

**For Office Use Only:**

File Number	<u>ANPL2023223</u>	Application Fee	<u>2743.00</u>
Related File Number	<u>ANPL2022295</u>	Conservation Authority Fee	<u>514.15</u>
Pre-consultation Meeting	<u></u>	Well & Septic Info Provided	<u>N/A</u>
Application Submitted	<u>June 30, 2023</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u></u>	Public Notice Sign	<u></u>

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310-493-110-07800**A. Applicant Information****Name of Owner** Theresa Livingston

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 638 Norfolk Street South

Town and Postal Code Simcoe N3Y 4K1

Phone Number 519-426-6810

Cell Number 519-429-0920

Email

**Name of Applicant** agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

**Name of Agent** David McPherson  
**Address** 8 Culver Lane  
**Town and Postal Code** Simcoe N3Y 5C8  
**Phone Number** 519-426-7295  
**Cell Number** 519-427-6483  
**Email** david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
\_\_\_\_\_

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 82 Plan 128  
\_\_\_\_\_

Municipal Civic Address: 18 Ordnance Ave., Turkey Point

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

vacation home  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing cottage to be demolished

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5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Architectural plans of proposed cottage attached

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

70 plus years

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9. Existing use of abutting properties:

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10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	No relief sought				



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Decision of ANPL2022295 restricts design changes to first and second floor plans.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a

Depth:

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
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Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
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Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
owner supplied information

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

not within a WHPA

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance 200m

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water ☐ Communal wells  
☐ Individual wells ☒ Other (describe below)

Bowen water system

### Sewage Treatment

- ☐ Municipal sewers ☐ Communal system  
☐ Septic tank and tile bed in good working order ☐ Other (describe below)

### Storm Drainage

- ☒ Storm sewers ☐ Open ditches  
☐ Other (describe below)

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway  
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Ordnance Ave.

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

see attached premise of application

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Theresa Livingston  
Owner/Applicant/Agent Signature

May 25, 2023  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Theresa Livingston am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Theresa Livingston  
Owner

May 25, 2023  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

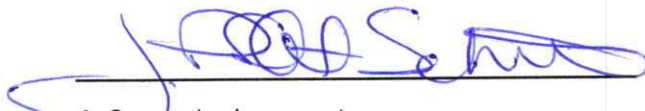
Declared before me at:  
Norfolk County Offices

  
Owner/Applicant/Agent Signature

In Simcoe

This 30th day of June

A.D., 2023

  
A Commissioner, etc.

Jodi Lynn Pfaff-Schimus, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 1, 2025.



**Premise of**  
**Minor Variance Application**  
**for 18 Ordnance Ave., Turkey Point**

This application is to amend the decision wording of approved Minor Variance Application.

No further reliefs are sought. There is no change to lot coverage or setbacks proposed.

This application is to amend the hand-written words ***“subject to submitted design”*** to read ***“subject to the submitted design as it pertains to the third storey”***. The owner accepts that the design of the third storey will not change. However, the owner would like to have the freedom to make design changes to the other two floors so long as the building footprint, setbacks, and lot coverage remain unaltered.

A careful review of the Youtube video of the March 15, 2023 Committee of Adjustment meeting, in particular the last 5 minutes of the discussion, resulted in the above-noted decision being entirely focused on the third floor design being set in stone.

We merely want to amend the decision to permit some flexibility in the first and second floor design, all the while not changing the approved lot coverage or setbacks.

David McPherson

**SKETCH SHOWING  
PROPOSED DWELLING  
FOR: JERRY LIVINGSTON  
18 ORDNANCE AVENUE  
TURKEY POINT**

PIN 50267-0367 (LT)

SCALE: 1 : 100

**JEWITT AND DIXON LTD.**

LOT AREA =  
616.7 sq.m

EXISTING LOT  
COVERAGE=17.3%

PROPOSED LOT  
COVERAGE=28.0%

NOVEMBER 15, 2022

*Kim Husted, O.L.S.*  
KIM HUSTED, O.L.S.  
THIS COPY IS NOT VALID UNLESS  
EMBOSSED WITH THE SURVEYOR'S SEAL.

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**

R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

PHONE: (519) 426-0842  
E-mail: info@jewittdixon.com

F.W.	-	J.H.
BOOK	-	LL
CALC.	-	J.L.M.
PLAN	-	J.L.M.
CHECK	-	K.H.
CLIENT	-	LIVINGSTON
PROJECT No.	-	17-1524
P22 03 A5876-1		

**LEGEND**

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	■
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	△
HYDRO POLE	SHOWN	HP	⊙
GAS METER	SHOWN	GM	⊙
MANHOLE	SHOWN	MH	⊙

