

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Adam & Cari-Lyn Reid (same address as above)

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Renton, 1125 Cockshutt Rd, TWN CON 14 PT LOT 12 RP, 37R2206 PART 1, IRREG, 0.73AC 107.32FR D

Municipal Civic Address: 1125 Cockshutt Road, Simcoe

Present Official Plan Designation(s): Residential Hamlet, LPCRA Hazard land.

Present Zoning: Residential Hamlet, LPCRA Hazard land

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

Screened with LPCRA that garage must be minimum distance from hazard land on north and east side.

3. Present use of the subject lands:

Primary Dwelling

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Steel Storage shed on concrete pad (north west corner) for garden tools and general storage for outside equipment,

Backyard deck on cement footings at rear of house (west side),

Driveway running on south side of property. Single storey house with walkway from driveway to front door. All to be retained.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

No additions to existing buildings.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Applying to build a 12.19mX9.14m Garage to be used as storage, home gym, workspace for general home task. Two storey (full loft) as accessory dwelling unit.

Garage door on the east side to face driveway. Driveway to be extended up to garage door. No parking planned in garage.

Entry into the accessory dwelling unit is to be at the back of the garage as illustrated on the drawings.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

1985 house was built.

9. Existing use of abutting properties:

Farm land, orchard to the west. Residential adjacent on south side. Hazard land in front yard near the road. Wooded area to the north.

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Hazard land in front yard should not affect location of proposed build.

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	~39m				
Lot depth	~82m				
Lot width	~32m				
Lot area	3000sq. m.				
Lot coverage		10%			N/A
Front yard		6m		64m	N/A
Rear yard		1.2m		4.57m	N/A
Height		5m		~8.3m	~3.3m
Left Interior side yard		1.2m		1.8m	N/A
Right Interior side yard		1.2m		22.55m	N/A
Exterior side yard (corner lot)					
Parking Spaces (number)	4+.			One parking space will be reserved for ADU. No parking planned inside of garage.	N/A
Aisle width					
Stall size					
Loading Spaces					
Other	12sq.m shed			222.82sq.m	134.82sq.m total UFA

111.42sq.m for garage and 111.42 for ADU.

36.42sq.m above ADU size of 75sq.m in by-law.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Garage/ADU is above the allotted useable floor space of 100sq.m, 5M height and ADU UFA of 75sq.m

Total UFA of garage and ADU on 2nd floor and shed will be 222.82sq.m. Height of Garage/ADU will be ~8.3m and UFA in ADU will be 111.42sq.m

Variance application is for total UFA of accessory buildings, Height of accessory building and UFA for ADU.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Personal knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

Not intended to impact woodland or heritage sites.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☒ On the subject lands or ☐ within 500 meters – distance North side

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☒ Individual wells ☐ Other (describe below)

House has own well at south west corner of house. Routing water from house to garage.

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed in good working order ☐ Other (describe below)

House has septic tank on north east side of house. Working plan to upgrade and attach ADU to house septic system.

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☒ Other (describe below)

Culvert running south to north under driveway at front of house and to wooded area (Hazard land area.).

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Driveway has existing access to Cockshutt road. No plan to add another entrance.

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-
-
-

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

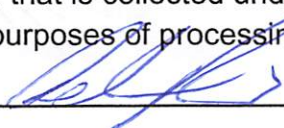
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature

June 8th, 2023

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Adam & Cari-Lyn Reid am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Adam & Cari-Lyn Reid to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Adam Reid

Owner

June 8th, 2023

Date

Cari-Lyn Reid

Owner

June 8thh, 2023

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Adam Reid of 1125 Cockshutt Rd, Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

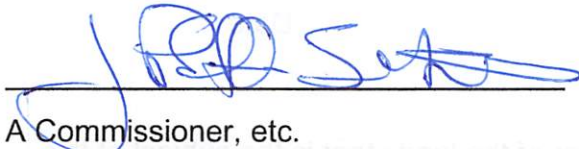
Simcoe


Owner/Applicant/Agent Signature

In Norfolk County

This 10th day of July

A.D., 20 23

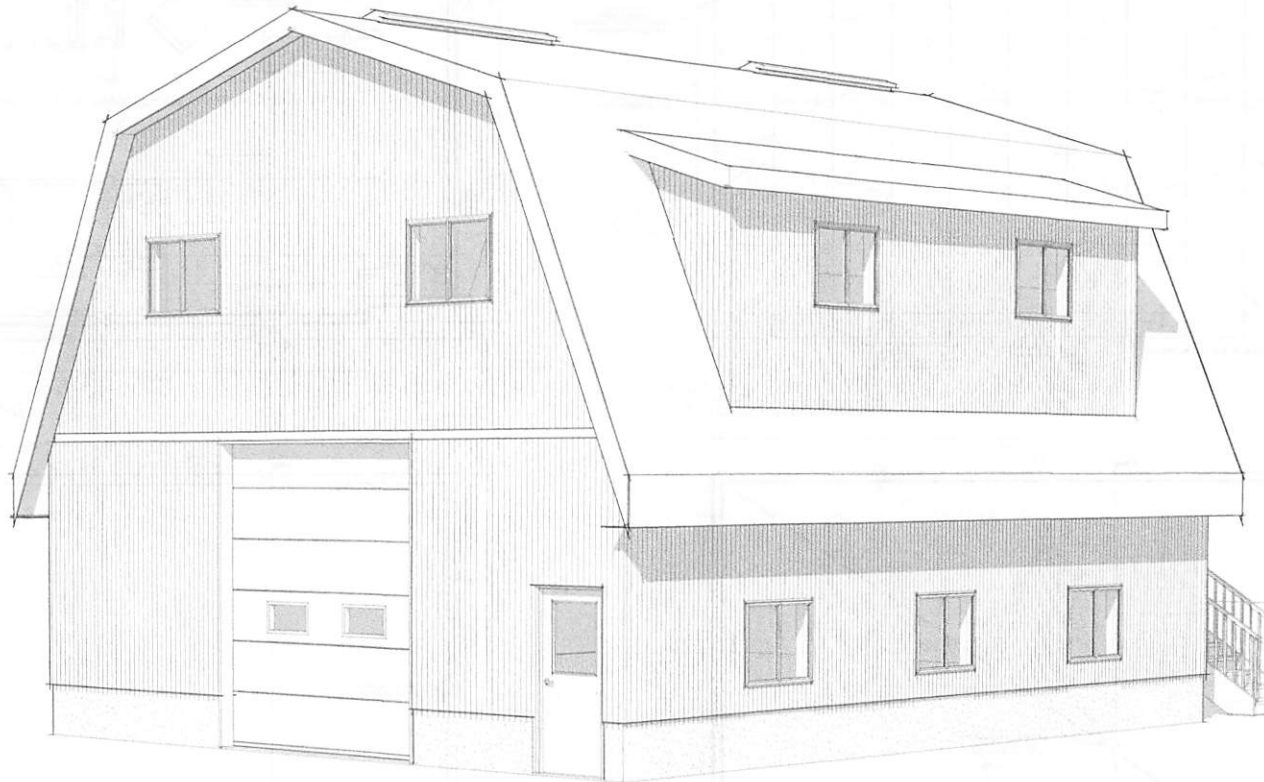

A Commissioner, etc.

Jodi Lynn Pfaff-Schimus, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 1, 2025.

DRAWINGS PROVIDED FOR
TD CONSTRUCTION

REID ACCESSORY BUILDING

1125 COCKSHUTT ROAD, SIMCOE ONTARIO



SHEET SCHEDULE	
SHEET NO.	SHEET NAME
S-0	COVER SHEET
S-1	FOUNDATION/ GROUND/ ROOF FRAMING PLAN
S-2	BUILDING SECTION/ WALL SECTIONS
S-3	ELEVATIONS


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BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE ENGINEER

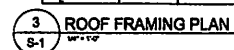
PROJECT STATUS:		
NO.	DATE:	STATUS:
1	FEB. 17, 2022	FOR APPROVAL
2	MARCH 3, 2022	FOR CONSTRUCTION
3	APRIL 13, 2022	FOR APPROVAL
4	APRIL 24, 2022	FOR APPROVAL

CONTRACTOR NAME & ADDRESS:	
TD CONSTRUCTION 60 STOVER STREET, NORWICH ONTARIO	
PROJECT NORTH	TRUE NORTH
Project #	ELX22-147
Drawn by	J.B.
Checked by	N.H.

PROJECT NAME & ADDRESS:		Date
REID ACCESSORY BUILDING 1125 COCKSHUTT ROAD, SIMCOE ONTARIO		FEB. 17, 2022
DRAWING TITLE:		Sheet No.
COVER SHEET		S-0



WALL SCHEDULE (W)	
EXTERIOR WALLS:	
(W1)	 <p> 16" x 16" STUDS @ 24" 1/2" COLOURED STEEL CLADDING 1" STRAAPPING @ 24" 2nd 1/2" x 1/2" STUDS @ 16" or BLOCKED @ 16" ONCHT </p>



TRUSS BRACING SHOWN IS
REPRESENTATIVE ONLY. REFER TO
BRACING NOTES (PAGE 17) AND
STAMPED TRUSS DRAWINGS (DESIGNED
BY OTHERS) FOR FULL DETAILS.

CONTRACTOR TO FORWARD STAMPED
COPY OF TRUSS DRAWINGS TO
DESIGNLOCK ENGINEERING PRIOR TO
FRAMING INSPECTION.

PROJECT NAME & ADDRESS REID ACCESSORY BUILDING 1125 COCKSHUTT ROAD, SIMCOE ONTARIO	Date FEB. 17, 2023
DRAWING TITLE FOUNDATION/ GROUND/ ROOF FRAMING PLAN	Sheet No. S-1



DOOR SCHEDULE						
NO.	DESCRIPTION	WIDTH	HEIGHT	HEADER	POST	QTY
D1	UTILITY MAN DOOR	3'-0"	6'-8"	2PLY 2x8	1PLY JACK 1PLY KING	2
D2	INSULATED OVERHEAD DOOR	10'-0"	12'-0"	2PLY 2x8	1PLY JACK 1PLY KING	1
D3	4 PANEL BI-FOLD DOOR	4'-0"	7'-0"			2
D4	UTILITY MAN DOOR	2'-6"	6'-8"			1
D5	UTILITY MAN DOOR	2'-3"	6'-8"			1
D6	UTILITY MAN DOOR	3'-0"	6'-8"			1



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**ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED
BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE CLIENT**

ABBREVIATIONS			
6	AT	GA	OVER-GAS
10	COMPLETELY SAFE	HP	AND FORMER
15	REVENUE	PL	REVENUE THEATRE
20	REVENUE	PL	THEATRE, NEW YORK
25	REVENUE	PL	THEATRE & SONGS
30	REVENUE	PL	TOP 10
35	REVENUE	PL	TOPICAL
40	REVENUE	PL	TOPICAL
45	REVENUE	PL	TOPICAL
50	REVENUE	PL	TOPICAL
55	REVENUE	PL	TOPICAL
60	REVENUE	PL	TOPICAL
65	REVENUE	PL	TOPICAL
70	REVENUE	PL	TOPICAL
75	REVENUE	PL	TOPICAL
80	REVENUE	PL	TOPICAL
85	REVENUE	PL	TOPICAL
90	REVENUE	PL	TOPICAL
95	REVENUE	PL	TOPICAL
100	REVENUE	PL	TOPICAL

LEGEND

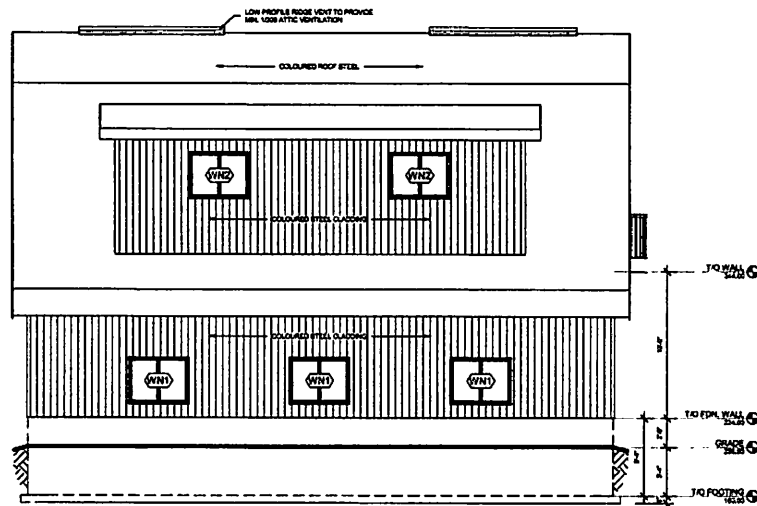
	WALL TAG
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER - PLAN
	ELEVATION MARKER - SECTION
	TRAVEL DISTANCE

PROJECT STATUS:		
NO:	DATE:	STATUS:
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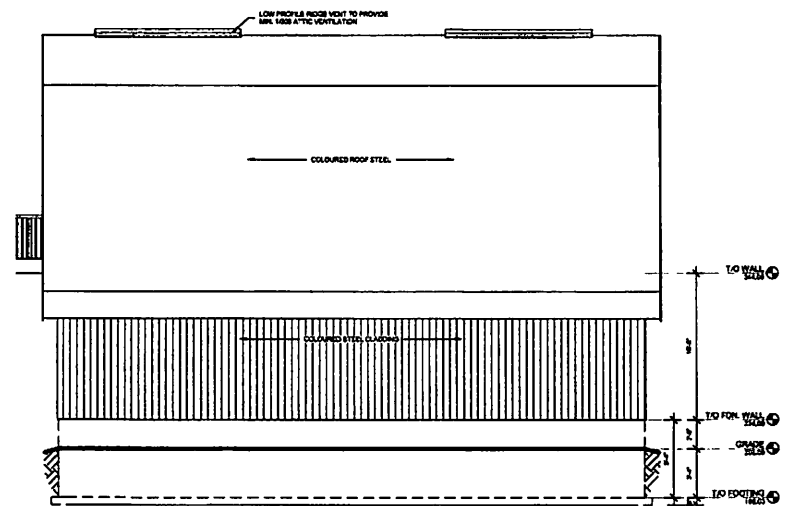
CONTRACTOR NAME & ADDRESS:		
TD CONSTRUCTION 60 STOVER STREET, NORWICH ONTARIO		
PROJECT NORTH:	TRUE NORTH:	Project # DUC2-14 Drawn by J.S. Checked by M.M.

