still technically counts twords SQ footage
3.	Consent/Severance/Boundary Adjustment: Description of land intended to be severed in metric units:  Frontage:
	Depth:
	Width:
	Lot Area:
	Present Use:
	Proposed Use:
	Proposed final lot size (if boundary adjustment):
	If a boundary adjustment, identify the assessment roll number and property owner of
	the lands to which the parcel will be added:
	Description of land intended to be retained in metric units:  Frontage:
	Depth:
	Width:
	Lot Area:
	Present Use:
	Proposed Use:
	Buildings on retained land:
<b>.</b>	<b>Easement/Right-of-Way:</b> Description of proposed right-of-way/easement in metric units: Frontage:
	Depth:



	Width:	
	Area:	
	Proposed Use:	
5.	Surplus Farm D which are owned	welling Severances Only: List all properties in Norfolk County, if and farmed by the applicant and involved in the farm operation
Ov	vners Name:	
Ro	ll Number:	
То	tal Acreage:	
Wo	orkable Acreage:	
Ex	isting Farm Type:	(for example: corn, orchard, livestock)
D٧	elling Present?:	☐ Yes ☐ No If yes, year dwelling built
Da	te of Land Purcha	ase:
Ro To Wo		(for example: corn, orchard, livestock)
Dw	elling Present?:	☐ Yes ☐ No If yes, year dwelling built
Da	te of Land Purcha	ise:
Ro Tot	vners Name: Il Number: tal Acreage: orkable Acreage:	
	_	(for example: corn, orchard, livestock)
		☐ Yes ☐ No If yes, year dwelling built
	te of Land Purcha	



Owners Name:
Roll Number:
Total Acreage:
Workable Acreage:
Existing Farm Type: (for example: corn, orchard, livestock)
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built
Date of Land Purchase:
Owners Name:
Roll Number:
Total Acreage:
Workable Acreage:
Existing Farm Type: (for example: corn, orchard, livestock)
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built
Date of Land Purchase:
Note: If additional space is needed please attach a separate sheet.
D. All Applications: Previous Use of the Property
<ol> <li>Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes  ■ No ☐ Unknown</li> </ol>
If yes, specify the uses (for example: gas station, or petroleum storage):
<ol> <li>Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown</li> </ol>
3. Provide the information you used to determine the answers to the above questions:



4.	If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? $\square$ Yes $\square$ No
Ε.	All Applications: Provincial Policy
1.	Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the <i>Planning Act, R.S.O. 1990, c. P. 13</i> ? ■ Yes □ No
	If no, please explain:
2.	It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?   Yes  No
	If no, please explain:  Not required for these properties
3.	Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ■ No
	If no, please explain:  Not Required
	Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4.	All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.	
	Livestock facility or stockyard (submit MDS Calculation with application)	
	☐ On the subject lands or ☐ within 500 meters – distance	
	Wooded area  ☐ On the subject lands or ☐ within 500 meters – distance	
	Municipal Landfill  ☐ On the subject lands or ☐ within 500 meters — distance	
	Sewage treatment plant or waste stabilization plant  ☐ On the subject lands or ☐ within 500 meters – distance	
	Provincially significant wetland (class 1, 2 or 3) or other environmental feature  ☐ On the subject lands or ☐ within 500 meters — distance 10 Meters —	е
	Floodplain  ■ On the subject lands or ■ within 500 meters – distance 5 meters	
	Rehabilitated mine site  ☐ On the subject lands or ☐ within 500 meters – distance	
	Non-operating mine site within one kilometre  ☐ On the subject lands or ☐ within 500 meters – distance	
	Active mine site within one kilometre  ☐ On the subject lands or ☐ within 500 meters – distance	
	Industrial or commercial use (specify the use(s))  ☐ On the subject lands or ☐ within 500 meters – distance	
	Active railway line ☐ On the subject lands or ☐ within 500 meters – distance	
	Seasonal wetness of lands  ■ On the subject lands or ■ within 500 meters – distance 5 meters	
	Erosion □ On the subject lands or □ within 500 meters – distance	
	Abandoned gas wells  ☐ On the subject lands or ☐ within 500 meters – distance	



# F. All Applications: Servicing and Access 1. Indicate what services are available or proposed: Water Supply Municipal piped water ☐ Communal wells ☐ Individual wells ☐ Other (describe below) Sewage Treatment ☐ Municipal sewers ☐ Communal system ☐ Septic tank and tile bed in good working order ☐ Other (describe below) Engineered and approved Holding Tank system Storm Drainage ☐ Storm sewers □ Open ditches Other (describe below) Natural runoff to lake 2. Existing or proposed access to subject lands: Municipal road ☐ Provincial highway □ Unopened road ☐ Other (describe below) Name of road/street: G. All Applications: Other Information Does the application involve a local business? ☐ Yes No. If yes, how many people are employed on the subject lands? 2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

No Habitable space is proposed in either garage or boathouse.



#### H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- 1. Concept/Layout Plan
- 2. All measurements in metric
- 3. Existing and proposed easements and right of ways
- 4. Parking space totals required and proposed
- 5. All dimensions of the subject lands
- 6. Dimensions and setbacks of all buildings and structures
- 7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
- 8. Names of adjacent streets
- 9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, may also be required as part of the complete application submission:

On-Site Sewage Disposal System Evaluation Form (to verify location and condition)

Environmental Impact Study

Geotechnical Study / Hydrogeological Review

Minimum Distance Separation Schedule

Record of Site Condition

Your development approval might also be dependent on Ministry of Environment

Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### **Permission to Enter Subject Lands**

Owner

Owner

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

#### Freedom of Information

rreedom of information		
For the purposes of the <i>Municipal Freedom of Information</i> I authorize and consent to the use by or the discloss information that is collected under the authority of the state of the purposes of processing this application.	ure to any person or pub	lic body any 1990, c. P.
Owner/Applicant/Agent Signature	Date	1000).
J. Owner's Authorization		
If the applicant/agent is not the registered owner of application, the owner must complete the authoriza	and the second of the second o	ect of this
I/We <u>Brad Lockhort</u> am/a lands that is the subject of this application.	are the registered owner(	s) of the
I/We authorize	TO THE CONTRACT OF THE CONTRAC	for the