**PROPERTY DESCRIPTION:**

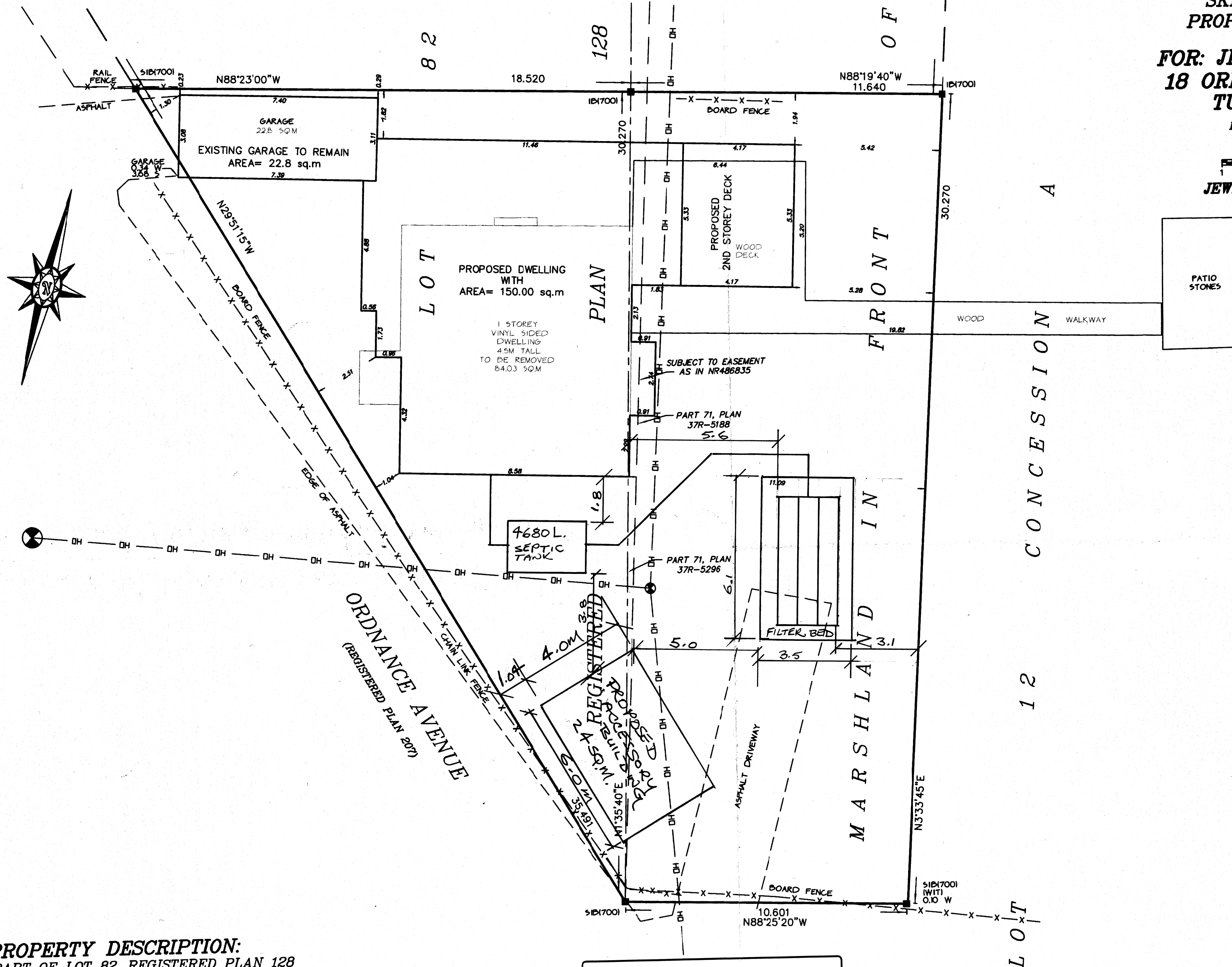
PART OF LOT 82, REGISTERED PLAN 128  
PART LOT 12, MARSHLAND IN FRONT OF CONCESSION A  
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE  
COUNTY OF NORFOLK

**CAUTION**

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED  
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NORTH ELEVATION

Scale 1/4"-1'-0"



WEST ELEVATION

Scale 1/4"-1'-0"



GENERAL NOTES:

- FOUNDATION PLAN NOTES:
1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS
  2. ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL. (ASSUMED SOIL BEARING CAPACITY- 2500 P.S.F.)
  3. APPROVED GRANULAR FILL SHALL BE COMPACTED IN 6" LAYERS TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
  4. ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED GRADE TO PROTECT FROM FROST ACTION.
  5. CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa. ALL OTHER CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa UNLESS OTHERWISE SPECIFIED. (6% AIR / 4" SLUMP)
  6. REINFORCING STEEL TO HAVE MINIMUM 1 1/2" COVER, MAXIMUM 2" COVER AT BOTTOM OF SLAB.

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall  
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	1419 SQ.FT.
UPPER FLOOR	1302 SQ.FT.
LOOKOUT AREA	239 SQ.FT.
EXISTING GARAGE	±230 SQ.FT.