P L	PROJECT NAME & ADDRESS:
	REID ACCESSORY BUILDING 1125 COCKSHUTT ROAD, SIMCOE ONTARIO
D	DRAWING TITLE:
	BUILDING SECTION/ WALL SECTIONS

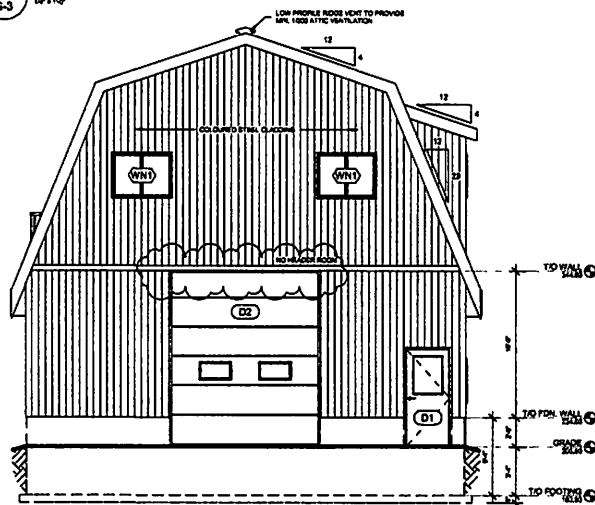
Date	FEB. 17, 2022
Score	As Indicated
Sheet No.	S-2



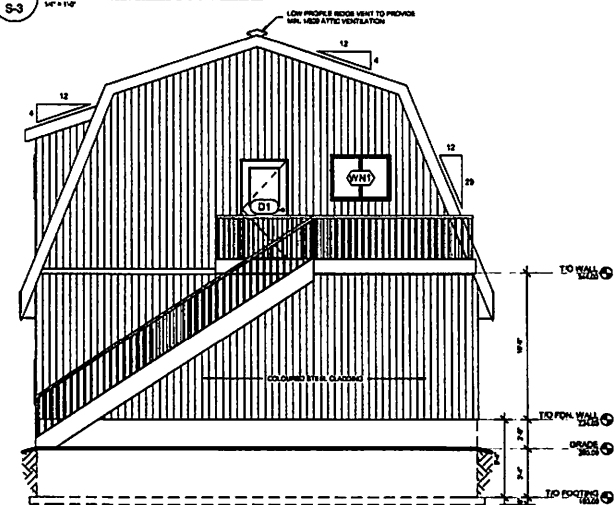
1 PROJECT NORTH ELEVATION
S-3 1/4" = 1'-0"



2 PROJECT SOUTH ELEVATION
S-3 1/4" = 1'-0"



3 PROJECT EAST ELEVATION
S-3 1/4" = 1'-0"



4 PROJECT WEST ELEVATION
S-3 1/4" = 1'-0"

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ABBREVIATIONS

AS	AS	AS	AS
BS	BS	BS	BS
CS	CS	CS	CS
DS	DS	DS	DS
ES	ES	ES	ES
FS	FS	FS	FS
GS	GS	GS	GS
HS	HS	HS	HS
IS	IS	IS	IS
JS	JS	JS	JS
KS	KS	KS	KS
LS	LS	LS	LS
MS	MS	MS	MS
NS	NS	NS	NS
OS	OS	OS	OS
PS	PS	PS	PS
QS	QS	QS	QS
RS	RS	RS	RS
TS	TS	TS	TS
US	US	US	US
VS	VS	VS	VS
WS	WS	WS	WS
XS	XS	XS	XS
YS	YS	YS	YS
ZS	ZS	ZS	ZS

LEGEND

WALL TAG	WALL TAG
WINDOW TAG	WINDOW TAG
DOOR TAG	DOOR TAG
ELEVATION MARKER - PLAN	ELEVATION MARKER - PLAN
ELEVATION MARKER - SECTION	ELEVATION MARKER - SECTION
TRAVEL DISTANCE	TRAVEL DISTANCE

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CONTRACTOR NAME & ADDRESS	
TO CONSTRUCTION 60 STOVER STREET, NORWICH ONTARIO	
PROJECT NORTH	TRUE NORTH
Drawn by:	DL222-147
Checked by:	M.H.

PROJECT NAME & ADDRESS	
REID ACCESSORY BUILDING 1125 COCKSHUTT ROAD, SIMCOE ONTARIO	
DRAWING TITLE	
ELEVATIONS	

Date	FEB. 17, 2022
Scale	1/4" = 1'-0"
Sheet No.	S-3

SWALE DETAIL



NOTE: DISTANCE FROM TOP OF FOUNDATION WALL TO UNDERSIDE OF FOOTING EQUALS 1.52m OR 5 FT TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.



SITE B.M.#1

FINISHED CONCRETE FLOOR OF GARAGE
ELEV = 213.765
(GEODETHIC)

LEGEND

BELL BOX	SHOWN	BOX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	△
HYDRO POLE	SHOWN	HP	⊙
GAS METER	SHOWN	GM	⊙
MANHOLE	SHOWN	MH	⊙

SKETCH PREPARED FOR BUILDING PERMIT APPLICATION

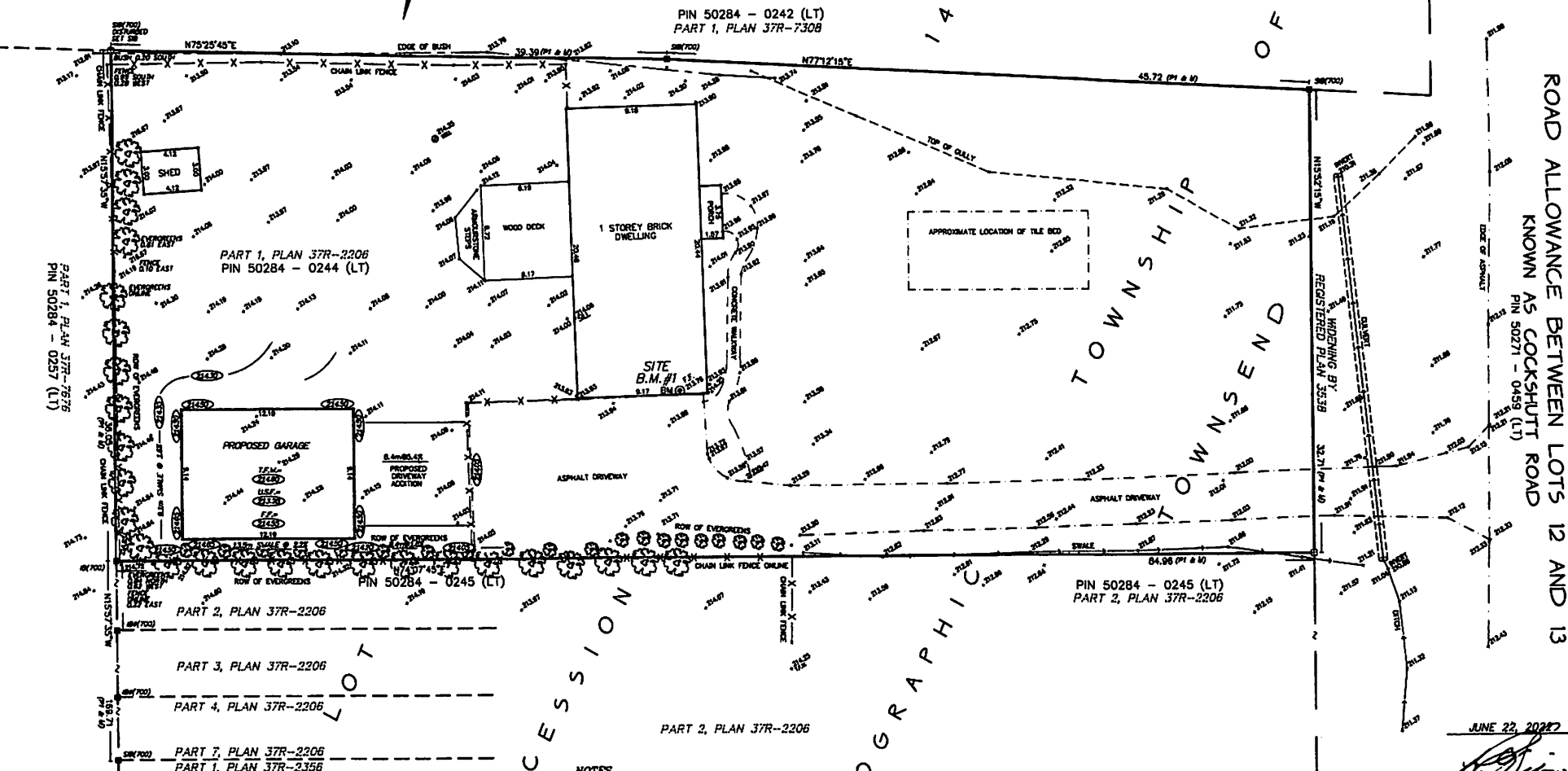
FOR: ADAM REID
1125 COCKSHUTT ROAD
SIMCOE

PIN 50284-0244 (LT)

SCALE: 1 : 200

2 0 8 METRES

JEWITT AND DIXON LTD.



PROPERTY DESCRIPTION:
PART OF LOT 12, CONCESSION 14
GEOGRAPHIC TOWNSHIP OF TOWNSEND
COUNTY OF NORFOLK

CAUTION

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NOTES

- A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE.
- PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY.
- PROPOSED FINAL GRADES ARE SHOWN AND ARE IN METERS.
- T.F.M. DENOTES TOP OF FOUNDATION WALL.
- U.S.F. DENOTES UNDERSIDE OF FOOTING.
- F.F. DENOTES FINISHED FLOOR.
- SITE BENCHMARK - CONCRETE FINISHED FLOOR OF GARAGE HAVING A GEODETHIC ELEVATION OF 1 meters.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCHMARK PRIOR TO EXCAVATION.
- ELEVATIONS ARE REFERRED TO CANADIAN GEODETHIC DATUM, CGVD 1928 VERTICAL DATUM.
- THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE

JUNE 22, 2022

R. C. DIXON, Q.L.S.
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JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N5Y 4J9
(51 PARK ROAD)

PHONE: (519) 428-0842
E-mail: info@jewittanddixon.com





F.W.	- J.D.
BOOK	- L.L.
CALC.	- J.L.M.
PLAN	- J.L.M.
CHECK	- K.H.
CLIENT	- REID
PROJECT No.	- 22-3434
22-3434-GP	



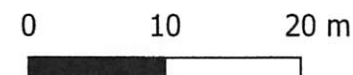
**Long Point Region
Conservation Authority**

**1125 Cockshutt Road
Norfolk County**

Legend

-  Regulation Limit
-  Hazard Land
-  1125 Cockshutt rd
-  Watercourse

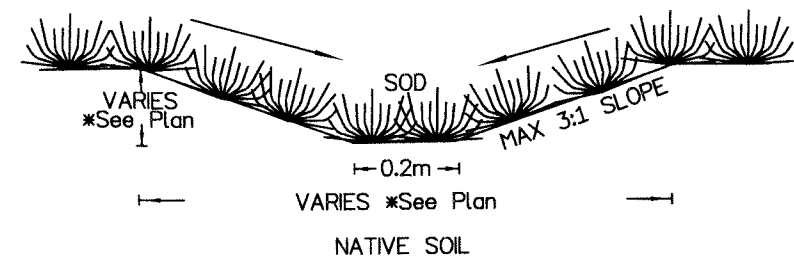
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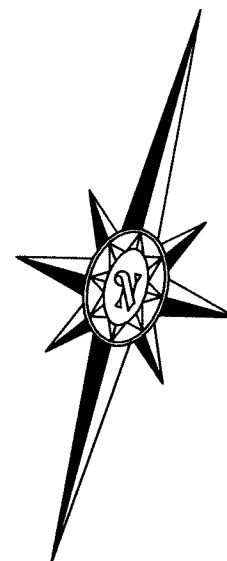
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Long Point Region
Conservation Authority

SWALE DETAIL

NOT TO SCALE



NOTE: DISTANCE FROM TOP OF FOUNDATION WALL TO UNDERSIDE OF FOOTING EQUALS 1.52m OR 5 FT TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.



SITE B.M.#1

FINISHED CONCRETE
FLOOR OF GARAGE
ELEV = 213.765
(GEODETIC)

SKETCH PREPARED FOR BUILDING
PERMIT APPLICATION

FOR: ADAM REID
1125 COCKSHUTT ROAD
SIMCOE

PIN 50284-0244 (LT)

