

**For Office Use Only:**

File Number	<u>ANPL2023274</u>	Application Fee	<u>\$27343.00</u>
Related File Number	<u></u>	Conservation Authority Fee	<u>\$514.15</u>
Pre-consultation Meeting	<u></u>	Well & Septic Info Provided	<u>N.A</u>
Application Submitted	<u>Aug.29.2023</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>Sept.7.2023</u>	Public Notice Sign	<u></u>

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 33105430160317000000**A. Applicant Information****Name of Owner** JOEL SHERWOOD

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 1116 WOODSTOCK AVE.**Town and Postal Code** LONG POINT NOB IMO**Phone Number** **Cell Number** 519-803-1176**Email** Joel.Robert.Sherwood@gmail.com**Name of Applicant** NATHAN KOK (EVEREST ESTATE HOMES)**Address** 210 MAIN ST. E.**Town and Postal Code** OTTERVILLE NOB IRO**Phone Number** 519-788-8549**Cell Number** **Email** secretary@everestestatehomes.com

Name of Agent NATHAN KOK  
Address 210 MAIN ST. E.  
Town and Postal Code OTTERVILLE NOJ 1R0  
Phone Number 519-788-8599  
Cell Number \_\_\_\_\_  
Email secretary@everestestateshomes.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner ☒ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

SWAL PLAN 436 LOT 19, 1RREG, 0.23AC 54.40 FR

Municipal Civic Address: 1106 WOODSTOCK AVE.

Present Official Plan Designation(s): \_\_\_\_\_

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

Cottage

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

REMOVED: 1-Storey dwelling  
- 260m<sup>2</sup>

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

PROPOSED: 2-storey dwelling      Gross floor area: 134m<sup>2</sup> (main floor)  
Length: 15.24m      Lot coverage: 17.4%  
Width: 9.14m

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

COTTAGE

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply.

#### 1. Site Information

#### Existing

#### Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	<u>16.581m / 18.261m</u>	<u>N/A</u>
Lot depth	<u>54.468m</u>	<u>54.468m</u>
Lot width	<u>17.421m</u>	<u>17.421(Avg.)</u>
Lot area	<u>946.3m<sup>2</sup></u>	<u>946.3m<sup>2</sup></u>
Lot coverage	<u>14.7%</u>	<u>17.4%</u>
Front yard	<u>10.4m</u>	<u>6.35m</u>
Rear yard	<u>27.9m</u>	<u>27.9m</u>
Left Interior side yard	<u>N/A</u>	<u>N/A</u>
Right Interior side yard	<u>1.23m</u>	<u>1.23m</u>
Exterior side yard (corner lot)	<u>6.43m</u>	<u>6.43m</u>

#### 2. Please outline the relief requested (assistance is available):

To allow relief for maximum lot coverage  
from 15% to 17.4%

#### 3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The current design requires more coverage.

#### 4. Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_



If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

**5. Description of proposed right-of-way/easement in metric units:**

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

**6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:**

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

#### **D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐Yes ☒No ☐Unknown  
If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐Yes ☒No ☐Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water  
☒ Individual wells

- ☐ Communal wells  
☐ Other (describe below)
- 

### Sewage Treatment

- ☐ Municipal sewers  
☒ Septic tank and tile bed in good working order
- ☐ Communal system  
☐ Other (describe below)
- 

### Storm Drainage

- ☒ Storm sewers  
☐ Other (describe below)
- ☐ Open ditches
- 

2. Existing or proposed access to subject lands

- ☒ Municipal road  
☐ Unopened road
- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street:

---

## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

---

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

---

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

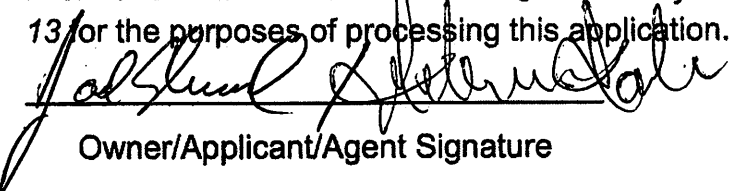
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

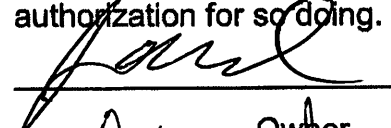
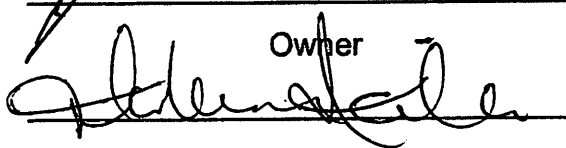
 \_\_\_\_\_ 8/24/23 \_\_\_\_\_  
Owner/Applicant/Agent Signature Date

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Joel Sheppard am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

 \_\_\_\_\_ 8/24/2023 \_\_\_\_\_  
Owner Date  
 \_\_\_\_\_ 8/24/2023 \_\_\_\_\_  
Owner Date

**K. Declaration**


I, Bob Sherwood / Michelle Norder of Guelph

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

3:40pm

  
Owner/Applicant/Agent Signature

In Guelph

This 24 day of August

A.D., 20 24

\_\_\_\_\_  
A Commissioner, etc.



**K. Declaration**

I, Helen Wall of Everest Estate Homes  
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits  
transmitted herewith are true and I make this solemn declaration conscientiously  
believing it to be true and knowing that it is of the same force and effect as if made  
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe

Helen Wall  
Owner/Applicant/Agent Signature

In Norfolk County

This 29<sup>th</sup> day of August

A.D., 2023

Jodi Lynn Pfaff-Schimus  
A Commissioner, etc.

Jodi Lynn Pfaff-Schimus, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 1, 2025.

## DCS Committee of Adjustment

---

**From:** Secretary | Everest Estate Homes <secretary@everestestatehomes.com>  
**Sent:** Tuesday, August 29, 2023 3:15 PM  
**To:** DCS Committee of Adjustment  
**Subject:** Verification

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jodie,

This is a verification email regarding the minor variance.

Get [Outlook for Android](#)

---

Thank you,



**Helen Wall**

*(Secretary)*

**Phone:** 519-788-8599

**Email:** secretary@everestestatehomes.com

210 Main St. E. Otterville, ON N0J 1R0

116 Woodstock  
Ave.

SITE PLAN  
PREPARED FOR BUILDING PERMIT  
AND LOT GRADING  
FOR: MICHELLE NEVOLA  
MUNICIPAL # 116 WOODSTOCK AVENUE

SCALE 1:150  
METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

- (1) - PROPERTY DIMENSIONS ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT COMPLETED BY KIM HUSTED SURVEYING LTD. DATED MARCH 22, 2022 PROJECT 21-17562
- (2) - PROPOSED COTTAGE AND GARAGE POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (176.15) AND ARE IN METRES  
- EXISTING GRADES MEASURED ARE SHOWN (175.29) AND ARE IN METRES  
- EXISTING GRADES TO MATCH ARE SHOWN (176.15) AND ARE IN METRES  
- THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 1st DAY OF MARCH, 2022
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - SITE BENCHMARK # 1 NAIL SET IN WOOD POST LOCATED ON THE SUBJECT PROPERTY WITH A GEODETIC ELEVATION OF 175.79 METRES  
- ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (8) - SEPTIC SYSTEM TO BE DESIGNED BY OTHERS  
ELEVATIONS TO BE REVISED WHERE REQUIRED.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - AREA OF LOT 119 = 946.3 SQUARE METRES  
- AREA OF PROPOSED COTTAGE AND PORCH = 139.5 SQUARE METRES  
- PROPOSED LOT COVERAGE = 14.7%  
- AREA OF FUTURE DETACHED GARAGE = 82.1 SQUARE METRES  
- PROPOSED LOT COVERAGE = 8.7%

PLAN

436

LOT

118

LOT

117

CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND ITS LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
- ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED

PARKWAY

BRANT

WOODSTOCK

AVENUE

NOTE: DISTANCE FROM TOP OF FOUNDATION WALL TO UNDER SIDE OF FOOTING IS 1.98 METRES OR 6'6". THIS TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.

NOTE: MAINTAIN A MINIMUM OF 1.22 METRES OF GROUND COVER TO UNDER SIDE OF FOOTING IN ALL LOCATIONS



AUGUST 22, 2022

© COPYRIGHT 2022 KIM HUSTED SURVEYING LTD.  
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING LTD. IS STRICTLY PROHIBITED

**KIM HUSTED SURVEYING LTD.**  
ONTARIO LAND SURVEYOR  
30 HARVEY STREET, TILLSONBURG, ONTARIO. N4G 3J8  
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 21-17562SP REFERENCE: FILE



**JOEL SHERWOOD**  
PROPOSED COTTAGE

SHEET LIST	
SHEET NAME	SHEET NUMBER
ARCHITECTURAL	
Grid Sheet	A0.01
Site Plan	A1.01
Foundation & Deck Framing Plan	A2.01
Mean Floor Plan	A2.02
Second Floor Plan	A2.03
Roof Plan	A2.04
Elevations	A3.01
Sections	A4.01
Sections	A4.02
Sections & Details	A4.03