REV.#	DATE	DESCRIPTION:
4		
3		
2		
1	02/02	PERMIT ISSUE



\*PROPERTY OF VIEW-IT DESIGN\*

VIEW-IT DESIGN  
RR# 1 PORT BURWELL  
OFFICE: 519-851-1173  
FAX: 519-874-4087

LIVINGSTON RESIDENCE  
ORDANCE ROAD  
TURKEY POINT, ON

PROPOSED HOUSE PLANS

ELEVATIONS

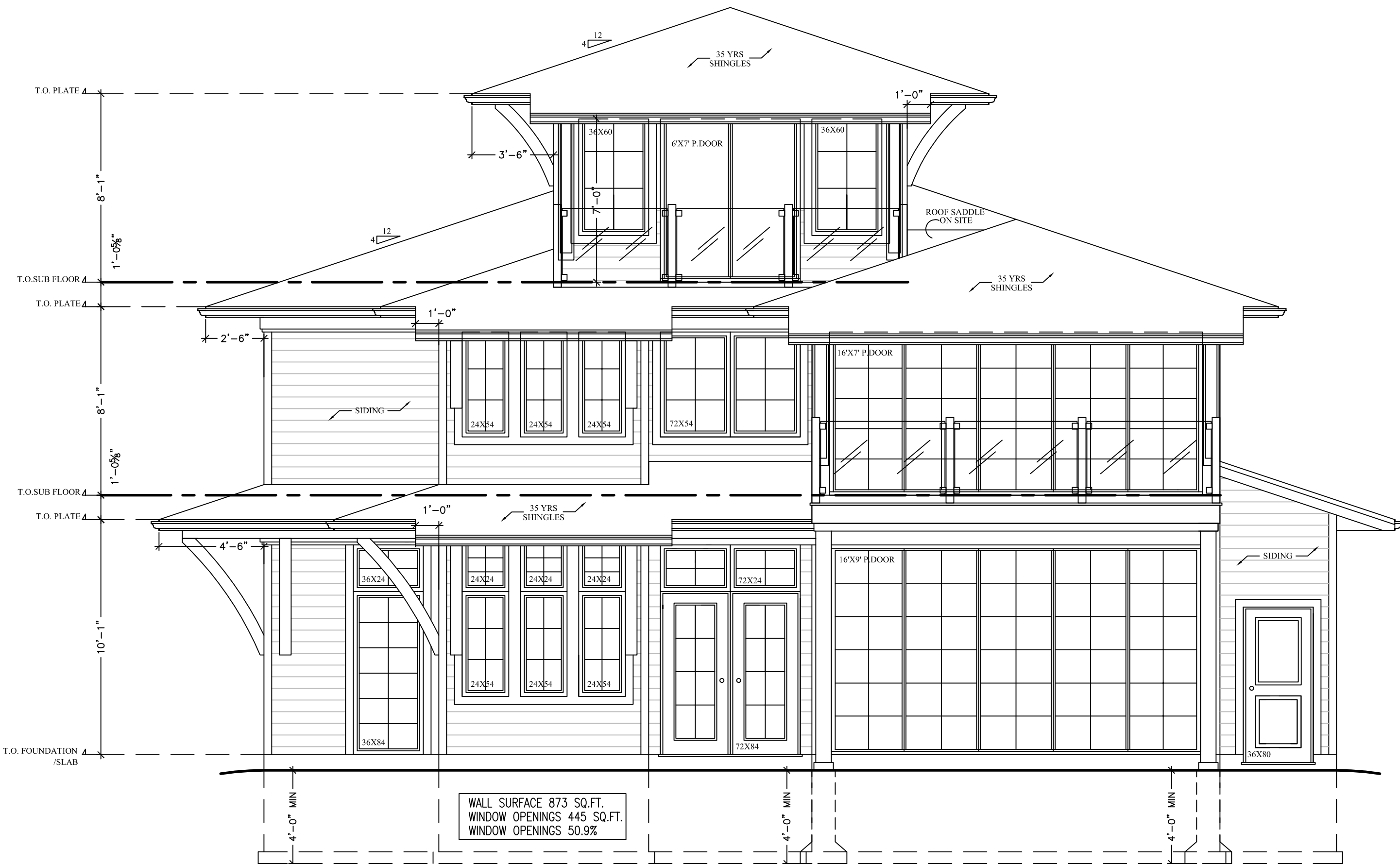
DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 2216	
DATE: FEB 2022	
SHEET NO. 3 OF 6	

A3



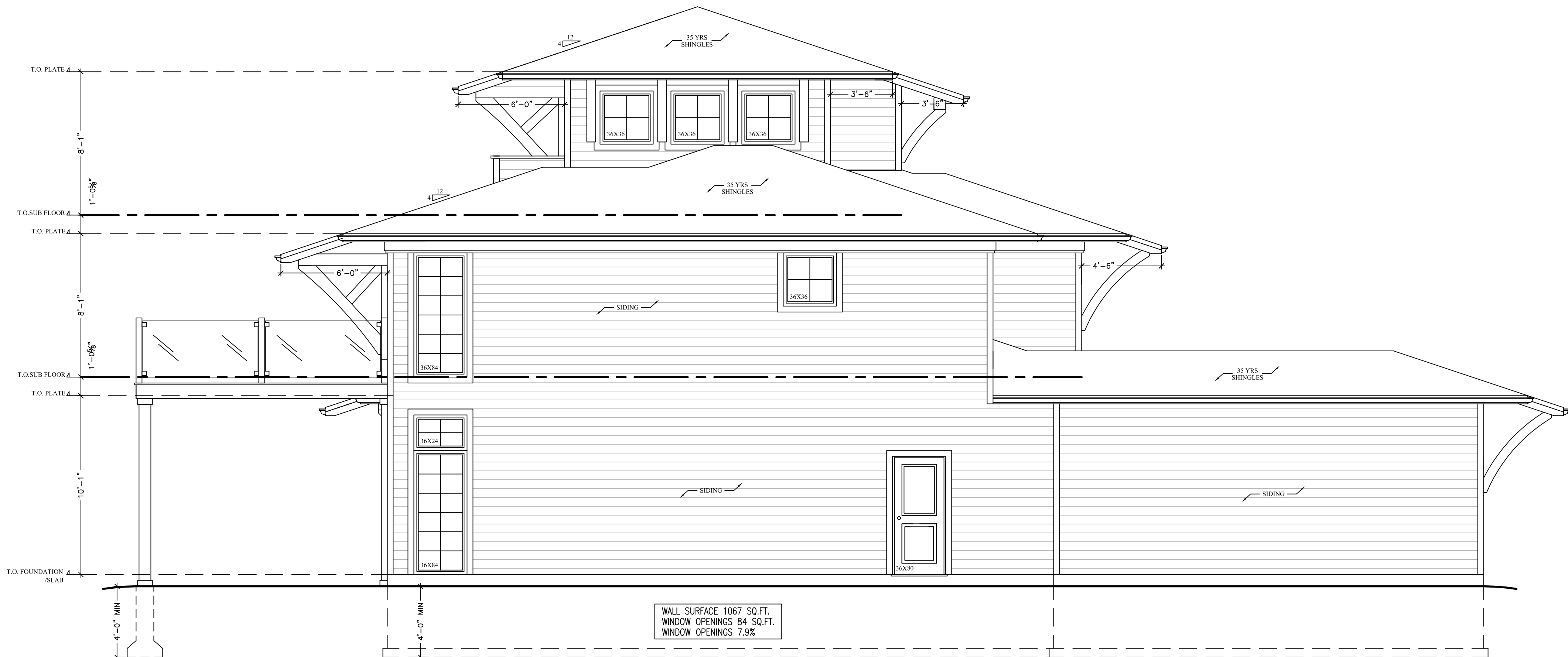
SOUTH ELEVATION

Scale 1/4"-1'-0"



EAST ELEVATION

Scale 1/4"-1'-0"