\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

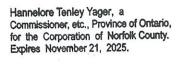


March 28

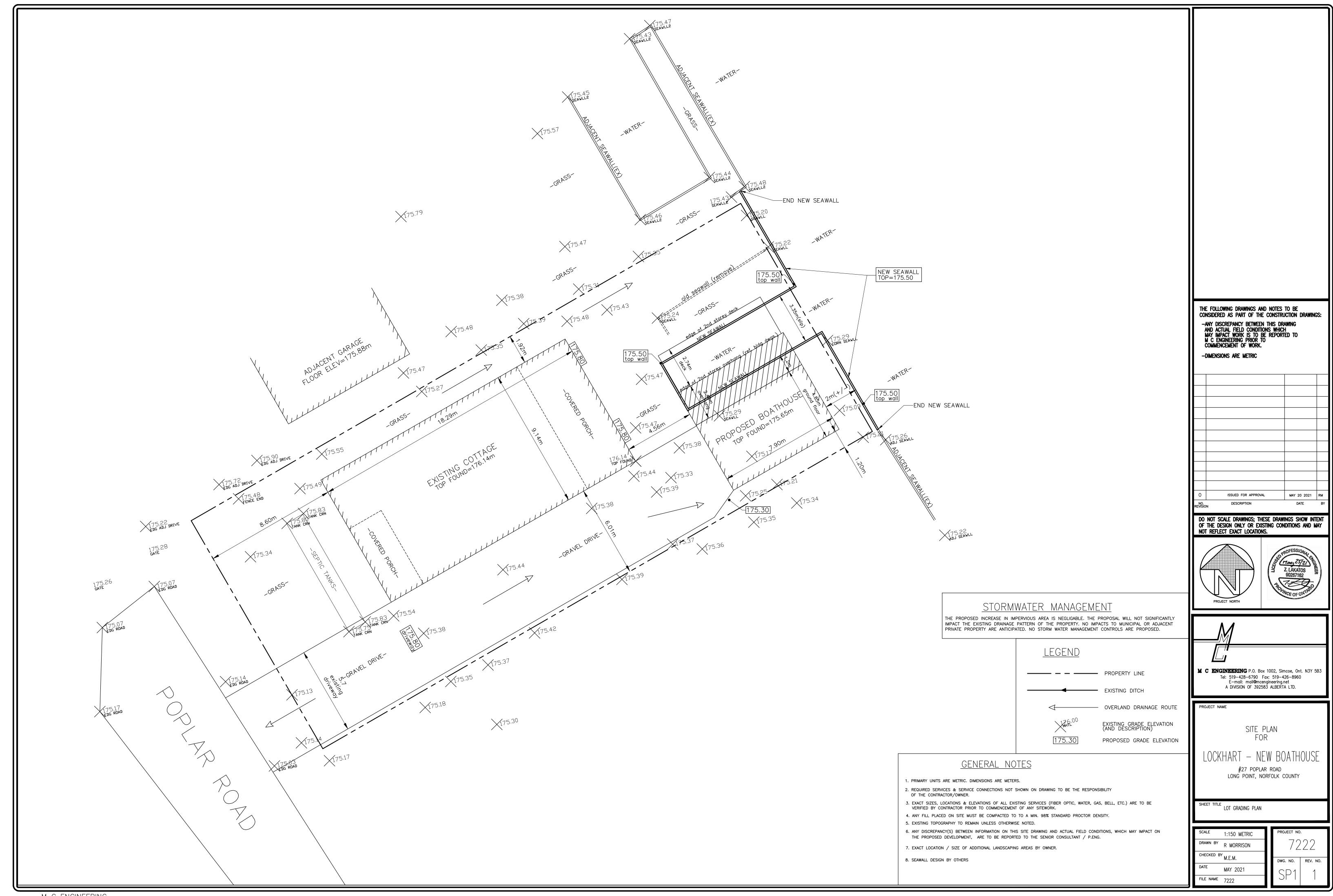
Date

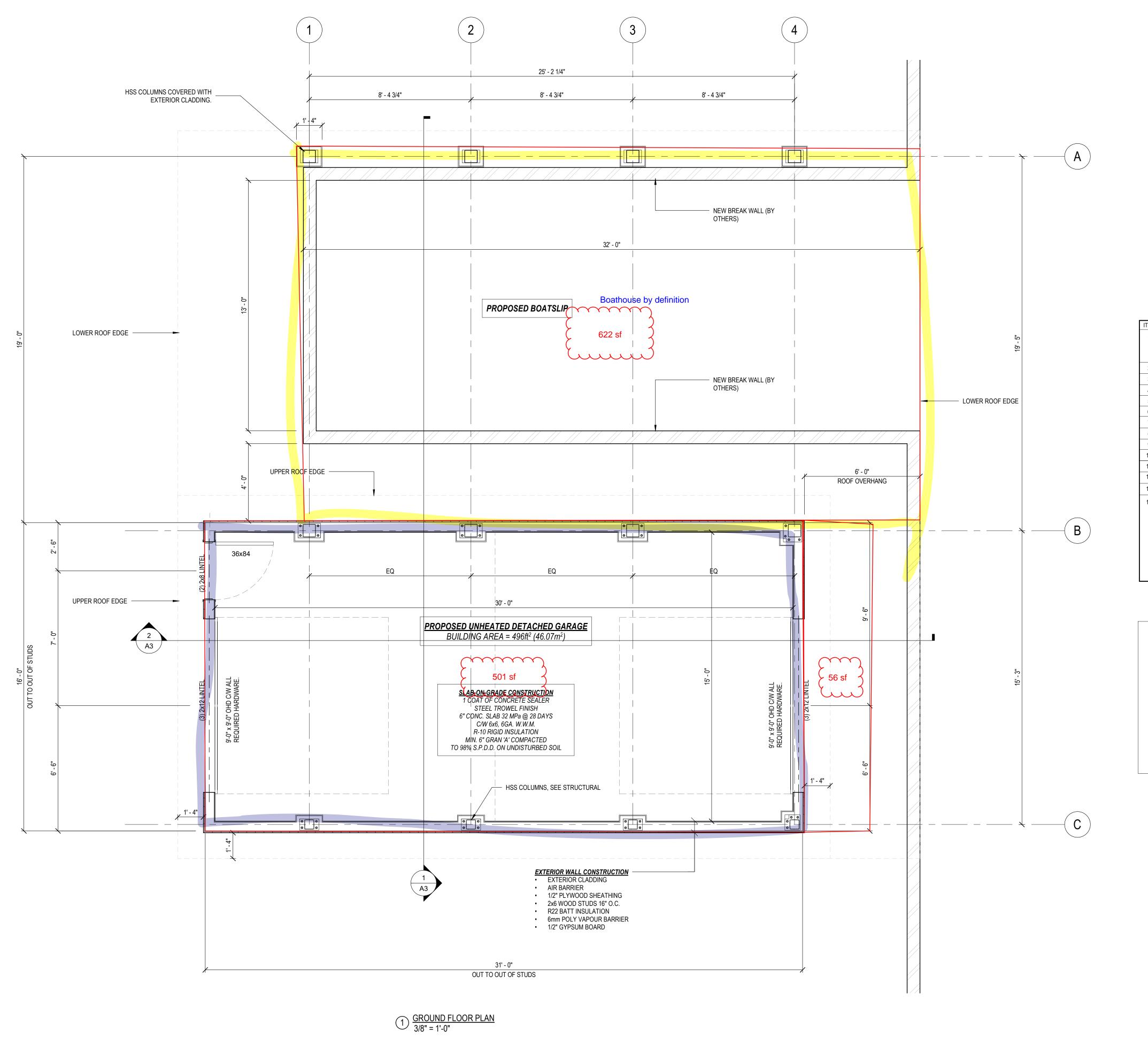
Date

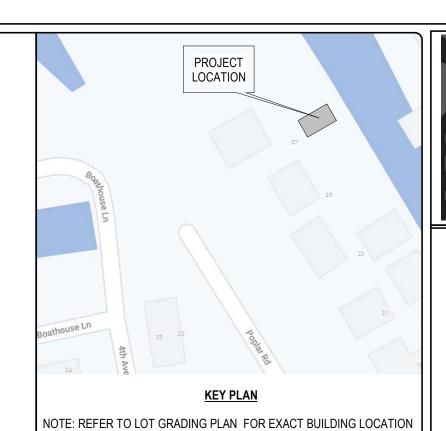
K. Declaration				
<sub>I,</sub> Brad Lockhart	_of _	Port Rowan Ont		
solemnly declare that:				
all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of <i>The Canada Evidence Act</i> .				
Declared before me at: 27 Poplar Rd Port Rowan Ont				
In Province of Ontario		Owner/Applicant/Agent Signature		
This _2day of _Feb				
A.D., 20_23				
Hannelore Pager				
A Commissioner, etc.				
Herm				











ITEM			BUILDING C	ODE MATRIX				OBC	REFERENCE
1		lew Boathouse Ga	rage	_	■ NEW  ADDITION	□СНА	NGE OF USE	F	PART 9
	Long Point, (	ON			☐ ALTERATION			Div. A	1.1.2.4
2	MAJOR OCCUPANCY	s): Group	C					Div. E	9.10.2
3	BUILDING AREA (m²):	46.07						Div. A	1.4.1.2
4	GROSS BUILDING ARE	ΞA(m²): 46.0	07					Div. A	1.4.1.2
5	DESIGN & REVIEW:	Engineer						Div. A	1.2.1.1
6	NUMBER OF STORIES	ABOVE GRADE:	1					Div. A	1.4.1.2
7	HEIGHT OF BUILDING	IN METERS:	4.87						
8	MEZZANINE(S) AREA I	IN m²:	n/a					Div. A	9.10.4.1
9	NUMBER OF STREETS	S/ACCESS ROUT	ES: 1					Div. A	9.10.20.3
10	OCCUPANCY CLASSIF	FICATION: Grou	ıp C - Detached G	arage/Boathouse				Div. A	9.10.2.1
11	WATER SERVICE:	☐ YES	<b>⊠</b> NO					Div. E	9.31
12	CONSTRUCTION:	□сом	BUSTIBLE	☐ NON-COMBU	STIBLE >	<b>⊈</b> COME	BINATION	Div. A	9.10.6
13	MINIMUM NUMBER OF	REQUIRED EXI	ΓS: 1					Div. E	9.9.8.2
14	SPATIAL SEPARATION	N - CONSTRUCTION	ON OF EXTERIOR	R WALLS:				Div. B 9	.10.14, 9.10.1
	WALL	AREA OF EBF(m²)	LIMITING DISTANCE (m)	L/H OR H/L	MAXIMUM % UNPROTECT OPENING	ΓED	PROPOSED % OF UNPROTECTED OPENINGS	FRR (HR)	LISTED DESIGN OR DESCRIPTION
	NORTH	39.85	>0.6	2.4:1					
	EAST	19.32	>0.6	1.23:1		NOT	Γ APPLICABLE TO BI	JILDING AS	
	SOUTH	39.85	>0.6	2.4:1			PER OBC 9.10.14	.5.(3)	
	WEST	19.32	>0.6	1.23:1					

# **GENERAL NOTES**

# **GENERAL CONSTRUCTION NOTES:**

- 1. THE BUILDING AND STRUCTURES DESCRIBED ON THESE DRAWINGS ARE DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 (INCLUDING ALL UPDATES AND ALL APPLICABLE REFERENCE
- 2. ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND ALL OTHER CONTRACT DOCUMENTS.
- 3. ALL DIMENSIONS, LEVELS AND DETAILS SHALL BE CHECKED AND ANY DISCREPANCIES MUSTBE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- 4. DRAWINGS MUST NOT BE SCALED.



CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

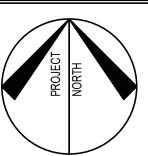
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M C ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF M C ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

1	ISSUED FOR PRE - PERMIT	11/05/2022	TAS
	REVIEW		
REV	DESCRIPTION	DATE	BY
. NO			

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.







M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-426-8960 E-mail: drawing@mcengineering.net A DIVISION OF 392583 ALBERTA LTD.

