

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.
5. The completed application and fees are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca

For Office Use Only:

File Number	<u>ANPL2023315</u>	Application Fee	<u>\$2743.00</u>
Related File Number	<u></u>	Conservation Authority Fee	<u>Yes.</u>
Pre-consultation Meeting	<u></u>	Well & Septic Info Provided	<u>N/A</u>
Application Submitted	<u>Jan.23.2024</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>Feb.28.2024</u>	Public Notice Sign	<u></u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 49305009200**A. Applicant Information****Name of Owner** John Krushel

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 552 Charlotteville Road 5**Town and Postal Code** Simcoe, ON N3Y 4K1**Phone Number** **Cell Number** 519-533-2107**Email** whrexexcavating@bellnet.ca**Name of Applicant** 2478153 Ontario Inc. o/a Girard Engineering (c/o Drew Fallowfield)**Address** 682 Peel Street**Town and Postal Code** Woodstock, ON N4S 1L3**Phone Number** 519-879-6875**Cell Number** **Email** dfallowfield@girardengineering.ca

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

TD Bank, 380 Wellington Street - Suite 1700, London, ON N6A 5B5

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

CHR CON 4 PT LOT 7 RP 37R8618 PART 1

Municipal Civic Address: 552 Charlotteville Road 5, Simcoe ON N3Y 4K1

Present Official Plan Designation(s): Rural Area

Present Zoning: A - Agricultural & PSW - Provincially Significant Wetland

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

House (to be retained), Pool Equipment Shed (to be retained), Garden Shed (to be retained)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Detached Garage (see plans attached)

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

15 Years

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

AS IT PERTAINS TO DETACHED GARAGE ONLY

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	7.195.10m		30.00m	Same As Ex.	NONE
Lot depth	7.707.11m		—	Same As Ex.	NONE
Lot width	7.195.10m		—	Same As Ex.	NONE
Lot area	7.137,957.34sqm		40 m	Same As Ex.	NONE
Lot coverage	—		10% of lot area to max of 200m ²	4 .67 q.m	+233.67sq.m
Front yard	—		Accessory Building 6.00m	+/-120.00m	NONE
Rear yard	—		1.2m	+/-539.00m	NONE
Height	—		Accessory Building 8.00m	0.0 m	.0 m
Left Interior side yard	—		Accessory Building 1.2m	+/-111.00m	NONE
Right Interior side yard	—		Accessory Building 1.2m	1-76.00m	NONE
Exterior side yard (corner lot)	—	—	—	—	—
Parking Spaces (number)	—	—	—	—	—
Aisle width	—	—	—	—	—
Stall size	—	—	—	—	—
Loading Spaces	—	—	—	—	—
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Size of building required for vehicular storage exceeds what by-law allows for / Height of building exceeds what by-law allows for in order to match same roof lines as existing residence

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions:
Prior to development the lot was originally a bush lot

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☒ within 500 meters – distance _____

Wooded area

☒ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☒ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☒ Individual wells

- ☐ Communal wells
☐ Other (describe below)
-

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)
-

Storm Drainage

- ☐ Storm sewers
☒ Other (describe below)
- ☒ Open ditches
-

Surface drainage

2. Existing or proposed access to subject lands:

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

Charlottesville Road 5

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

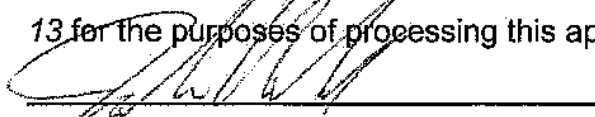
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.


Owner/Applicant/Agent Signature

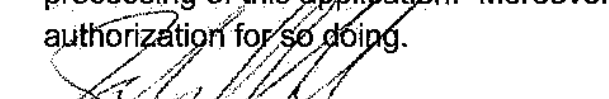
Oct 10 2023
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We John Krushel am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Drew Fallowfield to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner

Oct 10 / 2023
Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, ANDREW THOMAS FIELD of Norfolk County
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Hannelore Tenley Yager

[Signature]
Owner/Applicant/Agent Signature

In Norfolk County

This 30th day of October

A.D., 2023

[Signature]
A Commissioner, etc.

Hannelore Tenley Yager, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County,
Expires November 21, 2025.

OWNERS:

DRAWING LIST:

- S1 - FOUNDATION PLAN
- S2 - FRAMING & BRACING PLAN
- S3 - ROOF FRAMING & BRACING PLAN
- S4 - NOTES & WALL SECTIONS
- S5 - ELEVATIONS
- S6 - ELEVATIONS

JOHN & JACKIE KRUSHEL

552 CHARLOTTEVILLE ROAD 5
SIMCOE, ONTARIO N3Y 4K1

DESIGNED BY:

girard
ENGINEERING

2478153 ONTARIO INC.

212 MAIN STREET WEST P.O. Box 98
OTTERVILLE, ONTARIO N0J 1R0

TEL: 1-519-879-6875
FAX: 1-519-879-6536

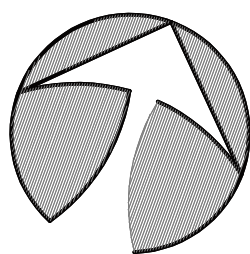
EMAIL: INFO@GIRARDENGINEERING.CA

MUNICIPALITY:

NORFOLK COUNTY

ROBINSON ADMINISTRATION BUILDING
185 ROBINSON STREET, SUITE 200
SIMCOE, ONTARIO N3Y 5L6
PHONE: 519-519-426-5870

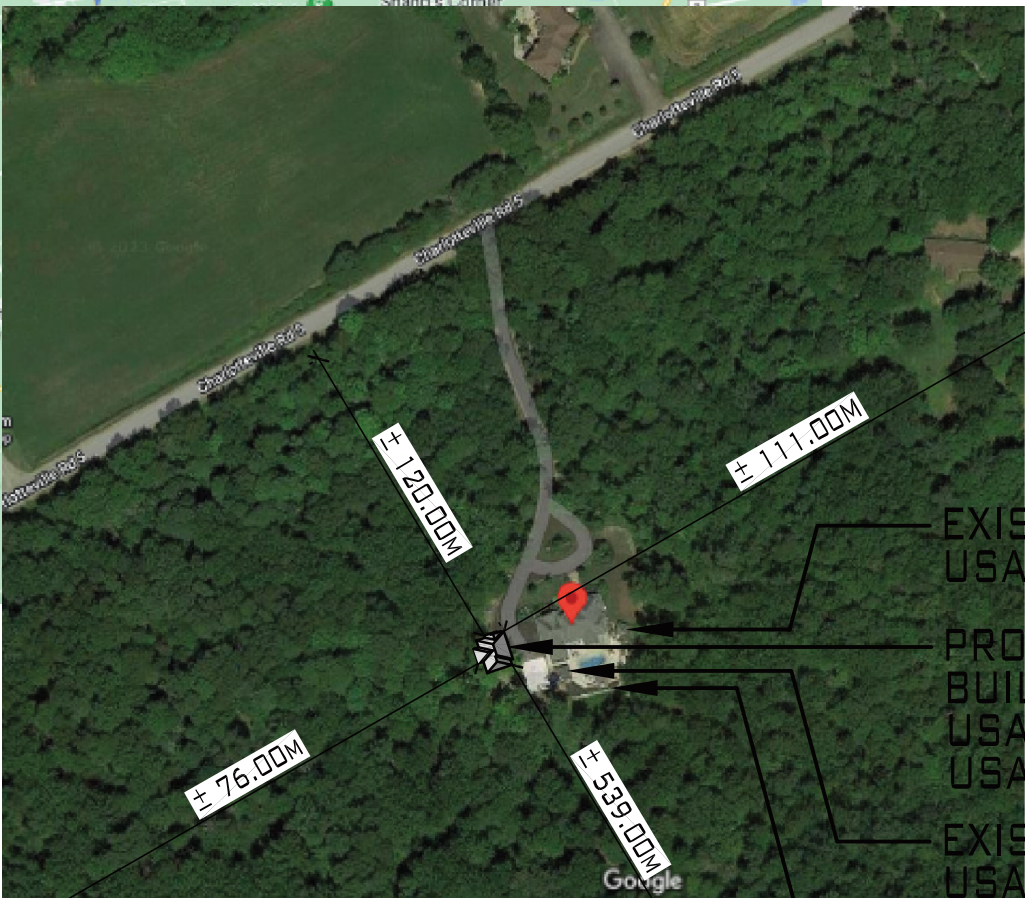
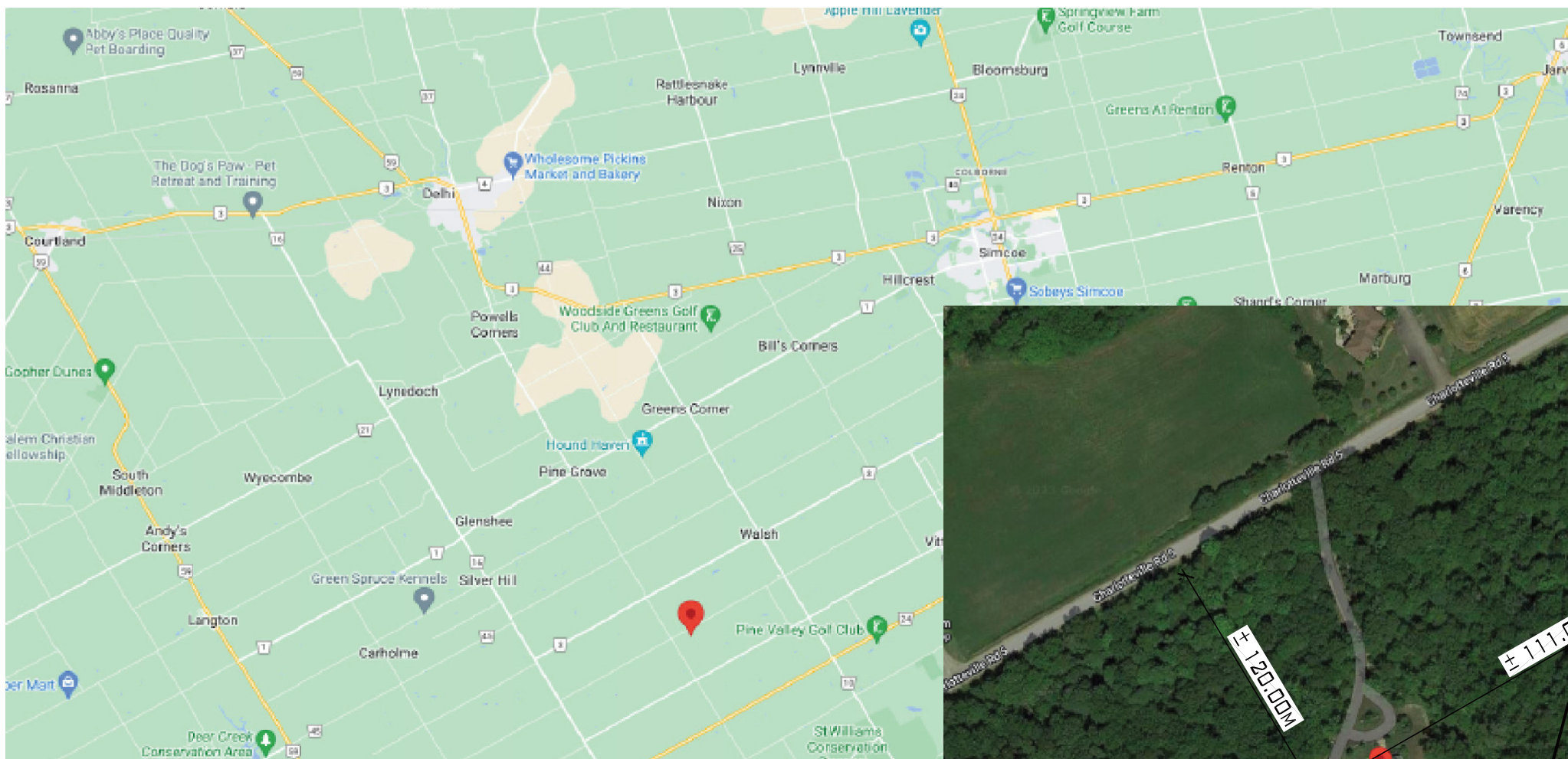
CONSTRUCTED BY:



ACTUAL NORTH



BUILDING ELEVATION



MAP

- EXISTING GARDEN SHED
USABLE FLOOR AREA MAIN FLOOR = 80.00sq FT (7.43sq M)
- PROPOSED GARAGE LOCATION (±24.38M FROM EX. HOUSE)
BUILDING HEIGHT = -1" (10 0
- USABLE FLOOR AREA MAIN FLOOR = 3274.50sq FT (304.21sq M)
- USABLE FLOOR AREA MEZZANINE + STAIRS + DECK = 625.49sq FT (58.11sq M)
- EXISTING POOL EQUIPMENT SHED
USABLE FLOOR AREA MAIN FLOOR = 80.00sq FT (7.43sq M)
- EXISTING PERGOLA STRUCTURE
USABLE FLOOR AREA MAIN FLOOR = 608.00sq FT (56.49sq M)

2012 ONTARIO BUILDING CODE MATRIX - PARTS 3 & 9

PROJECT DESCRIPTION:	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 1.1	<input type="checkbox"/> PART 3 (DIVISION)	<input checked="" type="checkbox"/> PART 9 (DIVISION)
MAJOR OCCUPANCY(S):	<input type="checkbox"/> ADDITION	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> PART 1.10	1.1.2.(A)	1.1.2.(A) / 9.10.1.3.(B)
BUILDING AREA (M²):	GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCY			3.1.2.1.1.(B)	9.10.2.(B)
GROSS AREA (M²):	EXISTING: 0.00	NEW: 304.21	TOTAL: 304.21	1.4.1.2.(A)	1.4.1.2.(A)
MEZZANINE AREA (M²):	EXISTING: 0.00	NEW: 362.32	TOTAL: 362.32	1.4.1.2.(A)	1.4.1.2.(A)
NUMBER OF STOREYS:	EXISTING: 0.00	NEW: 31.22	TOTAL: 31.22	3.2.1.1.(B)	9.10.4.1.(B)
NUMBER OF STREETS (FIRE ROUTES):	ABOVE GRADE: 1	BELOW GRADE: 0		1.4.1.2.(A) / 3.2.1.1.(B)	1.4.1.2.(A) / 9.10.4.(B)
BUILDING CLASSIFICATION:	GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCY			3.2.2.10.(B) / 3.2.5.(B)	9.10.20.(B)
SPRINKLERED BUILDING:	<input type="checkbox"/> NOT PROVIDED / REQUIRED	<input type="checkbox"/> ROOF ONLY		3.2.2.20.(B3.(B)	9.10.8.2.(B)
	<input type="checkbox"/> PROVIDED VOLUNTARILY	<input type="checkbox"/> BASEMENT ONLY		3.2.1.5.(B)	9.10.20.2.(B)
	<input type="checkbox"/> ENTIRE REQUIRED	<input type="checkbox"/> LIEU OF RATINGS/COMPARTMENT(S)		3.2.2.17.(B)	9.10.16.1.(B)
	<input type="checkbox"/> AREA(S) REQUIRED	<input type="checkbox"/> LIEU OF NON-COMBUSTIBLE(S)		3.6.2.5.(B)	
STANDPIPE REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	3.2.9.(B)	
FIRE ALARM REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	3.2.4.(B)	9.10.18.(B)
ADEQUATE FIRE FIGHTING WATER SUPPLY:	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.5.7.(B)	
HIGH BUILDING:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.6.(B)	
PERMITTED CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE	<input checked="" type="checkbox"/> BOTH		
ACTUAL CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE	<input checked="" type="checkbox"/> BOTH	3.2.2.20.(B3.(B)	9.10.6.(B)
OCCUPANT LOAD BASED ON:	<input checked="" type="checkbox"/> POSTED LOAD	<input type="checkbox"/> AREA (M²) / PERSON		3.1.17.(B)	9.9.1.3.(B)
BASEMENT:					
1st FLOOR:					
2nd FLOOR:					
3rd FLOOR:					
BARRIER FREE DESIGN:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		3.8.(B)	9.5.2.(B)
SPECIAL PROTECTION:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.3.1.2.(B) / 3.3.1.19.(B)	9.10.1.3.(B)
FIRE RESISTANCE RATING:		HOURS	LISTED DESIGN NO. OR DESCRIPTION (ISG-2)	3.2.2.20.(B3.(B)	9.10.8.(B)
				3.2.1.4.(B)	9.10.9.(B)
FLOOR ASSEMBLIES:		N/A	N/A		
ROOF ASSEMBLIES:		N/A	N/A		
MEZZANINE ASSEMBLIES:		N/A	N/A		
FLOOR STRUCTURAL MEMBERS:		N/A	N/A		
ROOF STRUCTURAL MEMBERS:		N/A	N/A		
MEZZANINE STRUCTURAL MEMBERS:		N/A	N/A		
SPATIAL SEPARATION: (CONSTRUCTION OF EXTERIOR WALLS) - OF NEW CONSTRUCTION ONLY				3.2.3.(B)	9.10.14.(B)