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DRAWN BY: TONY WALL

BCIN: 29620 PO# 2216

DATE: FEB 2022

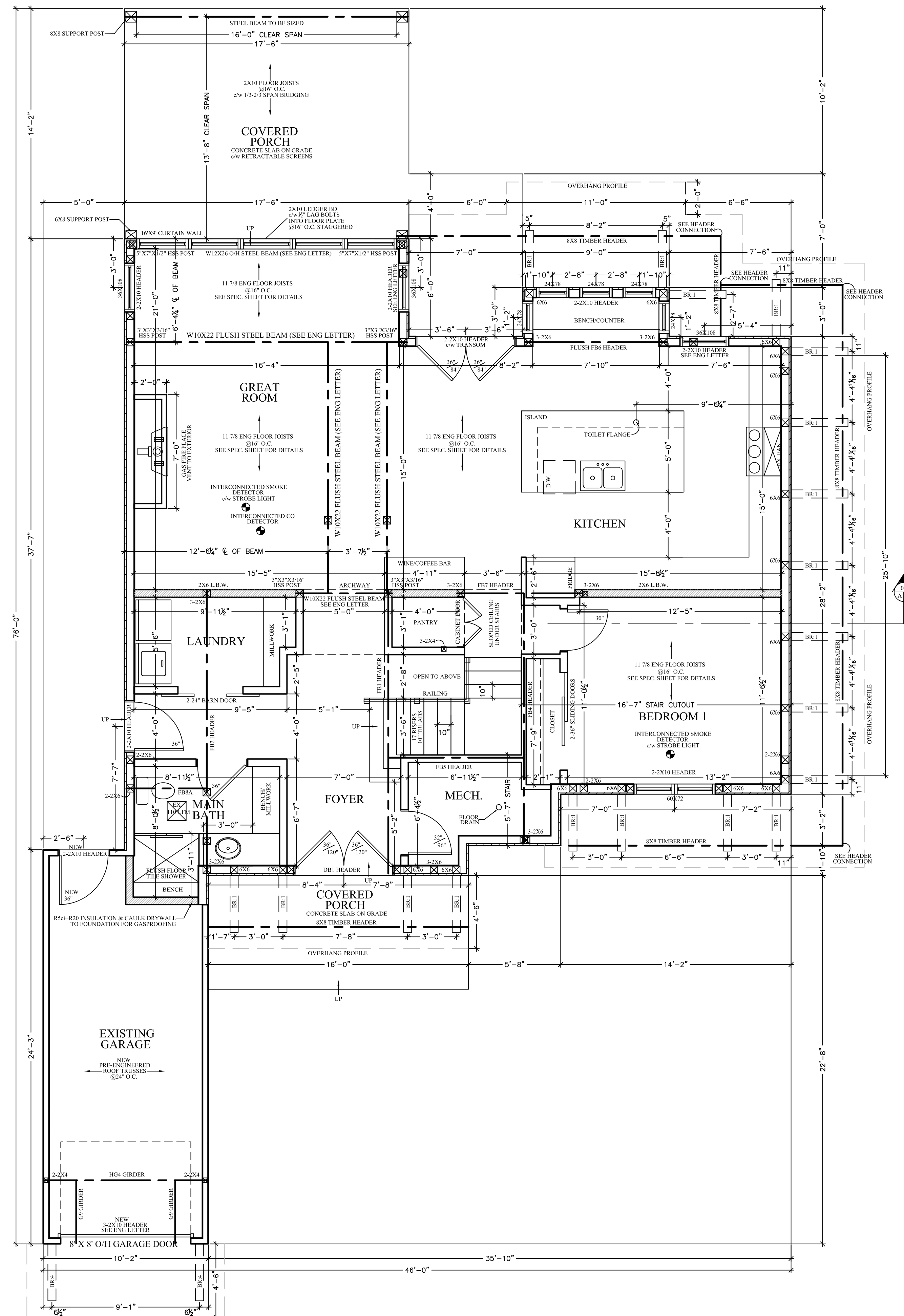
SHEET NO. 4 OF 6

SCALE: SEE DWG

A4



Scale 1/4"-1'-0"



Scale 1/4"-1'-0"

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Tony Wall  
BCIN : 22052

REV.#	DATE:	DESCRIPTION:
4		
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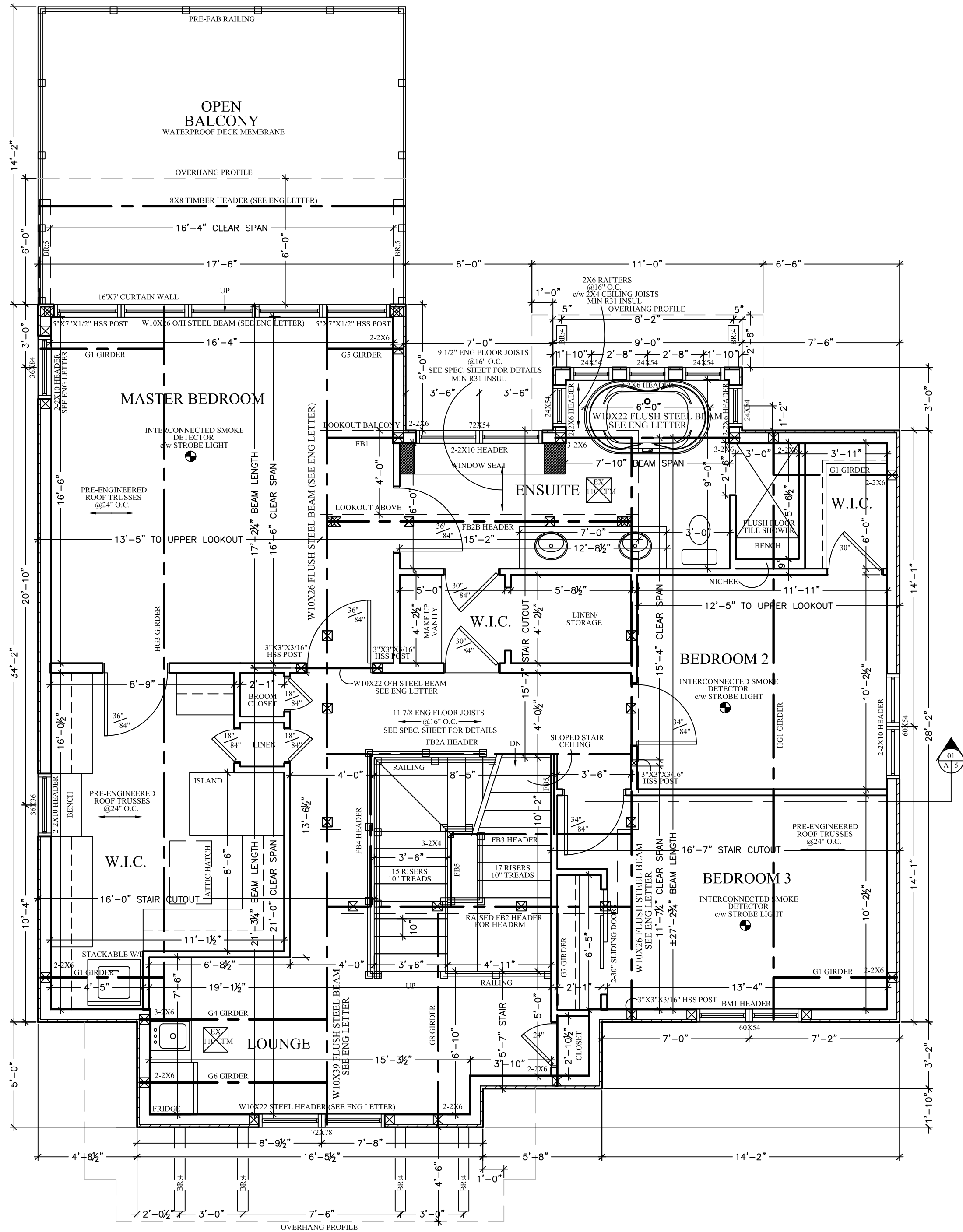
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DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 2216	A1
DATE: FEB 2022	
SHEET NO. 1 OF 6	