Detached Garage Boathouse For

Lockhart's

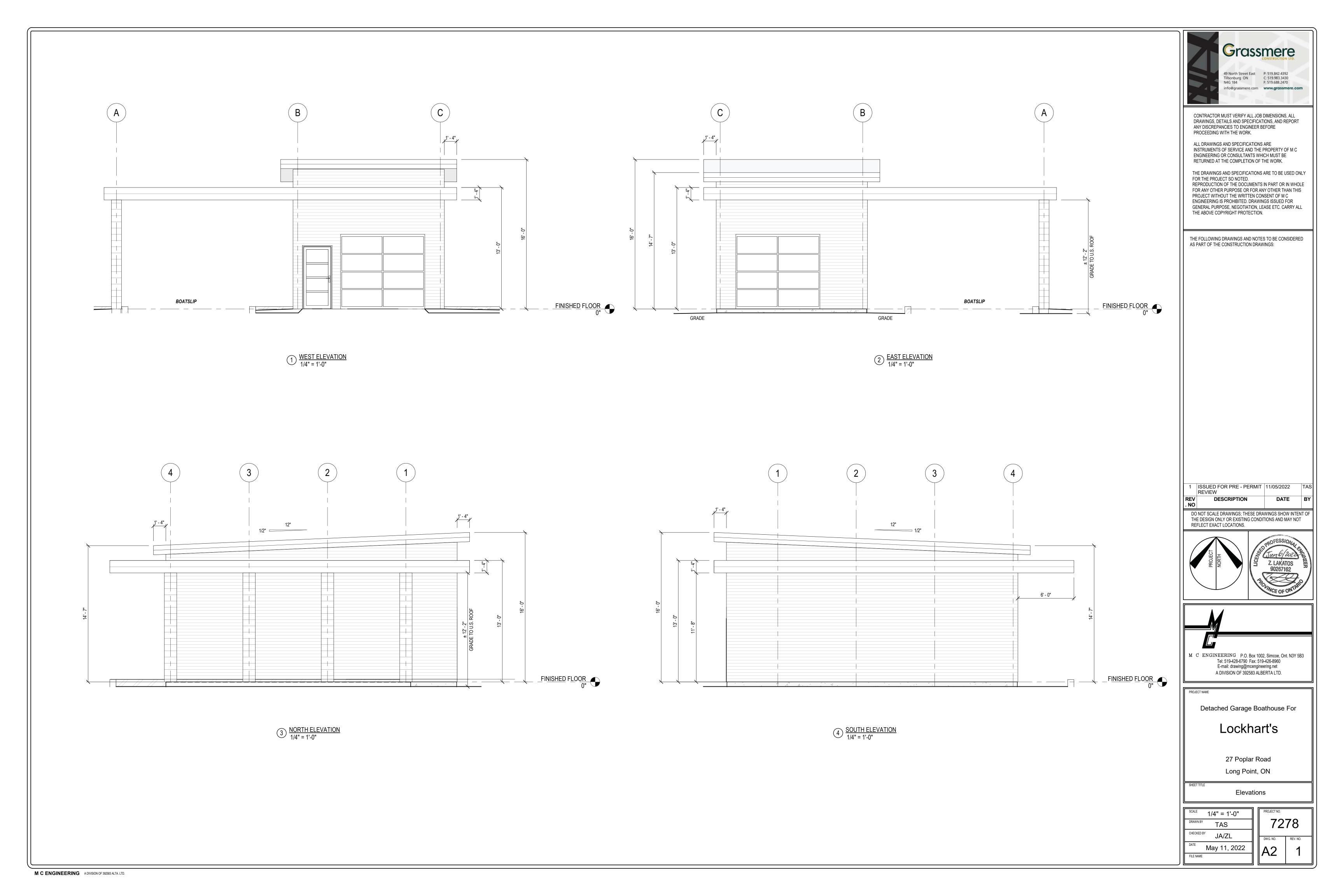
27 Poplar Road Long Point, ON

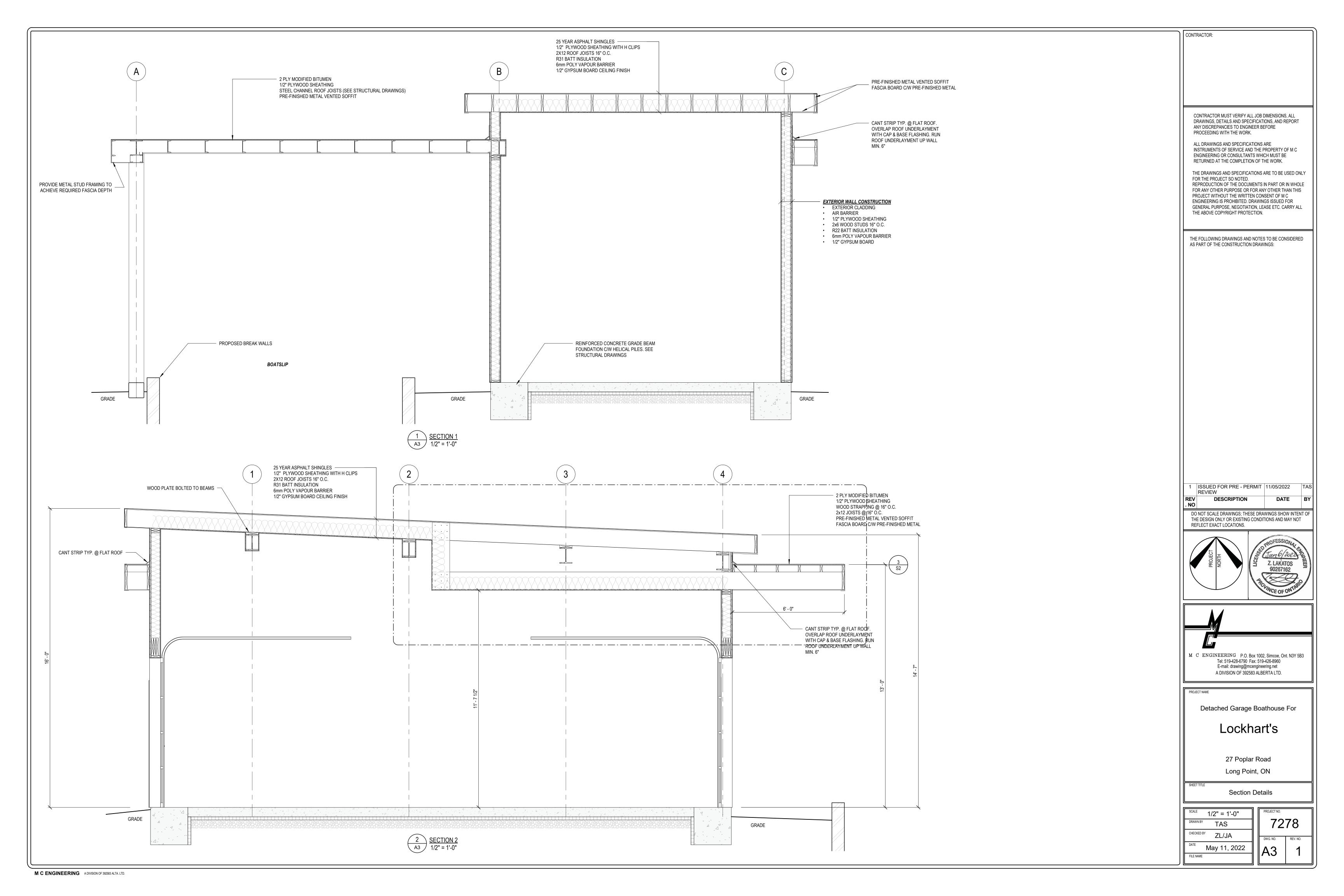
Floor Plan, Location Plan

TAS CHECKED BY ZL/JA May 11, 2022

M C ENGINEERING A DIVISION OF 392583 ALTA. LTD.

SCALE As indicated





# **EXISTING SITE CONDITIONS**

#### **DIVISION 02 00 00: EXISTING SITE CONDITIONS**

- THE GENERAL REQUIREMENTS OF DIVISION 1, FORM PART OF THIS SECTION, AND MUST BE READ IN CONJUNCTION WITH THE REQUIREMENTS OF THIS SECTION, AND ALL RELATED
- PROTECT ALL EXISTING FENCING, TREES, LANDSCAPING, NATURAL FEATURES, BENCH MARKS, BUILDINGS, PAVEMENT, SURFACE OR UNDERGROUND UTILITY LINES WHICH ARE TO REMAIN, AS DIRECTED BY CONSULTANT. IF DAMAGED, RESTORE TO ORIGINAL CONDITION UNLESS DIRECTED OTHERWISE.
- MAINTAIN ACCESS ROADS TO PREVENT ACCUMULATION OF MUD ON ROADS. LOCATION OF EXISTING BURIED UTILITIES ARE THE CONTRACTORS RESPONSIBILITY TO LOCATE AND KEEP A RECORD OF THESE LOCATIONS DURING CONSTRUCTION

#### 02 20 00 - SITE PREPARATION

- . COORDINATE CLEARING WORK WITH UTILITY COMPANIES AND OWNER.
- 2. CONFORM TO APPLICABLE CODES & AUTHORITIES FOR DISPOSAL OF ALL DEBRIS.
- 3. PROTECT DESIGNATED TREES AND PLANTS. COORDINATE WITH OWNER AND JURISDICTIONAL AUTHORITY SUCH AS IF REQUIRED.
- 4. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.
- 5. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED, RE-LANDSCAPED OR RE-GRADED AND STOCKPILE IN AN AREA DESIGNATED ON SITE.
- 6. TOLERANCES: TOP SURFACE OF SUBGRADE PLUS OR MINUS 2"(50MM).
- 7. GRADE ALL SOIL ELIMINATING UNEVEN AREAS AND LOW SPOTS, ENSURING POSITIVE DRAINAGE OF ANY WATER.
- 8. FINE GRADE PLUS OR MINUS 1"(25MM) AND LOOSEN TOPSOIL. ELIMINATE ROUGH SPOTS AND LOW AREAS TO ENSURE POSITIVE DRAINAGE OF WATER.
- 9. DISPOSE OF ALL UNWANTD MATERIALS OFF SITE AT CONTRACTORS EXPENSE.
- 10. EXISTING UTILITIES AND STRUCTURES INDICATED ON THE DRAWINGS ARE SCHEMATIC ONLY ACTUAL SIZE, DEPTH, AND LOCATION MUST BE DETERMINED BY SITE LOCATES AND TEST EXCAVATION BY CONTRACTOR.

# **EXCAVATION**

## 02 30 00 - EXCAVATION SUPPORT AND PROTECTION

- EXCAVATE SUBSOIL REQUIRED TO ACCOMMODATE BUILDING FOUNDATIONS, PAVING, SITE STRUCTURES AND CONSTRUCTION OPERATIONS. THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR BETWEEN EXCAVATIONS FOR FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A
- WALL RETAINING EARTH SHALL NOT BE BACKFILLED UNTIL ADEQUATE SUPPORT IS PROVIDED AT TOP & BOTTOM BY FLOOR CONSTRUCTION. WALLS BELOW GRADE SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- 3. ALL FOOTINGS SHALL BE CENTRALLY LOCATED UNDER COLUMNS, PIERS AND WALLS UNLESS SHOWN OTHERWISE.
- APPROVAL OF THE ARCHITECT AND/OR ENGINEER SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY OPENINGS, SLEEVES, TRENCHES, ETC. WHICH ARE NOT SHOWN ON THE DRAWINGS
- THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS DURING CONSTRUCTION OF TEMPORARY BRACING OF FLOORS, WALLS AND DECKS PLUS ANY OTHER STRUCTURAL ELEMENTS TO KEEP THE STRUCTURE SAFE AND IN TRUE ALIGNMENT UNTIL COMPLETION OF
- SHORING FOR EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND SUBMITTED TO THE ARCHITECT AND/OR ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- SLEEVES IN FOOTINGS: CONCRETE WALLS OVER- PROVIDE 2-#15 RE-BAR T&B IN WALL OVER SLEEVES MASONRY BLOCK WALLS OVER - PROVIDE LINTEL BLOCK WITH 2-#15 RE-BAR T&B FILLED SOLID WITH 17 MPA CONCRETE.
- OBTAIN ALL REQUIREMENTS REGARDING MECHANICAL, INCLUDING DRAINAGE, ELECTRICAL, HOISTING, INSTALLATIONS AND EQUIPMENT, PERMANENT AND TEMPORARY. SUBMIT SUCH REQUIREMENTS TO THE ENGINEER FOR REVIEW AS TO THEIR EFFECT ON THE STRUCTURE. OBTAIN HIS INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK.
- 9. DESIGN, ERECT, MAINTAIN AND REMOVE ALL TEMPORARY WORKS. CO-ORDINATE SUCH WORKS WITH THE ENGINEER PRIOR TO STARTING WORK.
- 10. EXCAVATION AND FOUNDATION WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE OF CANADA (2012).
- 11. THE WALLS OF AN EXCAVATION SHALL COMPLY TO THE OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS (2016)
- 12. FOUNDING ELEVATIONS AS SHOWN ON DRAWINGS ARE THOSE INFERRED FROM SOURCES INDICATED ON DRAWINGS. ACTUAL SOIL PROPERTIES IN SPECIFIC LOCATIONS MAY VARY FROM THOSE INFERRED AND ADJUSTMENT OF THE FOUNDING ELEVATION MAY BE NECESSARY (REFER TO GEOTECHNICAL REPORT) IF PROVIDED.
- 13. FILL MATERIALS:
- TYPE 1 EXISTING INORGANIC MATERIAL, EXCAVATED NATIVE MATERIAL MAY BE RE-USED IF KEPT DRY AND NOT EXPOSED TO MOISTURE AND CAN BE SHOWN TO BE CAPABLE OF COMPACTION TO REQUIRED STANDARD PROCTOR MAXIMUM
- TYPE 2 GRANULAR "A" CONFORMING TO ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) 1010
- TYPE 3 GRANULAR "B" CONFORMING TO (OPSS) 1010
- TYPE 4 CLEAR, CRUSHER RUN LIMESTONE, 3/4"(19MM)
- TYPE 5 GRANULAR "C" CONFORMING TO (OPSS) 1010
- SAND CLEAN WASHED, COARSE SAND FREE FROM CLAY, SHALE AND ORGANIC MATTER.
- 14. GRANULAR FILL: PLACE AND COMPACT MATERIALS IN CONTINUOUS LAYERS NOT EXCEEDING
- 8"(200MM) COMPACTED DEPTH. 15. SCHEDULE FOR BACKFILLING:

INTERIOR SLAB ON GRADE: COMPACT SUBGRADE TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY. COVER WITH TYPE 3, FILL IN 8"(200MM) MAXIMUM LIFTS, COMPACTED TO 98% (SPMDD). - FINAL 8"(200MM) DIRECTLY BELOW SLAB