WALL (PROPOSED BUILDING)	AREA OF EBF (M²)	L.D. (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	F.R.R. (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONST.
NDRTH	64.26	±120.00	3:1 TO 10:1	100.00	10.38					
EAST	82.04	±111.00	3:1 TO 10:1	100.00	56.17					
SOUTH	64.26	±539.00	3:1 TO 10:1	100.00	7.24					
WEST	82.04	±76.00	3:1 TO 10:1	100.00	6.03					

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

REVISED & RE-ISSUED FOR:

PERMIT & CONSTRUCTION
JANUARY 16, 2024



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CONSTRUCTED BY

DESIGNED BY:

girard
ENGINEERING
2478153 ONTARIO INC.
100 MAIN STREET WEST P.O. BOX 98
OTTAWA, ONTARIO K1P 1R0
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA



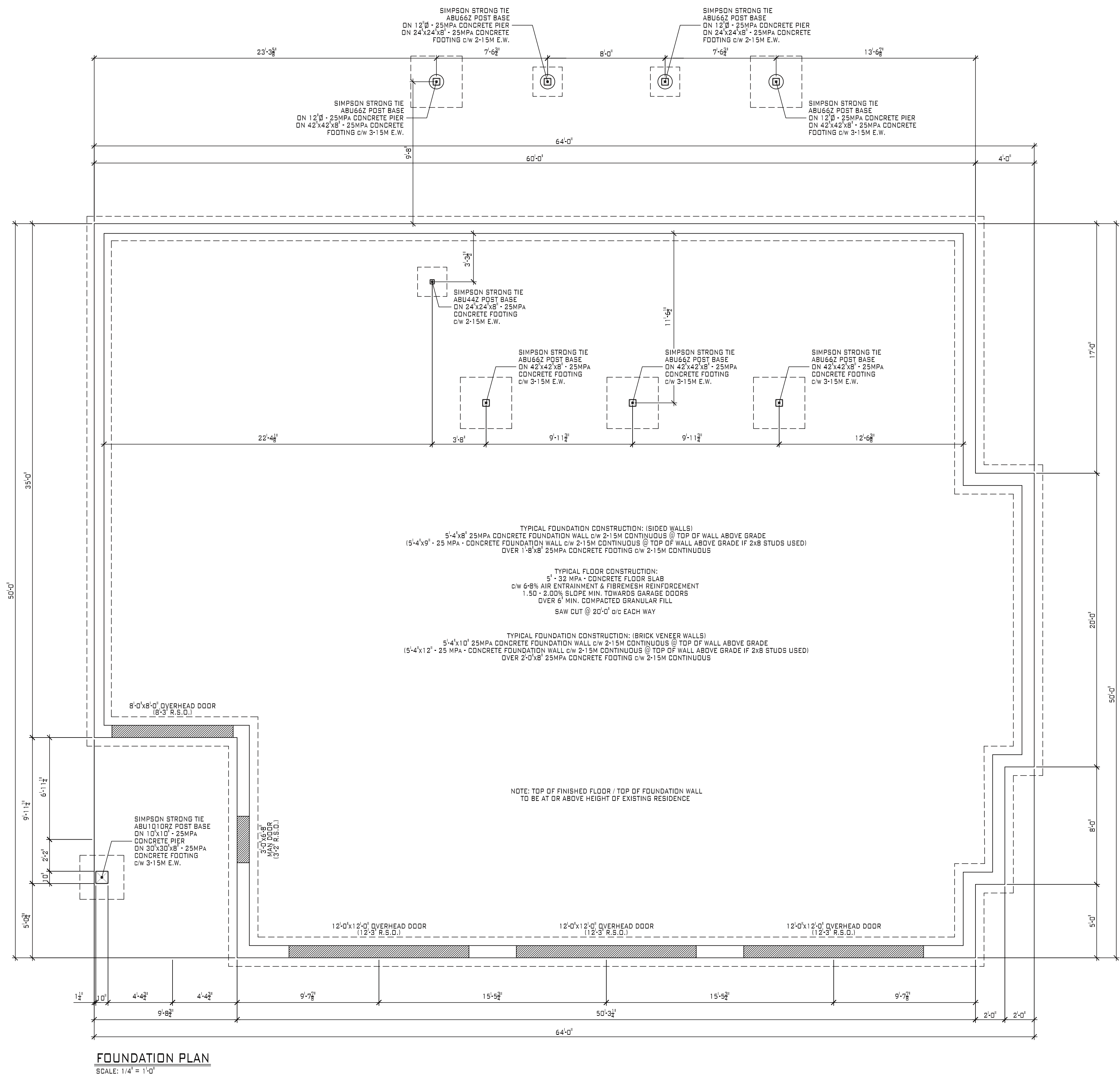
DESIGNED FOR

JOHN & JACKIE KRUSHEL
552 CHARLOTTEVILLE ROAD 5
SIMCOE, ONTARIO N3Y 4K1

PROPOSED NEW GARAGE

FOUNDATION PLAN

SCALE:	1/4" = 1'-0"	DRAWING NO: S-1
DATE:	JULY 2023	
DRAWING BY:	D. FALLOWFIELD	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	23-???	



DOOR CUT OVERPOUR DETAIL
SCALE: N.T.S.

[illegible]

DESIGNED BY:

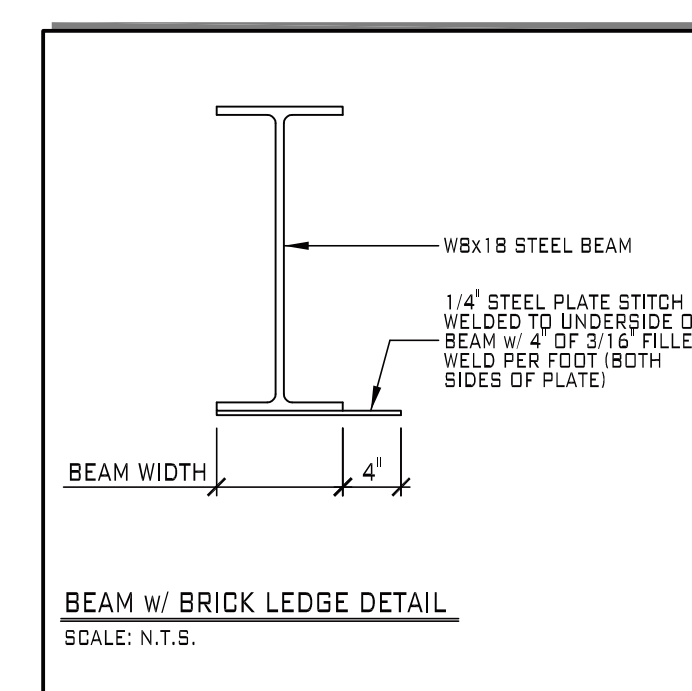
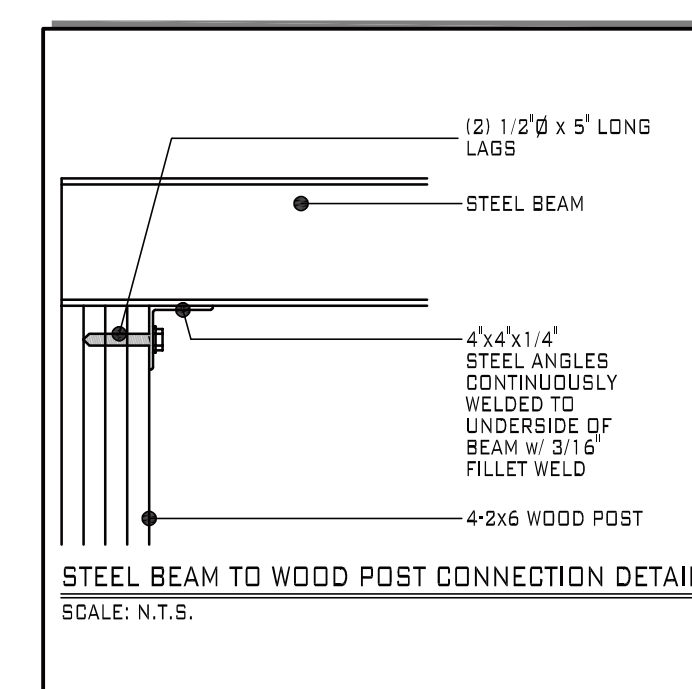
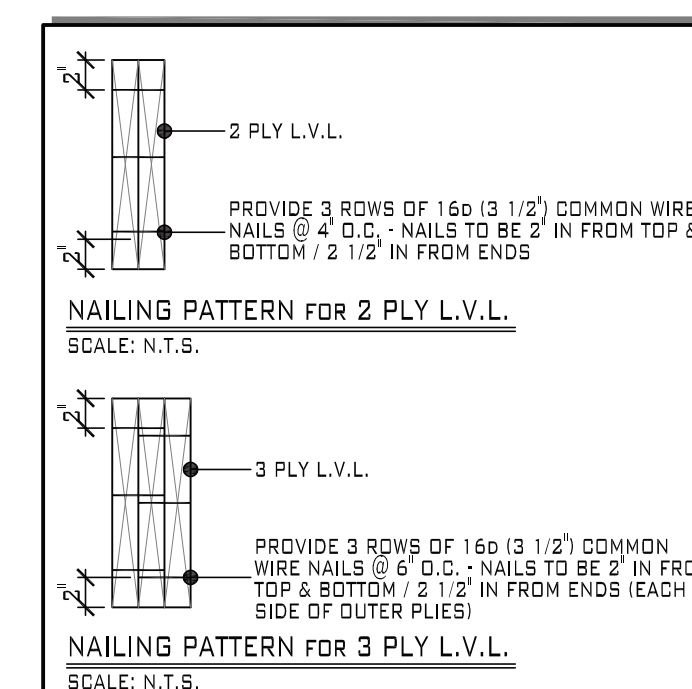
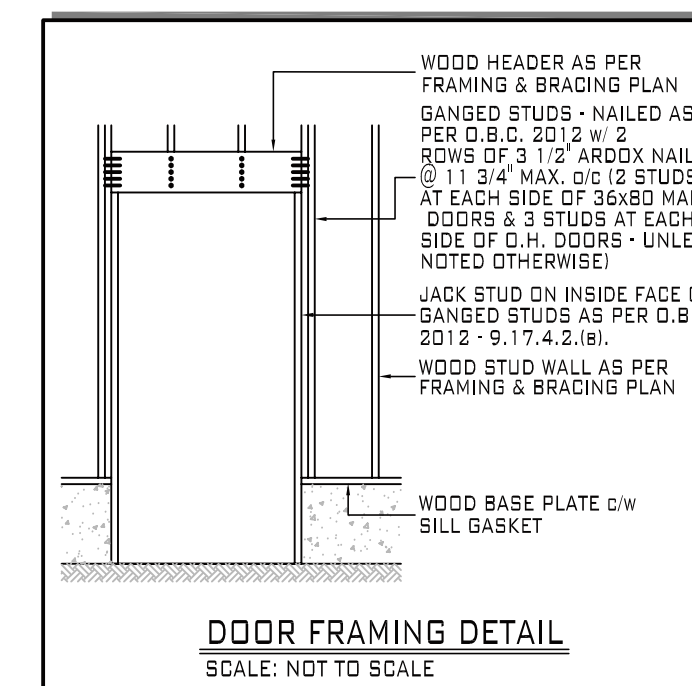


DESIGNED FOR

PROPOSED NEW GARAGE

FRAMING & BRACING PLAN

S-2





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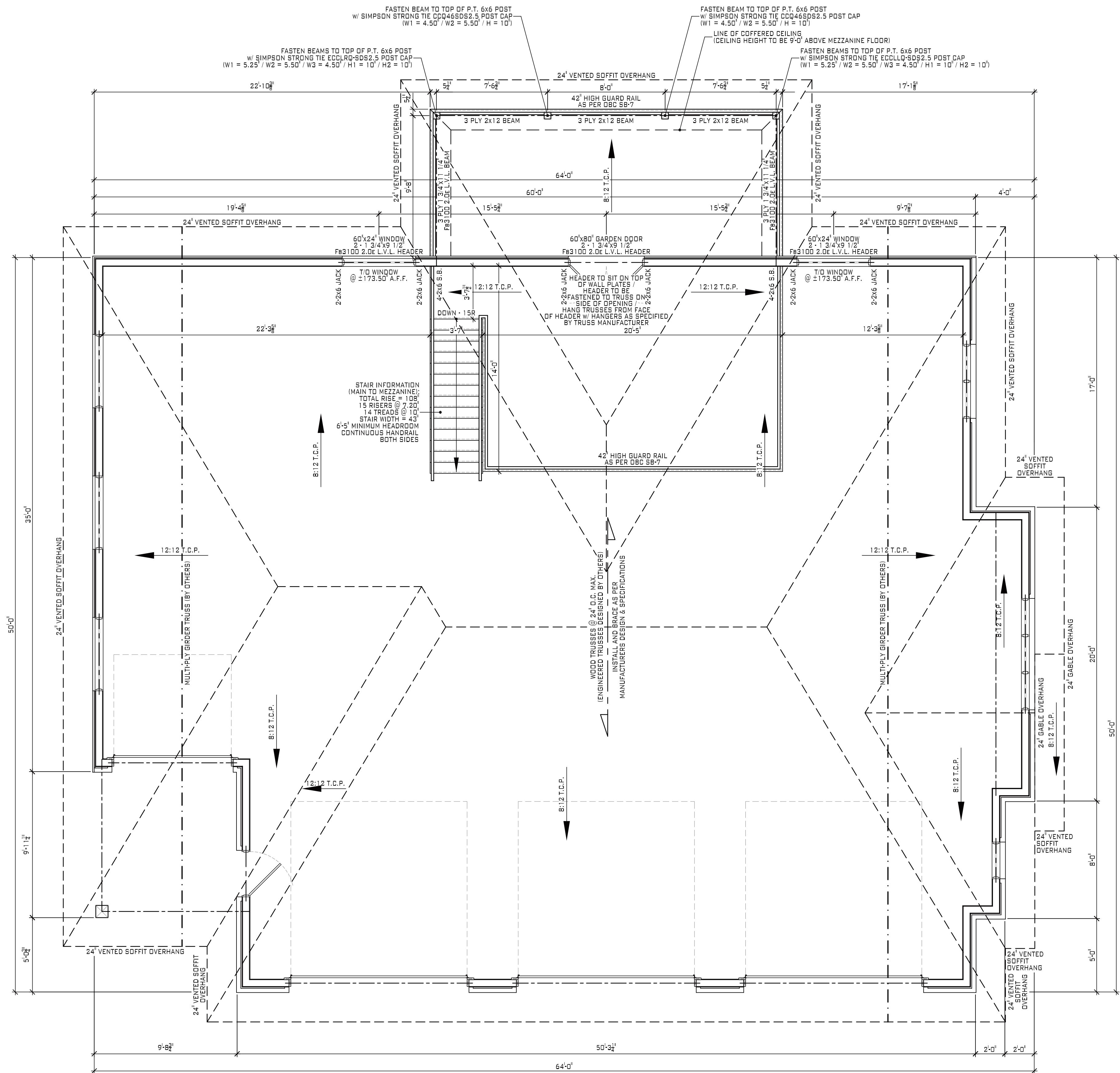
DESIGNED FOR