## ABBREVIATIONS

A	LAND
B	AT CORNERINGS
C	TOUR
D	TOUR
E	TOUR
F	TOUR
G	TOUR
H	TOUR
I	TOUR
J	TOUR
K	TOUR
L	TOUR
M	TOUR
N	TOUR
O	TOUR
P	TOUR
Q	TOUR
R	TOUR
S	TOUR
T	TOUR
U	TOUR
V	TOUR
W	TOUR
X	TOUR
Y	TOUR
Z	TOUR
AA	TOUR
AB	TOUR
AC	TOUR
AD	TOUR
AE	TOUR
AF	TOUR
AG	TOUR
AH	TOUR
AI	TOUR
AJ	TOUR
AK	TOUR
AL	TOUR
AM	TOUR
AN	TOUR
AO	TOUR
AP	TOUR
AQ	TOUR
AR	TOUR
AS	TOUR
AT	TOUR
AU	TOUR
AV	TOUR
AW	TOUR
AX	TOUR
AY	TOUR
AZ	TOUR
BA	TOUR
BB	TOUR
BC	TOUR
BD	TOUR
BE	TOUR
BF	TOUR
BG	TOUR
BH	TOUR
BI	TOUR
BJ	TOUR
BK	TOUR
BL	TOUR
BM	TOUR
BN	TOUR
BO	TOUR
BP	TOUR
BQ	TOUR
BR	TOUR
BS	TOUR
BT	TOUR
BU	TOUR
BV	TOUR
BW	TOUR
BX	TOUR
BY	TOUR
BZ	TOUR
CA	TOUR
CB	TOUR
CC	TOUR
CD	TOUR
CE	TOUR
CF	TOUR
CG	TOUR
CH	TOUR
CI	TOUR
CJ	TOUR
CK	TOUR
CL	TOUR
CM	TOUR
CN	TOUR
CO	TOUR
CP	TOUR
CQ	TOUR
CR	TOUR
CS	TOUR
CT	TOUR
CU	TOUR
CV	TOUR
CW	TOUR
CX	TOUR
CY	TOUR
CZ	TOUR
DA	TOUR
DB	TOUR
DC	TOUR
DD	TOUR
DE	TOUR
DF	TOUR
DG	TOUR
DH	TOUR
DI	TOUR
DJ	TOUR
DK	TOUR
DL	TOUR
DM	TOUR
DN	TOUR
DO	TOUR
DP	TOUR
DQ	TOUR
DR	TOUR
DS	TOUR
DT	TOUR
DU	TOUR
DV	TOUR
DW	TOUR
DX	TOUR
DY	TOUR
DZ	TOUR
EA	TOUR
EB	TOUR
EC	TOUR
ED	TOUR
EE	TOUR
EF	TOUR
EG	TOUR
EH	TOUR
EI	TOUR
EJ	TOUR
EK	TOUR
EL	TOUR
EM	TOUR
EN	TOUR
EO	TOUR
EP	TOUR
EQ	TOUR
ER	TOUR
ES	TOUR
ET	TOUR
EU	TOUR
EV	TOUR
EW	TOUR
EX	TOUR
EY	TOUR
EZ	TOUR
FA	TOUR
FB	TOUR
FC	TOUR
FD	TOUR
FE	TOUR
FF	TOUR
FG	TOUR
FH	TOUR
FI	TOUR
FJ	TOUR
FK	TOUR
FL	TOUR
FM	TOUR
FN	TOUR
FO	TOUR
FP	TOUR
FQ	TOUR
FR	TOUR
FS	TOUR
FT	TOUR
FU	TOUR
FV	TOUR
FW	TOUR
FX	TOUR
FY	TOUR
FZ	TOUR
GA	TOUR
GB	TOUR
GC	TOUR
GD	TOUR
GE	TOUR
GF	TOUR
GG	TOUR
GH	TOUR
GI	TOUR
GJ	TOUR
GK	TOUR
GL	TOUR
GM	TOUR
GN	TOUR
GO	TOUR
GP	TOUR
GQ	TOUR
GR	TOUR
GS	TOUR
GT	TOUR
GU	TOUR
GV	TOUR
GW	TOUR
GX	TOUR
GY	TOUR
GZ	TOUR
HA	TOUR
HB	TOUR
HC	TOUR
HD	TOUR
HE	TOUR
HF	TOUR
HG	TOUR
HH	TOUR
HI	TOUR
HJ	TOUR
HK	TOUR
HL	TOUR
HM	TOUR
HN	TOUR
HO	TOUR
HP	TOUR
HQ	TOUR
HR	TOUR
HS	TOUR
HT	TOUR
HU	TOUR

## Energy Efficiency Design Summary: Prescriptive Method

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of Sg-12. This form is applicable where the ratio of gross area of perimeter walls to gross area of floor area is not more than 22%.

Application No.	For use by Principal Authority	Member's Certification Number
-----------------	--------------------------------	-------------------------------

A. Project Information		DATE RECEIVED	DATE PAID
PROJECT NAME: 118 WOODSTOCK AVE			
TOWNSHIP: NORFOLK COUNTY	PROJECT TYPE: MOBILE HOME	PROJECT VALUE: \$100,000.00	

**B. Prescriptive Compliance** Indicate the building code compliance package using employer or third-party company.

**SR-12 Prescriptive (mod. design package):** Package: A2 Table: 3.1.2.A.


C. Project Design Conditions		Heating Equipment Efficiency		Space Heating Fuel Source	
Climate Zone (88-1):		<input type="checkbox"/> 92% AULC <input checked="" type="checkbox"/> 92% AULC		<input type="checkbox"/> Solid Fuel <input type="checkbox"/> Gas	
<input type="checkbox"/> Zone 1 (≤ 5000 degree days) <input type="checkbox"/> Zone 2 (≤ 5000 degree days)		<input type="checkbox"/> 84% ≤ 62% A-FUE <input checked="" type="checkbox"/> 84% ≤ 62% A-FUE		<input type="checkbox"/> Propane <input type="checkbox"/> Electric	
Ratio of Windows, Skylights & Glass (W <sub>g</sub> , S & G) to Wall Area		Other Building Characteristics			
Area of walls = 277.73 m <sup>2</sup> or 3,010.28 ft <sup>2</sup>		<input type="checkbox"/> Log/Park/Lean <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> ICF Basement			
W, S & G % = 13.7%		<input checked="" type="checkbox"/> Slab-on-ground <input type="checkbox"/> Walkout Basement			
Attic window averaging: 0.75% (360)		<input type="checkbox"/> Air Conditioning <input type="checkbox"/> Combo Unit			
		<input type="checkbox"/> Air-Sourced Heat Pump (A-Strp) <input type="checkbox"/> Air-Sourced Heat Pump (A-Strp)			
		<input type="checkbox"/> Ground-Sourced Heat Pump (G-Strp) <input type="checkbox"/> Ground-Sourced Heat Pump (G-Strp)			

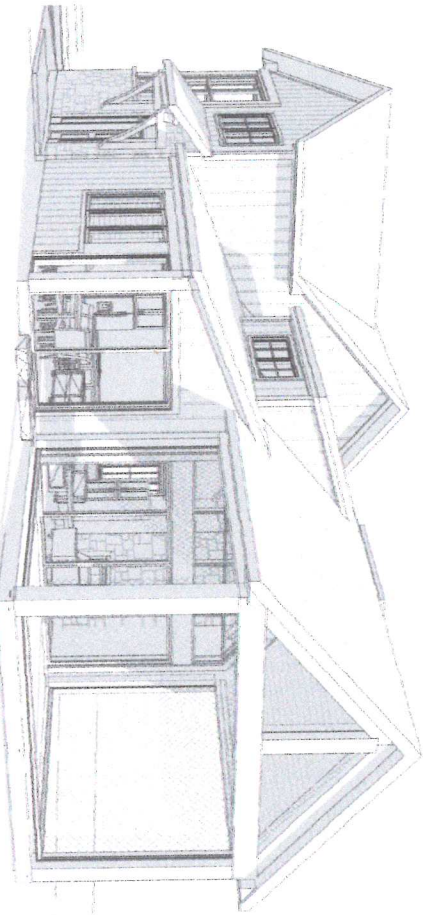
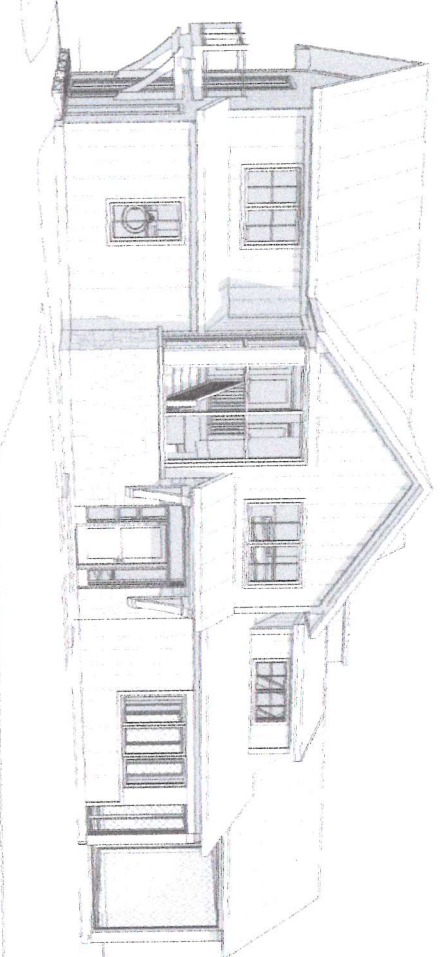
D. Building Specifications					
Energy Efficiency Substitutions					
<p><input type="checkbox"/> ICF (3.1.2.(6) &amp; (6)/3.1.3.(5) &amp; (6)) <input type="checkbox"/> Combined space heating and domestic water heating systems (3.1.1.2.(7)/3.1.1.3.(7)) <input checked="" type="checkbox"/> Air/gases substitution(s) Air/gases test required: <input type="checkbox"/> Table 3.1.1.4.C Refer to Design Guide Attachment</p>					
Building Component	Required:		Permitted Substitution:		Efficiency Ratings
	Minimum RSI / U-Value or Maximum U-Factor (Nominal)	Effective	Permitted Substitution	Permitted Substitution	
Thermal Insulation	R60	R62.22	Window & Doors provide U-Value/EER rating	1.4 (W/m² °C) at BR	
Ceiling with Attic Space		R27.65	Windows/Siding Glass Doors		
Ceiling without Attic Space	R91	R92.80	Sixty-eight/Glazed Roofs	2.4 (W/m² °C)	
Exposed Floor			Mechanicals	86%	
Walls Above Grade	R19 ± .5d	R20.32	Heating Equip. (A/FUE)	76%	
Basement Walls	R12 ± .6d	R20.34	HV Efficiency (SREff. at 0°C)	0.20	
Slab (all >30mm below grade)	-	-	DHW Heater (EER)	# Showers 2	
Slab (less than 30mm below grade)	R10		DWHR (CSA B55.1 min. 4% efficiency)		
Stack (as applied below-grade or heated)	R10	R11.3	Combined Heating System		

(7) U shall be provided in either event in order to determine if U has met the requirements of the design work.

**E. Designer** (from 61 & 62CIN), if applicable, of person(s) providing information therein to substantiate that design meets the building code.

**Qualified Designer Declaration of Designer to have reviewed and take responsibility for the design work.**

Name	BCIN	Signature
INDIVIDUAL: KENDRICK KUEPER FIRM: MAGNE/TOUR MOIE	INDIVIDUAL: 47116 FIRM: 117710	



THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF MAHNE YOUR HOME INC. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MAHNE YOUR HOME INC.

**DECLARATION OF DESIGNER:**  
I, Kenneth Knudsen, REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER DIVISION C, SECTION 22 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES AND IN THE CATEGORIES MARKED BELOW.