SCALE: 1 : 200

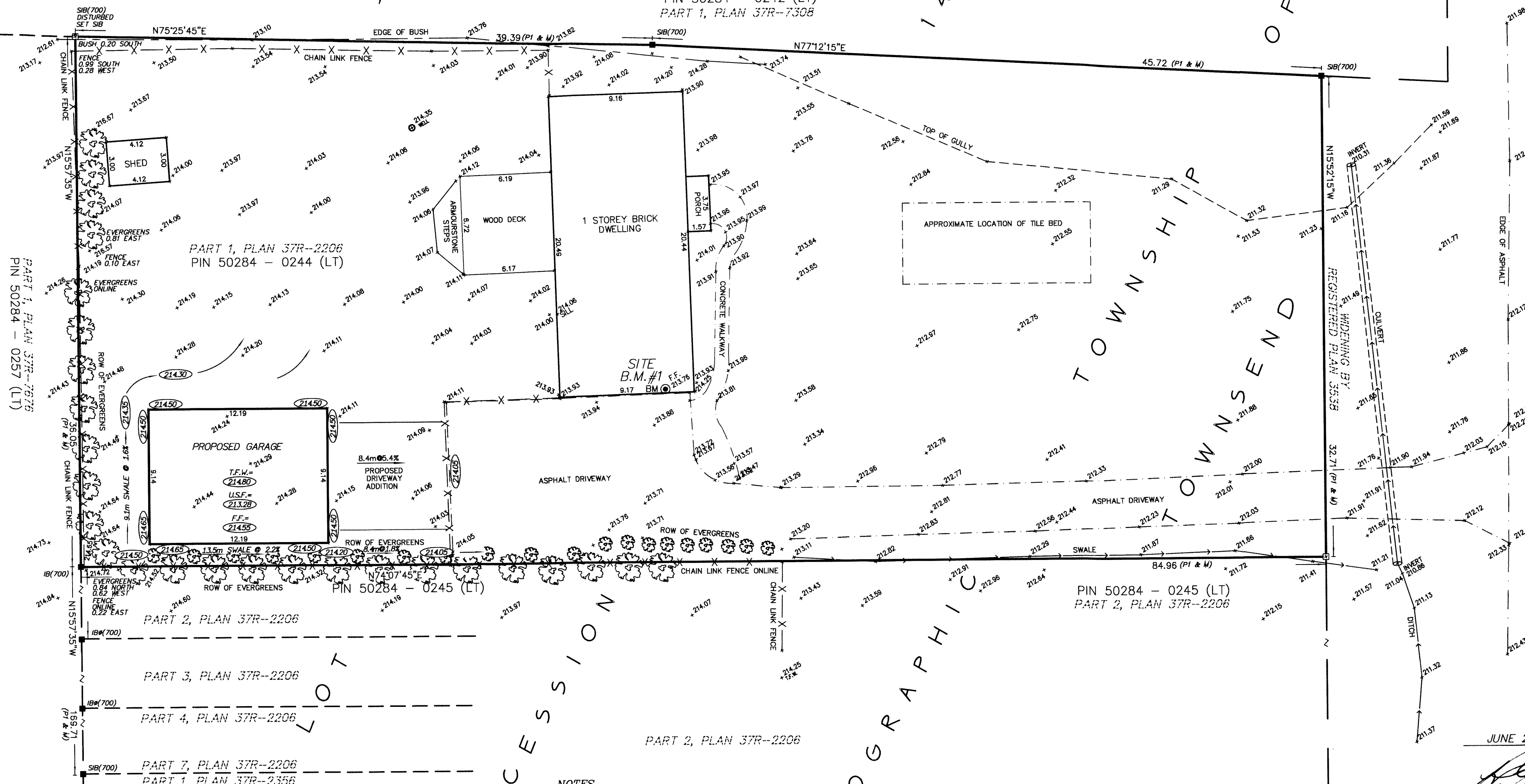


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LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	●
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	△
HYDRO POLE	SHOWN	HP	—
GAS METER	SHOWN	GM	—
MANHOLE	SHOWN	MH	—

PIN 50284 - 0242 (LT)
PART 1, PLAN 37R-7308



NOTES

- A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- PROPOSED FINAL GRADES ARE SHOWN AND ARE IN METERS
- T.F.W. DENOTES TOP OF FOUNDATION WALL
- U.S.F. DENOTES UNDERSIDE OF FOOTING
- F.F. DENOTES FINISHED FLOOR
- SITE BENCHMARK - CONCRETE FINISHED FLOOR OF GARAGE HAVING A GEODETIC ELEVATION OF 1 METERS
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCHMARK PRIOR TO EXCAVATION
- ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE

PROPERTY DESCRIPTION:

PART OF LOT 12, CONCESSION 14
GEOGRAPHIC TOWNSHIP OF TOWNSEND
COUNTY OF NORFOLK

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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JUNE 22, 2022

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R. C. DIXON, O.L.S.
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ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

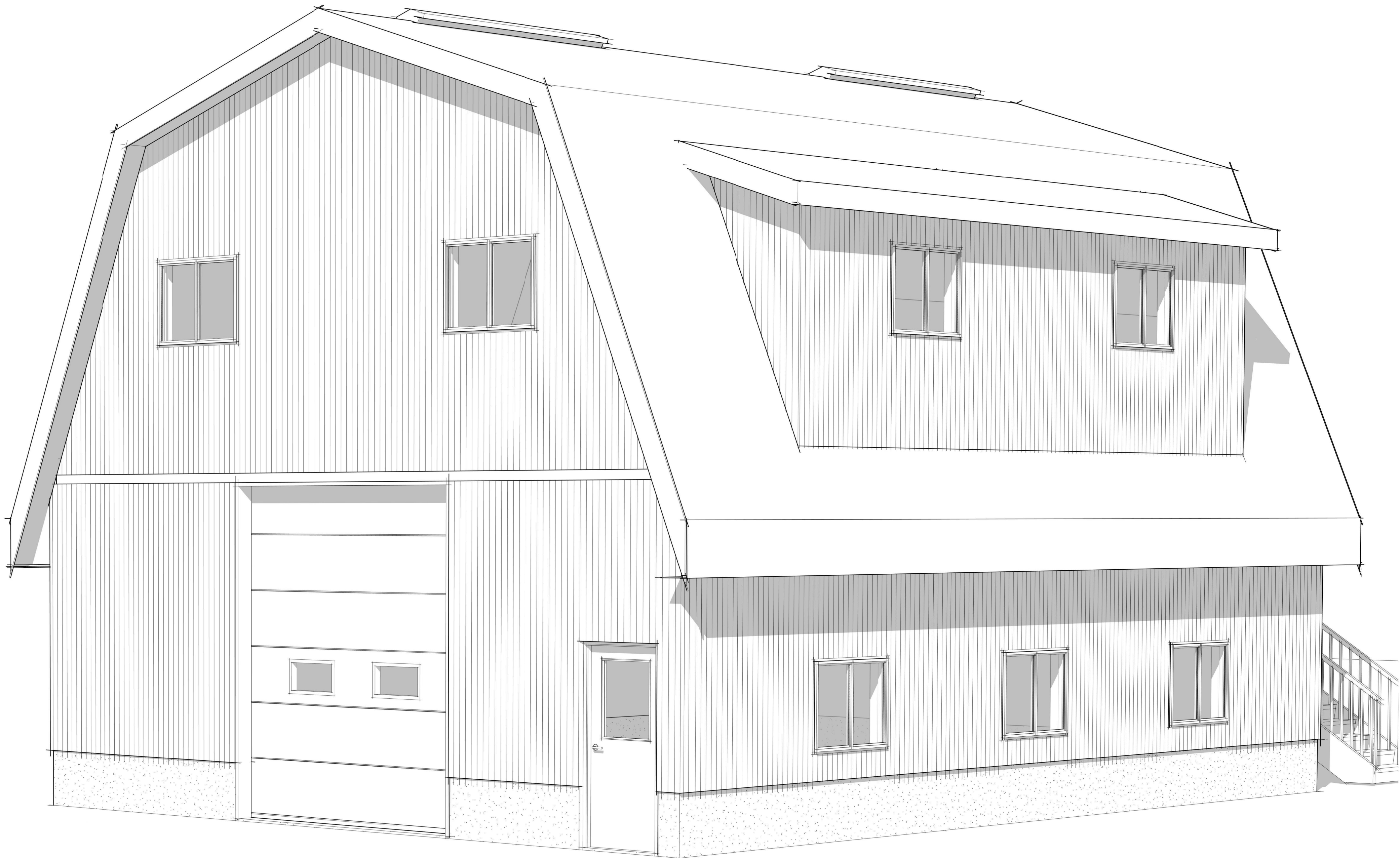
F.W.	-	J.D.
BOOK	-	LL
CALC.	-	J.L.M.
PLAN	-	J.L.M.
CHECK	-	K.H.
CLIENT	-	REID
PROJECT No.	-	22-3434

22-3434-GP

DRAWINGS PROVIDED FOR
TD CONSTRUCTION

REID ACCESSORY BUILDING

1125 COCKSHUTT ROAD, SIMCOE ONTARIO



SHEET SCHEDULE	
SHEET NO.	SHEET NAME
S-0	COVER SHEET
S-1	FOUNDATION/ GROUND/ ROOF FRAMING PLAN
S-2	BUILDING SECTION/ WALL SECTIONS
S-3	ELEVATIONS



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AGRICULTURE - COMMERCIAL - CIVIL
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E: office@dlxengineering.com
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BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE ENGINEER

PROJECT STATUS:		
NO:	DATE:	STATUS:
1	FEB. 17, 2022	FOR APPROVAL
2	MARCH 3, 2022	FOR CONSTRUCTION
3	APRIL 13, 2022	FOR APPROVAL
4	APRIL 24, 2022	FOR APPROVAL

CONTRACTOR NAME & ADDRESS:
TD CONSTRUCTION
60 STOVER STREET,
NORWICH ONTARIO

PROJECT NORTH:TRUE NORTH:

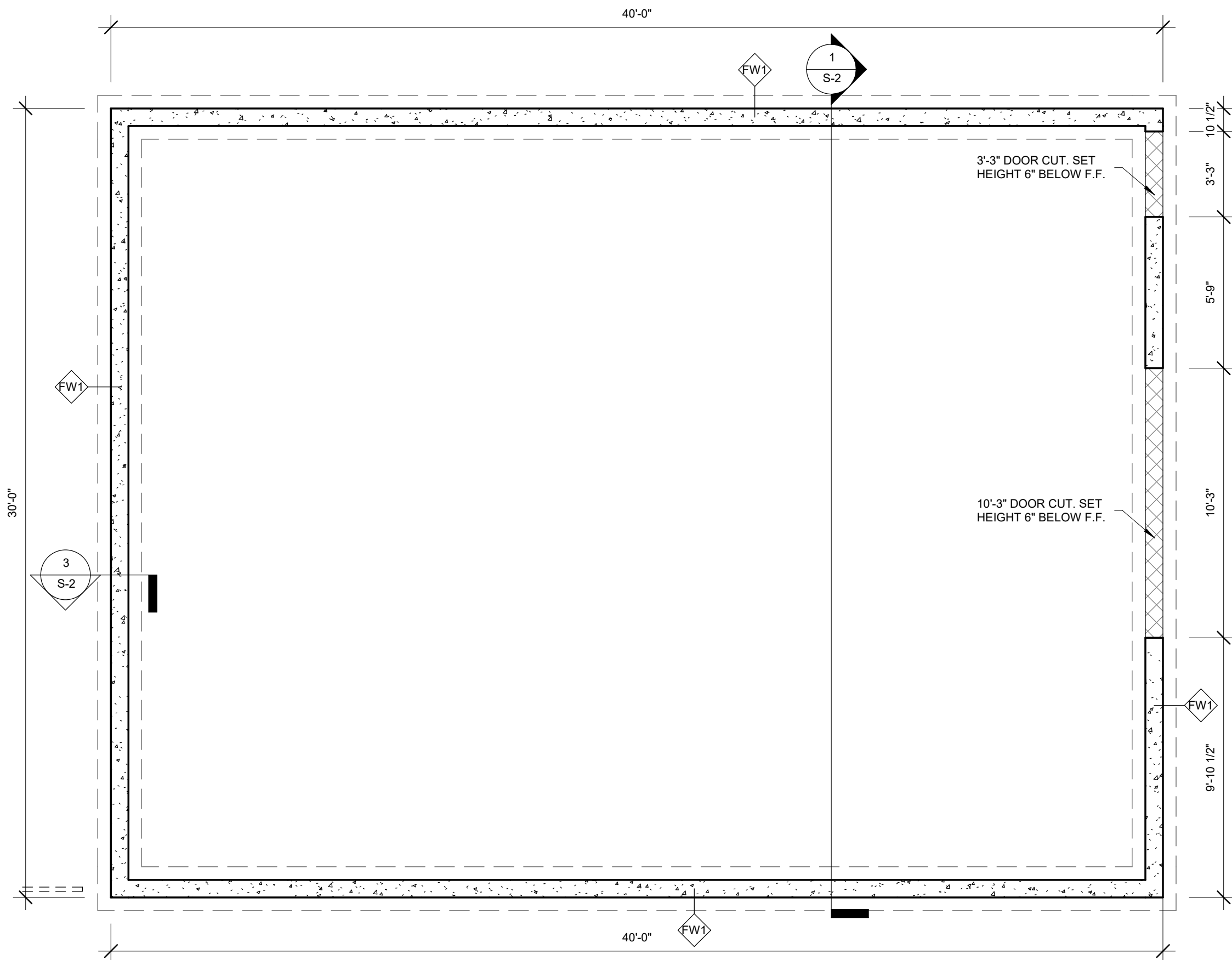
Project #:
DLX22-147
Drawn by:
J.B.
Checked by:
N.H.

PROJECT NAME & ADDRESS:
REID ACCESSORY BUILDING
1125 COCKSHUTT ROAD,
SIMCOE ONTARIO

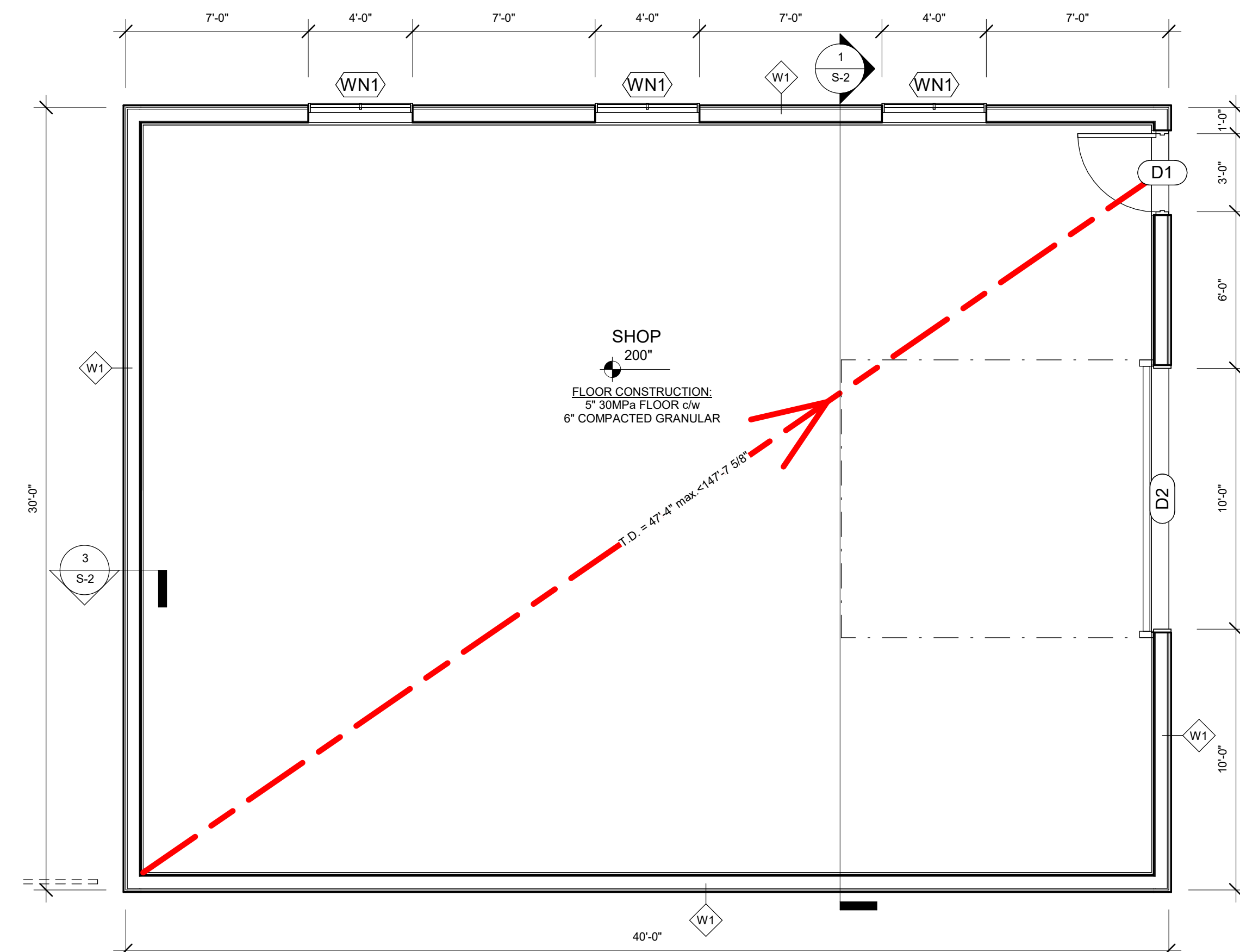
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COVER SHEET