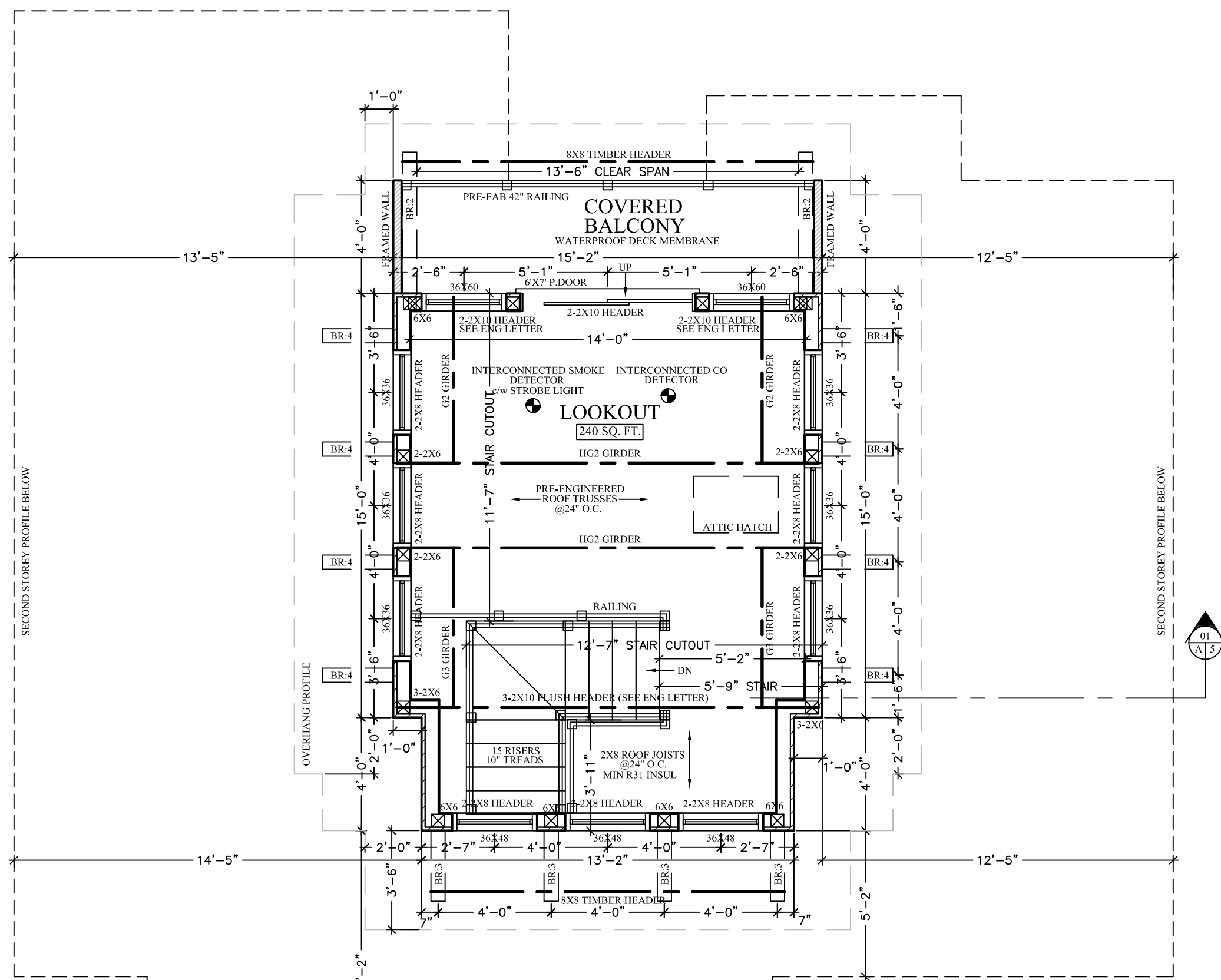
# UPPER FLOOR PLAN

Scale 1/4"-1'-0"