☒ SINGLE BUSINESS  
☐ LARGE BUSINESS  
INDIVIDUAL BCH: 4716  
FAMA BCEN: 111730  
SIGNATURE OF DESIGNER: *Robert Hughes*  
August 16, 2022  
DATE

---



imagine

Joel Sherwood  
Proposed Cottage

116 Woodstock Ave  
Port Rowan, ON  
N0E 1M0

Cover Sheet

Date:	August 16, 2023
Drawn by:	K. Shantz
Scale:	As indicated

# A0.01





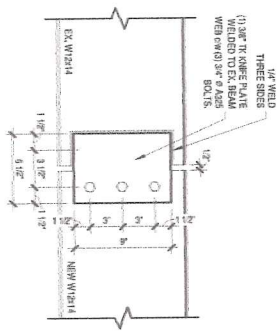
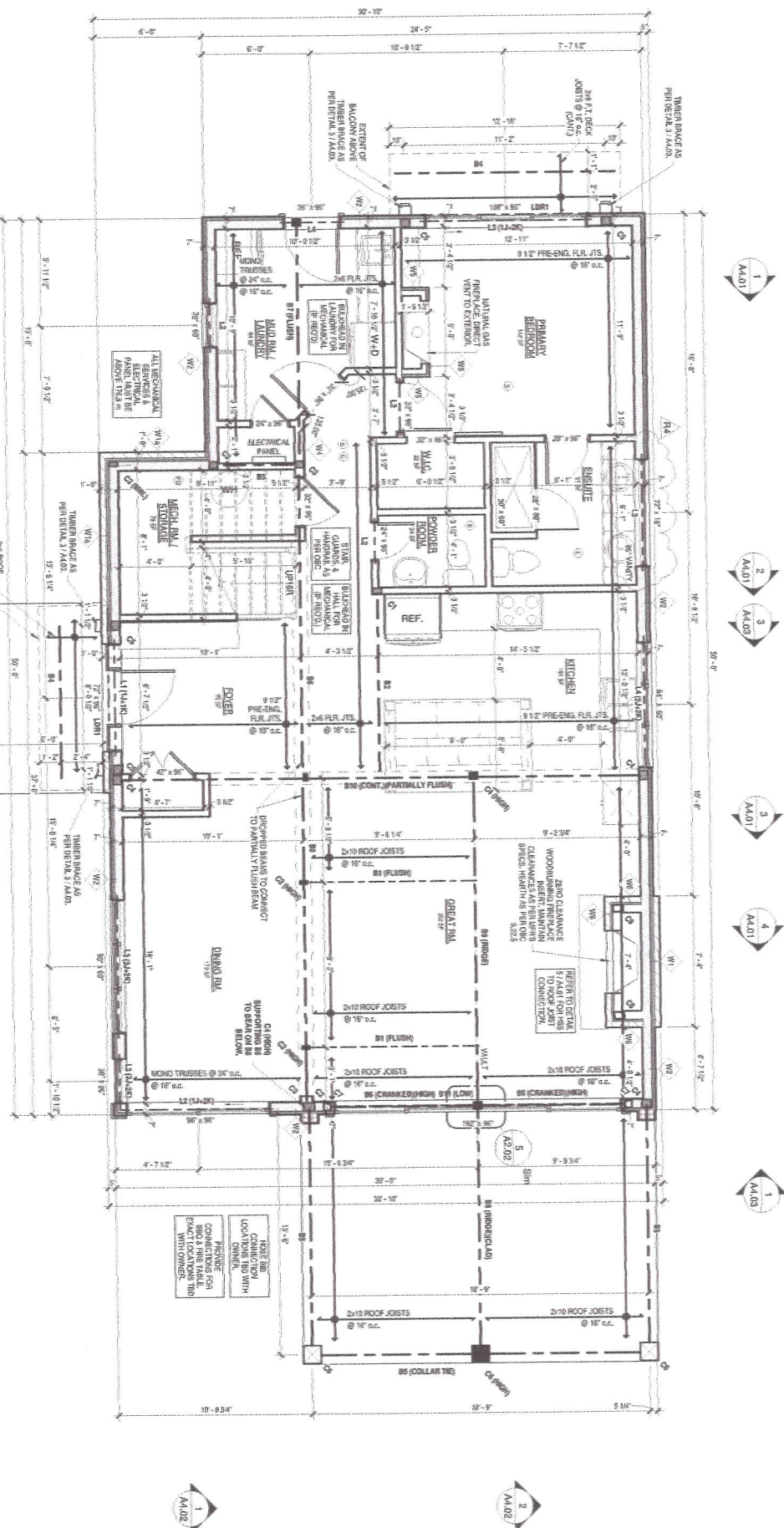
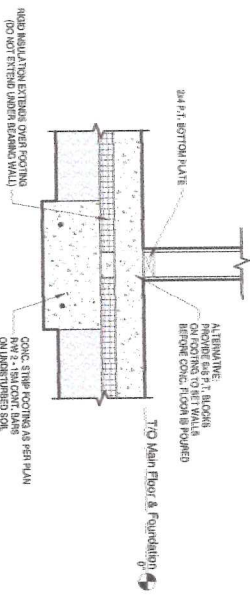
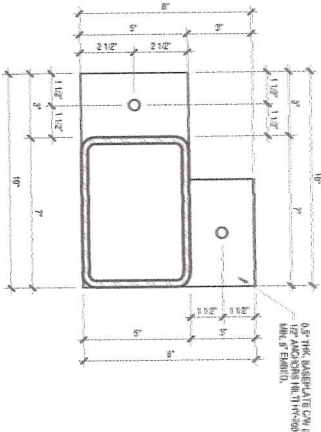
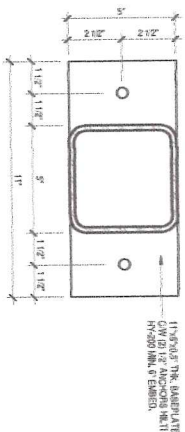






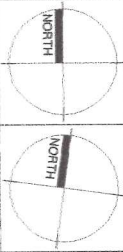
GENERAL NOTES		FLOOR SCHEDULE	
#	NOTE	1	FLOOR CONSTRUCTION
1	REFER TO DRAWING LAYOUT BY ARCH.	1	SLAB ON GRADE, JOIST SYSTEM
2	ALL INTERIOR PARTITION WALLS TO BE IN ALUM.	2	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		3	100 MM COMPACTED GRANULAR FILL
#	NOTE	4	SLAB ON GRADE, JOIST SYSTEM
3	STONE ALUMIN TO BE INTERCONNECTED ON STORAGE	5	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
4	CARBON MONOXIDE ALARM	6	100 MM COMPACTED GRANULAR FILL
5	EVALUATE FAN VENTED TO EXTERIOR	7	SLAB ON GRADE, JOIST SYSTEM
6	FLOOR DRAIN	8	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
7	FLOOR BEARING WALL	9	100 MM COMPACTED GRANULAR FILL
8	POINT LOAD	10	SLAB ON GRADE, JOIST SYSTEM
		11	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		12	100 MM COMPACTED GRANULAR FILL
		13	SLAB ON GRADE, JOIST SYSTEM
		14	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		15	100 MM COMPACTED GRANULAR FILL
		16	SLAB ON GRADE, JOIST SYSTEM
		17	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		18	100 MM COMPACTED GRANULAR FILL
		19	SLAB ON GRADE, JOIST SYSTEM
		20	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		21	100 MM COMPACTED GRANULAR FILL
		22	SLAB ON GRADE, JOIST SYSTEM
		23	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		24	100 MM COMPACTED GRANULAR FILL
		25	SLAB ON GRADE, JOIST SYSTEM
		26	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		27	100 MM COMPACTED GRANULAR FILL
		28	SLAB ON GRADE, JOIST SYSTEM
		29	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		30	100 MM COMPACTED GRANULAR FILL
		31	SLAB ON GRADE, JOIST SYSTEM
		32	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		33	100 MM COMPACTED GRANULAR FILL
		34	SLAB ON GRADE, JOIST SYSTEM
		35	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		36	100 MM COMPACTED GRANULAR FILL
		37	SLAB ON GRADE, JOIST SYSTEM
		38	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		39	100 MM COMPACTED GRANULAR FILL
		40	SLAB ON GRADE, JOIST SYSTEM
		41	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		42	100 MM COMPACTED GRANULAR FILL
		43	SLAB ON GRADE, JOIST SYSTEM
		44	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		45	100 MM COMPACTED GRANULAR FILL
		46	SLAB ON GRADE, JOIST SYSTEM
		47	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		48	100 MM COMPACTED GRANULAR FILL
		49	SLAB ON GRADE, JOIST SYSTEM
		50	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		51	100 MM COMPACTED GRANULAR FILL
		52	SLAB ON GRADE, JOIST SYSTEM
		53	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		54	100 MM COMPACTED GRANULAR FILL
		55	SLAB ON GRADE, JOIST SYSTEM
		56	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		57	100 MM COMPACTED GRANULAR FILL
		58	SLAB ON GRADE, JOIST SYSTEM
		59	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		60	100 MM COMPACTED GRANULAR FILL
		61	SLAB ON GRADE, JOIST SYSTEM
		62	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		63	100 MM COMPACTED GRANULAR FILL
		64	SLAB ON GRADE, JOIST SYSTEM
		65	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		66	100 MM COMPACTED GRANULAR FILL
		67	SLAB ON GRADE, JOIST SYSTEM
		68	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		69	100 MM COMPACTED GRANULAR FILL
		70	SLAB ON GRADE, JOIST SYSTEM
		71	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		72	100 MM COMPACTED GRANULAR FILL
		73	SLAB ON GRADE, JOIST SYSTEM
		74	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		75	100 MM COMPACTED GRANULAR FILL
		76	SLAB ON GRADE, JOIST SYSTEM
		77	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		78	100 MM COMPACTED GRANULAR FILL
		79	SLAB ON GRADE, JOIST SYSTEM
		80	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		81	100 MM COMPACTED GRANULAR FILL
		82	SLAB ON GRADE, JOIST SYSTEM
		83	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		84	100 MM COMPACTED GRANULAR FILL
		85	SLAB ON GRADE, JOIST SYSTEM
		86	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		87	100 MM COMPACTED GRANULAR FILL
		88	SLAB ON GRADE, JOIST SYSTEM
		89	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		90	100 MM COMPACTED GRANULAR FILL
		91	SLAB ON GRADE, JOIST SYSTEM
		92	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		93	100 MM COMPACTED GRANULAR FILL
		94	SLAB ON GRADE, JOIST SYSTEM
		95	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		96	100 MM COMPACTED GRANULAR FILL
		97	SLAB ON GRADE, JOIST SYSTEM
		98	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
		99	100 MM COMPACTED GRANULAR FILL
		100	SLAB ON GRADE, JOIST SYSTEM