JOHN & JACKIE KRUSHEL
552 CHARLOTTEVILLE ROAD 5
SIMCOE, ONTARIO N3Y 4K1

PROPOSED NEW GARAGE

ROOF FRAMING & BRACING PLAN

SCALE:	1/4" = 1'-0"	DRAWING NO: S-3
DATE:	JULY 2023	
DRAWING BY:	D. FALLOWFIELD	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	23-???	



ROOF FRAMING & BRACING PLAN
SCALE: 1/4" = 1'-0"

DESIGN LOADS: (SIMCOE, ONTARIO)

- GROUND SNOW LOAD 1.30kPa (27.15psf), 5R 0.40kPa (8.35psf)
- WIND LOADS 1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)

GENERAL NOTES:

- ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE (O.B.C.) 2012 PART 9.
- CONTRACTOR TO REFER TO APPLICABLE CODES LISTED FOR MINIMUM CONSTRUCTION REQUIREMENTS, PROJECT SITE CONDITIONS, AND APPLICABLE PROJECT DESIGN.

CONSTRUCTION NOTES:

- ALL EXCAVATION & BACKFILL WORKS TO COMPLY WITH O.B.C. 2012 SECTION 9.12.
- MINIMUM FROST COVER TO BE 4'-0" TO UNDERSIDE OF FOOTING.
- BOTTOM OF EXCAVATION TO BE FREE OF ALL ORGANIC MATERIAL.
- EXCAVATION SHALL EXTEND TO UNDISTURBED SOIL.
- ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A CERTIFIED SOIL CONSULTANT.
- DAMPPROOFING, WATERPROOFING, AND SOIL GAS CONTROL TO COMPLY WITH O.B.C. 2012 SECTION 9.13.
- ALL DRAINAGE WORK, APPLICATION AND DISPOSAL OF TO COMPLY WITH O.B.C. 2012 SECTION 9.14.
- FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. 2012 SECTION 9.15.
- ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 KPA (1570 psf).
- VERTICAL RISE FOR STEPPED FOOTINGS TO BE 24" MAXIMUM IN CLAY CONDITIONS & 16" MAXIMUM IN SANDY CONDITIONS.
- HORIZONTAL DISTANCES BETWEEN RISERS SHALL NOT BE LESS THAN 24".
- SLABS ON GROUND TO COMPLY WITH O.B.C. 2006 SECTION 9.16.
- COLUMNS TO COMPLY WITH O.B.C. 2012 9.17.
- ALL COLUMNS TO BE CENTRED ON FOOTINGS AND FASTENED TO SUPPORTED MEMBER TO PREVENT LATERAL MOVEMENT.
- STEEL COLUMNS TO BE MINIMUM 3" OUTSIDE DIAMETER WITH 3/16" WALLS.
- END BEARING PLATES TO BE MINIMUM 4"x4"x1/4" TOP AND BOTTOM.
- TOP PLATES SUPPORTING WOOD BEAMS ARE TO BE FULL WIDTH OF BEAM.
- WOOD COLUMNS IN CONTACT WITH CONCRETE ARE TO BE SEPARATED BY 6MM POLYETHYLENE.
- ALL CRAWL SPACES TO COMPLY WITH O.B.C. 2012 9.18.
- ABOVE GRADE MASONRY TO COMPLY WITH O.B.C. 2012 9.20.
- ALL STEEL LINTELS TO HAVE 6" MINIMUM BEARINGS AT END SUPPORTS AND SHALL BE PRIMED.
- ALL BRICK TO BEAR ON CONCRETE OR STEEL. BRICK TIES TO BE CORROSION RESISTANT, MIN. BRICK TIES TO BE CORROSION RESISTANT, MINIMUM .030 THICK, 7/8" WIDE, AND SHAPED TO PROVIDE A KEY WITH THE MORTAR.
- BRICK TIES TO HAVE VERTICAL SPACINGS OF 24" ON CENTER, HORIZONTAL SPACINGS OF 16" ON CENTER, AND BE FASTENED THROUGH SHEATHING INTO WOOD STUDS.
- WEEP HOLES TO BE AT 31" ON CENTER MAXIMUM.
- GENERAL CONSTRUCTION TO CONFORM TO O.B.C. 2012 PART 12 - RESOURCE CONSERVATION.
- ALL DOORS AND WINDOWS TO MEET THE STANDARD OF ENERGY EFFICEINCY FOR ALL BUILDINGS AND CONSTRUCTION WITHIN THE SCOPE OF O.B.C. PART 9 - SECTION 12.3.

WALLS:

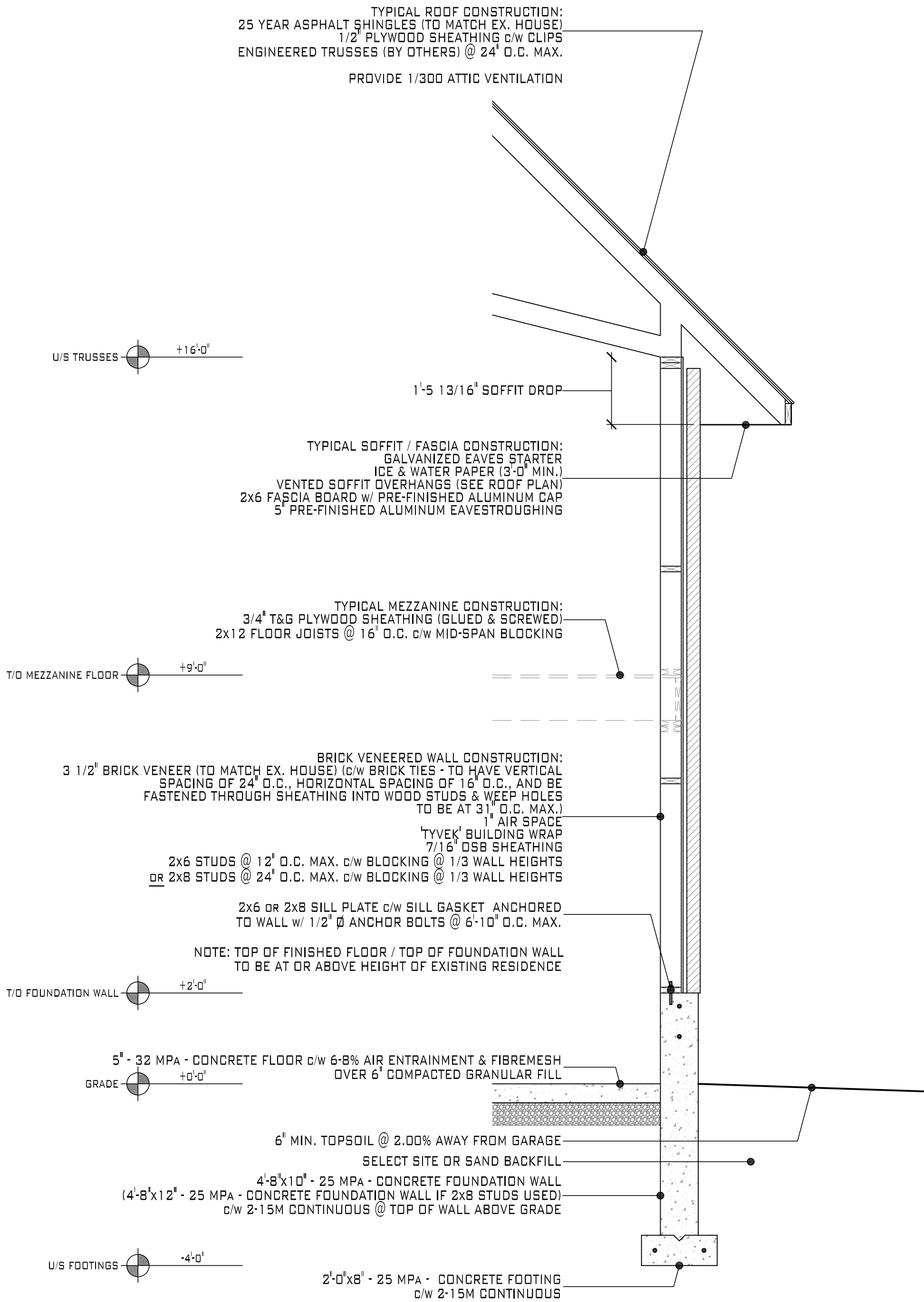
- WOOD FRAME CONSTRUCTION TO COMPLY WITH O.B.C. 2012 9.23.
- WOOD FRAMING SPANS AND SIZES TO CONFORM TO TABLES A-1 - A-16, INCLUDING ALL APPLICABLE FOOTNOTES.
- 1 1/2" MINIMUM REQUIRED END BEARING OF JOISTS AND RAFTERS.
- HEAT TRANSFER, AIR LEAKAGE, AND CONDENSATION CONTROL TO COMPLY WITH O.B.C. 2012 9.25.
- ALL SIDING TO COMPLY WITH O.B.C. 2012 9.27.
- EXTERIOR WALLS TO HAVE A MINIMUM OF R22 INSULATION.
- ALL VAPOUR BARRIER TO BE 6MM POLYETHYLENE (DGSB-51.34) AIR AND VAPOUR BARRIER - SEALED AS PER O.B.C. 2012 9.25.
- DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS AS PER O.B.C. 2012 9.6.8.
- FLOOR LEVELS CONTAINING BEDROOMS ARE TO HAVE ONE OPENING WINDOW WITH AN UNOBSTRUCTED AREA OF 3.60 SQ.FT. MINIMUM - WITH NO DIMENSION LESS THAN 15".
- ALL ATTACHED GARAGES ARE TO HAVE GAS-PROOF WALLS WITH A MINIMUM OF R-19 INSULATION.

FLOORS:

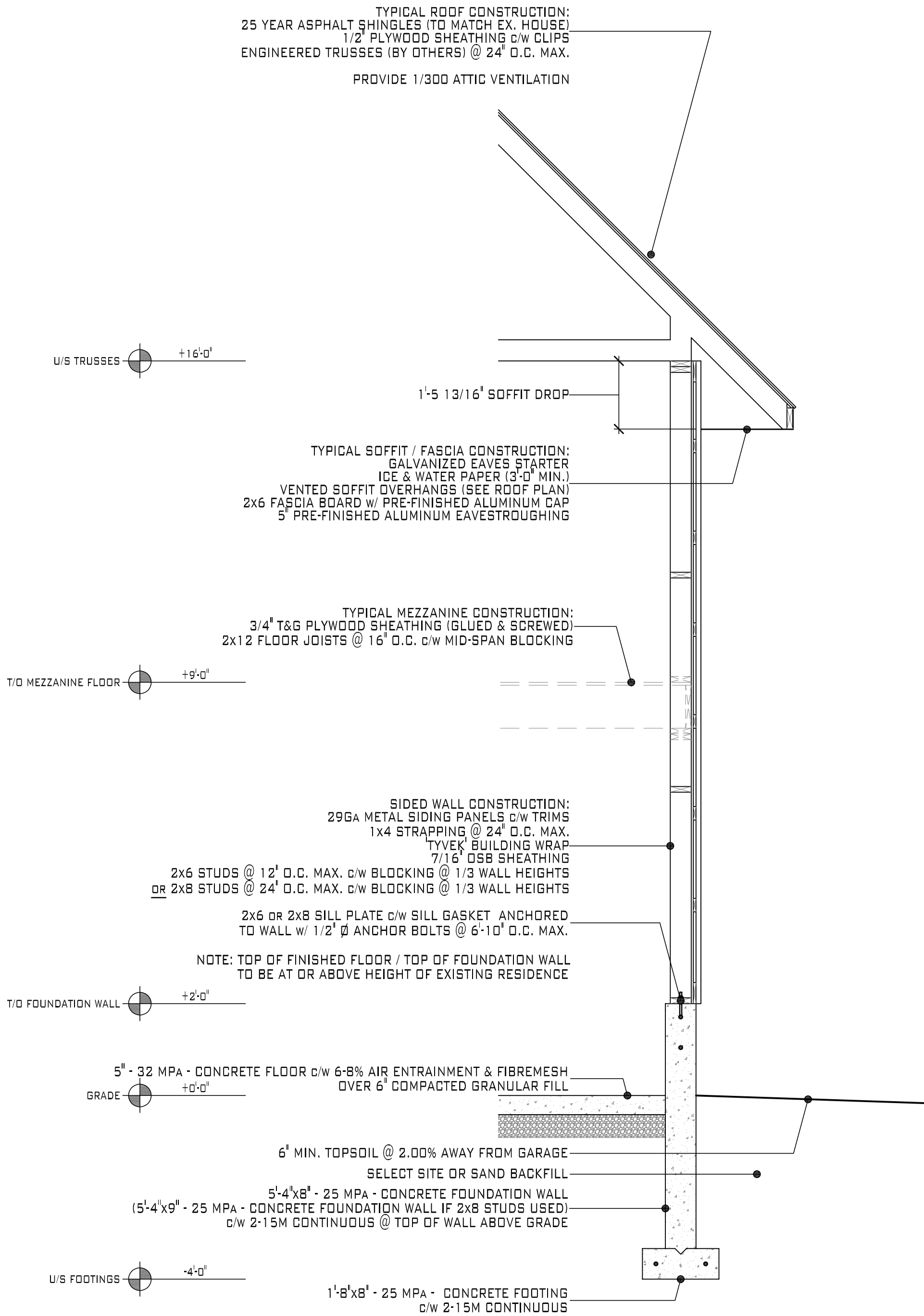
- PROVIDE A MOISTURE BARRIER BETWEEN ALL WOOD IN CONTACT WITH CONCRETE.
- PROVIDE A FOAM GASKET OR CAULKING UNDER ALL SILLS AND FLOOR WALL PLATES.
- PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 7'-10" MINIMUM - CAST 4" MINIMUM INTO TOP OF FOUNDATION WALL.

ROOF:

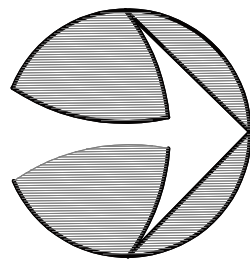
- ROOF CONSTRUCTION AND FLASHING TO COMPLY WITH O.B.C. 2006 9.26.
- ROOF SPACES TO COMPLY WITH O.B.C. 2012 9.19.
- UNOBSTRUCTED VENT AREA TO BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- MINIMUM ATTIC ACCESS TO BE 20"x28" - FITTED WITH A COVERCOMPLETE WITH WEATHERSTRIPPING AND RIGID INSULATION.