FOOTING & FOUNDATION: TYPE 1 - SUBGRADE TO 90% STANDARD PROCTOR (MAXIMUM

## STRUCTURAL STEEL

#### DIVISION 05 00 00 : METALS

#### 05 01 00 - BASIC METAL MATERIALS AND METHODS

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS PRIOR TO THE START OF
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 3. THE CONTRACTOR SHALL SUBMIT FOR REVIEW, SHOP DRAWINGS OF HIS WORK. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR THE ACCURACY OF HIS WORK.
- 4. ALL EXTERIOR GUARDRAIL FABRICATIONS TO BE HOT DIP GALVANIZED UNLESS OTHERWISE

# 05 10 00 - STRUCTURAL METAL FRAMING

- DRAWINGS: THE BUILDING MANUFACTURER SHALL PROVIDE COMPLETE ERECTION DRAWINGS. THESE DRAWINGS SHALL SHOW ANCHOR BOLT SETTINGS, TRANSVERSE CROSS SECTIONS, SIDEWALL, ENDWALL AND ROOF FRAMING, SHEETING AND FLASHING DETAILS AND ACCESSORY INSTALLATION DETAILS.
- CERTIFICATION: STANDARD DRAWINGS AND DESIGN ANALYSIS SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER. THE CSSBI "CERTIFICATE OF DESIGN" SHALL BE FURNISHED.
- 3. ALL STRUCTURAL MILL SECTIONS OR WELDED PLATE SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH CSA "SPECIFICATION OF DESIGN FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- ALL COLD FORMED STEEL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH CSA \$136 LATEST "SPECIFICATION FOR DESIGN FOR COLD FORMED STEEL STRUCTURAL MEMBERS".
- 5. DESIGN LOADS SHALL BE APPLIED IN ACCORDANCE WITH THE OBC OF CANADA(2012).
- 6. BUILDING COMPONENTS SHALL BE DESIGNATED TO MEET THE MOST SEVERE CONDITIONS PRODUCED BY LOAD COMBINATIONS AS PER THE OBC OF CANADA(2012).
- PRIMARY FRAMING STEEL: STEEL FOR HOT ROLLED STRUCTURAL SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION A-36 SPECIFICATION A-36 OR CSA G40.21 GRADE 350W.
- SECONDARY FRAMING STEEL: STEEL USED TO FORM PURLINS, GIRTS, EAVE STRUTS AND CROSS SECTIONS SHALL BE FLAT STOCK AND HAVE A MINIMUM YIELD POINT OF 50,000PSI.
- ALL FRAMING MEMBERS SHALL BE SHOP FABRICATED FOR BOLTED FIELD ASSEMBLY. THE SURFACES OF THE BOLTED CONNECTIONS SHALL BE SMOOTH & FREE FROM BURRS OR DISTORTION.
- 10. ALL BOLTED CONNECTIONS IN PRIMARY STRUCTURAL FRAMING SHALL BE MADE USING STRUCTURAL QUALITY A325 OR A490 BOLTS, COMPLETE WITH HARDENED WASHERS, AS DETERMINED BY THE
- 11. UNLESS OTHERWISE SPECIFIED OR SHOWN, THE FOLLOWING CODES AND STANDARDS SHALL APPLY:

# - OBC ONTARIO BUILDING CODE(2012)

- CAN/CSA-G40.20/G40.21 STRUCTURAL QUALITY STEELS

- CISC CANADIAN INSTITUTE OF STEEL CONSTRUCTION HANDBOOK OF STEEL CONSTRUCTION, CODE OF STANDARD PRACTICE FOR STRUCTURAL STEEL

- CSA-S16.1 DESIGN OF STEEL STRUCTURES FOR BUILDINGS

- CSA W47.1 CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL STRUCTURES

- CSA W59-13 WELDED STEEL CONSTRUCTION (METAL ARC WELDING).

- 12. STRUCTURAL STEEL SHAPES AND PLATES SHALL BE IN ACCORDANCE WITH CSA G40.M81 (LATEST EDITION). ALL ROLLED STRUCTURAL SHAPES AND PLATES SHALL CONFORM TO CSA G40.21. GRADE
- 13. DESIGN DETAILS AND CONNECTIONS IN ACCORDANCE WITH REQUIREMENTS OF CAN/CSA-S16.1 TO RESIST FORCES, MOMENTS, AND SHEARS AND ALLOW FOR MOVEMENTS INDICATED.
- 14. IF SHEARS ARE NOT INDICATED, SELECT OR DESIGN CONNECTIONS TO SUPPORT REACTION FROM MAXIMUM UNIFORMLY DISTRIBUTED LOAD THAT CAN BE SAFELY SUPPORTED BY BEAM IN BENDING. PROVIDED NO POINT LOADS ACT ON BEAM.
- 15. FOR NON-STANDARD CONNECTIONS, SUBMIT SKETCHES AND DESIGN CALCULATIONS STAMPED AND SIGNED BY QUALIFIED PROFESSIONAL ENGINEER REGISTERED OR LICENSED IN PLACE OF THE WORK. IN ADDITION TO THE ABOVE. A QUALIFIED PROFESSIONAL ENGINEER REGISTERED OR LICENSED IN THE PLACE OF THE WORK MUST CERTIFY ALL CONNECTION DESIGN.
- 16. ASTM A325. LATEST REVISION. (FRICTION TYPE CONNECTION) 3/4" DIAMETER IN 13/16" DIAMETER HOLES UNLESS NOTED OTHERWISE.
- 17. UNLESS OTHERWISE INDICATED PROVIDE WALL ANCHORS INCLUDING EMBEDDED STEEL PLATES. BASE PLATES, STEEL ANGLE LINTELS, SHELF ANGLE FOR HOLDING MASONRY, MISCELLANEOUS CURB ANGLES, AND ALL OTHER HARDWARE TO BE EMBEDDED IN CONCRETE FOR STEEL MEMBERS ON CONCRETE STRUCTURE INCLUDING ANCHOR BOLTS AND STEEL SUPPORTS.
- 18. ANGLE LINTELS SHALL HAVE A BEARING OF AT LEAST 6" AT EACH END, OR AS NOTED ON DRAWINGS; IF DOUBLED, SHALL BE BOLTED OR WELDED BACK TO BACK. IF ANGLE SEATS ARE AT DIFFERENT ELEVATIONS, STEEL PACKING SHALL BE SUPPLIED TO PROVIDE EVEN BEARINGS.
- 19. PROVIDE, AS REQUIRED, ONE ANGLE LINTEL OF APPROPRIATE SIZE FOR EACH 4" MASONRY WALL THICKNESS OVER ALL OPENINGS IN WALLS FOR DUCTS. RADIATOR RECESSES. HOSE CABINETS. ELECTRIC PANELS, ETC. UNLESS A REINFORCED CONCRETE LINTEL, OR CONCRETE FILLED LINTEL BLOCK, IS NOTED FOR THE OPENING.
- 20. CLEAN, PREPARE SURFACES AND SHOP PRIME STRUCTURAL STEEL IN ACCORDANCE WITH CAN/CSA-
- 21. CLEAN ALL MEMBERS, REMOVE LOOSE MILL SCALE, RUST, OIL, DIRT AND OTHER FOREIGN MATTER. PREPARE SURFACE ACCORDING TO SSPC SP7 (BRUSH) BLAST.
- 22. APPLY ONE COAT OF CISC/CPMA 1-73A PRIMER IN SHOP TO ALL STEEL SURFACES TO ACHIEVE MINIMUM DRY FILM THICKNESS OF 3.0 MILS, EXCEPT:

#### -SURFACES AND EDGES TO BE FIELD WELDED. -FACING SURFACES OF SLIP CRITICAL CONNECTION. -BELOW GRADE SURFACES IN CONTACT WITH SOIL.

-APPLY PAINT UNDER COVER, ON DRY SURFACES ONLY AND WHEN SURFACE AND AIR TEMPERATURES ARE ABOVE 41°F.

-MAINTAIN DRY CONDITION AND 41°F MINIMUM TEMPERATURE UNTIL PAINT IS THOROUGHLY DRY. -STRIP PAINT FROM BOLTS, NUTS, SHARP EDGES AND CORNERS BEFORE PRIME COAT IS DRY. -SURFACES TO BE HOT DIPPED GALVANIZED.

# **FOUNDATIONS**

# 02 40 00 - FOUNDATION AND LOAD BEARING ELEMENTS

- ALL FOOTINGS SHALL BE FOUNDED ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SUSTAINING THE SPECIFIED LOAD (SEE PLAN) AT LEAST 1'- 4"(400MM) BELOW ORIGINAL (NOT FILL) GRADE.
- FOOTING ELEVATIONS ARE BASED ON ESTIMATE ONLY, IF UPON EXCAVATION TO THE SPECIFIED ELEVATIONS IT IS FOUND THAT THE ABOVE CONDITIONS ARE NOT MET AT HIGHER ELEVATIONS, THE FOOTING ELEVATION MAY BE ADJUSTED WITH THE ENGINEERS PERMISSION.
- MINIMUM DEPTH FOR EXTERIOR FOOTINGS IS 4'-0" (1200MM) BELOW FINISHED GRADE (OR AS
- 4. CENTER ALL CAPS AND FOOTINGS UNDER COLUMNS EXCEPT AS NOTED OTHERWISE ON PLANS.
- FROM FREEZING OR WASHING OUT.
- 6. A MAXIMUM SLOPE OF 7 VERTICAL TO 10 HORIZONTAL SHALL BE MAINTAINED ALONG STEPPED FOOTINGS OR BETWEEN THE BOTTOMS OF ADJACENT FOOTINGS OR EXCAVATIONS AT THEIR NEAREST POINTS.
- 8. PROVIDE FOOTINGS FOR ALL WALLS THICKER THAN 6"(150MM), WALLS WITH LESSER THICKNESS SHALL SIT ON A THICKENED FLOOR SLAB AS SHOWN ON STRUCTURAL DRAWINGS.
- 9. PLACE SLAB ON GRADE OR AS SHOWN AND ON MATERIAL CAPABLE OF SUSTAINING 500
- 10. DO NOT PLACE BACK FILL AGAINST WALLS RETAINING EARTH (UNLESS DESIGNED FOR CANTILEVER) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM OF WALL IS SET OR WALLS ADEQUATELY BRACED.
- 11. BACK FILLING AGAINST FOUNDATION WALLS SHALL BE DONE TO ALLOW A MAX. OF 1'-6"(450MM) DIFFERENCE IN LEVEL FROM ONE SIDE TO THE OTHER EXCEPT AS NOTED IN PARAGRAPH 9
- 13. WHERE SLAB ON GRADE IS USED TO TIE TOP OF THE WALL RETAINING EARTH. ADEQUATE SHORING AND BRACING MUST BE PROVIDED WHILE FILL IS BEING PLACED & COMPACTED. IT MUST BE LEFT IN PLACE UNTIL SLAB IS POURED AND HAS GAINED 75% OF ITS ULTIMATE STRENGTH.
- 14. ANCHOR ALL CONCRETE BLOCK FOUNDATION WALLS TO CONCRETE PIERS WITH 2-10M X
- 15. ALL WALL FOOTINGS TO HAVE A MINIMUM 4"(100MM) PROJECTION AND 8"(200MM) DEPTH UNLESS NOTED OTHERWISE ON STRUCTURAL PLANS.
- ALL FOOTINGS SHALL BE PLACED ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING THE ASSUMED SOIL BEARING CAPACITY AS SPECIFIED IN (00 ABOVE), 3000 PSF (143.6 kN/SQ.M) THE CAPACITY OF THE SOIL AFTER EXCAVATION SHALL BE EXAMINED BY THE ENGINEER OR SOILS CONSULTANT AND THEIR ACCEPTANCE OBTAINED PRIOR TO
- ALL FOOTINGS EXPOSED TO FROST ACTION DURING CONSTRUCTION SHALL BE PROTECTED BY 4'-0"(1200MM) OF EARTH OR ITS EQUIVALENT INSULATING VALUE. FOOTINGS SHALL BE CARRIED DOWN TO NATURAL SOIL FREE OF ORGANIC MATTER AND BE CAPABLE OF SUSTAINING 3000 PSF (143.6 kN/SQ.M) AT LEAST 1'- 4"(400MM) INTO EXISTING ORIGINAL SOIL. NOTE: ALL SOILS THAT SUPPORT A FOOTING ARE TO BE INSPECTED & APPROVED PRIOR TO PLACEMENT OF CONCRETE