# LOOKOUT FLOOR PLAN

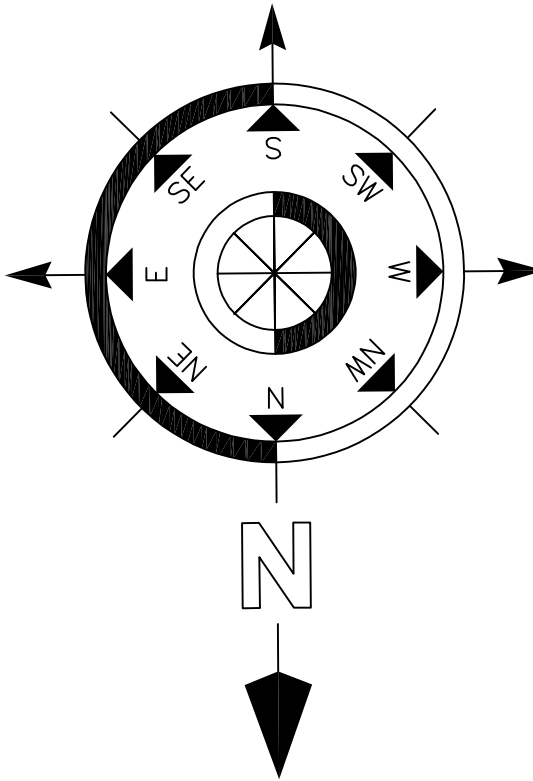
Scale 1/4"-1'-0"



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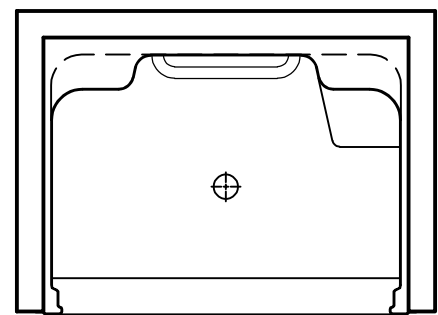
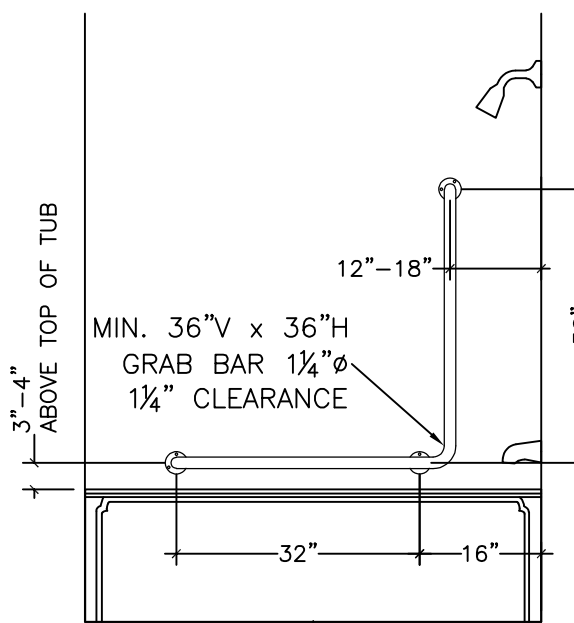
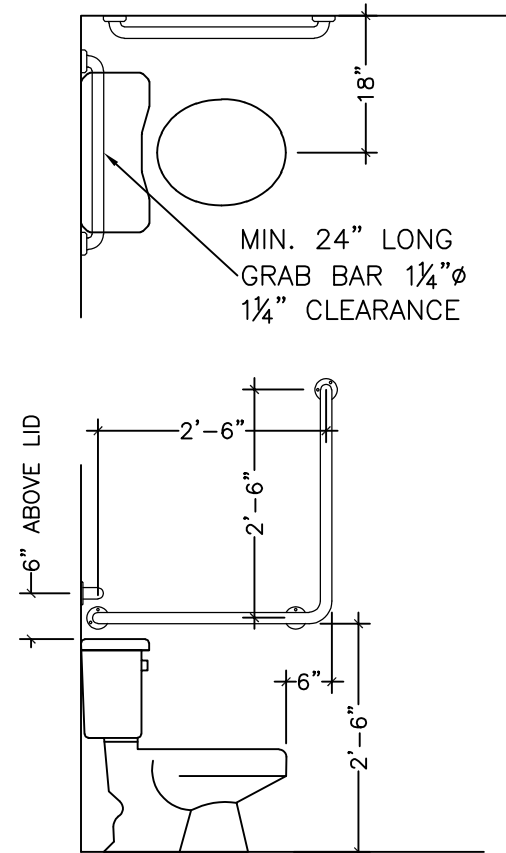
UPPER/ LOOKOUT FLOOR PLAN

DRAWN BY: TONY WALL  
BCIN: 29620 PO# 2216  
DATE: FEB 2022  
SHEET NO. 2 OF 6

SCALE: SEE DWG

A2

## SUGGESTED GRAB BAR BLOCKING LOCATIONS (CONDITIONS MAY VARY WITH LAYOUT)







## Committee of Adjustment Decision ANPL2022295

APPROVED

**APPLICANT:** THERESA LIVINGSTON  
**ROLL NUMBER:** 3310493110078000000  
**LOCATION:** CHR PLAN 128 PT LOT 82 CON A, PT LOT 12 (18 Ordnance Ave, Turkey Point)  
**DECISION DATE:** March 15, 2023

**DECISION:** **APPROVED**

In the case of an Application for Minor Variance as made under Section 45 of the Planning Act, R.S.O., 1990, as amended:

### PROPOSAL:

An application has been received to reconstruct of an existing vacation home requiring relief of: 13% from the maximum permitted lot coverage of 15% to permit a coverage of 28%; 3.72 m from the minimum rear yard setback of 9 m to a permit a decreased rear yard setback of 5.28 m; 4.96 m from the minimum front yard setback of 6 m to a permit a decreased front yard setback of 1.04 m; and 1.77 m from maximum height of an vacation home 9.1 m to permit a height of 10.87 m. The application also proposes to construct a 6 m x 4 m accessory structure requiring relief from section 3.2.1.b) which does not permit accessory structures to occupy any part of a front yard in order to permit an accessory structure wholly within the front yard.