TYPICAL WALL SECTION - THROUGH BRICK VENEER
SCALE: 1/2" = 1'-0"



TYPICAL WALL SECTION - THROUGH BRICK VENEER
SCALE: 1/2" = 1'-0"



CONSTRUCTION NORTH

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2	ISSUED FOR FINAL REVIEW	DF	AUGUST 24, 2023
3	ISSUED FOR PERMIT & CONSTRUCTION	DF	SEPTEMBER 15, 2023
4	REVISED AS PER CLIENT COMMENTS AND RE-ISSUED FOR PERMIT & CONSTRUCTION	DF	DECEMBER 13, 2023
5	REVISED AS PER CLIENT COMMENTS AND RE-ISSUED FOR PERMIT & CONSTRUCTION	DF	JANUARY 16, 2024

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DESIGNED BY:

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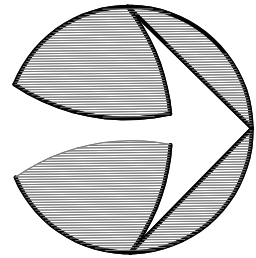
DESIGNED FOR:

JOHN & JACKIE KRUSHEL
552 CHARLOTTEVILLE ROAD 5
SIMCOE, ONTARIO N3Y 4K1

PROPOSED NEW GARAGE

NOTES & WALL SECTIONS

SCALE: 1/2" = 1'-0"	DRAWING NO:
DATE: JULY 2023	S-4
DRAWING BY: D. FALLOWFIELD	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 23-???	



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SIMCOE, ONTARIO N3Y 4K1

PROPOSED NEW GARAGE

ELEVATIONS

SCALE: 1/4" = 1'-0"	DRAWING NO:
DATE: JULY 2023	S-5
DRAWING BY: D. FALLOWFIELD	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 23-???	

BUILDING HEIGHT @ PEAK +33'-1"

BUILDING HEIGHT @ MID ROOF +24'-6 1/2"

U/S TRUSSES +16'-0"

T/O MEZZANINE FLOOR +9'-0"

U/S FLOOR JOISTS +8'-0"

T/O FOUNDATION WALL +2'-0"

T/O PIERS +0'-8"

GRADE +0'-0"

FRONT ELEVATION - EAST
SCALE: 1/4" = 1'-0"

BUILDING HEIGHT @ PEAK +33'-1"

BUILDING HEIGHT @ MID ROOF +24'-6 1/2"

U/S TRUSSES +16'-0"

T/O MEZZANINE FLOOR +9'-0"

U/S FLOOR JOISTS +8'-0"

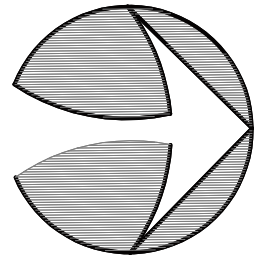
T/O FOUNDATION WALL +2'-0"

T/O PIERS +0'-8"

GRADE +0'-0"

LEFT SIDE ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"





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PROPOSED NEW GARAGE

ELEVATIONS

SCALE: 1/4" = 1'-0"	DRAWING NO:
DATE: JULY 2023	S-6
DRAWING BY: G. FALLOWFIELD	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 23-???	

BUILDING HEIGHT @ PEAK +33'-1"

BUILDING HEIGHT @ MID ROOF +24'-6 1/2"

U/S TRUSSES +16'-0"

T/O MEZZANINE FLOOR +9'-0"
U/S FLOOR JOISTS +8'-0"

T/O FOUNDATION WALL +2'-0"
T/O PIERS +0'-8"
GRADE +0'-0"



REAR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

BUILDING HEIGHT @ PEAK +33'-1"

BUILDING HEIGHT @ MID ROOF +24'-6 1/2"

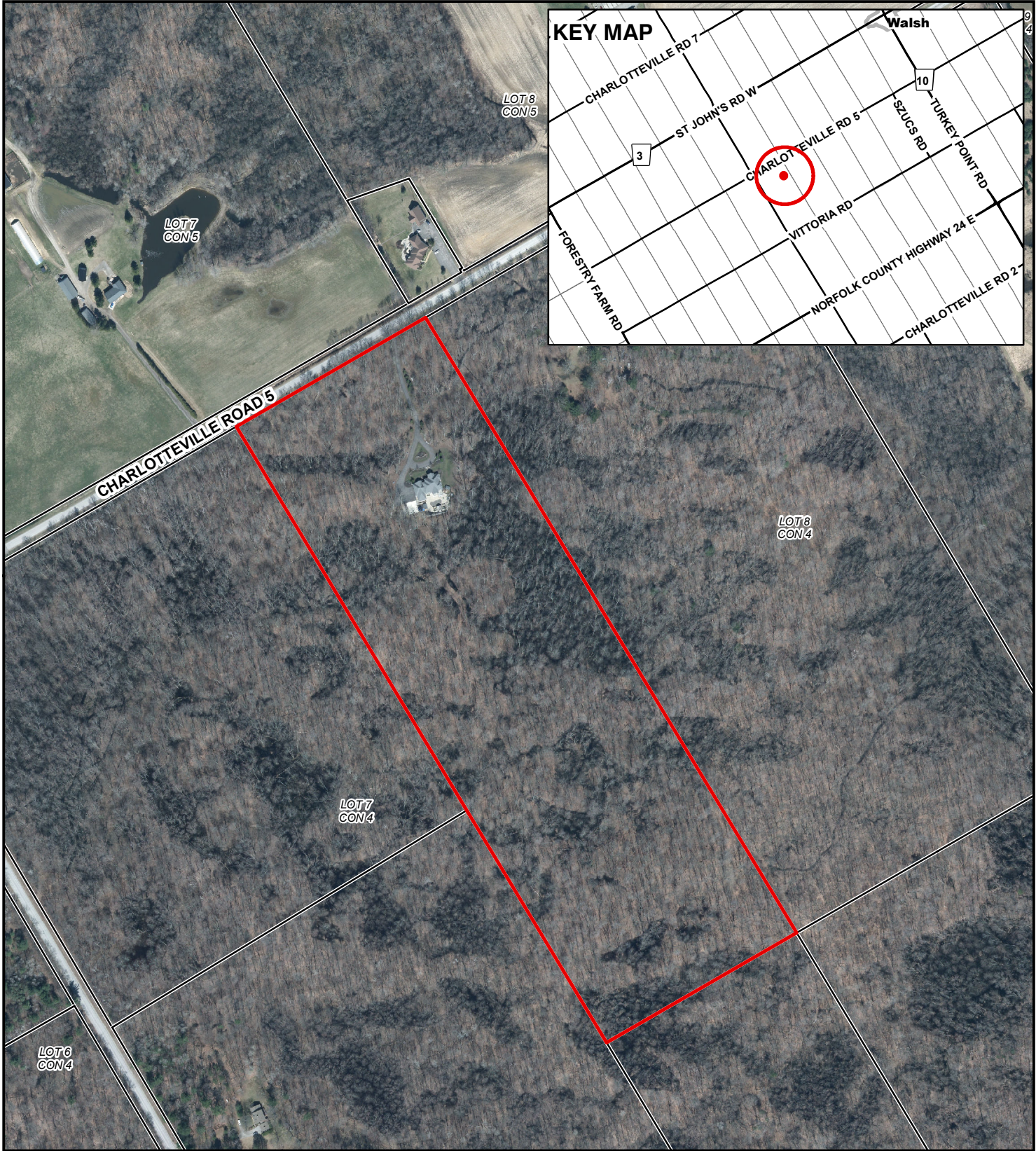
U/S TRUSSES +16'-0"

T/O MEZZANINE FLOOR +9'-0"
U/S FLOOR JOISTS +8'-0"


T/O FOUNDATION WALL +2'-0"
T/O PIERS +0'-8"
GRADE +0'-0"