# **CONCRETE**

# **DIVISION 03 00 00 : CONCRETE**

# 03 20 00 - CONCRETE REINFORCING

- 00. CONCRETE SHALL CONFORM IN ALL RESPECTS TO CSA STANDARDS CANM/CSA- A23.1-04 AS
- 2. FOR CONCRETE STRENGTH REFER TO CONSTRUCTION DRAWINGS. USE CONCRETE WITH ULTIMATE STRENGTH OF 25MPa AT 28 DAYS IF NOT SPECIFIED.
- 3. PLACEMENT OF SEQUENCE CONSTRUCTION JOINTS SHALL BE CO-ORDINATE WITH THE ENGINEER.
- 4. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO THE CURRENT EDITION OF CSA STANDARD G30 SERIES WITH A MINIMUM YIELD STRESS OF 400MPa.
- PROVIDE AN ADEQUATE AMOUNT OF CHAIRS, ADDITIONAL BARS, TIES AND STIRRUPS TO SECURELY HOLD REINFORCEMENT IN PLACE AT ALL TIMES. PROVIDE CONTINUOUS CHAIRS FOR SUPPORT OF ALL TOP REINFORCEMENT.
- 6. UNLESS OTHERWISE NOTED, MAINTAIN, BUT DO NOT EXCEED CLEAR CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:
- A. CONCRETE PLACED IN FORMS, NOT EXPOSED TO WEATHER OR FARTH.
- IN BEAMS & COLUMNS STIRRUPS OR OR TIES)
- B. CONCRETE PLACED IN FORMS,
- EXPOSED TO WEATHER OR EARTH
- C. <u>CONCRETE PLACED AGAINST EARTH</u> 3" (75MM)
- 7. PROVIDE DOWELS FROM FOOTINGS AND/OR CAPS TO WALLS, PIERS AND COLUMNS AS SHOWN ON DRAWINGS AND TYPICAL DETAILS.
- 8. LAP LENGTHS FOR REINFORCING BARS:

# A. TENSILE SPLICE AND CORNERS

- 9. VERIFY LOCATIONS, DIMENSIONS AND DETAILS OF ALL SLOT OPENINGS, ANCHOR BOLTS AND HARDWARE TO BE EMBEDDED IN CONCRETE BEFORE PROCEEDING WITH ANY PLACEMENT OF
- 10. CLARIFY WITH THE ENGINEER ANY QUERIES REGARDING INTERPRETATION OF THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- 11. REINFORCING STEEL MUST BE SO DETAILED, BENT, PLACED AND SUPPORTED TO CONFORM TO THE LATEST ACI DETAILING MANUAL - AND REINFORCING STEEL MANUAL OF STANDARD PRACTICE.

# 03 30 00 - CAST-IN-PLACE CONCRETE

PRIOR TO CONSTRUCTION OF SLABS-ON-GRADE, ALL TOPSOIL, SOFT OR OTHERWISE COMPRESSIBLE MATERIAL MUST BE REMOVED FROM THE GROUND SURFACE AND THE SLAB MUST BE CONSTRUCTED ON A MINIMUM THICKNESS OF 6"(150MM) OF GRANULAR "A" OR CRUSHED STONE FILL. THE GRANULAR BASE MUST BE COMPACTED TO AT LEAST 98% OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY TO PROVIDE A UNIFORM SUPPORT FOR THE SLAB.

# 03 35 00 - CONCRETE FINISHES

- 1. LIGHT STEEL TROWEL SURFACES TO RECEIVE CERAMIC TILE.
- 2. STEEL TROWEL SURFACES TO RECEIVE RESILIENT FLOORING AND CARPETING.
- 3. STEEL TROWEL AND BROOM FINISH ALL SURFACES EXPOSED TO VIEW.
- 4. APPLY SEALER TO RECEIVE CARPET OR NO FINISH.

# DIVISION 09 00 00: FINISHES

PLACING OF FOOTINGS.

# 09 20 00 - PLASTER AND GYPSUM BOARD

GYPROC WALLBOARD - 1/2" OR 5/8" THICK IN 4'-0" WIDE SHEETS OF MAXIMUM PRACTICAL LENGTHS TO

**FINISHES** 

- MINIMIZE END JOINTS.
- 2. CORNER BEADS 25 GA. GALVANIZED SHEET STEEL BEADS WITH 1 1/2" PERFORATED FLANGES. 3. DRYWALL CASING BEADS OF SUITABLE DEPTH.
- 4. APPLY WALLBOARD IN ACCORDANCE WITH CSA A82.31 LATEST EDITION AND CGC DRYWALL CONSTRUCTION HANDBOOK. TAPE ALL JOINTS AND FINISH ACCORDING TO MANUFACTURER'S WRITTEN
- WHERE EDGES OF WALLBOARD ARE EXPOSED OR ABUT OTHER MATERIALS, INSTALL CASING BEADS FITTED OVER THE EDGE OF WALLBOARD AND SCREWED THROUGH WALLBOARD INTO FRAMING.
- 6. EXTERIOR GYPSUM BOARD: TO CONFORM TO CSA A-82-27 LATEST EDITION/C36 CANADIAN GYPSUM CO. OR EQUIVALENT.

# **EXTERIOR CLADDING**

- BY CONTRACTOR
- 2. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
- COLOUR BY OWNER

# FLASHING & SHEET METAL

# 07 60 00 - FLASHING AND SHEET METAL

- INSTALL COPINGS, CURB COVERING, STARTER STRIPS, PIPE FLASHING COLLARS AND FLASHINGS TO DETAILS SHOWN ON DRAWINGS.
- PROFILE SHEET CONFIRMING TO CAN3-5136 LATEST EDITION STRUCTURAL QUALITY GALV. STEEL WITH ZINC COATING OF Z275 GALV.

3. CAULK WHERE REQUIRED TO FORM WEATHER TIGHT SEAL BETWEEN FLASHING AND ADJOINING

CAULKING COMPOUND - SEE 07900 ADJOINING SURFACES.

# 07 90 00 - JOINT PROTECTION

. SEALANTS AND CAULKING TO BE ONE PART ACRYLIC TERPOLYMER, CONFORMING TO

CGSB-19 GP-5M, BY TREMCO OR APPROVED EQUAL AND PRIMER TO SUIT.

- JOINTS OR SPLICES.
- FINISH SURFACES OF CAULKING SMOOTH, FULL BEAD, FREE FROM RIDGES, WRINKLES. SAGS, AIR POCKETS AND EMBEDDED OBJECTS.

**CAULKING & SEALANTS** 

- 2. INSTALL JOINT BACKING MATERIAL IN MAXIMUM LENGTHS WITH MINIMUM NUMBER OF
- PROVIDE CAULKING AT ALL LOCATIONS SHOWN ON DRAWINGS AND WHERE REQUIRED TO ACHIEVE A COMPLETELY WATERTIGHT JOINT.

# THERMAL AND MOISTURE PROTECTION

# <u>DIVISION 07 00 00 : THERMAL AND MOISTURE PROTECTION</u>

AND RIGIDITY.

SPECIFIED.

- INSULATIONOR AS SPECIFIED.
- EDITION, FRICTION FIT BATTS BY FIBERGLASS CANADA LTD. THICKNESS AS SHOWN ON DRAWINGS, PLACED BETWEEN MEMBERS TO COMPLETELY FILL ALL VOIDS OR AS

- LOCATE ON THE WARM SIDE OF THE INSULATION. DO NOT CUT FOR ELECTRICAL OR MECHANICAL ITEMS.
- 2. THE VAPOUR BARRIER SHALL BE CONTINUOUS WITH 2"(50MM) LAPS MIN. SEALED WITH SELF SEAL ADHESIVE TAPE AND ACOUSTIC SEAL CAULKING. FINAL INSTALLATION SHALL BE FREE

# OF TEARS, SEAMS OR GAPS THAT WOULD ALLOW ANY MIGRATION OF MOISTURE.

- 2. ICE & WATER SHIELD AT EAVE (IKO ARMOURGARD)- TO COMPLY WITH ASTM/CSA.
- 3. 2 FIBERGLASS ASPHALT SHINGLE (MIN. 25 YEAR WARRANTY) AS PER PRODUCT SPECIFICATION.
- 5. VALLEY GUTTER 20 GA. GALV. STEEL
- SUBMIT SAMPLE FOR APPROVAL

# <u>WOOD</u>

# **DIVISION 06 00 00 : WOOD PLASTICS AND COMPOSITES**

CONFORM TO DIMENSIONS AND SPECIES.

## 06 00 00 - WOOD MATERIALS

- 1. ALL WOOD MATERIALS, FABRICATION AND ERECTING TO BE IN ACCORDANCE WITH CSA 086.1-94 ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA (LATEST EDITION).
- 2. ALL TIMBER FOR RAFTERS, LINTELS, BEAMS TO BE SPF #1 & #2 UNLESS NOTED OTHERWISE
- 3. ALL TIMBER SHALL CONFORM TO RECOGNIZED NOMINAL SIZES SHOWN ON PLAN AND

STRESS RATINGS FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT

- WHERE LVL, TJI, OR OTHER JOIST SYSTEMS ARE SPECIFIED; FABRICATOR SHALL SUPPLY ALL NECESSARY PLANS INCLUDING LOCATION, LOADINGS, ALLOWABLE STRESSES TEMPORARY AND PERMANENT BRACING AND SHALL BEAR A SEAL OF A PROFESSIONAL
- ALL CONNECTORS PENETRATING EXISTING ROOFING MEMBERS MUST HAVE SELF SEALING HEAD AND/OR BE SEALED TO PREVENT ROOF LEAKS AT PENETRATION POINTS.