Date
FEB. 17, 2022
Scale

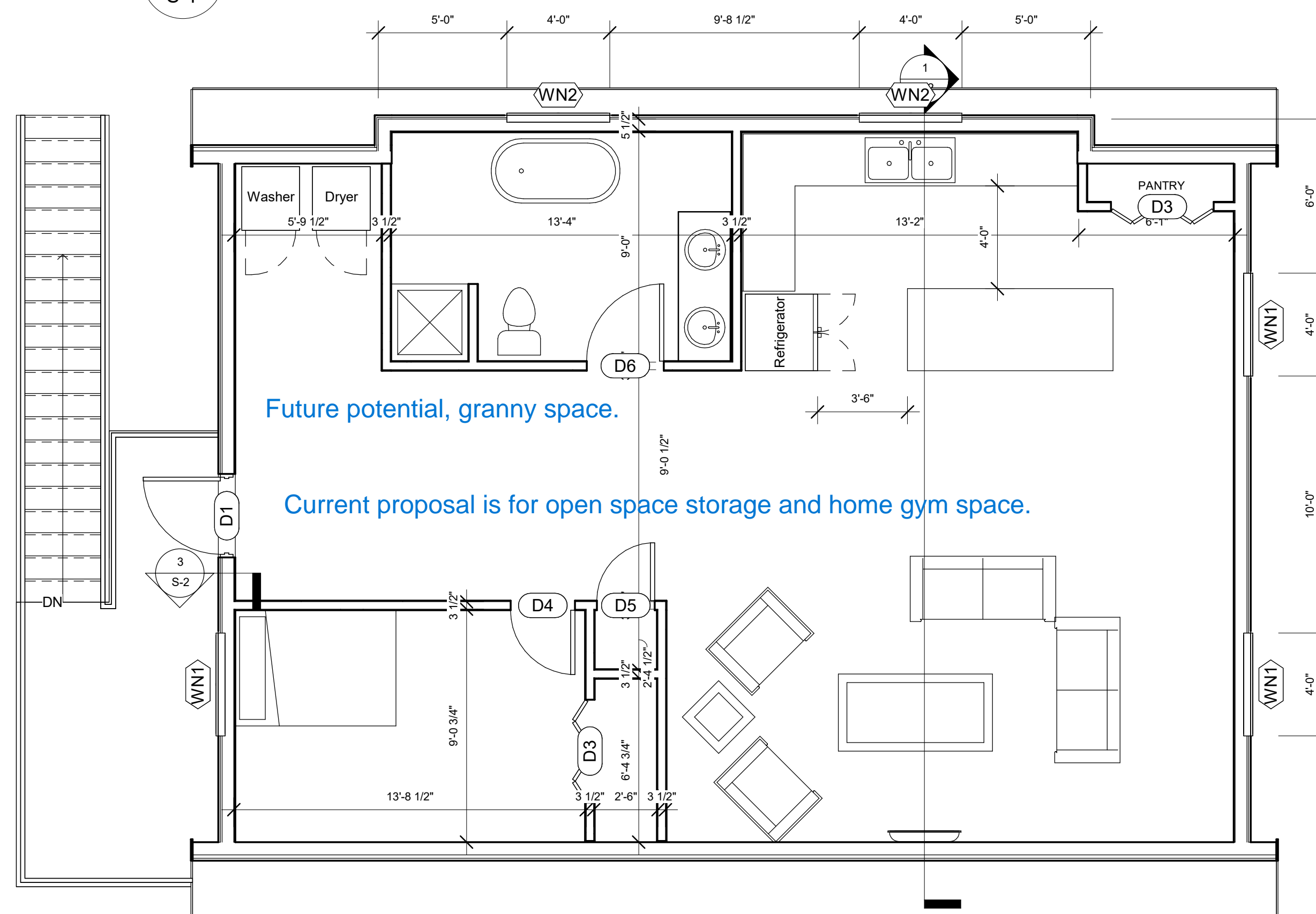
Sheet No.
S-0



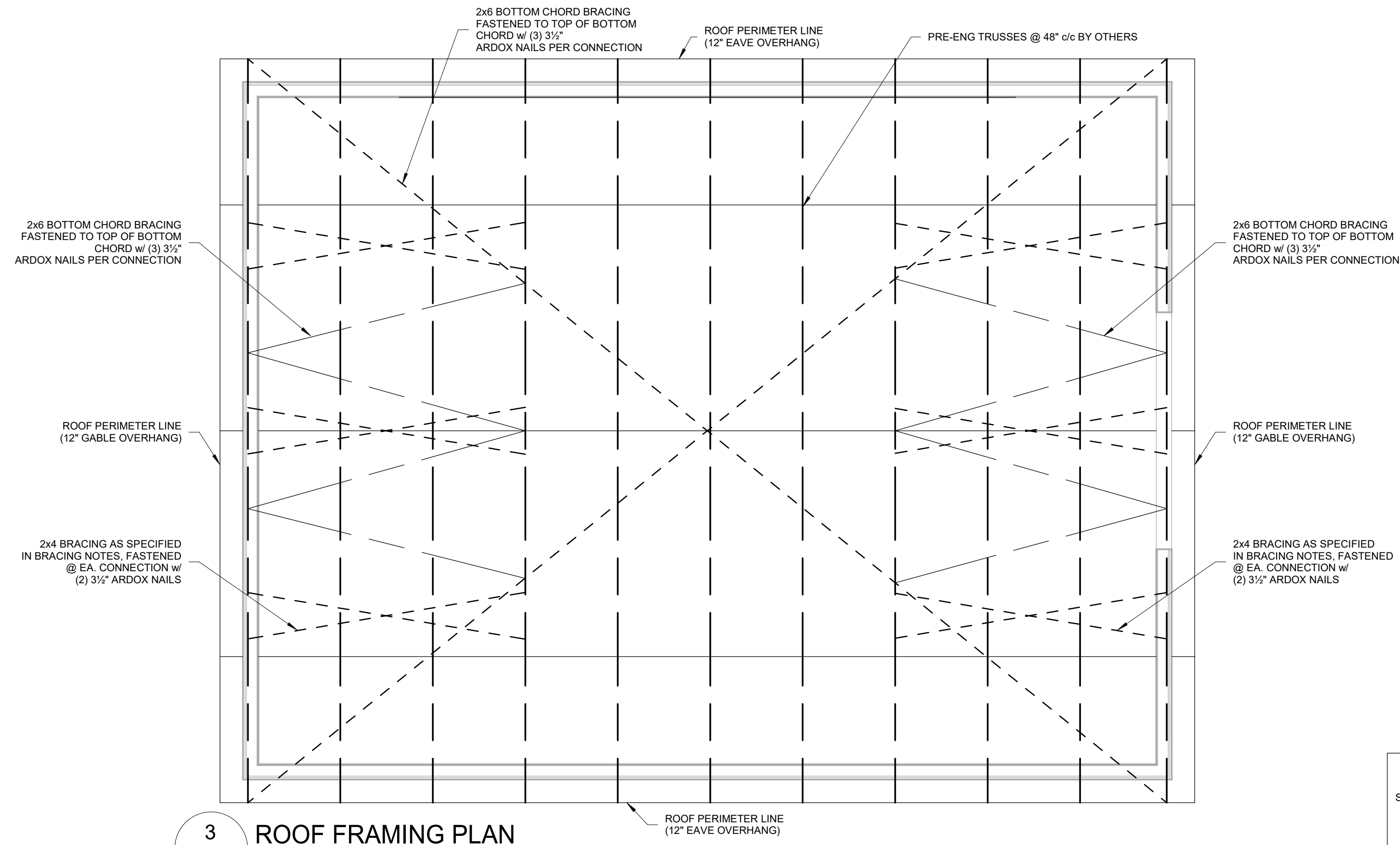
1 FOUNDATION PLAN
1/4" = 1'-0"



2 GROUND FLOOR PLAN
1/4" = 1'-0"



4 LOFT FLOOR PLAN
1/4" = 1'-0"



3 ROOF FRAMING PLAN
1/4" = 1'-0"

THE MAXIMUM TRAVEL DISTANCE TO AN EXIT IS 45M (147'-7 5/8") AS PER ARTICLE 3.2.1.5.(1)(B) OF THE NATIONAL FARM BUILDING CODE OF CANADA 1995

MAXIMUM FLOOR AREA FOR FARM BUILDINGS OF LOW HUMAN OCCUPANCY IS 4800M² (51666.77FT²) AS PER THE NATIONAL FARM BUILDING CODE (3.1.1.2.(1) & TABLE 3.1.1.2.)

WALL SCHEDULE	
EXTERIOR WALLS:	
W1	INSULATED STEEL ON 2x6; 29ga. COLOURED STEEL CLADDING 1x4 STRAPPING @ 24" c/c 2x6 S-P-F NO 1/2 STUDS @ 16" c/c BLOCKED @ MIDHEIGHT

FOUNDATION SCHEDULE		
NO.	WALL CONSTRUCT.	REINFORCEMENT SPECS
FW1	8"x 5'-4" 25MPa WALL ON 6"x20" 20MPa STRIP FOOTING c/w KEYWAY	FDN. WALL: 1-15M @ T/O WALL FOOTING: NO REINFORCEMENT

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ABBREVIATIONS	
@ AT COMPLETE WITH	D.H. OVERHEAD
Ø DIAMETER	PF. PAD FOOTING
FDN. FOUNDATION	P.T. PRESSURE TREATED
E.W. EACH WAY	T&G TONGUE & GROOVE
EX. EXISTING	T/O TOP OF
HORIZ. HORIZONTAL	TYP. TYPICAL
LVL. LAMINATED VENEER LUMBER	US. UNDERSIDE
MAX. MAXIMUM	VERT. VERTICAL
MIN. MINIMUM	W/ WITH
ONB. ONTARIO BUILDING CODE	WWM. WELDED WIRE MESH
c/c CENTRE TO CENTRE	

LEGEND	
W	WALL TAG
WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
---	TRAVEL DISTANCE

PROJECT STATUS:		
NO:	DATE:	STATUS:
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CONTRACTOR NAME & ADDRESS:
TD CONSTRUCTION
60 STOVER STREET,
NORWICH ONTARIO

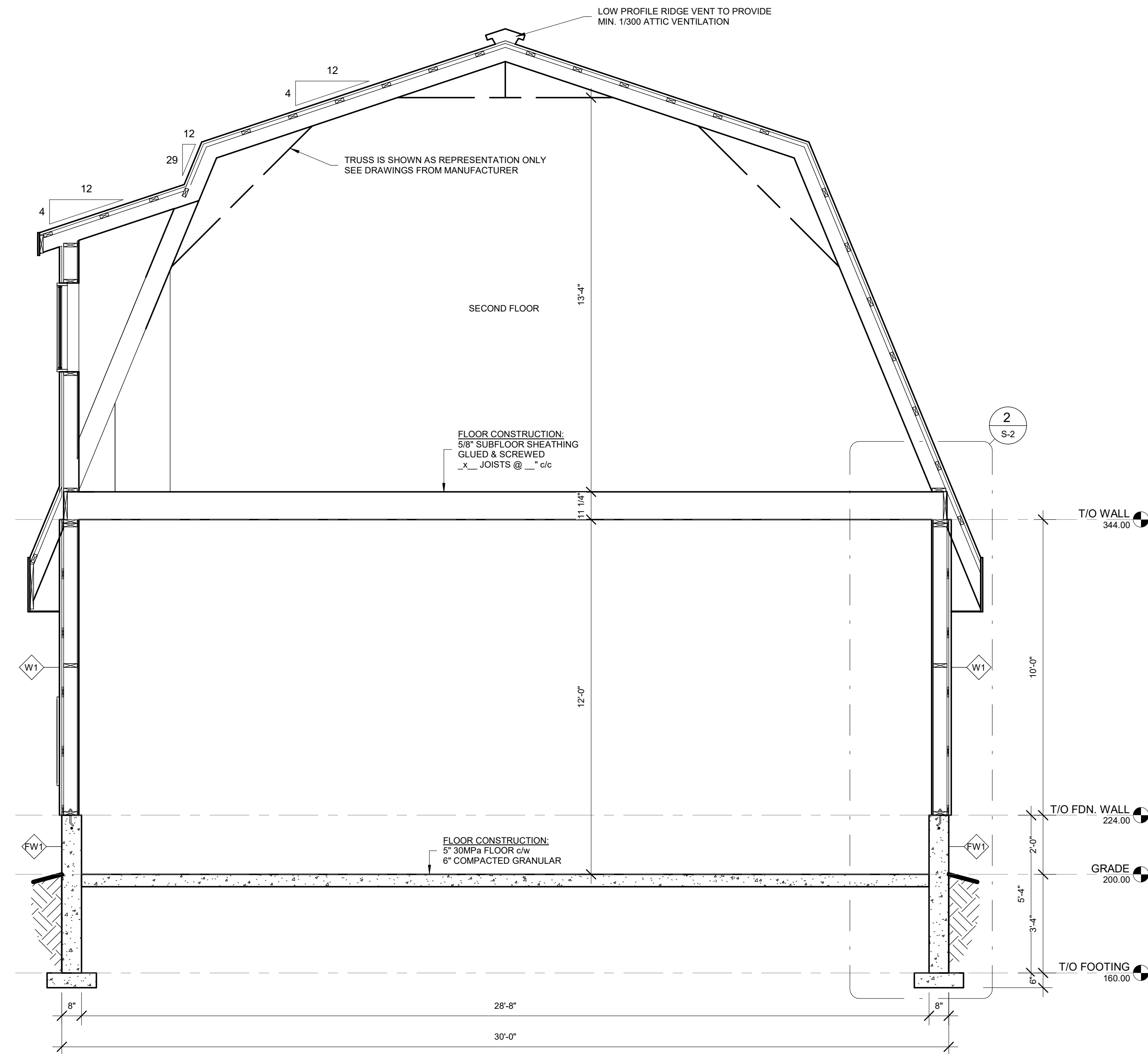
PROJECT NORTH: TRUE NORTH:

Project #: DLX22-147
Drawn by: J.B.
Checked by: N.H.