TYPE	DESCRIPTION
1	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
2	100 MM COMPACTED GRANULAR FILL
3	SLAB ON GRADE, JOIST SYSTEM
4	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
5	100 MM COMPACTED GRANULAR FILL
6	SLAB ON GRADE, JOIST SYSTEM
7	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
8	100 MM COMPACTED GRANULAR FILL
9	SLAB ON GRADE, JOIST SYSTEM
10	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
11	100 MM COMPACTED GRANULAR FILL
12	SLAB ON GRADE, JOIST SYSTEM
13	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
14	100 MM COMPACTED GRANULAR FILL
15	SLAB ON GRADE, JOIST SYSTEM
16	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
17	100 MM COMPACTED GRANULAR FILL
18	SLAB ON GRADE, JOIST SYSTEM
19	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
20	100 MM COMPACTED GRANULAR FILL
21	SLAB ON GRADE, JOIST SYSTEM
22	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
23	100 MM COMPACTED GRANULAR FILL
24	SLAB ON GRADE, JOIST SYSTEM
25	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
26	100 MM COMPACTED GRANULAR FILL
27	SLAB ON GRADE, JOIST SYSTEM
28	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
29	100 MM COMPACTED GRANULAR FILL
30	SLAB ON GRADE, JOIST SYSTEM
31	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
32	100 MM COMPACTED GRANULAR FILL
33	SLAB ON GRADE, JOIST SYSTEM
34	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
35	100 MM COMPACTED GRANULAR FILL
36	SLAB ON GRADE, JOIST SYSTEM
37	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
38	100 MM COMPACTED GRANULAR FILL
39	SLAB ON GRADE, JOIST SYSTEM
40	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
41	100 MM COMPACTED GRANULAR FILL
42	SLAB ON GRADE, JOIST SYSTEM
43	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
44	100 MM COMPACTED GRANULAR FILL
45	SLAB ON GRADE, JOIST SYSTEM
46	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
47	100 MM COMPACTED GRANULAR FILL
48	SLAB ON GRADE, JOIST SYSTEM
49	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
50	100 MM COMPACTED GRANULAR FILL
51	SLAB ON GRADE, JOIST SYSTEM
52	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
53	100 MM COMPACTED GRANULAR FILL
54	SLAB ON GRADE, JOIST SYSTEM
55	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
56	100 MM COMPACTED GRANULAR FILL
57	SLAB ON GRADE, JOIST SYSTEM
58	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
59	100 MM COMPACTED GRANULAR FILL
60	SLAB ON GRADE, JOIST SYSTEM
61	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
62	100 MM COMPACTED GRANULAR FILL
63	SLAB ON GRADE, JOIST SYSTEM
64	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
65	100 MM COMPACTED GRANULAR FILL
66	SLAB ON GRADE, JOIST SYSTEM
67	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
68	100 MM COMPACTED GRANULAR FILL
69	SLAB ON GRADE, JOIST SYSTEM
70	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
71	100 MM COMPACTED GRANULAR FILL
72	SLAB ON GRADE, JOIST SYSTEM
73	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
74	100 MM COMPACTED GRANULAR FILL
75	SLAB ON GRADE, JOIST SYSTEM
76	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
77	100 MM COMPACTED GRANULAR FILL
78	SLAB ON GRADE, JOIST SYSTEM
79	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
80	100 MM COMPACTED GRANULAR FILL
81	SLAB ON GRADE, JOIST SYSTEM
82	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
83	100 MM COMPACTED GRANULAR FILL
84	SLAB ON GRADE, JOIST SYSTEM
85	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
86	100 MM COMPACTED GRANULAR FILL
87	SLAB ON GRADE, JOIST SYSTEM
88	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
89	100 MM COMPACTED GRANULAR FILL
90	SLAB ON GRADE, JOIST SYSTEM
91	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
92	100 MM COMPACTED GRANULAR FILL
93	SLAB ON GRADE, JOIST SYSTEM
94	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
95	100 MM COMPACTED GRANULAR FILL
96	SLAB ON GRADE, JOIST SYSTEM
97	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)
98	100 MM COMPACTED GRANULAR FILL
99	SLAB ON GRADE, JOIST SYSTEM
100	4" PORTLAND CEMENT (25 MPA) 100 MM REIN. LAYOUT (BY ARCH.)

[illegible][illegible]

# A2.02





No.	Description	Date
R1	Issued for Permit	Aug. 22, 2023
R2	Added Elevations	October 20, 2023
R3	Forwarded for Permit	March 31, 2023
R4	Added Window	July 18, 2023
R5	Added Covered Patio	August 16, 2023

DECLARATION OF DESIGNER:  
I, **Joel Sherwood**, hereby accept the responsibility for the design of the above project and I am a duly licensed professional engineer in the State of Ohio, License No. **47115**.  
AND THE PLAN IS PREPARED IN THE APPROPRIATE CLASSIFICATION AND IN THE CORRECTED STANDARD FORM.

☒ I AM A LICENSED PROFESSIONAL ENGINEER  
☐ I AM NOT A LICENSED PROFESSIONAL ENGINEER  
**Joel Sherwood**  
REGISTERED PROFESSIONAL ENGINEER  
PROFESSIONAL SEAL: 47115  
DATE: August 16, 2023

Designed by:



**Imagine**  
Your Home Inc.

Project:

**Joel Sherwood**  
Proposed Cottage

116 Woodstock Ave  
Port Rowan, ON  
N0E 1M0

Courtesy Title:

Second Floor Plan

Date:	August 16, 2023
Drawn by:	K. Sharitz
Scale:	1/4" = 1'-0"
Sheet No.:	

**A2.03**

### GENERAL NOTES

#	NOTE
1	REFER TO FRAMING LAYOUT BY AFR.
2	ALL INTERIOR PARTITION WALLS TO BE 1/2" D.U.O.

### LEGEND

#	NOTE
(S)	SHOULDER ALUMINUM TO BE INTERCONNECTED ON STROBE
(C)	CARBON MONOXIDE ALARM
(E)	EXHAUST FAN VENTED TO EXTERIOR
(PB)	FLOOR DRAIN
	LOAD BEARING WALL
	POINT LOAD

### COLUMN SCHEDULE

TYPE	DESCRIPTION
C1	1/2" PRECAST CONCRETE COLUMN
C2	1/2" PRECAST CONCRETE COLUMN
C3	1/2" PRECAST CONCRETE COLUMN
C4	1/2" PRECAST CONCRETE COLUMN
C5	1/2" PRECAST CONCRETE COLUMN
C6	1/2" PRECAST CONCRETE COLUMN
C7	1/2" PRECAST CONCRETE COLUMN
C8	1/2" PRECAST CONCRETE COLUMN
C9	1/2" PRECAST CONCRETE COLUMN
C10	1/2" PRECAST CONCRETE COLUMN
C11	1/2" PRECAST CONCRETE COLUMN
C12	1/2" PRECAST CONCRETE COLUMN
C13	1/2" PRECAST CONCRETE COLUMN
C14	1/2" PRECAST CONCRETE COLUMN
C15	1/2" PRECAST CONCRETE COLUMN
C16	1/2" PRECAST CONCRETE COLUMN
C17	1/2" PRECAST CONCRETE COLUMN
C18	1/2" PRECAST CONCRETE COLUMN
C19	1/2" PRECAST CONCRETE COLUMN
C20	1/2" PRECAST CONCRETE COLUMN
C21	1/2" PRECAST CONCRETE COLUMN
C22	1/2" PRECAST CONCRETE COLUMN
C23	1/2" PRECAST CONCRETE COLUMN
C24	1/2" PRECAST CONCRETE COLUMN
C25	1/2" PRECAST CONCRETE COLUMN
C26	1/2" PRECAST CONCRETE COLUMN
C27	1/2" PRECAST CONCRETE COLUMN
C28	1/2" PRECAST CONCRETE COLUMN
C29	1/2" PRECAST CONCRETE COLUMN
C30	1/2" PRECAST CONCRETE COLUMN
C31	1/2" PRECAST CONCRETE COLUMN
C32	1/2" PRECAST CONCRETE COLUMN
C33	1/2" PRECAST CONCRETE COLUMN
C34	1/2" PRECAST CONCRETE COLUMN
C35	1/2" PRECAST CONCRETE COLUMN
C36	1/2" PRECAST CONCRETE COLUMN
C37	1/2" PRECAST CONCRETE COLUMN
C38	1/2" PRECAST CONCRETE COLUMN
C39	1/2" PRECAST CONCRETE COLUMN
C40	1/2" PRECAST CONCRETE COLUMN
C41	1/2" PRECAST CONCRETE COLUMN
C42	1/2" PRECAST CONCRETE COLUMN
C43	1/2" PRECAST CONCRETE COLUMN
C44	1/2" PRECAST CONCRETE COLUMN
C45	1/2" PRECAST CONCRETE COLUMN
C46	1/2" PRECAST CONCRETE COLUMN
C47	1/2" PRECAST CONCRETE COLUMN
C48	1/2" PRECAST CONCRETE COLUMN
C49	1/2" PRECAST CONCRETE COLUMN
C50	1/2" PRECAST CONCRETE COLUMN
C51	1/2" PRECAST CONCRETE COLUMN
C52	1/2" PRECAST CONCRETE COLUMN
C53	1/2" PRECAST CONCRETE COLUMN
C54	1/2" PRECAST CONCRETE COLUMN
C55	1/2" PRECAST CONCRETE COLUMN
C56	1/2" PRECAST CONCRETE COLUMN
C57	1/2" PRECAST CONCRETE COLUMN
C58	1/2" PRECAST CONCRETE COLUMN
C59	1/2" PRECAST CONCRETE COLUMN
C60	1/2" PRECAST CONCRETE COLUMN
C61	1/2" PRECAST CONCRETE COLUMN
C62	1/2" PRECAST CONCRETE COLUMN
C63	1/2" PRECAST CONCRETE COLUMN
C64	1/2" PRECAST CONCRETE COLUMN
C65	1/2" PRECAST CONCRETE COLUMN
C66	1/2" PRECAST CONCRETE COLUMN
C67	1/2" PRECAST CONCRETE COLUMN
C68	1/2" PRECAST CONCRETE COLUMN
C69	1/2" PRECAST CONCRETE COLUMN
C70	1/2" PRECAST CONCRETE COLUMN
C71	1/2" PRECAST CONCRETE COLUMN
C72	1/2" PRECAST CONCRETE COLUMN
C73	1/2" PRECAST CONCRETE COLUMN
C74	1/2" PRECAST CONCRETE COLUMN
C75	1/2" PRECAST CONCRETE COLUMN
C76	1/2" PRECAST CONCRETE COLUMN
C77	1/2" PRECAST CONCRETE COLUMN
C78	1/2" PRECAST CONCRETE COLUMN
C79	1/2" PRECAST CONCRETE COLUMN
C80	1/2" PRECAST CONCRETE COLUMN
C81	1/2" PRECAST CONCRETE COLUMN
C82	1/2" PRECAST CONCRETE COLUMN
C83	1/2" PRECAST CONCRETE COLUMN
C84	1/2" PRECAST CONCRETE COLUMN
C85	1/2" PRECAST CONCRETE COLUMN
C86	1/2" PRECAST CONCRETE COLUMN
C87	1/2" PRECAST CONCRETE COLUMN
C88	1/2" PRECAST CONCRETE COLUMN
C89	1/2" PRECAST CONCRETE COLUMN
C90	1/2" PRECAST CONCRETE COLUMN
C91	1/2" PRECAST CONCRETE COLUMN
C92	1/2" PRECAST CONCRETE COLUMN
C93	1/2" PRECAST CONCRETE COLUMN
C94	1/2" PRECAST CONCRETE COLUMN
C95	1/2" PRECAST CONCRETE COLUMN
C96	1/2" PRECAST CONCRETE COLUMN
C97	1/2" PRECAST CONCRETE COLUMN
C98	1/2" PRECAST CONCRETE COLUMN
C99	1/2" PRECAST CONCRETE COLUMN
C100	1/2" PRECAST CONCRETE COLUMN