**MOVED BY:** Linda

**SECONDED BY:** Rudy

### MEMBERS CONCURRING IN THE ABOVE RULING:

☒ TIM RIVARD

☒ LISA DOVE

☒ RUDY STICKL

☒ PHILIP SCHOCKAERT

☒ LINDA D'HONDT - CRANDON

☒ ALAN STRANG

**MOTION CARRIED:** Yes

**CHAIRMAN:** [Signature]

### REASON:

In accordance with Section 45(1) of the Planning Act, the requested relief is ~~not~~ considered appropriate for the proposed development, is ~~not~~ minor in nature and does ~~not~~ maintain the general intent of the Official Plan and Zoning By-law.

### CERTIFICATION:

I hereby certify this to be a true copy of the Committee of Adjustment decision and this decision was concurred with by a majority of the members who heard the application at a meeting duly held on March 15, 2023

**SECRETARY-TREASURER:** [Signature]

### APPEALS:

Only individuals, corporations and public bodies may appeal decisions in respect of applications for consent to the THE ONTARIO LAND TRIBUNAL. A notice of appeal may not be filed by an unincorporated association or group. However, a notice may be filed in the name of an individual who is a member of the association or group.

### NOTICE OF LAST DAY FOR FILING APPEAL TO THE ONTARIO LAND TRIBUNAL

(The Planning Act, R.S.O. 1990, as amended, c.p. 13, Section 53(19))  
Any person or public body may, not later than twenty days after the giving of a written decision, appeal the decision and/or any condition imposed by Norfolk County, Committee of Adjustment to the ONTARIO LAND TRIBUNAL. If you wish to appeal to the OLT, a copy of an appellant form is available from the ONTARIO LAND TRIBUNAL.

### ADDITIONAL INFORMATION:

If you require additional information regarding the application, please contact Secretary-Treasurer for Norfolk County Committee



# **Long Point Region Conservation Authority**

**PERMIT No. LPRCA-32/23**

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &  
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street

Tillsonburg, ON

N4G 0C4

Phone (519) 842-4242

Fax (519) 842-7123

www.lprca.on.ca

Permission has been granted to:

Owner:	Theresa Livingston	Telephone:	519-426-6810
Address:	683 Norfolk Street South, Simcoe N3Y 4K1	Email:	Livingston.excavating@gmail.com
Agent:	David McPherson	Telephone:	519-427-6483
Address:	8 Culver Lane, Simcoe N3Y 5C8	Email:	david-a-mcpherson@hotmail.com
Location/Address of works: 18 Ordnance Ave. 331049311007800			
Lot:	82	Plan:	128 Municipality: Norfolk County
Description of Works:	To demolish the existing residential structure and construct a 161m <sup>2</sup> residential structure with a new septic system and a 24m <sup>2</sup> accessory building.		
Type of fill:	n/a		

**This permit is valid on the above location only for the period of:**

**DATE: March 13, 2023 to March 13, 2025**

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

**GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)**

**SPECIFIC CONDITIONS:**

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated November 12, 2022 and the associated information.



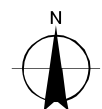


## Legend

☐ Subject Lands

2020 Air Photo

8/2/2023



A scale bar labeled 'Meters' with markings at 8, 4, 0, 8, 16, 24, and 32.

# MAP B

## ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2023223



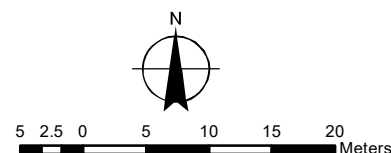
### LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