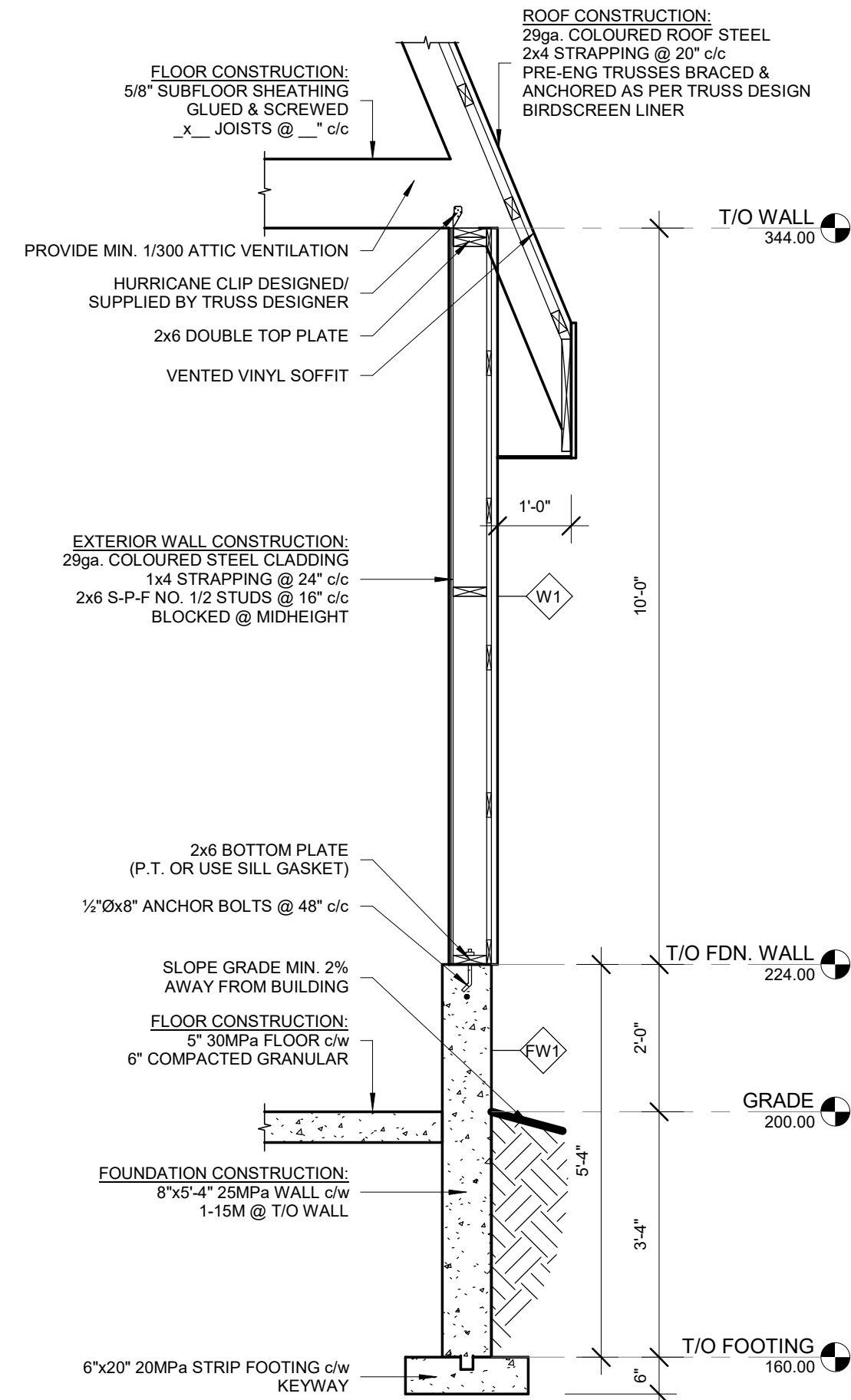
PROJECT NAME & ADDRESS:
REID ACCESSORY BUILDING
1125 COCKSHUTT ROAD,
SIMCOE ONTARIO

DRAWING TITLE:
**FOUNDATION/ GROUND/
ROOF FRAMING PLAN**

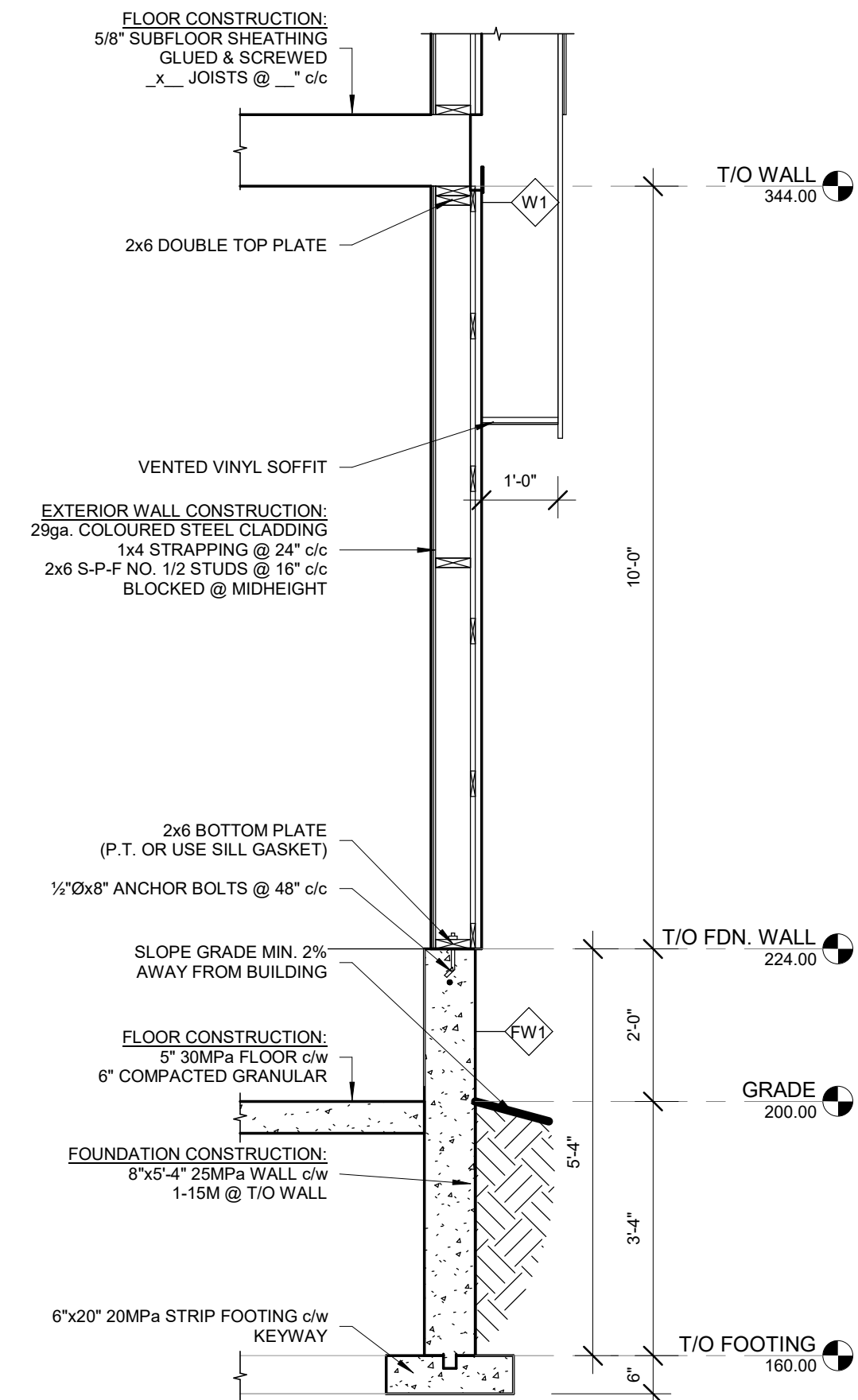
Date: FEB. 17, 2022
Scale: As indicated
Sheet No.: **S-1**



1 BUILDING SECTION
S-2
3/8" = 1'-0"



2 BEARING WALL SECTION
S-2
1/2" = 1'-0"



3 GABLE WALL SECTION
S-2
1/2" = 1'-0"

WINDOW SCHEDULE

NO.	DESCRIPTION	WIDTH	HEIGHT	HEADER	POST	QTY
WN1	SINGLE SLIDER WINDOW	4' - 0"	3' - 0"	2PLY 2x8	1PLY JACK 1PLY KING	6
WN2	SINGLE SLIDER WINDOW	4' - 0"	3' - 0"	2PLY 2x8	1PLY JACK 1PLY KING	2

DOOR SCHEDULE

NO.	DESCRIPTION	WIDTH	HEIGHT	HEADER	POST	QTY
D1	UTILITY MAN DOOR	3' - 0"	6' - 8"	2PLY 2x6	1PLY JACK 1PLY KING	2
D2	INSULATED OVERHEAD DOOR	10' - 0"	12' - 0"	2PLY 2x8	1PLY JACK 1PLY KING	1
D3	4 PANEL BI-FOLD DOOR	4' - 0"	7' - 0"			2
D4	UTILITY MAN DOOR	2' - 6"	6' - 8"			1
D5	UTILITY MAN DOOR	2' - 3"	6' - 8"			1
D6	UTILITY MAN DOOR	3' - 0"	6' - 8"			1



DO NOT SCALE DRAWINGS
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BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE ENGINEER

ABBREVIATIONS

@	AT	O.H.	OVERHEAD
@	COMPLETE WITH	PF	PAD FOOTING
@	DIAMETER	P.T.	PRESSURE TREATED
FDN	FOUNDATION	T&G	TONGUE & GROOVE
E.W.	EACH WAY	T/O	TOP OF
EX.	EXISTING	TYP.	TYPICAL
HORIZ	HORIZONTAL	U/S	UNDERSIDE
LVL	LAMINATED VENEER LUMBER	VERT.	VERTICAL
MIN.	MINIMUM	W	WIDTH
OBC	ONTARIO BUILDING CODE	WWM	WELDED WIRE MESH
c/c	CENTRE TO CENTRE		

LEGEND

W	WALL TAG
WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
TRAVEL DISTANCE	

PROJECT STATUS:

NO:	DATE:	STATUS:
1	FEB. 17, 2022	FOR APPROVAL
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CONTRACTOR NAME & ADDRESS:

TD CONSTRUCTION
60 STOVER STREET,
NORWICH ONTARIO

PROJECT NORTH: TRUE NORTH:

Project #:	DLX22-147
Drawn by:	J.B.
Checked by:	N.H.

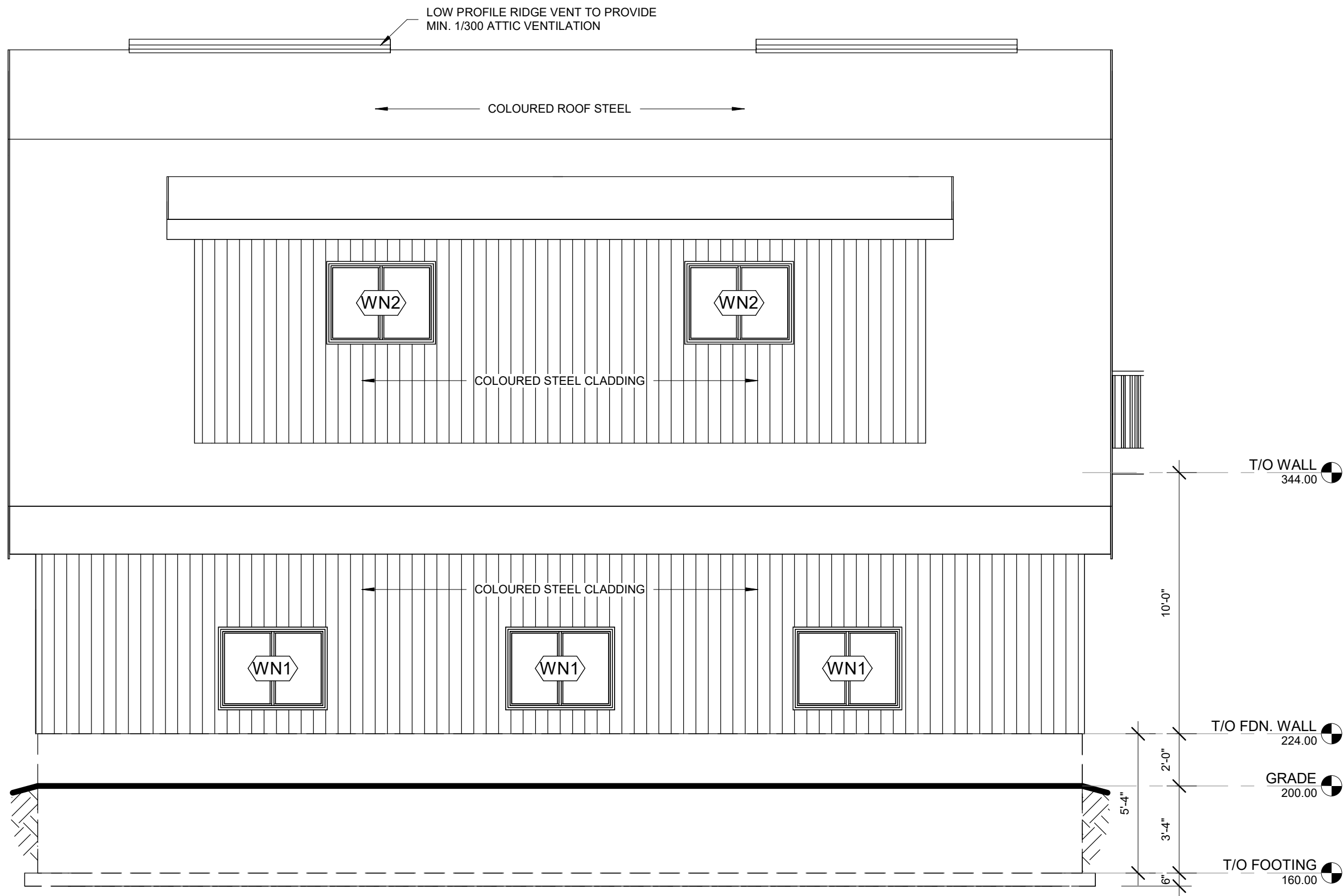
PROJECT NAME & ADDRESS:

REID ACCESSORY BUILDING
1125 COCKSHUTT ROAD,
SIMCOE ONTARIO

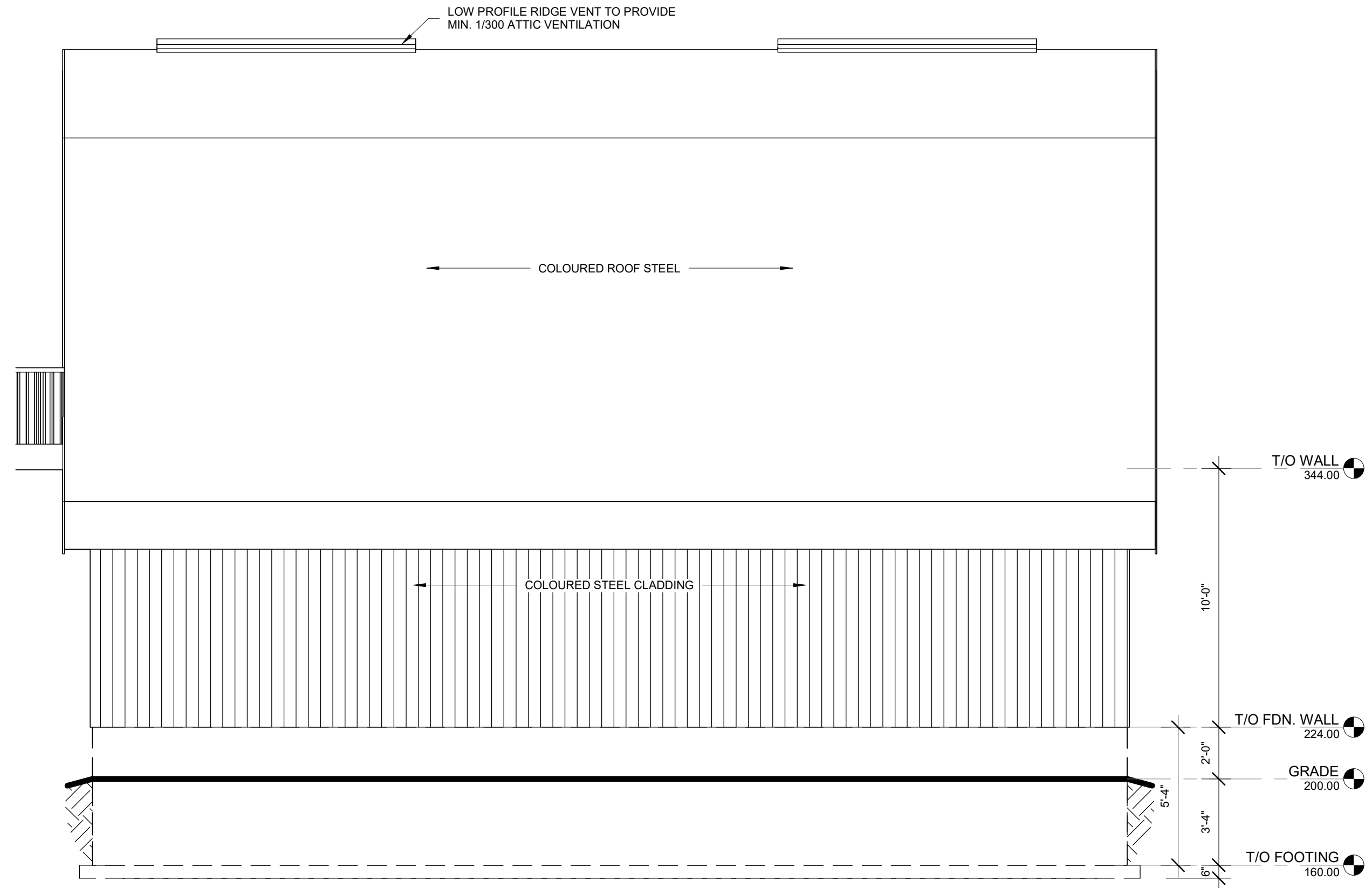
DRAWING TITLE:

BUILDING SECTION/ WALL
SECTIONS

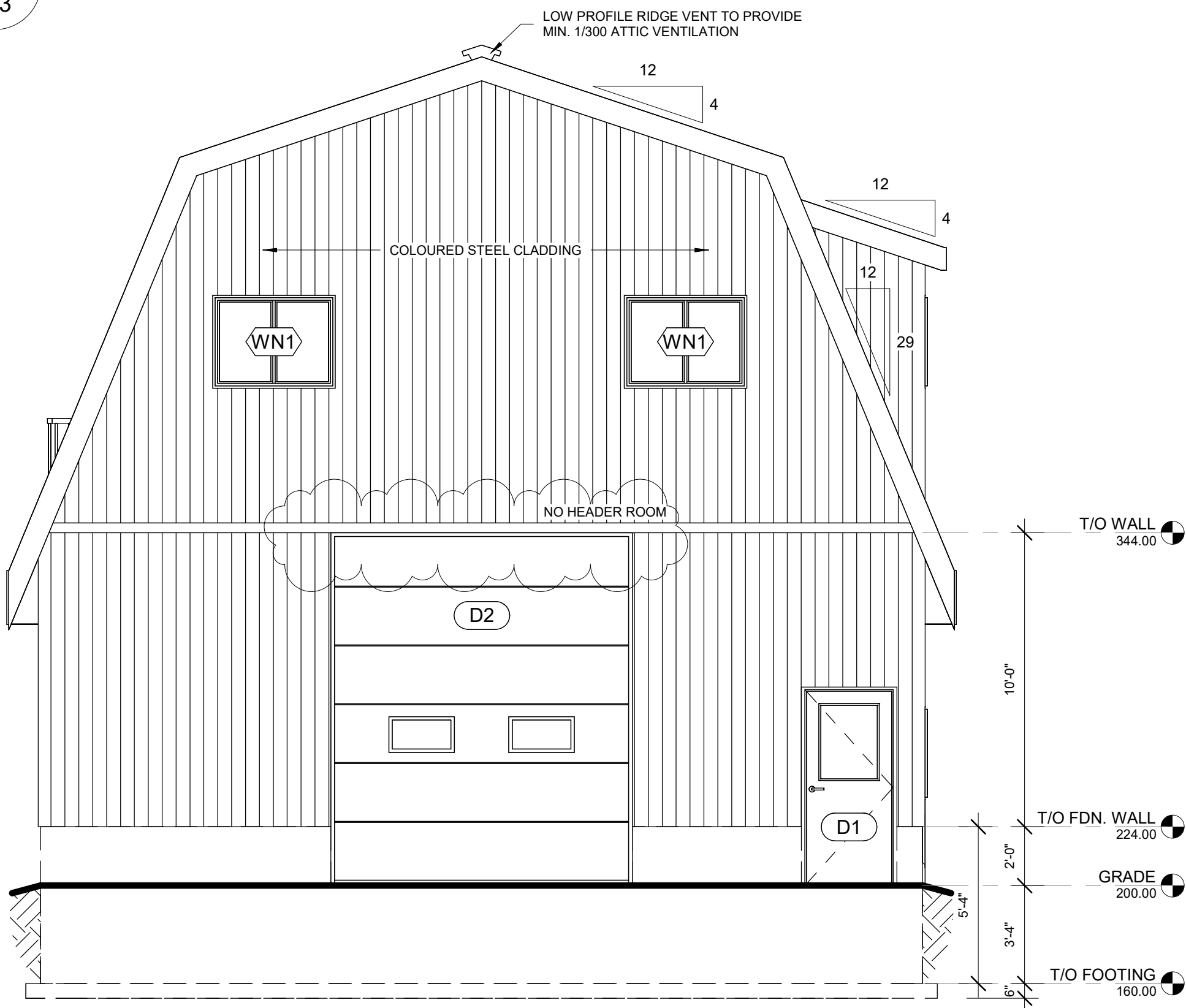
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Scale	As indicated
Sheet No.	S-2



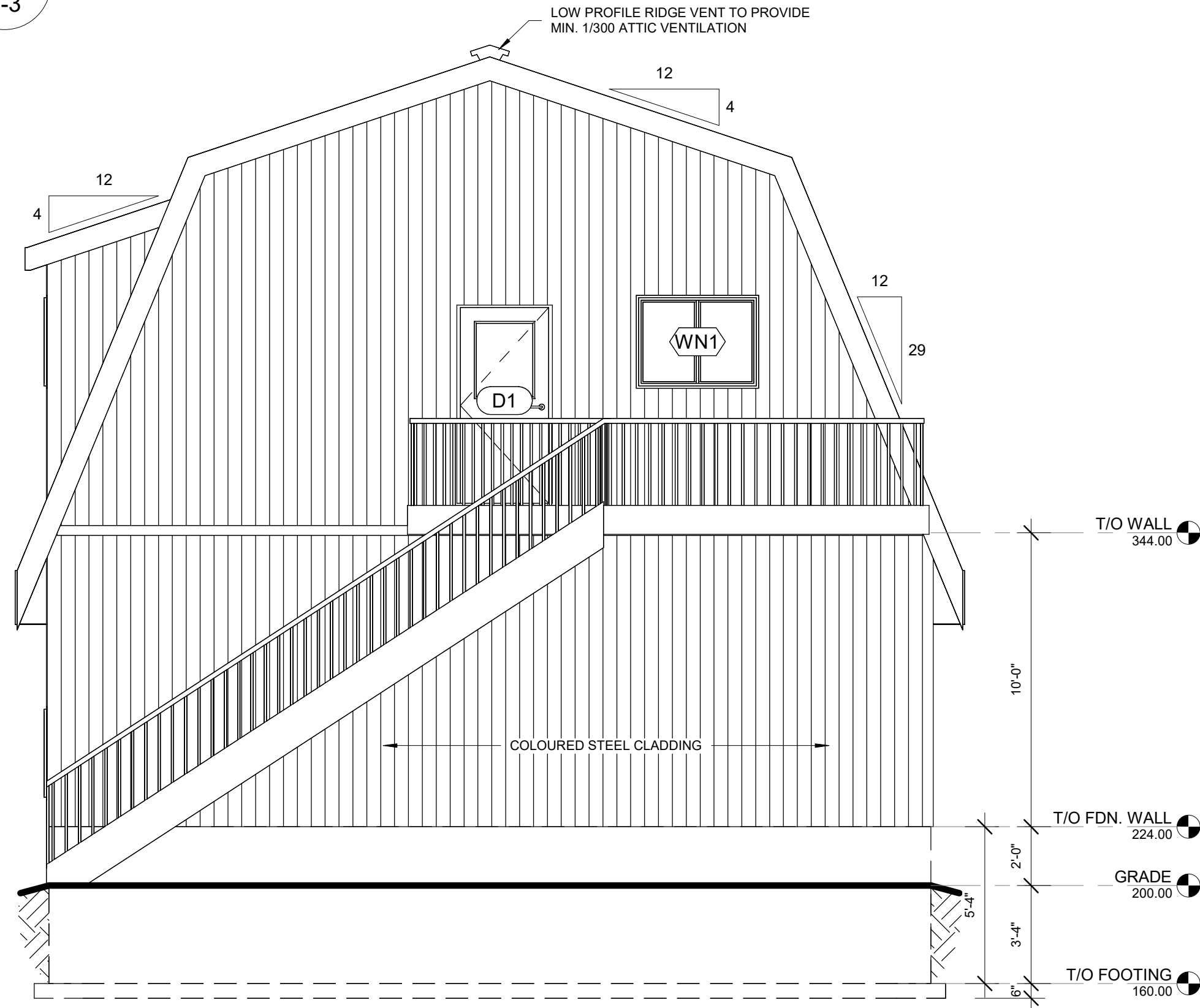
1 PROJECT NORTH ELEVATION
S-3 1/4" = 1'-0"