### Lintel Schedule

TYPE	DESCRIPTION
L1	1/2" PRECAST CONCRETE LINTEL
L2	1/2" PRECAST CONCRETE LINTEL
L3	1/2" PRECAST CONCRETE LINTEL
L4	1/2" PRECAST CONCRETE LINTEL
L5	1/2" PRECAST CONCRETE LINTEL
L6	1/2" PRECAST CONCRETE LINTEL
L7	1/2" PRECAST CONCRETE LINTEL
L8	1/2" PRECAST CONCRETE LINTEL
L9	1/2" PRECAST CONCRETE LINTEL
L10	1/2" PRECAST CONCRETE LINTEL
L11	1/2" PRECAST CONCRETE LINTEL
L12	1/2" PRECAST CONCRETE LINTEL
L13	1/2" PRECAST CONCRETE LINTEL
L14	1/2" PRECAST CONCRETE LINTEL
L15	1/2" PRECAST CONCRETE LINTEL
L16	1/2" PRECAST CONCRETE LINTEL
L17	1/2" PRECAST CONCRETE LINTEL
L18	1/2" PRECAST CONCRETE LINTEL
L19	1/2" PRECAST CONCRETE LINTEL
L20	1/2" PRECAST CONCRETE LINTEL
L21	1/2" PRECAST CONCRETE LINTEL
L22	1/2" PRECAST CONCRETE LINTEL
L23	1/2" PRECAST CONCRETE LINTEL
L24	1/2" PRECAST CONCRETE LINTEL
L25	1/2" PRECAST CONCRETE LINTEL
L26	1/2" PRECAST CONCRETE LINTEL
L27	1/2" PRECAST CONCRETE LINTEL
L28	1/2" PRECAST CONCRETE LINTEL
L29	1/2" PRECAST CONCRETE LINTEL
L30	1/2" PRECAST CONCRETE LINTEL
L31	1/2" PRECAST CONCRETE LINTEL
L32	1/2" PRECAST CONCRETE LINTEL
L33	1/2" PRECAST CONCRETE LINTEL
L34	1/2" PRECAST CONCRETE LINTEL
L35	1/2" PRECAST CONCRETE LINTEL
L36	1/2" PRECAST CONCRETE LINTEL
L37	1/2" PRECAST CONCRETE LINTEL
L38	1/2" PRECAST CONCRETE LINTEL
L39	1/2" PRECAST CONCRETE LINTEL
L40	1/2" PRECAST CONCRETE LINTEL
L41	1/2" PRECAST CONCRETE LINTEL
L42	1/2" PRECAST CONCRETE LINTEL
L43	1/2" PRECAST CONCRETE LINTEL
L44	1/2" PRECAST CONCRETE LINTEL
L45	1/2" PRECAST CONCRETE LINTEL
L46	1/2" PRECAST CONCRETE LINTEL
L47	1/2" PRECAST CONCRETE LINTEL
L48	1/2" PRECAST CONCRETE LINTEL
L49	1/2" PRECAST CONCRETE LINTEL
L50	1/2" PRECAST CONCRETE LINTEL
L51	1/2" PRECAST CONCRETE LINTEL
L52	1/2" PRECAST CONCRETE LINTEL
L53	1/2" PRECAST CONCRETE LINTEL
L54	1/2" PRECAST CONCRETE LINTEL
L55	1/2" PRECAST CONCRETE LINTEL
L56	1/2" PRECAST CONCRETE LINTEL
L57	1/2" PRECAST CONCRETE LINTEL
L58	1/2" PRECAST CONCRETE LINTEL
L59	1/2" PRECAST CONCRETE LINTEL
L60	1/2" PRECAST CONCRETE LINTEL
L61	1/2" PRECAST CONCRETE LINTEL
L62	1/2" PRECAST CONCRETE LINTEL
L63	1/2" PRECAST CONCRETE LINTEL
L64	1/2" PRECAST CONCRETE LINTEL
L65	1/2" PRECAST CONCRETE LINTEL
L66	1/2" PRECAST CONCRETE LINTEL
L67	1/2" PRECAST CONCRETE LINTEL
L68	1/2" PRECAST CONCRETE LINTEL
L69	1/2" PRECAST CONCRETE LINTEL
L70	1/2" PRECAST CONCRETE LINTEL
L71	1/2" PRECAST CONCRETE LINTEL
L72	1/2" PRECAST CONCRETE LINTEL
L73	1/2" PRECAST CONCRETE LINTEL
L74	1/2" PRECAST CONCRETE LINTEL
L75	1/2" PRECAST CONCRETE LINTEL
L76	1/2" PRECAST CONCRETE LINTEL
L77	1/2" PRECAST CONCRETE LINTEL
L78	1/2" PRECAST CONCRETE LINTEL
L79	1/2" PRECAST CONCRETE LINTEL
L80	1/2" PRECAST CONCRETE LINTEL
L81	1/2" PRECAST CONCRETE LINTEL
L82	1/2" PRECAST CONCRETE LINTEL
L83	1/2" PRECAST CONCRETE LINTEL
L84	1/2" PRECAST CONCRETE LINTEL
L85	1/2" PRECAST CONCRETE LINTEL
L86	1/2" PRECAST CONCRETE LINTEL
L87	1/2" PRECAST CONCRETE LINTEL
L88	1/2" PRECAST CONCRETE LINTEL
L89	1/2" PRECAST CONCRETE LINTEL
L90	1/2" PRECAST CONCRETE LINTEL
L91	1/2" PRECAST CONCRETE LINTEL
L92	1/2" PRECAST CONCRETE LINTEL
L93	1/2" PRECAST CONCRETE LINTEL
L94	1/2" PRECAST CONCRETE LINTEL
L95	1/2" PRECAST CONCRETE LINTEL
L96	1/2" PRECAST CONCRETE LINTEL
L97	1/2" PRECAST CONCRETE LINTEL
L98	1/2" PRECAST CONCRETE LINTEL
L99	1/2" PRECAST CONCRETE LINTEL
L100	1/2" PRECAST CONCRETE LINTEL

### Beam Schedule

TYPE	DESCRIPTION
B1	1/2" PRECAST CONCRETE BEAM
B2	1/2" PRECAST CONCRETE BEAM
B3	1/2" PRECAST CONCRETE BEAM
B4	1/2" PRECAST CONCRETE BEAM
B5	1/2" PRECAST CONCRETE BEAM
B6	1/2" PRECAST CONCRETE BEAM
B7	1/2" PRECAST CONCRETE BEAM
B8	1/2" PRECAST CONCRETE BEAM
B9	1/2" PRECAST CONCRETE BEAM
B10	1/2" PRECAST CONCRETE BEAM
B11	1/2" PRECAST CONCRETE BEAM
B12	1/2" PRECAST CONCRETE BEAM
B13	1/2" PRECAST CONCRETE BEAM
B14	1/2" PRECAST CONCRETE BEAM
B15	1/2" PRECAST CONCRETE BEAM
B16	1/2" PRECAST CONCRETE BEAM
B17	1/2" PRECAST CONCRETE BEAM
B18	1/2" PRECAST CONCRETE BEAM
B19	1/2" PRECAST CONCRETE BEAM
B20	1/2" PRECAST CONCRETE BEAM
B21	1/2" PRECAST CONCRETE BEAM
B22	1/2" PRECAST CONCRETE BEAM
B23	1/2" PRECAST CONCRETE BEAM
B24	1/2" PRECAST CONCRETE BEAM
B25	1/2" PRECAST CONCRETE BEAM
B26	1/2" PRECAST CONCRETE BEAM
B27	1/2" PRECAST CONCRETE BEAM
B28	1/2" PRECAST CONCRETE BEAM
B29	1/2" PRECAST CONCRETE BEAM
B30	1/2" PRECAST CONCRETE BEAM
B31	1/2" PRECAST CONCRETE BEAM
B32	1/2" PRECAST CONCRETE BEAM
B33	1/2" PRECAST CONCRETE BEAM
B34	1/2" PRECAST CONCRETE BEAM
B35	1/2" PRECAST CONCRETE BEAM
B36	1/2" PRECAST CONCRETE BEAM
B37	1/2" PRECAST CONCRETE BEAM
B38	1/2" PRECAST CONCRETE BEAM
B39	1/2" PRECAST CONCRETE BEAM
B40	1/2" PRECAST CONCRETE BEAM
B41	1/2" PRECAST CONCRETE BEAM
B42	1/2" PRECAST CONCRETE BEAM
B43	1/2" PRECAST CONCRETE BEAM
B44	1/2" PRECAST CONCRETE BEAM
B45	1/2" PRECAST CONCRETE BEAM
B46	1/2" PRECAST CONCRETE BEAM
B47	1/2" PRECAST CONCRETE BEAM
B48	1/2" PRECAST CONCRETE BEAM
B49	1/2" PRECAST CONCRETE BEAM
B50	1/2" PRECAST CONCRETE BEAM
B51	1/2" PRECAST CONCRETE BEAM
B52	1/2" PRECAST CONCRETE BEAM
B53	1/2" PRECAST CONCRETE BEAM
B54	1/2" PRECAST CONCRETE BEAM
B55	1/2" PRECAST CONCRETE BEAM
B56	1/2" PRECAST CONCRETE BEAM
B57	1/2" PRECAST CONCRETE BEAM
B58	1/2" PRECAST CONCRETE BEAM
B59	1/2" PRECAST CONCRETE BEAM
B60	1/2" PRECAST CONCRETE BEAM
B61	1/2" PRECAST CONCRETE BEAM
B62	1/2" PRECAST CONCRETE BEAM
B63	1/2" PRECAST CONCRETE BEAM
B64	1/2" PRECAST CONCRETE BEAM
B65	1/2" PRECAST CONCRETE BEAM
B66	1/2" PRECAST CONCRETE BEAM
B67	1/2" PRECAST CONCRETE BEAM
B68	1/2" PRECAST CONCRETE BEAM
B69	1/2" PRECAST CONCRETE BEAM
B70	1/2" PRECAST CONCRETE BEAM
B71	1/2" PRECAST CONCRETE BEAM
B72	1/2" PRECAST CONCRETE BEAM
B73	1/2" PRECAST CONCRETE BEAM
B74	1/2" PRECAST CONCRETE BEAM
B75	1/2" PRECAST CONCRETE BEAM
B76	1/2" PRECAST CONCRETE BEAM
B77	1/2" PRECAST CONCRETE BEAM
B78	1/2" PRECAST CONCRETE BEAM
B79	1/2" PRECAST CONCRETE BEAM
B80	1/2" PRECAST CONCRETE BEAM
B81	1/2" PRECAST CONCRETE BEAM
B82	1/2" PRECAST CONCRETE BEAM
B83	1/2" PRECAST CONCRETE BEAM
B84	1/2" PRECAST CONCRETE BEAM
B85	1/2" PRECAST CONCRETE BEAM
B86	1/2" PRECAST CONCRETE BEAM
B87	1/2" PRECAST CONCRETE BEAM
B88	1/2" PRECAST CONCRETE BEAM
B89	1/2" PRECAST CONCRETE BEAM
B90	1/2" PRECAST CONCRETE BEAM
B91	1/2" PRECAST CONCRETE BEAM
B92	1/2" PRECAST CONCRETE BEAM
B93	1/2" PRECAST CONCRETE BEAM
B94	1/2" PRECAST CONCRETE BEAM
B95	1/2" PRECAST CONCRETE BEAM
B96	1/2" PRECAST CONCRETE BEAM
B97	1/2" PRECAST CONCRETE BEAM
B98	1/2" PRECAST CONCRETE BEAM
B99	1/2" PRECAST CONCRETE BEAM
B100	1/2" PRECAST CONCRETE BEAM