RIGHT ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

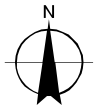


Legend

 Subject Lands

2020 Air Photo

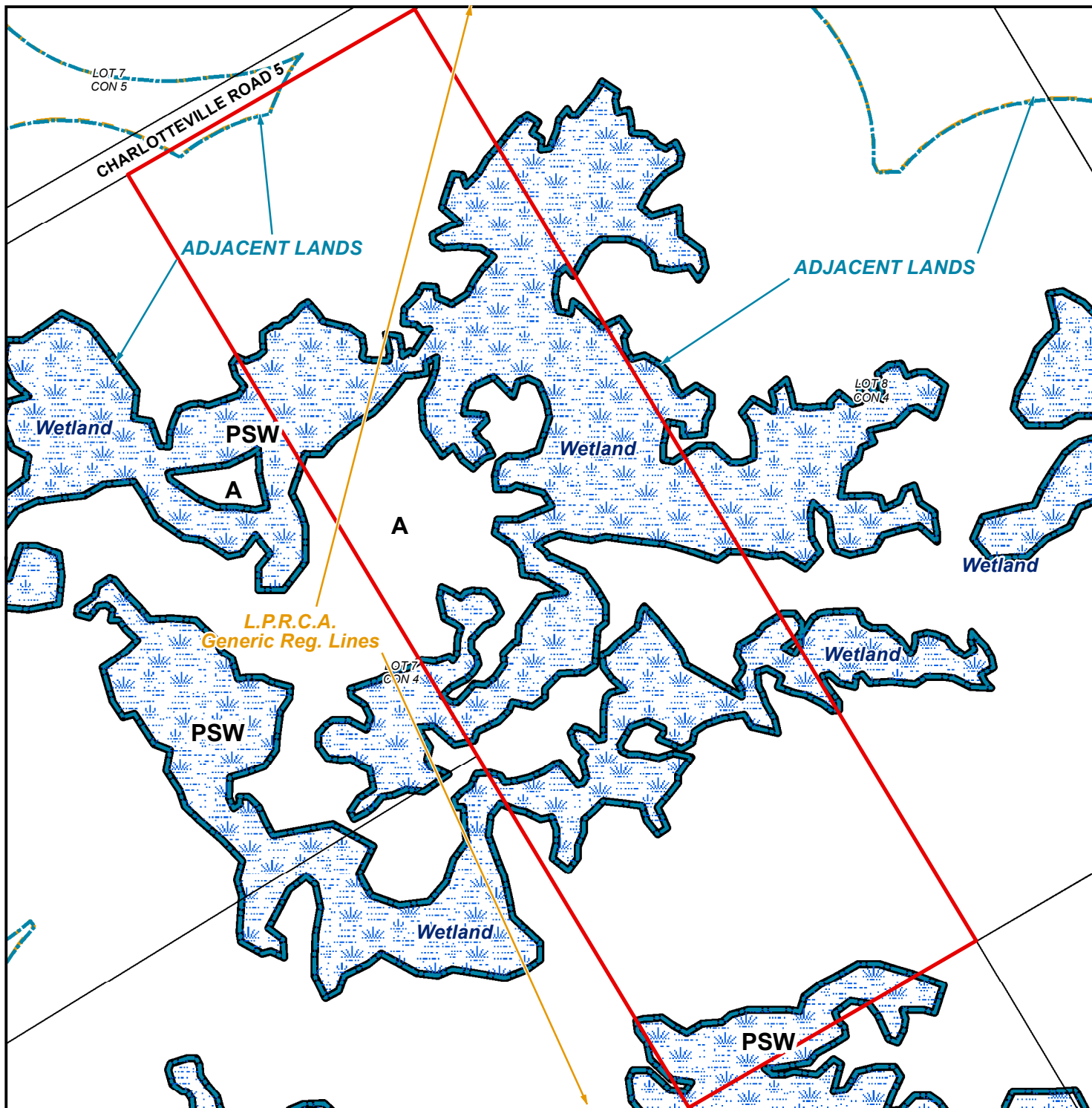
3/4/2024







40 20 0 40 80 120 160 Meters

MAP B
ZONING BY-LAW MAP
Geographic Township of CHARLOTTEVILLE

ANPL2023315



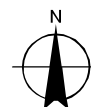
LEGEND

-  Subject Lands
-  Adjacent Lands
-  Wetland
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

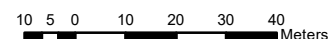
- (H) - Holding
- A - Agricultural Zone
- PSW - Provincially Significant Wetland Zone

3/4/2024



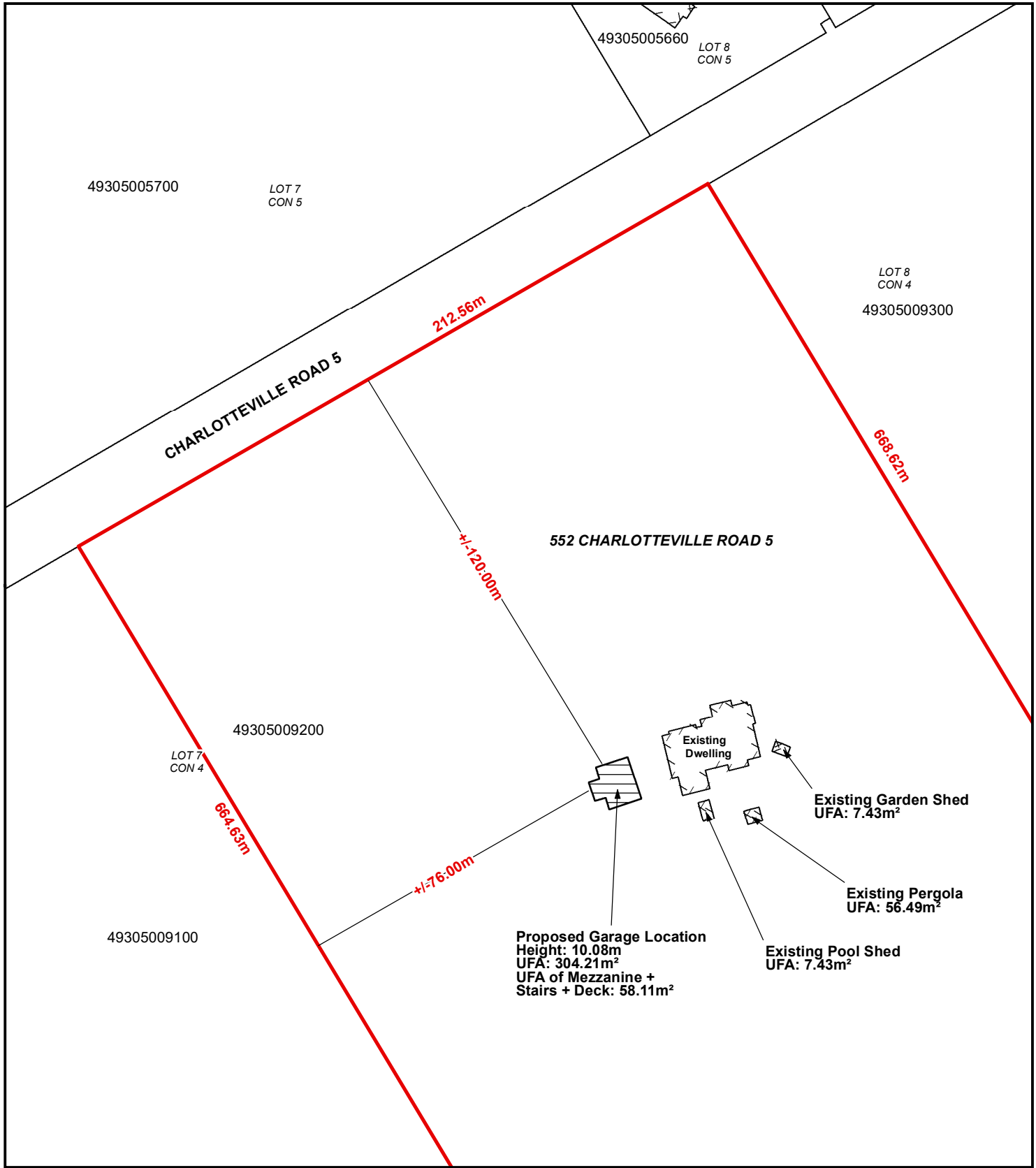
25 12.5 0 25 50 75 100 Meters

Geographic Township of CHARLOTTEVILLE




CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

5/9/2024