# 06 10 00 - ROUGH CARPENTRY

- . ALL WOOD DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE
- PROVISIONSOF THE LATEST EDITION OF CSA STANDARD CAN/CSA-086. 2. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, ALL WOOD SHALL BE OF SPECIES S-P-F
- WITH WOOD QUALITY OF NO.2 OR BETTER.

ALL ADDITIONAL SHEAR WALL/DIAPHRAGM BLOCKING AND NAILING.

3. PROVIDE A MINIMUM OF 6" BEARING FOR ALL WOOD BEAMS AND LINTELS.

4. SHEATHING: EXTERIOR WALLS: FIR/SPRUCE PLYWOO

- ROOF: SHEATHING GRADE FIR/SPRUCE PLYWOOD 5. ALL SHEATHING SHALL BE FASTENED TO THE STUD FRAMING WITH MINIMUM 3" COMMON NAILS @ 12" O.C. IN THE FIELD, AND @ 6" O.C. AT SUPPORTED EDGES. REFER TO PLANS FOR
- 6. CUT FRAMING MEMBERS ACCURATELY TO SIZE, FIT CLOSE AND TIGHT, SECURELY ANCHOR BY NAILING OR SPIKING AND LEAVE PLUMB AND LEVEL.
- PRESSURE TREATED WOOD IN CONTACT WITH CONCRETE OR MASONRY, IN ACCORDANCE WITH CAN/CSA-O80 SERIES.
- 8. EXTERIOR LUMBER TO BE EXPOSED TO ELEMENTS TO BE PRESSURE TREATED UNLESS

9. INSTALL PLYWOOD SHEATHING WITH SURFACE GRAIN AT RIGHT ANGLES TO ROOF FRAMING

- AND WITH JOINTS LIGHTLY BUTTED, USING H-CLIPS. 10. ALL JOINTS SHALL HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.
- 11. INSTALL MEMBERS LEVEL, SQUARE AND PLUMB. INSTALL FURRING AND BLOCKING AS REQUIRED TO SPACE OUT AND SUPPORT FINISHES, FACINGS, FASCIA, SOFFIT, SIDING, ELECTRICAL MOUNTS AND OTHER WORK AS REQUIRED.
- 12. INSTALL ROUGH BUCKS, NAILERS, AND LININGS TO ROUGH OPENINGS AS REQUIRED PROVIDING BACKUP TO FRAMES AND OTHER WORK.

13. INSTALL WOOD NAILERS, CURBS, AND OTHER WOOD ROOF SUPPORTS AS REQUIRED AND

14. FRAME, ANCHOR, FASTEN, TIE AND BRACE MEMBERS TO PROVIDE NECESSARY STRENGTH

SECURE USING GALVANIZED STEEL FASTENERS.

- 07 20 00 THERMAL PROTECTION
- INSULATION FOR PERIMETER WALLS ABOVE GRADE TO BE FIBERGLASS BATT
- INSULATION SHALL BE WEATHERPROOFED IN ACCORDANCE WITH THE MANUFACTURERSREQUIREMENTS. BATT INSULATION FOR ROOFS TO BE FIBERGLASS. CONFORMING TO CSA-A101 LATEST
- PERIMETER FOUNDATION WALL INSULATION TO BE TO BE STYROFOAM SM BY DOW

# CHEMICAL OF CANADA OR EQUAL.

07 25 00 - WEATHER BARRIERS VAPOUR BARRIER: APPLY SUPER 6 MIL POLY VAPOUR BARRIER(CAN/CGSB-51.34-M) AND

# 07 31 00 - SHINGLES AND SHAKES

- 1. FIBERGLASS ASPHALT SHINGLES MINIMUM 25 YEAR WARRANTY
- 4. GALVANIZED METAL DRIP EDGE 20 GA. GALV. STEEL



CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS. ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M.C. ENGINEERING OR CONSULTANTS WHICH MUST BE

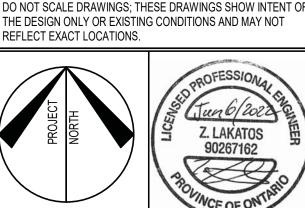
RETURNED AT THE COMPLETION OF THE WORK.

THE ABOVE COPYRIGHT PROTECTION.

THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF M C ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

ISSUED FOR PRE - PERMIT | 11/05/2022 REVIEW DESCRIPTION DATE



Lockhart's

27 Poplar Road

Long Point, ON

M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3

Tel: 519-428-6790 Fax: 519-426-8960

E-mail: drawing@mcengineering.net

A DIVISION OF 392583 ALBERTA LTD.

Detached Garage Boathouse For

Notes & Specs

1 1/2" = 1'-0" Author CHECKED BY Checker

May 11, 2022

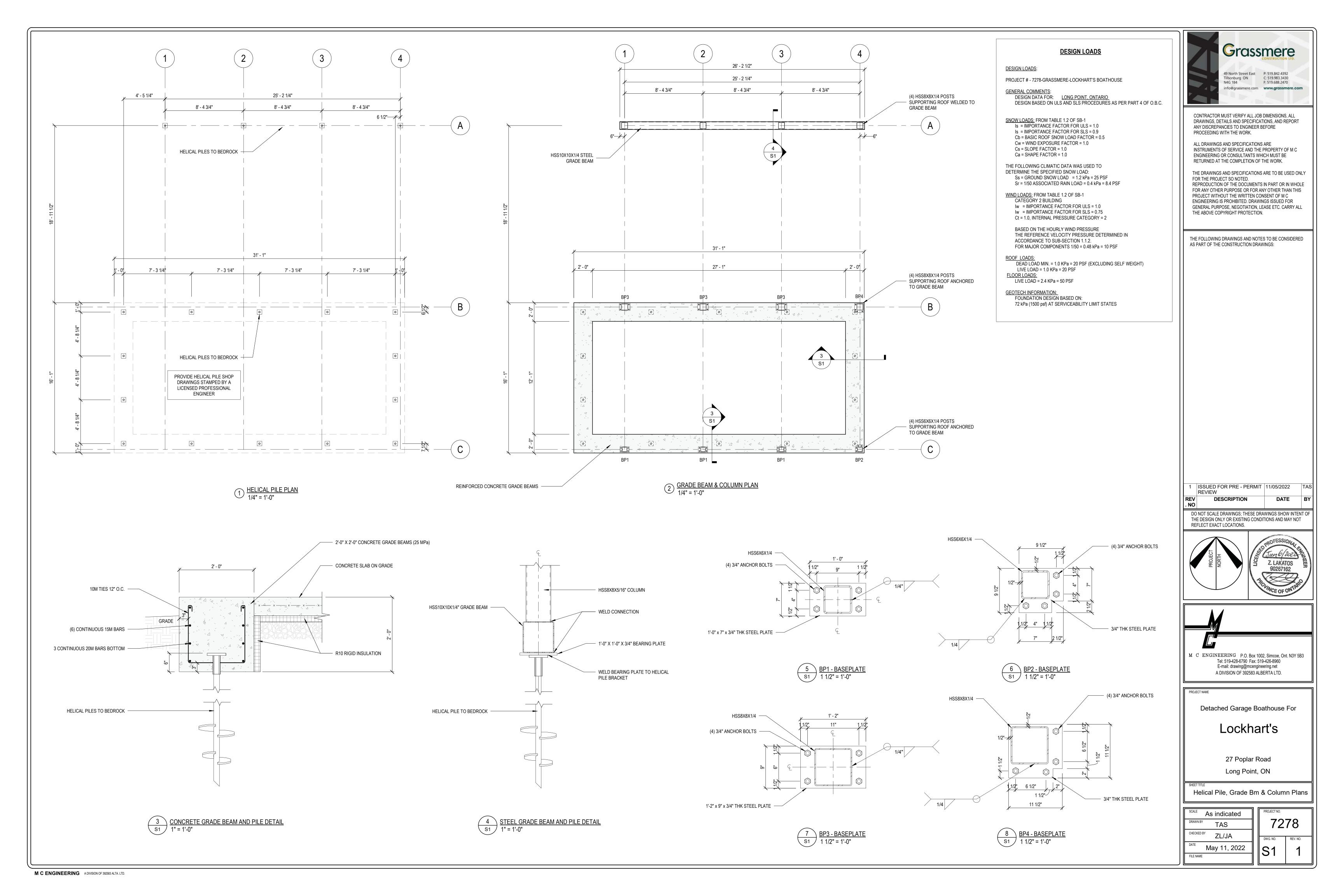
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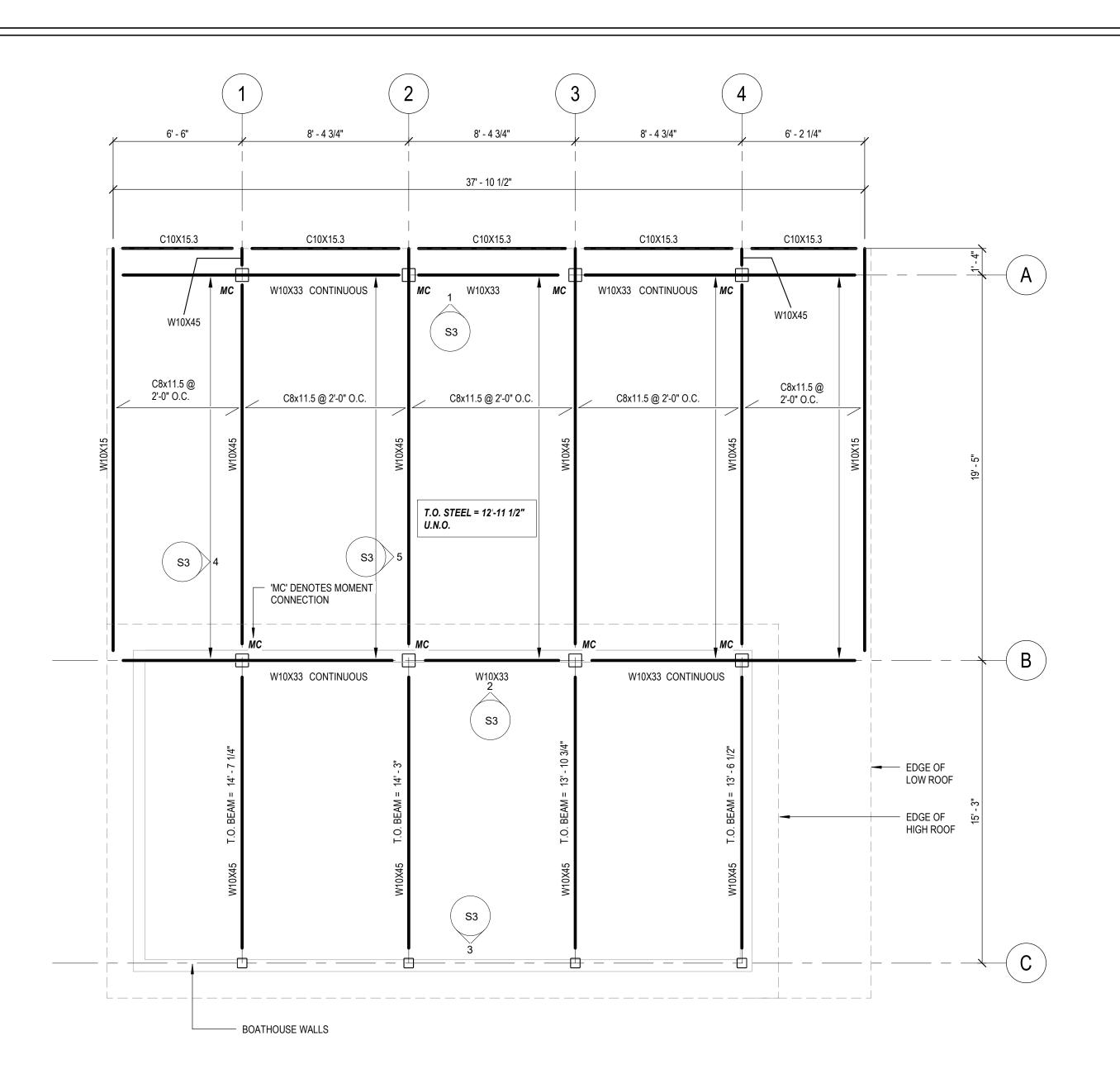
# PER AUTHORITY HAVING JURISDICTION).