### Steel Angles for Masonry Veneer Support

TYPE	DESCRIPTION
S1	1/2" PRECAST CONCRETE ANGLE
S2	1/2" PRECAST CONCRETE ANGLE
S3	1/2" PRECAST CONCRETE ANGLE
S4	1/2" PRECAST CONCRETE ANGLE
S5	1/2" PRECAST CONCRETE ANGLE
S6	1/2" PRECAST CONCRETE ANGLE
S7	1/2" PRECAST CONCRETE ANGLE
S8	1/2" PRECAST CONCRETE ANGLE
S9	1/2" PRECAST CONCRETE ANGLE
S10	1/2" PRECAST CONCRETE ANGLE
S11	1/2" PRECAST CONCRETE ANGLE
S12	1/2" PRECAST CONCRETE ANGLE
S13	1/2" PRECAST CONCRETE ANGLE
S14	1/2" PRECAST CONCRETE ANGLE
S15	1/2" PRECAST CONCRETE ANGLE
S16	1/2" PRECAST CONCRETE ANGLE
S17	1/2" PRECAST CONCRETE ANGLE
S18	1/2" PRECAST CONCRETE ANGLE
S19	1/2" PRECAST CONCRETE ANGLE
S20	1/2" PRECAST CONCRETE ANGLE
S21	1/2" PRECAST CONCRETE ANGLE
S22	1/2" PRECAST CONCRETE ANGLE
S23	1/2" PRECAST CONCRETE ANGLE
S24	1/2" PRECAST CONCRETE ANGLE
S25	1/2" PRECAST CONCRETE ANGLE
S26	1/2" PRECAST CONCRETE ANGLE
S27	1/2" PRECAST CONCRETE ANGLE
S28	1/2" PRECAST CONCRETE ANGLE
S29	1/2" PRECAST CONCRETE ANGLE
S30	1/2" PRECAST CONCRETE ANGLE
S31	1/2" PRECAST CONCRETE ANGLE
S32	1/2" PRECAST CONCRETE ANGLE
S33	1/2" PRECAST CONCRETE ANGLE
S34	1/2" PRECAST CONCRETE ANGLE
S35	1/2" PRECAST CONCRETE ANGLE
S36	1/2" PRECAST CONCRETE ANGLE
S37	1/2" PRECAST CONCRETE ANGLE
S38	1/2" PRECAST CONCRETE ANGLE
S39	1/2" PRECAST CONCRETE ANGLE
S40	1/2" PRECAST CONCRETE ANGLE
S41	1/2" PRECAST CONCRETE ANGLE
S42	1/2" PRECAST CONCRETE ANGLE
S43	1/2" PRECAST CONCRETE ANGLE
S44	1/2" PRECAST CONCRETE ANGLE
S45	1/2" PRECAST CONCRETE ANGLE
S46	1/2" PRECAST CONCRETE ANGLE
S47	1/2" PRECAST CONCRETE ANGLE
S48	1/2" PRECAST CONCRETE ANGLE
S49	1/2" PRECAST CONCRETE ANGLE
S50	1/2" PRECAST CONCRETE ANGLE
S51	1/2" PRECAST CONCRETE ANGLE
S52	1/2" PRECAST CONCRETE ANGLE
S53	1/2" PRECAST CONCRETE ANGLE
S54	1/2" PRECAST CONCRETE ANGLE
S55	1/2" PRECAST CONCRETE ANGLE
S56	1/2" PRECAST CONCRETE ANGLE
S57	1/2" PRECAST CONCRETE ANGLE
S58	1/2" PRECAST CONCRETE ANGLE
S59	1/2" PRECAST CONCRETE ANGLE
S60	1/2" PRECAST CONCRETE ANGLE
S61	1/2" PRECAST CONCRETE ANGLE
S62	1/2" PRECAST CONCRETE ANGLE
S63	1/2" PRECAST CONCRETE ANGLE
S64	1/2" PRECAST CONCRETE ANGLE
S65	1/2" PRECAST CONCRETE ANGLE
S66	1/2" PRECAST CONCRETE ANGLE
S67	1/2" PRECAST CONCRETE ANGLE
S68	1/2" PRECAST CONCRETE ANGLE
S69	1/2" PRECAST CONCRETE ANGLE
S70	1/2" PRECAST CONCRETE ANGLE
S71	1/2" PRECAST CONCRETE ANGLE
S72	1/2" PRECAST CONCRETE ANGLE
S73	1/2" PRECAST CONCRETE ANGLE
S74	1/2" PRECAST CONCRETE ANGLE
S75	1/2" PRECAST CONCRETE ANGLE
S76	1/2" PRECAST CONCRETE ANGLE
S77	1/2" PRECAST CONCRETE ANGLE
S78	1/2" PRECAST CONCRETE ANGLE
S79	1/2" PRECAST CONCRETE ANGLE
S80	1/2" PRECAST CONCRETE ANGLE
S81	1/2" PRECAST CONCRETE ANGLE
S82	1/2" PRECAST CONCRETE ANGLE
S83	1/2" PRECAST CONCRETE ANGLE
S84	1/2" PRECAST CONCRETE ANGLE
S85	1/2" PRECAST CONCRETE ANGLE
S86	1/2" PRECAST CONCRETE ANGLE
S87	1/2" PRECAST CONCRETE ANGLE
S88	1/2" PRECAST CONCRETE ANGLE
S89	1/2" PRECAST CONCRETE ANGLE
S90	1/2" PRECAST CONCRETE ANGLE
S91	1/2" PRECAST CONCRETE ANGLE
S92	1/2" PRECAST CONCRETE ANGLE
S93	1/2" PRECAST CONCRETE ANGLE



GENERAL NOTES

1. REFER TO FRAMING LAYOUT BY JLN.
2. ALL FINISHED OVERLAYS TO BE 2" U.L.O.

LEGEND

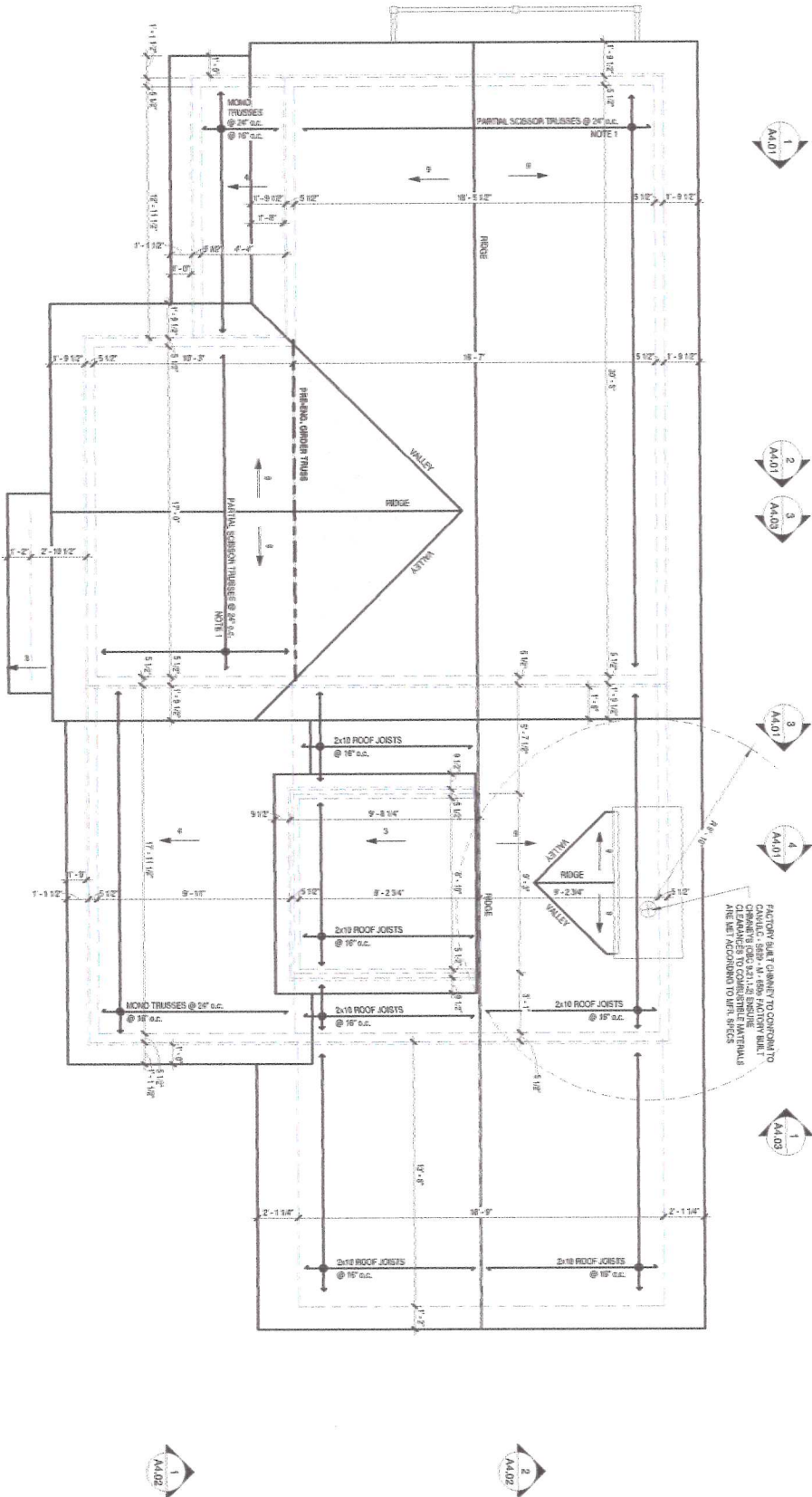
#	NOTE
1	POINT LOAD
2	EXTENT OF STUD BELOW
3	EXTENT OF FINISHED FACE BELOW
4	CENTRELINE OF BEAM BELOW
5	OVERLAY FRAMING WITH 1/2" PARTERS @ 24" o.c.

CEILING SCHEDULE

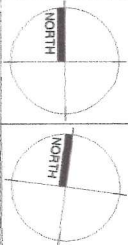
TYPE	CEILING CONSTRUCTION
INTERIOR CEILING - ATTIC SPACE	1. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	2. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	3. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	4. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	5. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	6. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	7. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	8. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	9. 1/2" GYPSUM BOARD @ 12" o.c.
CEILING FINISHES	10. 1/2" GYPSUM BOARD @ 12" o.c.

ROOF SCHEDULE

TYPE	ROOF CONSTRUCTION
INTERIOR ROOF	1. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	2. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	3. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	4. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	5. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	6. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	7. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	8. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	9. 1/2" GYPSUM BOARD @ 12" o.c.
INTERIOR ROOF	10. 1/2" GYPSUM BOARD @ 12" o.c.



THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF IMAGINE YOUR HOME INC. THEY ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF IMAGINE YOUR HOME INC.