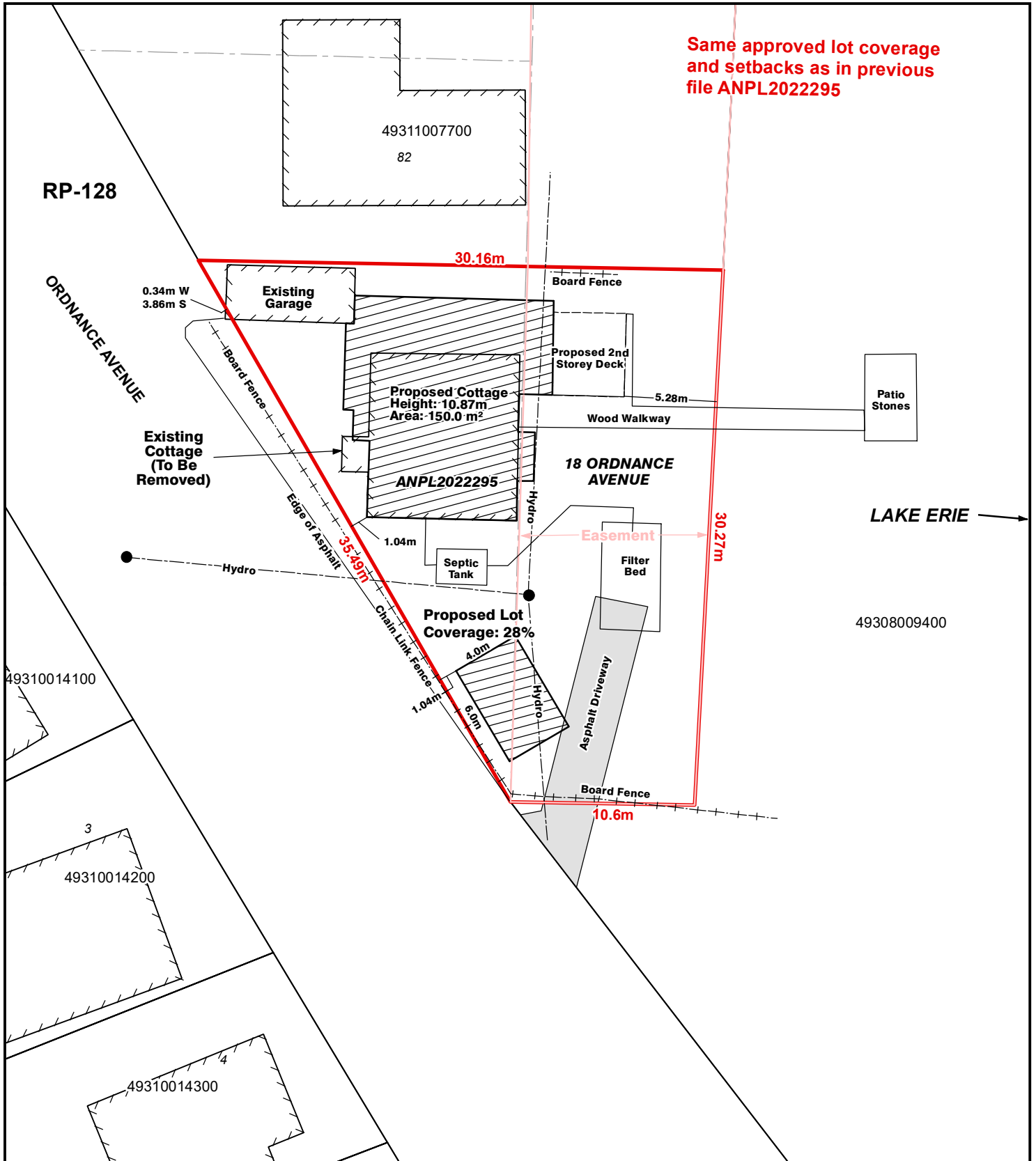
8/2/2023

(H) - Holding  
 HL - Hazard Land Zone  
 RR - Resort Residential Zone



# CONCEPTUAL PLAN

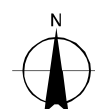
Geographic Township of CHARLOTTEVILLE



Same approved lot coverage and setbacks as in previous file ANPL2022295

## Legend

- Subject Lands
- Easement



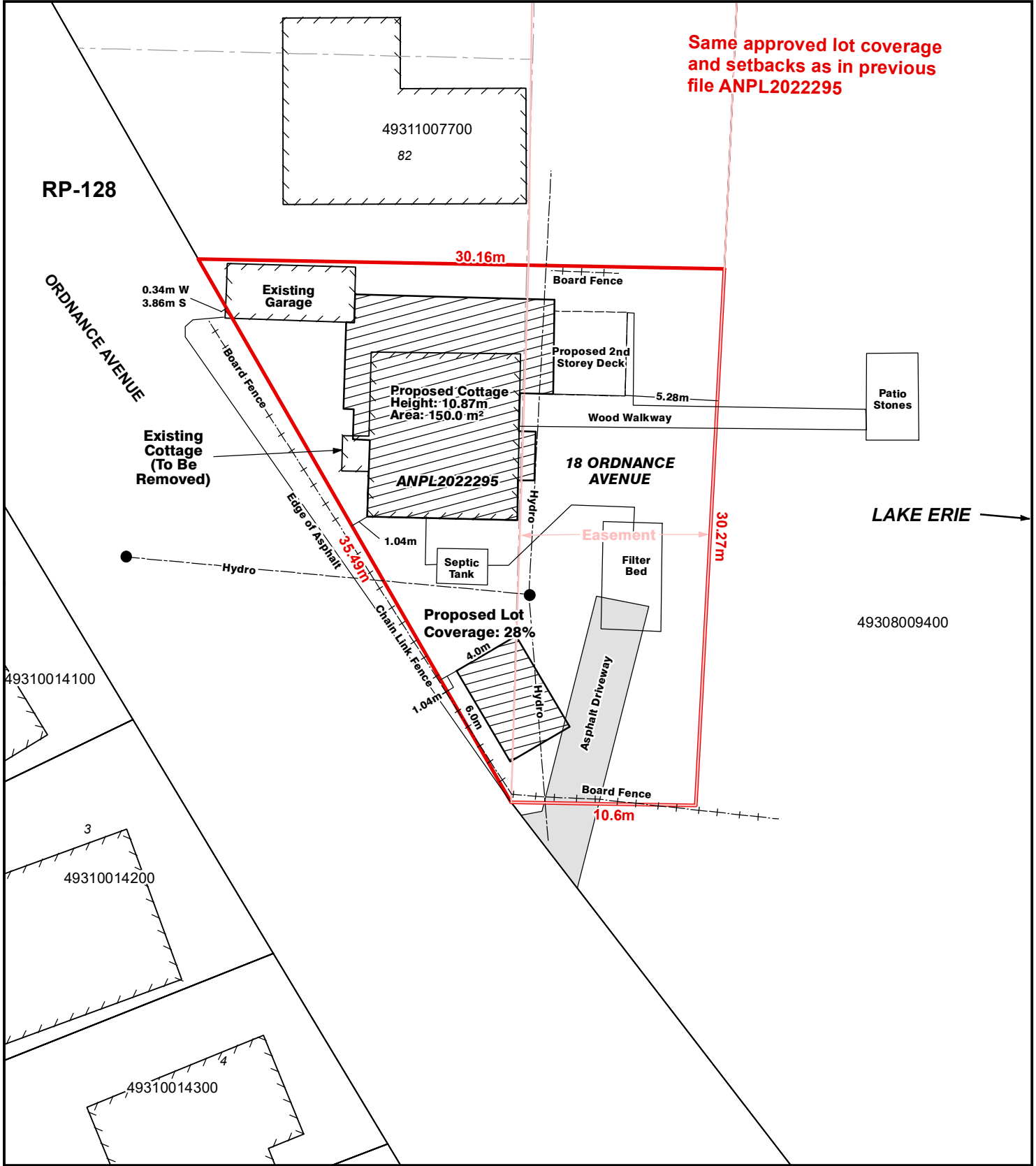
8/2/2023

2.5 1.25 0 2.5 5 7.5 10 Meters



CONCEPTUAL PLAN

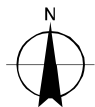
Geographic Township of CHARLOTTEVILLE



Legend

- Subject Lands
- Easement

8/2/2023



2.5 1.25 0 2.5 5 7.5 10 Meters