2 PROJECT SOUTH ELEVATION
S-3 1/4" = 1'-0"



3 PROJECT EAST ELEVATION
S-3 1/4" = 1'-0"



4 PROJECT WEST ELEVATION
S-3 1/4" = 1'-0"

DESIGNLOGIX ENGINEERING INC. AGRICULTURE - COMMERCIAL - CIVIL P: 905-512-2377 E: office@dixengineering.com DO NOT SCALE DRAWINGS ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER	ABBREVIATIONS @ AT COMPLETE WITH Ø DIAMETER FDN FOUNDATION E.W. EACH WAY EX. EXISTING HORIZ. HORIZONTAL LVL. LAMINATED VENEER LUMBER MAX. MAXIMUM MIN. MINIMUM OBC. ONTARIO BUILDING CODE O/C. CENTRE TO CENTRE O.H. OVERHEAD PF. PAD FOOTING P.T. PRESSURE TREATED T.D. TRAVEL DISTANCE T&G. TONGUE & GROOVE T/O. TOP OF TYP. TYPICAL U/S. UNDERSIDE VERT. VERTICAL W/ WITH WWM. WELDED WIRE MESH	LEGEND W WALL TAG WN WINDOW TAG D DOOR TAG 0.0' ELEVATION MARKER - PLAN 200' ELEVATION MARKER - SECTION TRAVEL DISTANCE	PROJECT STATUS: <table><tr><th>NO:</th><th>DATE:</th><th>STATUS:</th></tr><tr><td>1</td><td>FEB. 17, 2022</td><td>FOR APPROVAL</td></tr><tr><td>2</td><td>MARCH 3, 2022</td><td>FOR CONSTRUCTION</td></tr><tr><td>3</td><td>APRIL 13, 2022</td><td>FOR APPROVAL</td></tr><tr><td>4</td><td>APRIL 24, 2022</td><td>FOR APPROVAL</td></tr></table>	NO:	DATE:	STATUS:	1	FEB. 17, 2022	FOR APPROVAL	2	MARCH 3, 2022	FOR CONSTRUCTION	3	APRIL 13, 2022	FOR APPROVAL	4	APRIL 24, 2022	FOR APPROVAL	CONTRACTOR NAME & ADDRESS: TD CONSTRUCTION 60 STOVER STREET, NORWICH ONTARIO	PROJECT NAME & ADDRESS: REID ACCESSORY BUILDING 1125 COCKSHUTT ROAD, SIMCOE ONTARIO	Date FEB. 17, 2022 Scale 1/4" = 1'-0"
				NO:	DATE:	STATUS:															
1	FEB. 17, 2022	FOR APPROVAL																			
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3	APRIL 13, 2022	FOR APPROVAL																			
4	APRIL 24, 2022	FOR APPROVAL																			
PROJECT NORTH: TRUE NORTH: Project #: Drawn by: Checked by:	NORWICH ONTARIO DLX22-147 J.B. N.H.	DRAWING TITLE: ELEVATIONS Sheet No. S-3																			

GENERAL NOTES:

1. THIS BUILDING IS DESIGNATED AGRICULTURAL, LOW HUMAN OCCUPANCY
2. ALL WORK SHALL COMPLY WITH (LATEST EDITIONS):-
A) THE ONTARIO BUILDING CODE (O.B.C.)
B) NATIONAL FARM BUILDING CODE (N.F.B.C.)
C) NATIONAL BUILDING CODE (N.B.C.)
D) OSHA REGULATIONS
E) LOCAL REGULATIONS
3. THESE DRAWINGS ARE FOR STRUCTURAL DESIGN ONLY. INTERIOR FINISHING AND EQUIPMENT TO BE COORDINATED BY SUPPLIER WITH APPROVAL FROM THE OWNER. ALL INTERIOR WORKS TO BE DESIGNED BY SUPPLIER.
4. IF DRAWINGS ARE NOT REFLECTIVE OF EXISTING CONDITIONS DESIGNLOGIX IS TO BE NOTIFIED. NO CHANGES SHALL BE MADE WITHOUT THE ENGINEER'S APPROVAL
5. CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR TEMPORARY BRACING/SHORING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS.
6. THIS DRAWING SET IS THE PROPERTY OF DESIGNLOGIX ENGINEERING AND MAY NOT BE DUPLICATED OR SHARED IN ANY FORM WITHOUT WRITTEN CONSENT FROM DESIGNLOGIX ENGINEERING
7. PROVIDE STAMPED PRECAST SLATS/WALLS AND TRUSS SHOP DRAWING FOR REVIEW

EXCAVATION AND BACKFILL:

1. FOUNDATIONS HAVE BEEN DESIGNED BASED ON THE ASSUMPTION OF 3000 psf ALLOWABLE BEARING CAPACITY
2. ALL UNDERSIDE OF FOOTINGS TO BE 48" BELOW GRADE
3. IF SOFT SOILS ARE ENCOUNTERED DURING EXCAVATION NOTIFY ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ENGINEER TO BE NOTIFIED FOR (BUT NOT LIMITED TO) CONCERNS REGARDING DRAINAGE, SLOPE STABILITY AND SOIL BEARING CAPACITY
4. GRANULAR FILL UNDER FOOTINGS SHALL BE FREE-DRAINING CLEAN GRANULAR "B" MATERIAL OR BETTER AND IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE
5. CUT AND CAP OR REROUTE ALL FIELD TILES EXPOSED DURING EXCAVATING
6. PROVIDED DEWATERING FACILITIES TO REMOVE AND MAINTAIN WATER LEVEL BELOW FOOTINGS FOR ANY WATER SOURCE ENCOUNTERED DURING CONSTRUCTION
7. BACKFILL SHALL BE FREE DRAINING CLEAN GRANULAR FILL. SLOPE GRADE TO DRAIN AWAY FROM BUILDING

CONCRETE:

1. SUPPLY AND PLACE CONCRETE AS FOLLOWS:
FOOTINGS - 20MPa (3625 psi), MAX W/C RATIO OF 0.55, AIR CONTENT 5% TO 8%
FOUNDATION WALLS - 25MPa (3625 psi), MAX W/C RATIO OF 0.50, AIR CONTENT 5% TO 8%
CONCRETE FLOORS - 30MPa (4351 psi), MAX W/C RATIO OF 0.45, NO AIR CONTENT REQUIRED U.N.O.
PIT WALLS & FLOORS (SUBJECT TO ACID ATTACK) - 32MPa HS (OR APPROVED EQUIVALENT) CEMENT
MAX W/C RATIO OF 0.45, AIR CONTENT 5% TO 8%
2. CONCRETE CODES - CONFORM TO CSA-A23.1 (LATEST EDITION)
3. CONCRETE SLABS TO BE SAW CUT TO 1/4 OF SLAB DEPTH SPACED AT 30 TIMES THE SLAB DEPTH. SAW CUTS TO BE COMPLETED WITHIN 24 HOURS OF SLAB PLACEMENT
4. MINIMUM CORNER REINFORCING SHALL BE 24"x24" (600mmx600mm) 1'-BARS.
5. ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30.18 (LATEST EDITION) WITH A YIELD STRENGTH OF 400MPa (58 ksi) FOR DEFORMED BARS OR 448MPa (65 ksi) FOR WELDED WIRE MESH
6. MINIMUM COVER ON REINFORCING ON REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH SHALL BE 2" (50mm) ALL OTHER COMPONENTS SHALL NOT BE LESS THEN 2" (50mm)
7. REINFORCING REBAR SPLICES SHALL BE 18" MIN U.N.O.
8. ADEQUATE PROTECTION FROM FREEZING MUST BE PROVIDED TO POURED CONCRETE DURING COLD WEATHER PLACEMENT
9. WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED
10. REINFORCING IS TO BE GENERALLY PLACED IN ACCORDANCE WITH REINFORCING STEEL INSTITUTE OF CANADA "MANUAL OF STANDARD PRACTICE". ALL SPLICES SHALL BE CLASS "B" IN ACCORDANCE WITH THE FOLLOWING TABLE:

CONCRETE REBAR SIZE	SPLICE LENGTH: mm (")			
	25MPa	30MPa	32MPa	35MPa
10M	400 (16")	400 (16")	400 (16")	400 (16")
15M	600 (24")	600 (24")	500 (20")	500 (20")
20M	800 (32")	700 (28")	700 (28")	700 (28")
25M	1200 (48")	1100 (44")	1100 (44")	1100 (44")

STEEL NOTES:

1. ALL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN CONFORMANCE TO CAN/CSA-S16 AND O.B.C. LATEST EDITIONS
2. ALL STEEL MEMBERS TO BE NEW MEMBERS
3. ALL ROLLED STRUCTURAL STEEL MEMBERS SHALL CONFORM TO CSA-G40.20-04/G40.21-04-M300W EXCEPT WIDE FLANGE SECTIONS WHICH SHALL CONFORM TO CSA-G40.20-04/G40.21-04-M350W.
4. WELDING SHALL CONFORM TO CSA W59-03 LATEST EDITION. ELECTRODES SHALL BE E70XX OR BETTER
5. BOLTS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325
6. ALL BOLTED CONNECTIONS SHALL BE BEARING TYPE U.N.O.
7. ALL CONNECTIONS SHALL BE INSPECTED AS PER CAN/CSA S16-09

WOOD NOTES:

1. LUMBER SHALL BE #1 OR #2 SPF OR BETTER U.N.O.
2. STUD WALLS SHALL BE ANCHORED TO FOUNDATION WITH 1/2"x8" ANCHORS AT 48" C/C SPACING AND WITHIN 6" OF END OF WALL OR CORNER.
3. WIND BRACING TO BE PROVIDED AS DETAILED IN STRUCTURAL DRAWINGS
4. CONTRACTOR SHALL ENSURE ANY TEMPORARY BRACING OF WALLS AND TRUSSES ARE ADEQUATE
5. STUDS SHALL BE SECURED TO PLATES WITH (3)3 1/4" NAILS
6. ALL FASTENERS INTO P.T. LUMBER TO BE STAINLESS OR HOT DIPPED GALVANIZED
7. STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CAN/CSA 086-01 (LATEST EDITION)
8. PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD 0121-M1978 "DOUGLAS FIR PLYWOOD" AND 0151-M1978 "CANADIAN SOFT WOOD PLYWOOD"
9. O.S.B. SHALL CONFORM TO CSA STANDARD CAN3-0437 1-M85 "WAFERBOARD AND STRANDBOARD"
10. LVL TO BE 2250FB-1.5E GRADE OR BETTER

TRUSS NOTES:


1. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE O.B.C AND CERTIFIED BY A PROFESSIONAL ENGINEER
2. UNBALANCED LOAD CONDITIONS SHALL BE ACCOUNTED FOR
3. TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF VALLEYS AND SNOW SHADOWS
4. TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION
5. REFER TO DESIGN LOAD TABLE FOR DESIGN LOADS FOR THIS PROJECT
6. DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE LOCATED AT EACH END OF THE TRUSS ASSEMBLY AND SPACED AS NOTED ON STRUCTURAL DRAWINGS. X-BRACING SHALL BE PROVIDED AT 50'-0" INTERVALS UNLESS NOTED OTHERWISE. (SEE DIAGRAMS BELOW)

CLADDING NOTES:

1. CLADDING TO BE MINIMUM 29 GAUGE WITH RIBS SPACED AT 6"-8"
2. CLADDING TO BE FASTENED ON RIBS AT 6" CENTERS WITH HEX-HEAD ROOFING SCREWS

DESIGN LOADS:

SNOW DESIGN PARAMETERS (SIMCOE, ONT)	Ss=1.30kPa (27.2 psf), Sr=0.40kPa (8.35 psf)
ROOF SNOW LOAD	ULS=1.15kPa (24.1 psf), SLS=1.30kPa (27.1 psf)
ROOF DEAD LOAD	0.53kPa (11psf) SEE TRUSS DRAWINGS



DESIGNLOGIX
ENGINEERING INC.
AGRICULTURE - COMMERCIAL - CIVIL
P: 905-512-2377
E: office@dixengineering.com







DO NOT SCALE DRAWINGS

ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED
BY THE CONTRACTOR AND ANY DISCREPANCIES
REPORTED TO THE ENGINEER

ABBREVIATIONS

@	AT	O.H.	OVERHEAD
@w	COMPLETE WITH	PF	PAD FOOTING
Ø	DIAMETER	P.T.	PRESSURE TREATED
FDN	FOUNDATION	T.D.	TRAVEL DISTANCE
E.W.	EACH WAY	T&G	TONGUE & GROOVE
EX.	EXISTING	T/O	TOP OF
HORIZ	HORIZONTAL	TYP.	TYPICAL
LVL	LAMINATED VENEER LUMBER	US	UNDERSIDE
MAX	MAXIMUM	VERT.	VERTICAL
MIN.	MINIMUM	w/	WITH
OBC	ONTARIO BUILDING CODE	WWM	WELDED WIRE MESH
c/c	CENTRE TO CENTRE		

LEGEND

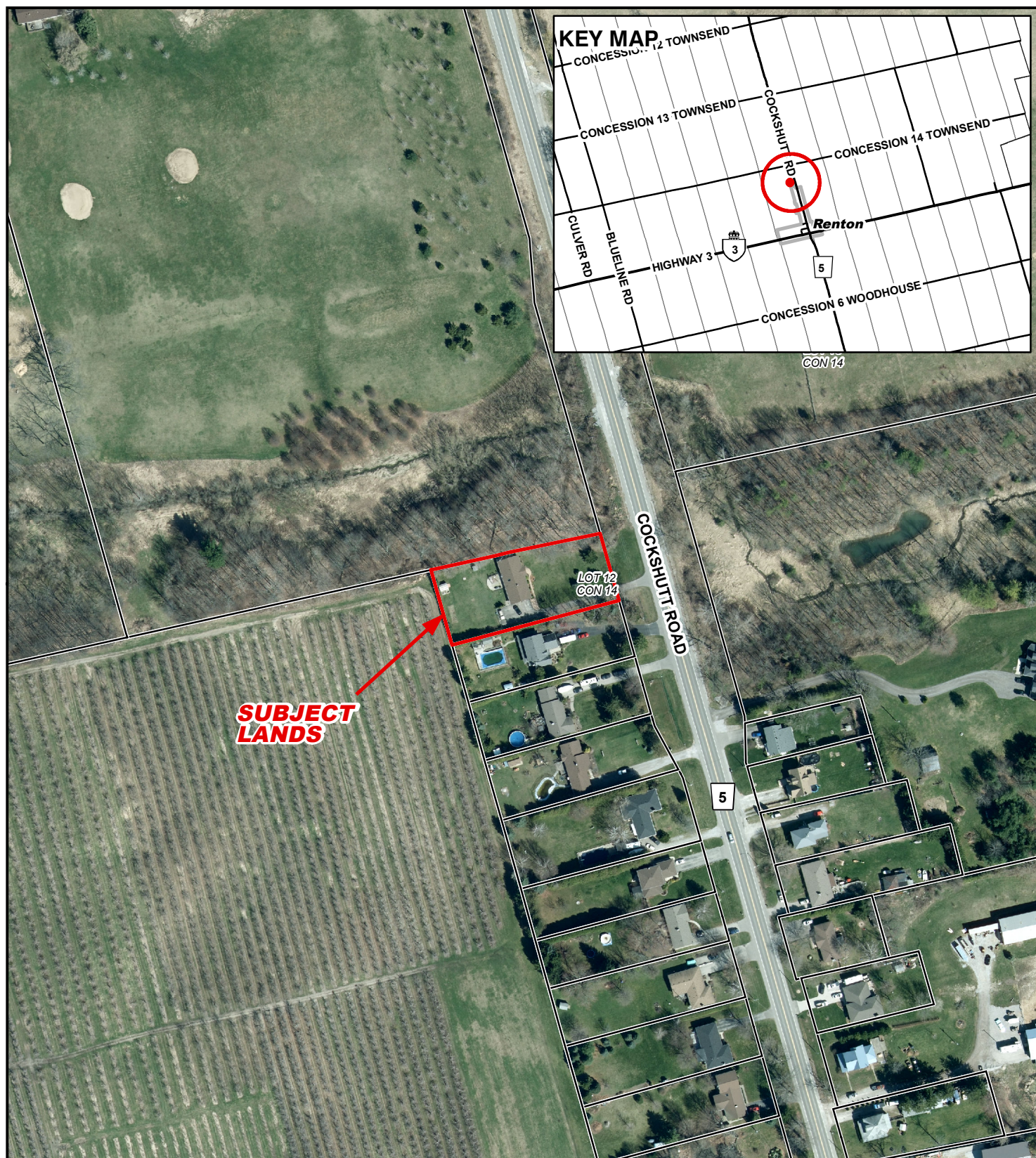
	WALL TAG
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER - PLAN
	ELEVATION MARKER - SECTION
	TRAVEL DISTANCE

PROJECT STATUS:		
NO:	DATE:	STATUS:
1	FEB. 17, 2022	FOR APPROVAL
2	MARCH 3, 2022	FOR CONSTRUCTION
3	APRIL 13, 2022	FOR APPROVAL
4	APRIL 24, 2022	FOR APPROVAL

CONTRACTOR NAME & ADDRESS:	
TD CONSTRUCTION 60 STOVER STREET, NORWICH ONTARIO	
PROJECT NORTH:	TRUE NORTH:
Project #: DLX22-147	
Drawn by: J.B.	
Checked by N.H.	