No.	Description	Date
R1	Issued for Permit	Aug. 22, 2023
R2	Added Elevations	October 20, 2023
R3	Revised for Permit	March 31, 2023
R4	Added Window	July 18, 2023
R5	Added Covered Patio	August 18, 2023

DECLARATION OF DESIGNER:  
I, the undersigned, being a duly Licensed Professional Engineer, do hereby certify that I am the Designer of the above described project and that I am a duly Licensed Professional Engineer in the State of Ontario, Canada.  
SIGNATURE OF DESIGNER: *Michael W. W. W.*  
DATE: August 18, 2023

Designed By:



Project: **Imagine Your Home**

Joel Sherwood  
Proposed Cottage

116 Woodstock Ave  
Port Rowan, ON  
N0E 1W0

Roof Plan

Date: August 18, 2023  
Drawn by: K. Stenz  
Scale: 1/4" = 1'-0"

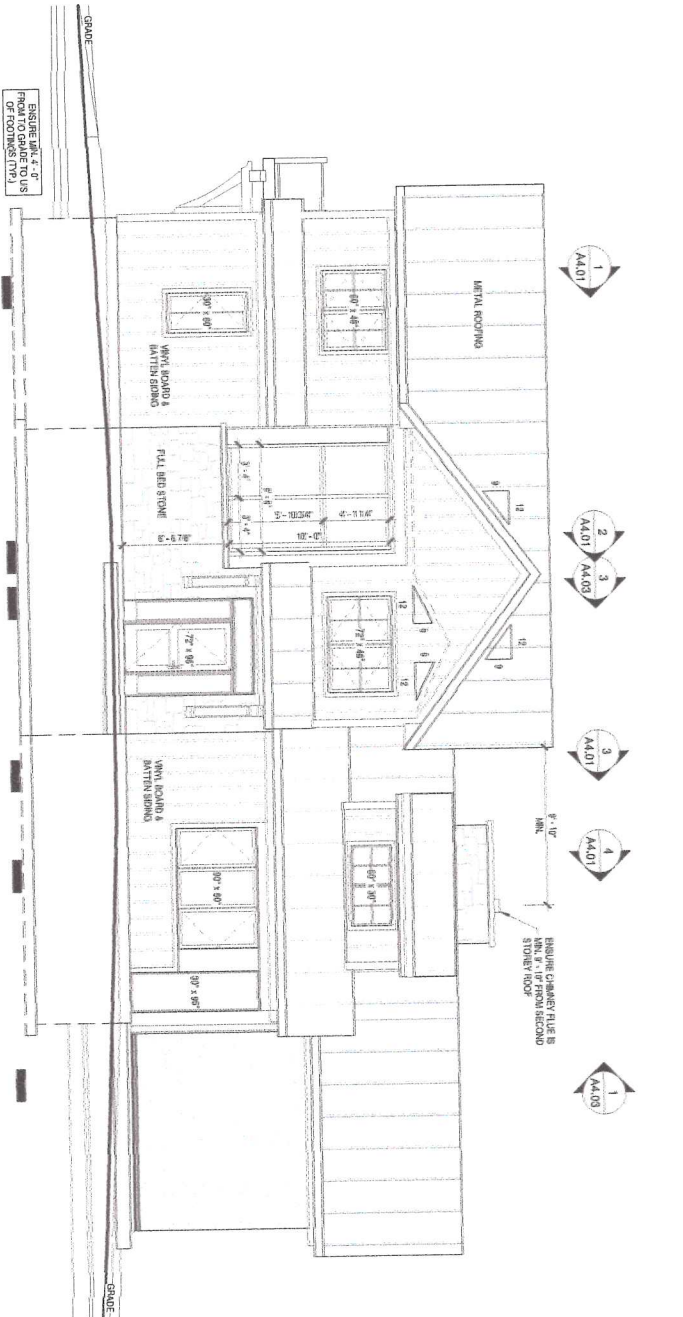
**A2.04**

THIS DOCUMENT AND ANY CONTENTS OF SAME ARE THE PROPERTY OF IMAGINE YOUR HOME INC. NO PART BE REPRODUCED, ALTERED OR REUSED WITHOUT THE WRITTEN PERMISSION OF IMAGINE YOUR HOME INC. EXPRESS WRITTEN CONSENT OF IMAGINE YOUR HOME INC.

Project Name	True North
No.	
Description	
Issued For Permit	Aug. 22, 2023
Issued For Permit	Oct. 23, 2023
Issued For Permit	March 31, 2023
Issued For Permit	July 18, 2023
Issued For Permit	August 16, 2023

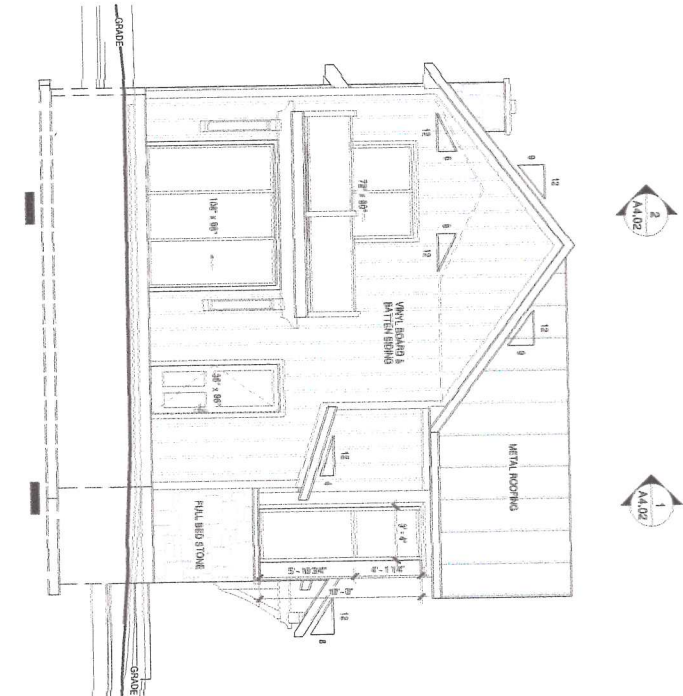
DECLARATION OF DESIGNER:  
I, the undersigned, being a duly licensed architect under the laws of the Province of Ontario, and being duly sworn, depose and say that the plans and specifications herein are true and correct to the best of my knowledge and belief, and that I am a duly licensed architect under the laws of the Province of Ontario.

☒ SMALL BUILDING  
☐ LARGE BUILDING  
Kendrick Kuyper  
Professional Seal #11116  
August 16, 2023  
p1/6



TO Second Floor Walls 182.28 m 18' - 0 1/8"  
TO Dormer Walls 182.07 m 17' - 0"  
TO Great Room Walls 180.57 m 12' - 1"  
TO Second Floor 179.82 m 9' - 11 1/8"  
TO Main Floor Walls 179.66 m 9' - 1"  
TO Main Floor & Foundation 178.68 m  
TO Footings 175.11 m 5' - 10"

1 WEST ELEVATION  
3/16" = 1'-0"



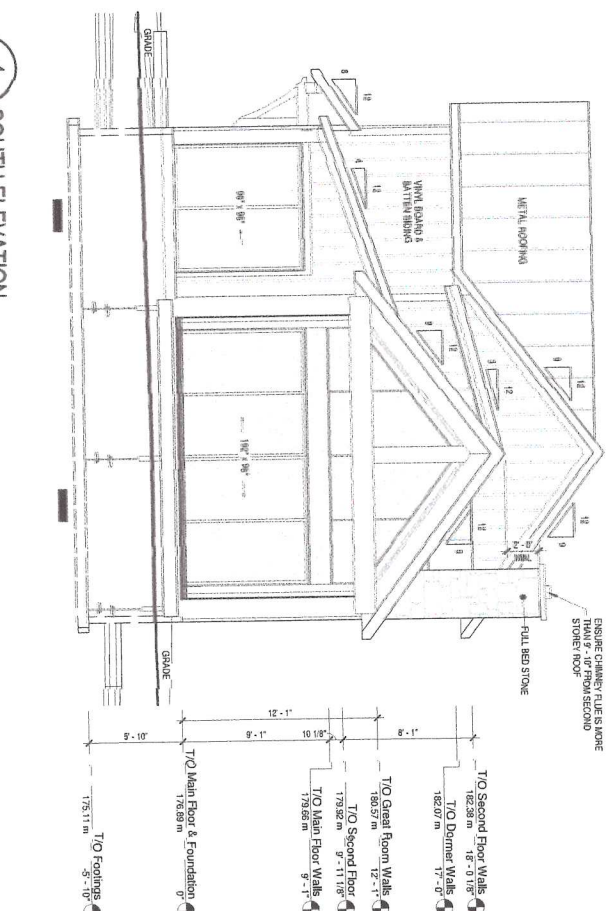
TO Second Floor Walls 182.28 m 18' - 0 1/8"  
TO Dormer Walls 182.07 m 17' - 0"  
TO Great Room Walls 180.57 m 12' - 1"  
TO Second Floor 179.82 m 9' - 11 1/8"  
TO Main Floor Walls 179.66 m 9' - 1"  
TO Main Floor & Foundation 178.68 m  
TO Footings 175.11 m 5' - 10"

2 NORTH ELEVATION  
3/16" = 1'-0"



TO Second Floor Walls 182.28 m 18' - 0 1/8"  
TO Dormer Walls 182.07 m 17' - 0"  
TO Great Room Walls 180.57 m 12' - 1"  
TO Second Floor 179.82 m 9' - 11 1/8"  
TO Main Floor Walls 179.66 m 9' - 1"  
TO Main Floor & Foundation 178.68 m  
TO Footings 175.11 m 5' - 10"

3 EAST ELEVATION  
3/16" = 1'-0"



TO Second Floor Walls 182.28 m 18' - 0 1/8"  
TO Dormer Walls 182.07 m 17' - 0"  
TO Great Room Walls 180.57 m 12' - 1"  
TO Second Floor 179.82 m 9' - 11 1/8"  
TO Main Floor Walls 179.66 m 9' - 1"  
TO Main Floor & Foundation 178.68 m  
TO Footings 175.11 m 5' - 10"

4 SOUTH ELEVATION  
3/16" = 1'-0"

1116 Woodstock Ave  
Port Rowan, ON  
N0E 1M0  
Drawing Title:

Elevations

Date: August 16, 2023

Drawn By: K. Shantz

Scale: 3/16" = 1'-0"

Sheet No.:

A3.01
















CONTEXT MAP

Geographic Township of SOUTH WALSINGHAM

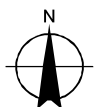


Legend

 Subject Lands

2020 Air Photo

9/19/2023



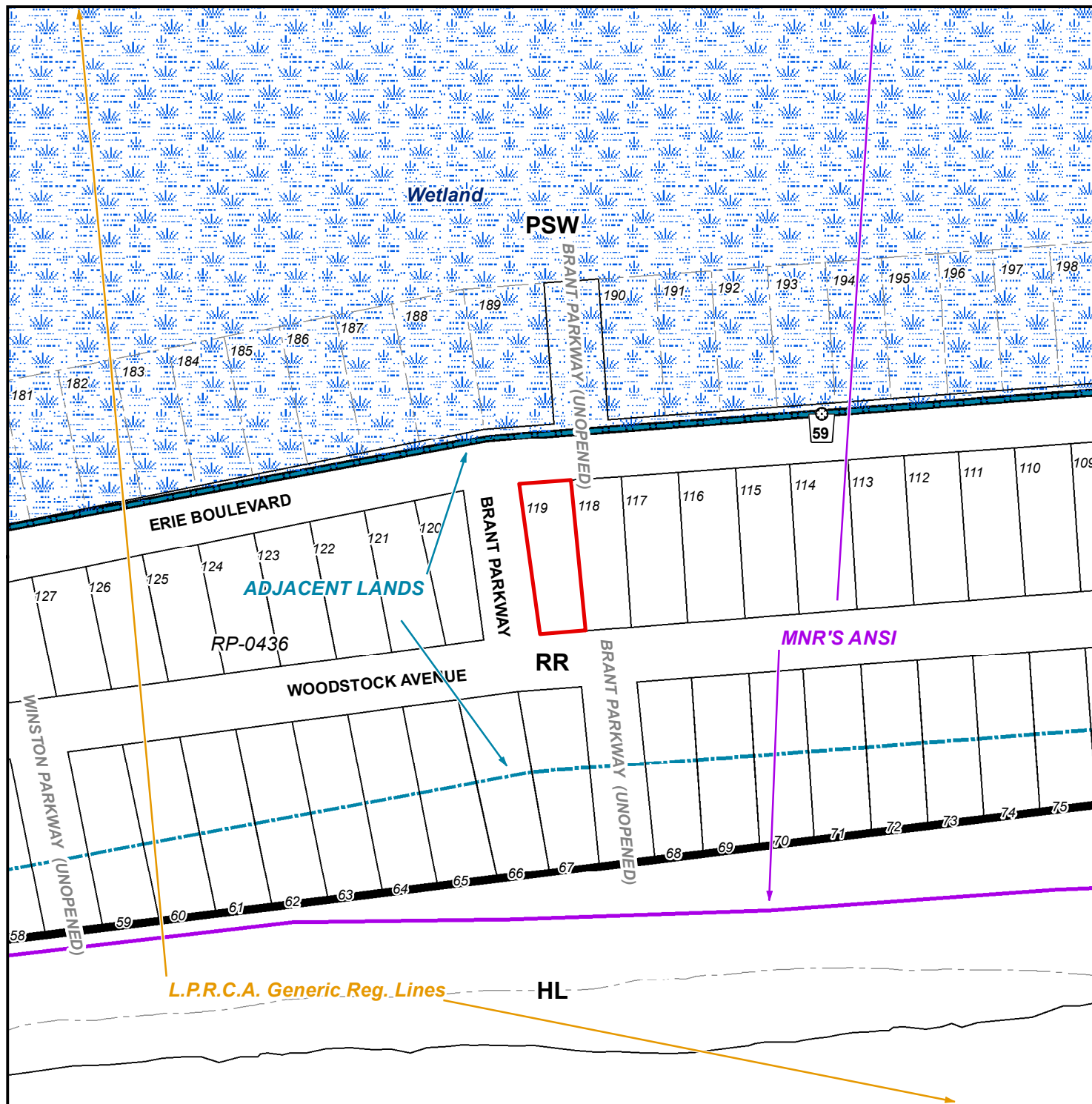
25 12.5 0 25 50 75 100 Meters

# MAP B

## ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2023274



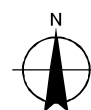
### LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone

9/19/2023

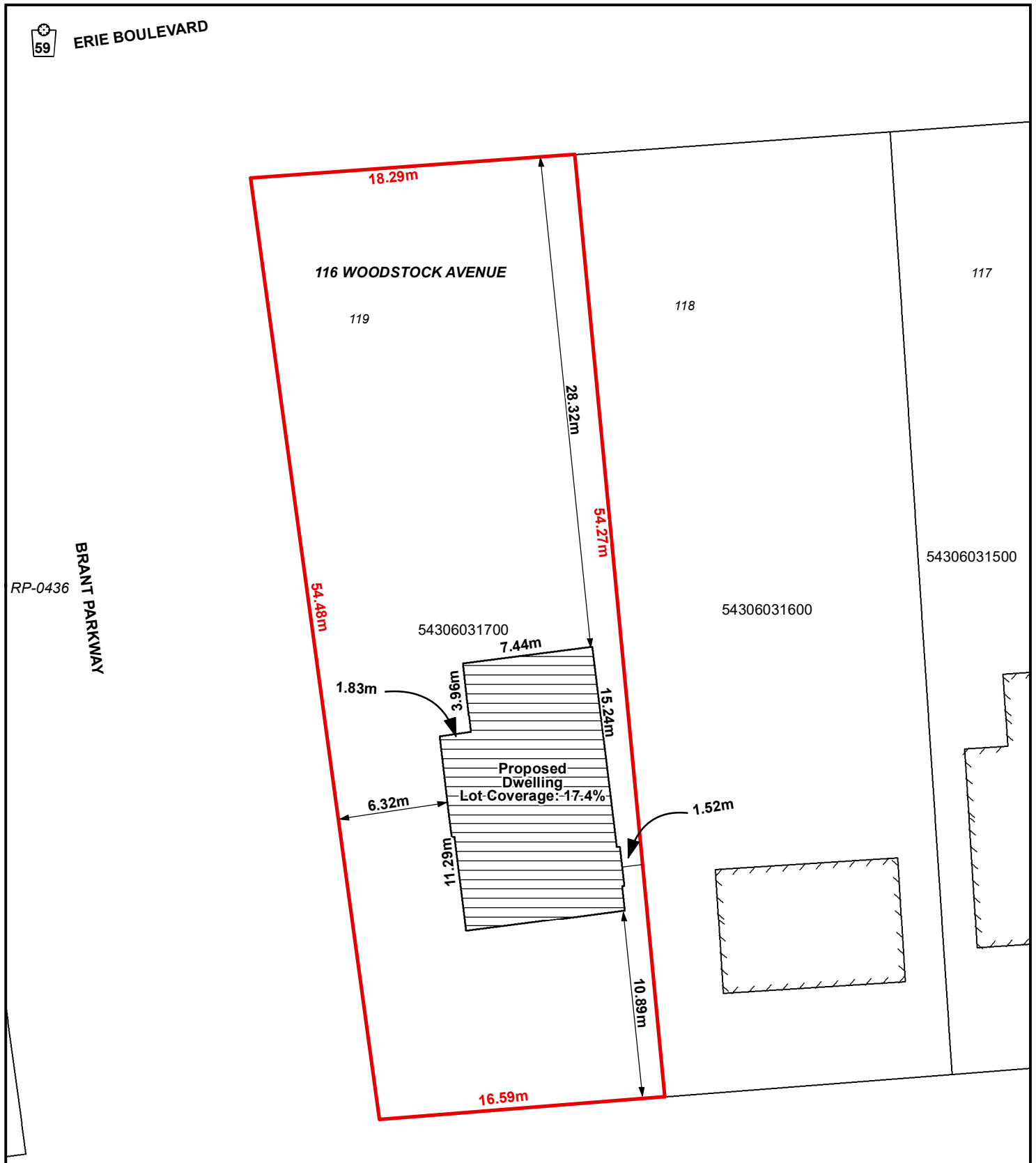


10 5 0 10 20 30 40  
Meters



# CONCEPTUAL PLAN

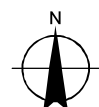
Geographic Township of SOUTH WALSINGHAM



## Legend

Subject Lands

9/19/2023

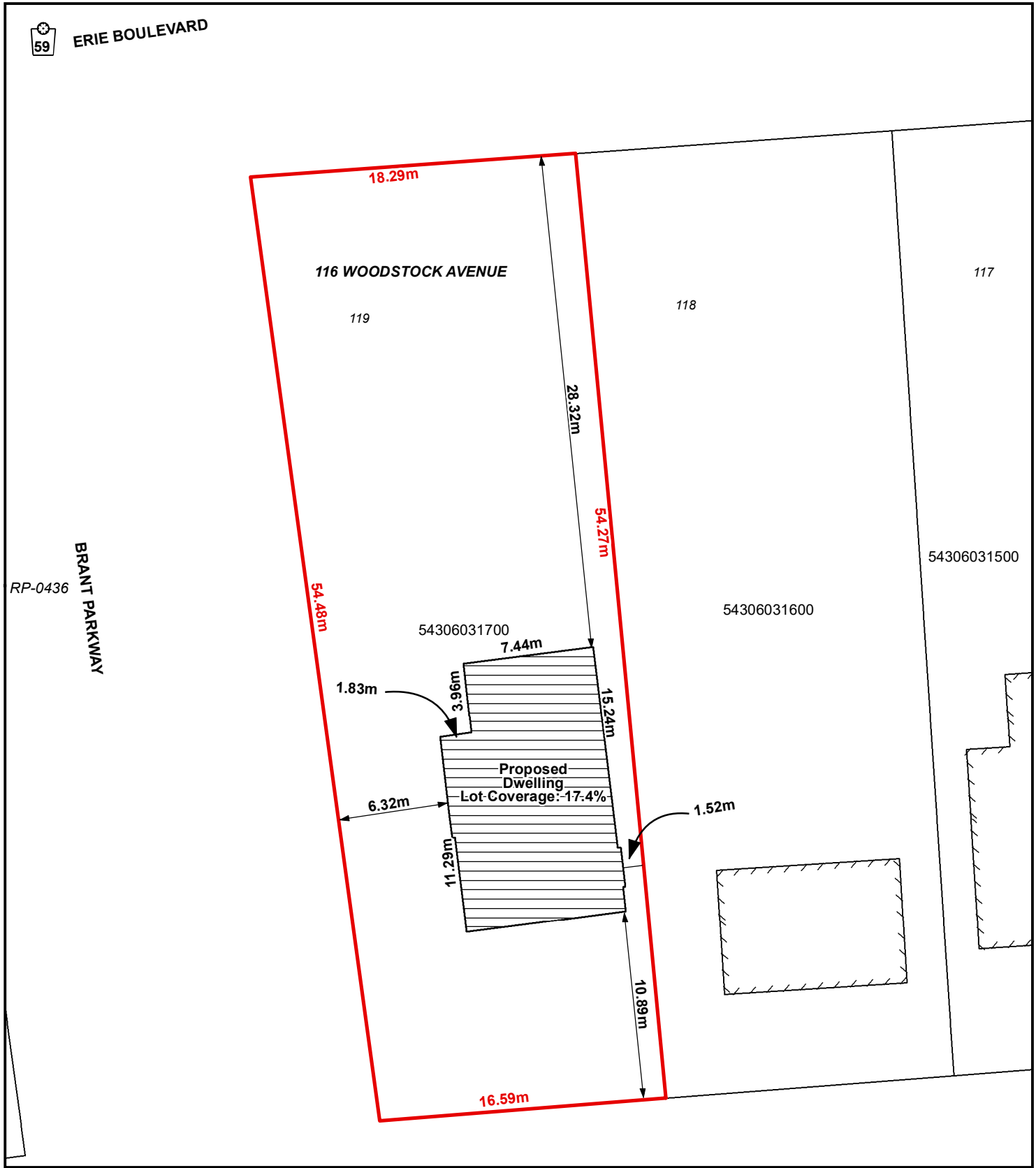


2.5 1.25 0 2.5 5 7.5 10 Meters




CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

 Subject Lands

9/19/2023