# 5. DURING COLD OR WET WEATHER, PROTECT SOIL BENEATH AND ADJACENT TO THE FOOTINGS

- WHERE NECESSARY THE CONTRACTOR SHALL LOWER FOOTINGS TO ACCOMMODATE DRAIN LINES, ETC.
- PSF(24kN/SQ.M) WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTPRINT.
- 12. SEE ARCHITECTURAL DRAWINGS FOR THICKNESS OF SLAB ON GRADE(UNLESS NOTED ON STRUCTURAL DRAWINGS), AT RECESSES, DEPRESSIONS, PITS ETC. MAINTAIN SLAB THICKNESS
- 4'-0"(1200MM) EVERY SECOND BLOCK COURSE. CAVITIES WITH BARS ARE TO BE FILLED SOLID
- DESIGN OF THE FOUNDATIONS HAS BEEN BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 3000 PSF(143.6 kN/SQ.M) ASSUMED

# FOOTINGS BY AN ENGINEER

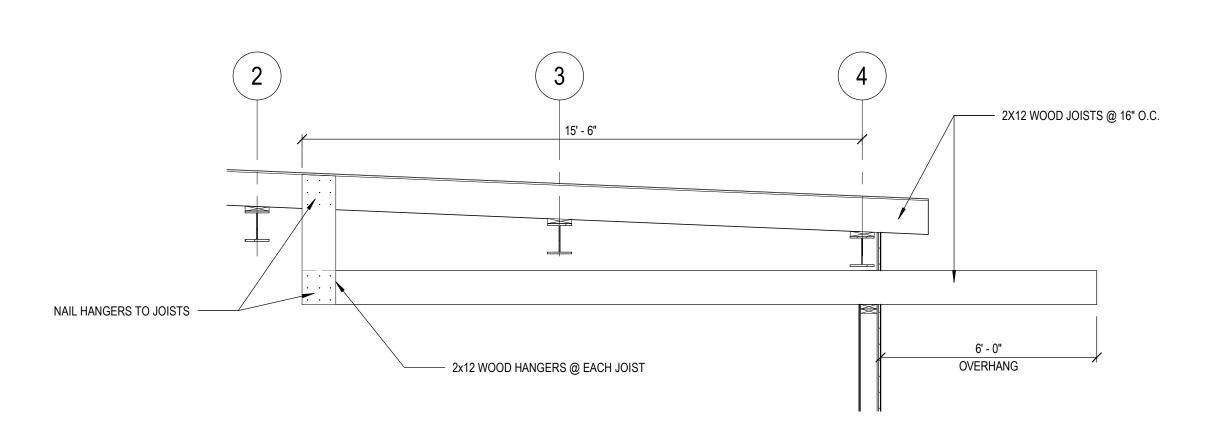




3 EDGE OF ROOF -30' - 0" OVERHANG 2x12 WOOD JOISTS @ 16" O.C. 15' - 6" 6' - 6 1/4"

 $1 \frac{\text{ROOF FRAMING PLAN}}{1/4" = 1'-0"}$ 

**NOTE:** PROVIDE STRUCTURAL STEEL SHOP DRAWINGS STAMPED BY A LICENSED PROFESSIONAL ENGINEER



 $\frac{3}{\text{S2}} \frac{\text{ROOF OVERHANG @ GARAGE SECTION DETAIL}}{3/8" = 1'-0"}$ 



CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M C ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

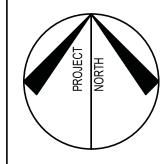
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THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED

AS PART OF THE CONSTRUCTION DRAWINGS:

REV . NO	DESCRIPTION	DATE	BY
1	ISSUED FOR PRE - PERMIT REVIEW	11/05/2022	TAS

THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.







M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-426-8960
E-mail: drawing@mcengineering.net A DIVISION OF 392583 ALBERTA LTD.