PROJECT NAME & ADDRESS:	
REID ACCESSORY BUILDING 1125 COCKSHUTT ROAD, SIMCOE ONTARIO	
DRAWING TITLE:	
DESIGN NOTES/ SITE LAYOUT	

Date FEB. 17, 2022
Scale 12" = 1'-0"
Sheet No. NT

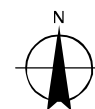


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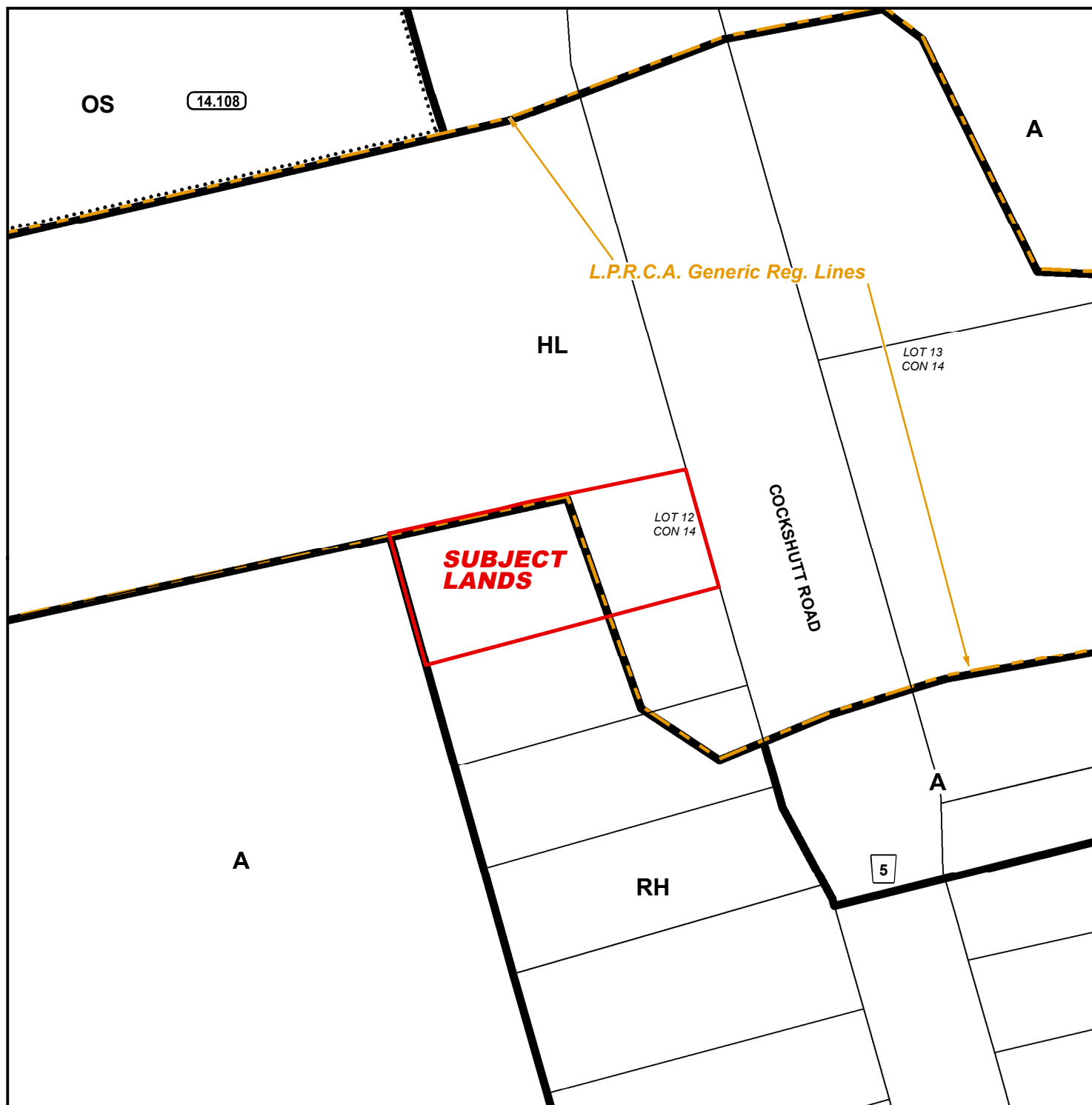
☐ Subject Lands

2020 Air Photo

11/15/2023



A scale bar with markings at 20, 10, 0, 20, 40, 60, and 80 meters. The bar is black with white markings and the word "Meters" is written at the end.



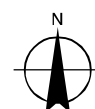
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

11/15/2023

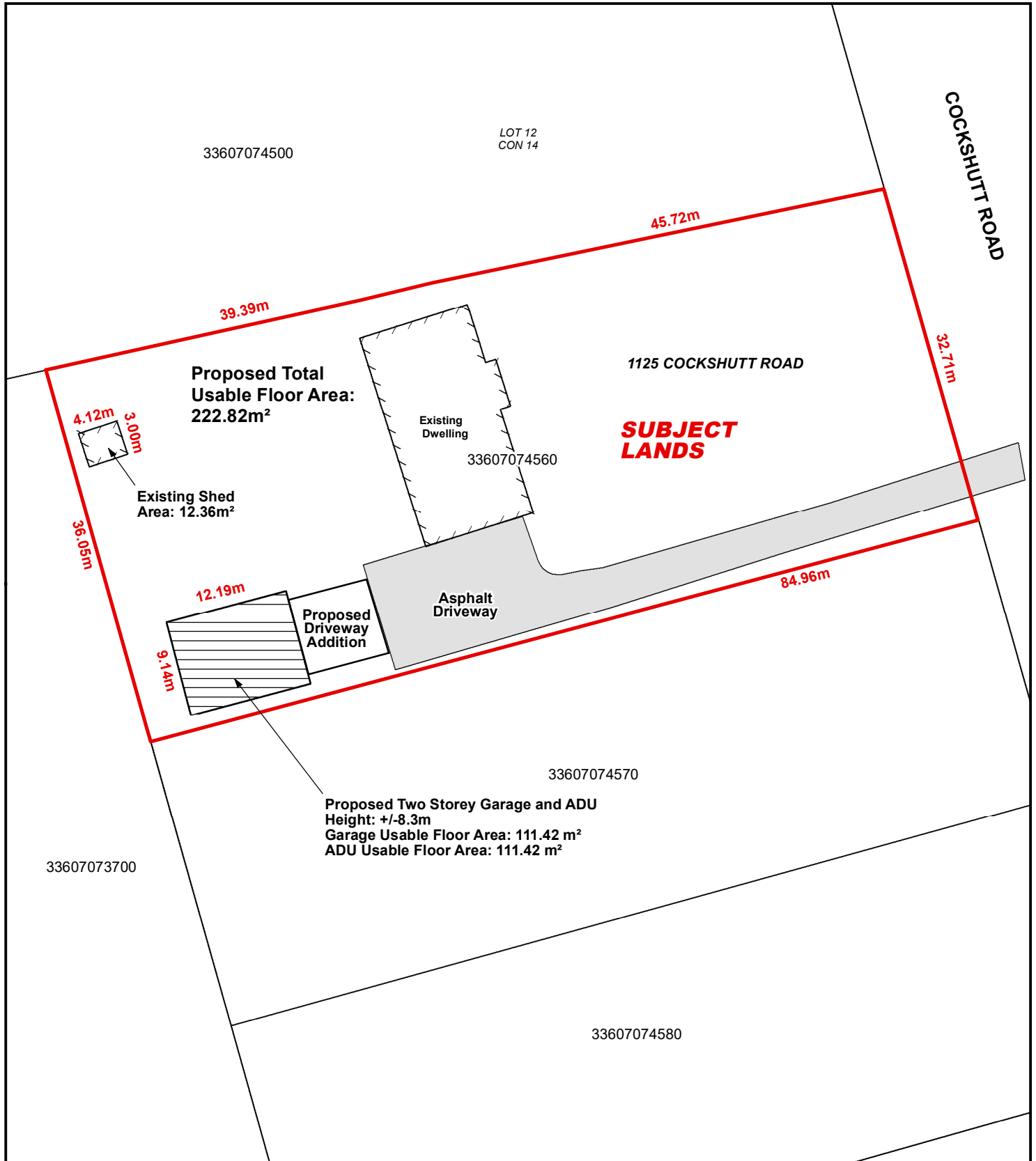
- (H) - Holding
- A - Agricultural Zone
- RH - Hamlet Residential Zone
- HL - Hazard Land Zone
- OS - Open Space Zone



10 5 0 10 20 30 40 Meters

CONCEPTUAL PLAN

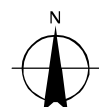
Geographic Township of TOWNSEND



Legend

Subject Lands

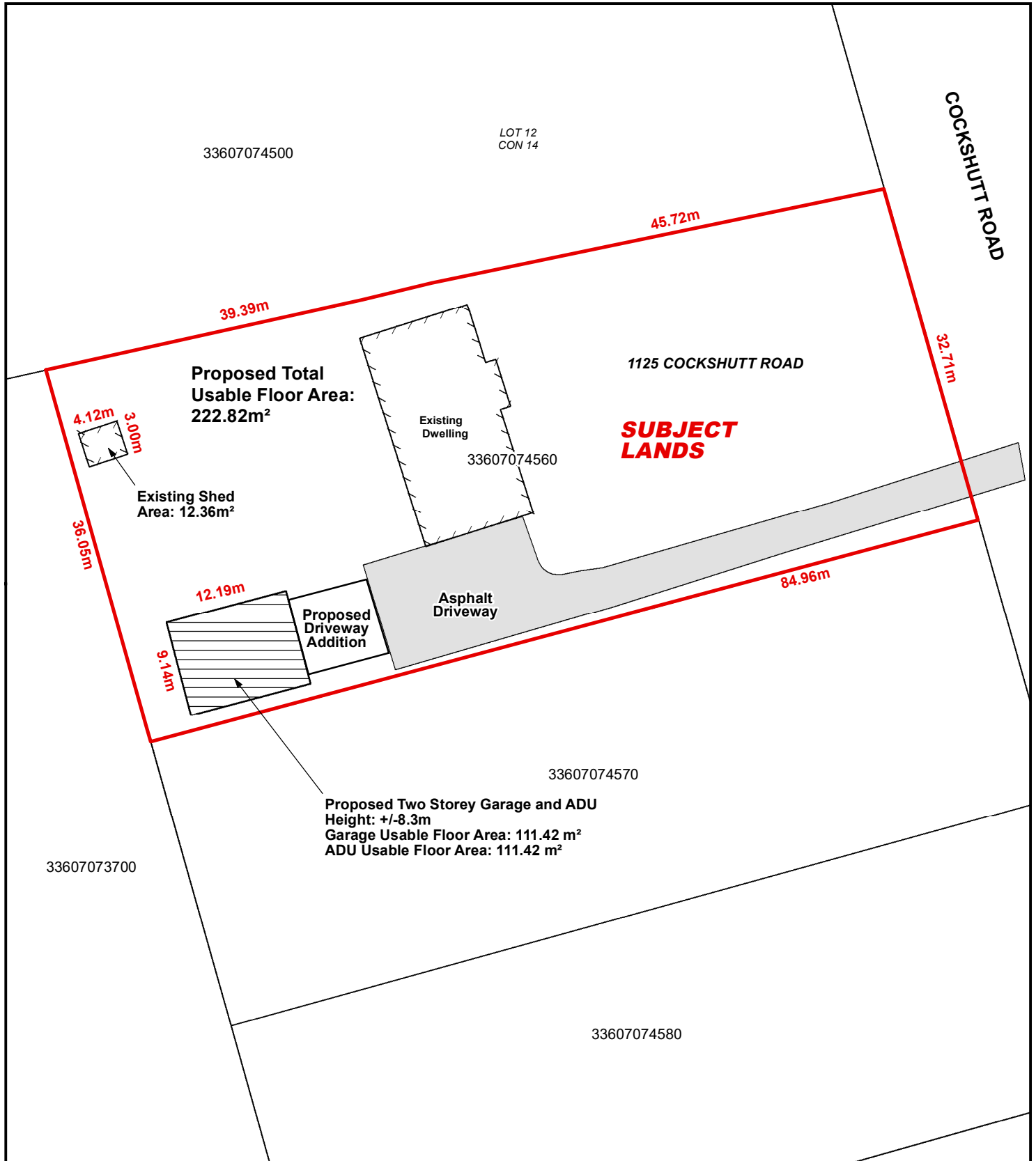
11/15/2023



5 2.5 0 5 10 15 20 Meters

CONCEPTUAL PLAN

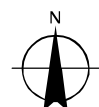
Geographic Township of TOWNSEND



Legend

Subject Lands

11/15/2023



5 2.5 0 5 10 15 20 Meters