Detached Garage Boathouse For

Lockhart's

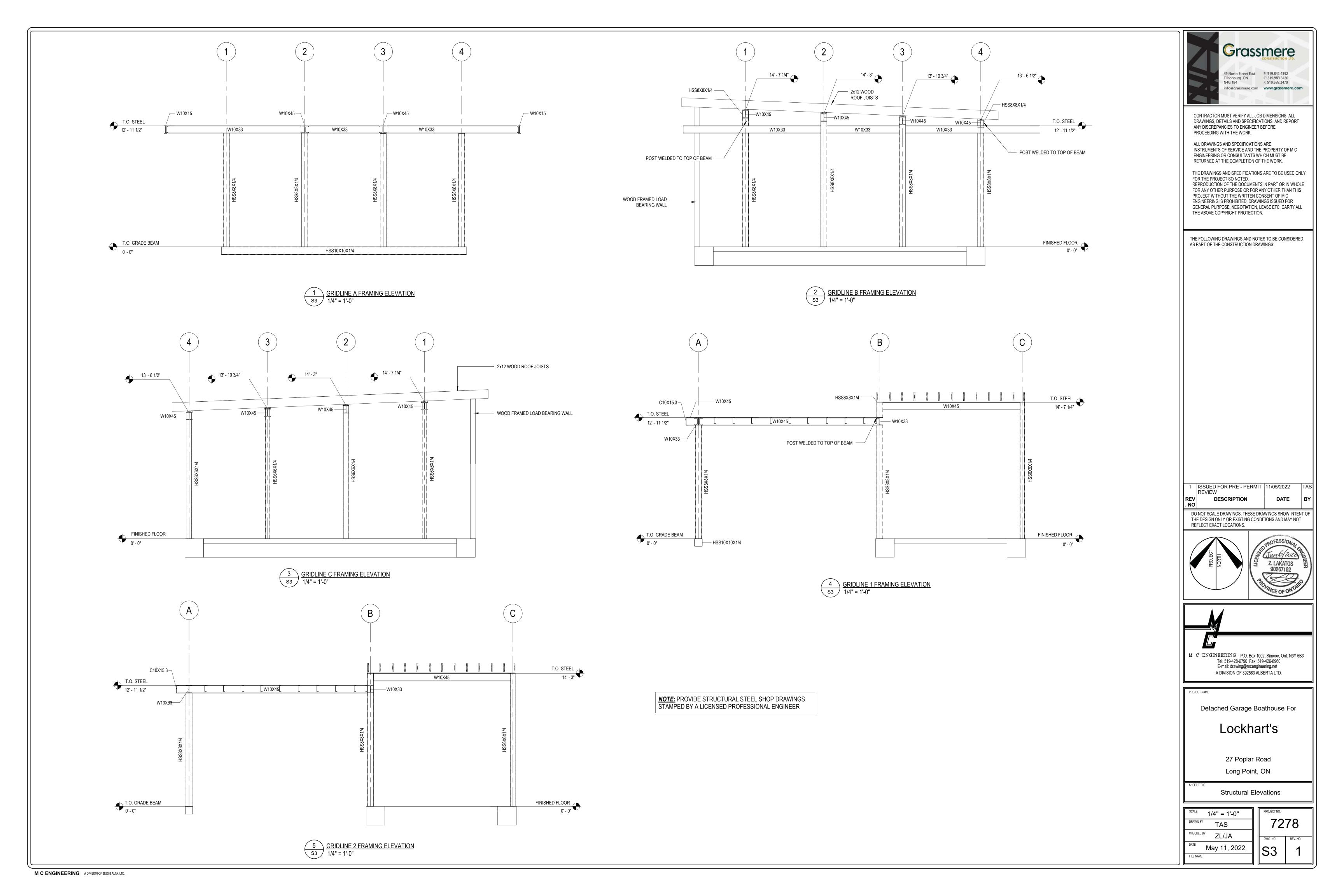
27 Poplar Road Long Point, ON

Roof Framing Plans

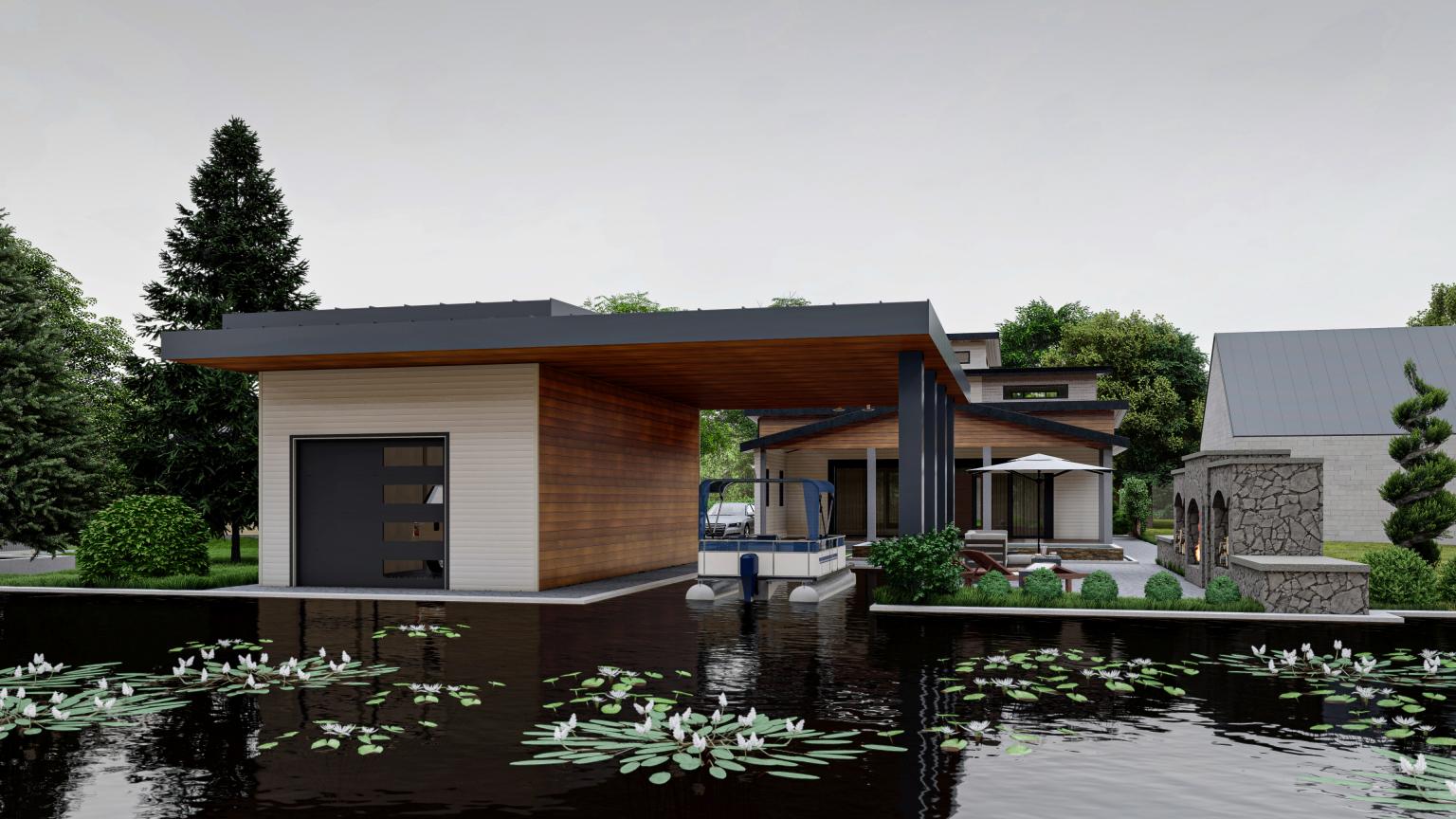
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7278 May 11, 2022

M C ENGINEERING A DIVISION OF 392583 ALTA. LTD.







# Roxanne Lambrecht <Roxanne.Lambrecht@norfolkcounty.ca>

Thu, Jul 28, 3:48 PM to me

Hi Brad

I did the zoning review for the boathouse and accessory building.

#### **Boathouse**

I got approx. 622 sqft for the boathouse, but since the boathouse is not enclosed it does not count into useable floor area, so the max allowance of 56sqm actually does not apply here, however the boathouse roof does count into lot coverage.

The height of the boathouse is fine, and so is the distance it is to property lines.

## **Accessory building**

The area of this building is 501sqft, with approximately a 56sqft overhang not supported by any vertical projections, so we consider it an overhanging eave, and it is not counted into lot coverage. This building is fine in height, and also the setbacks to property lines.

Your lot area was not plotted on the grading plan, so I had to take it from the data I had which is 0.1699acres, which is 687.56sqm (7400sqft).

You are permitted up to 10% lot coverage for all accessory building on the lot. I've attached the bylaw for resort residential which states in section 5.8.2 (h) the max lot coverage. Below is the definition for lot coverage.

The boathouse is considered an accessory building, so I have a lot coverage of 622sqft + 501sqft = 1123sqft (attached is my zoning review that shows this) 1123/7400 = 15% lot coverage, so I have you over by 5% of what you are allowed.

If you cannot meet the 10% lot coverage, then a planning application will need to be applied for, for relief of section 5.8.2 (h) of the bylaw. You can contact them by emailing them at <a href="mailto:planning@norfolkcounty.ca">planning@norfolkcounty.ca</a> to enquire about application costs and timelines.

"LOT COVERAGE" shall mean the percentage of the *lot area* covered by the *first storey* of all *buildings*, including *accessory buildings*, *decks or unenclosed porches* on the *lot* and including all projections but exclusive of canopies and overhanging eaves.

#### 3.2.2 Boathouse

Notwithstanding Subsection 3.2.1, a *boathouse* as an *accessory use* to a residential use shall comply with the provisions in the applicable *Zone* and with the following provisions:

- a) minimum exterior side yard 6 metres;
- b) minimum *interior side yard* 1.2 metres, except where a *boathouse*, is *erected* on a common *lot line* in which case no *interior side yard setback* is *required*;
- c) maximum building height 5 metres;
- d) maximum total usable floor area 56 square metres;
- e) maximum *lot coverage* shall not occupy more than 10 percent of the *lot area*, for all *accessory buildings*;
- f) shall not contain a dwelling unit, habitable room or washroom facilities.

#### **Roxanne Lambrecht**

Zoning Administrator Robinson Administration Building Building Community Development Division

185 Robinson St., Suite 200, Simcoe, Ontario, Canada, N3Y 5L6

519-426-5870 x. 1839

Fax: 519-875-4789



Concept Plan for 27 Poplar Rd Long Point March 28 2023

This property is the primary residence of Brad & Kim Lockhart

Project is to construct a garage with overhang to cover single boat well.

This proposed project is similar to other boathouses in the surrounding area

I am requesting a minor variance due to lot coverage. The allowable amount is 10% for an accessory building and this project is 15% leaving a 5% overage.

Roxane Lambrecht did the Zoning review and stated that all set backs , height and useable floorspace are fine. Just the Lot coverage is needed.

The structure was designed to compliment the residence that was redone last year with the same look, shape and finishes. It consists of a 501 Sq foot Garage for tools, snowblower, lawn mower and bicycles. The covered area is a flat roof suported by 4 posts to cover the boat well. This part is 622 Sq footage of roof. There are no walls on 3 sides.

Attached are Concept Renderings, building stamped drawings and drainage plan.

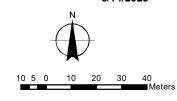
## **CONTEXT MAP**

Geographic Township of SOUTH WALSINGHAM



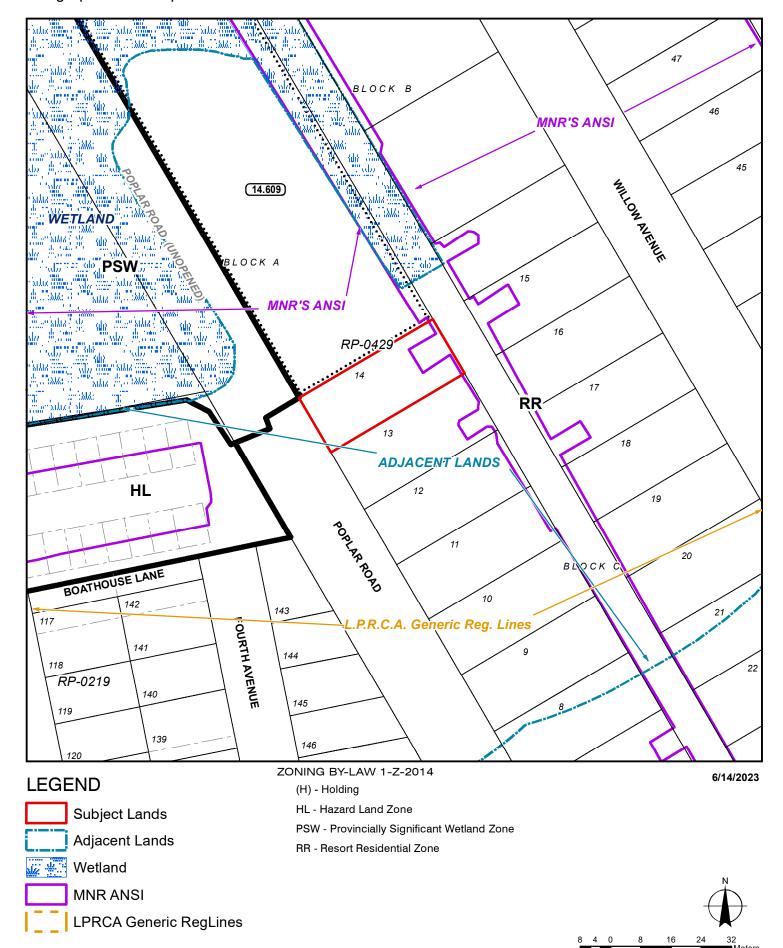
# Legend





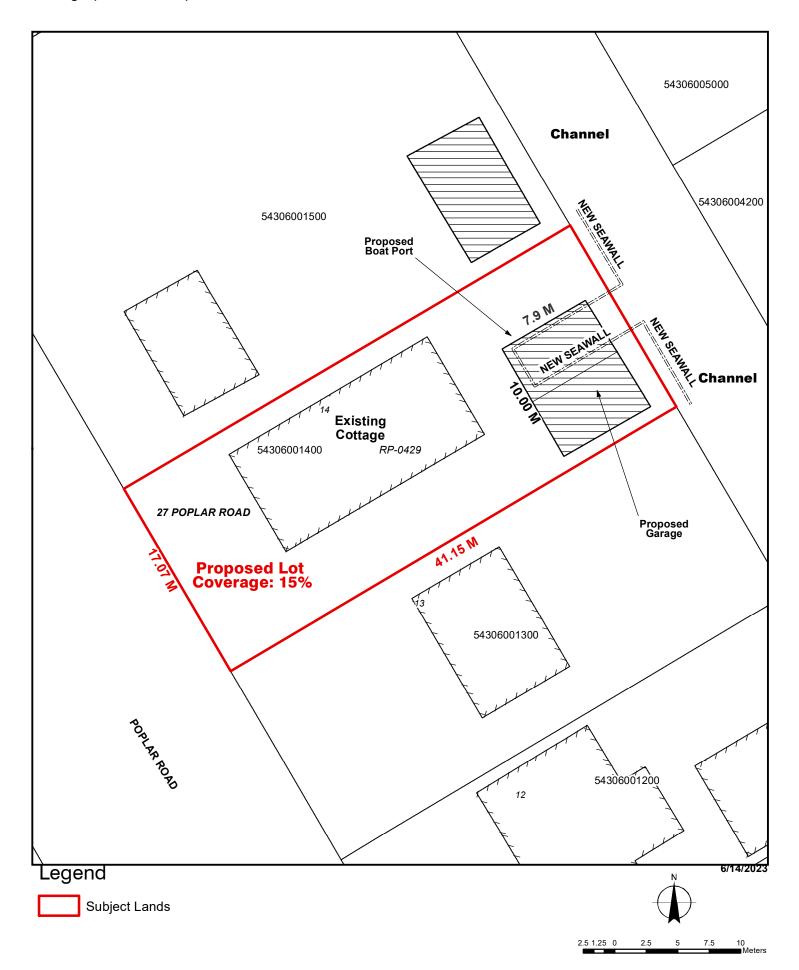
#### **ZONING BY-LAW MAP**

Geographic Township of SOUTH WALSINGHAM



## **CONCEPTUAL PLAN**

Geographic Township of SOUTH WALSINGHAM



# **LOCATION OF LANDS AFFECTED**

## **CONCEPTUAL PLAN**

Geographic Township of SOUTH WALSINGHAM

