

For Office Use Only:

File Number ANPL2023327
Related File Number -
Pre-consultation Meeting
Application Submitted Sep.5.2023
Complete Application Dec.5.2023

Application Fee 2,743.00 - paid 2952.00
Conservation Authority Fee \$300 - GRCA
Well & Septic Info Provided N.A
Planner H.Yager
Public Notice Sign

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310336020481000000

A. Applicant Information**Name of Owner**Don Hawco

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 3020 Cockshutt Road
Town and Postal Code Waterford, ON N0E 1Y0
Phone Number
Cell Number +1 519 240 0000
Email hawkifide@hotmail.com

Name of ApplicantDon Hawco

Address 3020 Cockshutt Road
Town and Postal Code Waterford, ON N0E 1Y0
Phone Number
Cell Number +1 519 240 0000
Email hawkifide@hotmail.com

Name of Agent Derek Alexander
Address 41 Valley view Road
Town and Postal Code Kitchener, ON N2E 3H9
Phone Number _____
Cell Number +1 226 339 1052
Email ritewayroofingandexteriors@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

TWN PLAN 45B PT LOT 24

Municipal Civic Address: 3020 Cockshutt Rd.

Present Official Plan Designation(s): _____

Present Zoning: Hamlet Residential Zone.

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:
regulated by GRCA

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

No existing buildings.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Construction of a two storey detached garage with ADU on second floor,
including access via interior stairwell as well as wood deck, total coverage 1281.3 sq.ft.

Usable floor area of ADU is 1034.5 sq.ft. (96.11 sq.m.)

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	42.12m	30.0m	1-z-2014	42.12m	none
Lot depth	63.55		none	63.55	none
Lot width	42.12m		none	42.12m	none
Lot area	2534.12sq.m.	0.4 hec.	1-z-2014	2534.12sq.m.	none
Lot coverage	5.6%	10%	25-z-2022	4.7% adu 8.22% total bldgs	none
Front yard	16.26m	6.0m	1-z-2014	27.94m	none
Rear yard	27.88m	9.0m	1-z-2014	25.19m	none
Height		6.0m	25-z-2022	8.03m	2.03m
Left Interior side yard	4.8m	1.2m	25-z-2022	4.8m	none
Right Interior side yard	16.82m	1.2m	25-z-2022	12.66m	none
Exterior side yard (corner lot)	n/a	n/a	n/a	n/a	n/a
Parking Spaces (number)	6+ outside	1/unit	25-z-2022	6 + outside 2 inside	none
Aisle width	n/a	n/a	n/a	n/a	n/a
Stall size	3m x 5.8m	3m x 5.8m	1-z-2014	10' x 19'	none
Loading Spaces	n/a	n/a	n/a	n/a	n/a
Other	usable floor area	75sq.m.	25-z-2022	89.43sq.m.	14.43 sq.ft.

setback from main dwelling to ADU is 3.5m +/-

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
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Roll Number: _____
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Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☒ Individual wells

☐ Communal wells

☐ Other (describe below)

Sewage Treatment

☐ Municipal sewers

☒ Septic tank and tile bed in good working order

☐ Communal system

☐ Other (describe below)

Storm Drainage

☒ Storm sewers

☐ Other (describe below)

☐ Open ditches

2. Existing or proposed access to subject lands:

☐ Municipal road

☐ Unopened road

☐ Provincial highway

☐ Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

parking space within garge shall be used by ADU above

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Don Hawco

Owner/Applicant/Agent Signature

Oct 12/23

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Don Hawco am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Derek Alexander to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Don Hawco

Owner

Oct 12/23

Date

Owner

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Don Hawco of 3020 Cockshutt Rd.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY

Don Hawco

Owner/Applicant/Agent Signature

In ONTARIO

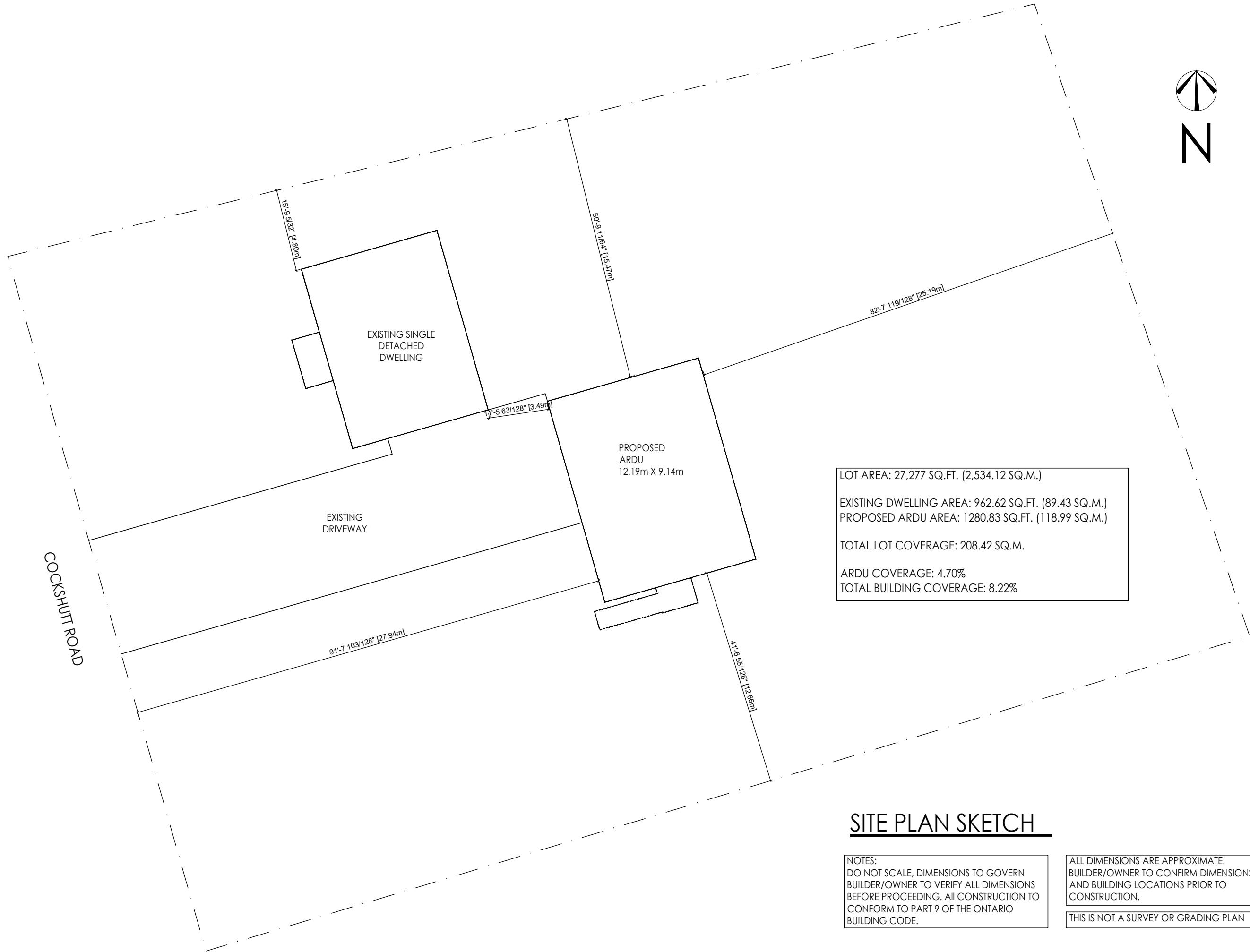
This OCT. day of 12

A.D., 20 23

Mohammad Ariful Alam

A Commissioner, etc.

Mohammad Ariful Alam, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires September 2, 2024.



LOT AREA: 27,277 SQ.FT. (2,534.12 SQ.M.)

EXISTING DWELLING AREA: 962.62 SQ.FT. (89.43 SQ.M.)
PROPOSED ARDU AREA: 1280.83 SQ.FT. (118.99 SQ.M.)

TOTAL LOT COVERAGE: 208.42 SQ.M.

ARDU COVERAGE: 4.70%
TOTAL BUILDING COVERAGE: 8.22%

SITE PLAN SKETCH

NOTES:
DO NOT SCALE, DIMENSIONS TO GOVERN
BUILDER/OWNER TO VERIFY ALL DIMENSIONS
BEFORE PROCEEDING. ALL CONSTRUCTION TO
CONFORM TO PART 9 OF THE ONTARIO
BUILDING CODE.

ALL DIMENSIONS ARE APPROXIMATE.
BUILDER/OWNER TO CONFIRM DIMENSIONS
AND BUILDING LOCATIONS PRIOR TO
CONSTRUCTION.

THIS IS NOT A SURVEY OR GRADING PLAN

PLANS ARE DRAWN IN ACCORDANCE WITH THE ONTARIO BUILDING CODE - PART 9. IT IS THE RESPONSIBILITY OF THE OWNER / BUILDER TO ENSURE THAT ALL CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN.

ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES, REGULATIONS AND/ OR BY LAWS, WHICH MAY TAKE PRECEDENCE PRIOR TO PROCEEDING WITH CONSTRUCTION. THE OWNER / BUILDER, BUILDER AND/OR CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS, ON THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

THE BUILDER IS TO PROVIDE ALL NECESSARY TEMPORARY BRACING SUPPORT FOR WALLS AND FLOOR(S) PRIOR TO COMPLETION OF VERTICAL AND LATERAL LOAD SYSTEMS. ALL WORKMANSHIP IS TO ME OF A STANDARD EQUAL (OR BETTER) IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

ELECTRICAL, HEATING/MECHANICAL AND PLUMBING SERVICES TO BE DESIGNED AND INSTALLED BY RESPECTIVE LICENSED AND / OR CERTIFIED TRADES IN ACCORDANCE TO LOCAL MUNICIPAL AND ONTARIO BUILDING CODE REQUIREMENTS AND REGULATIONS.

I, NICOLE MAURER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF 729 DESIGN UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 46242
FIRM BCIN: 127747

DATE: AUG 28, 2023

SIGNATURE:

#	revisions	date
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2	ISSUED FOR PERMIT	28-AUG-23

client
RITE-WAY CONSTRUCTION

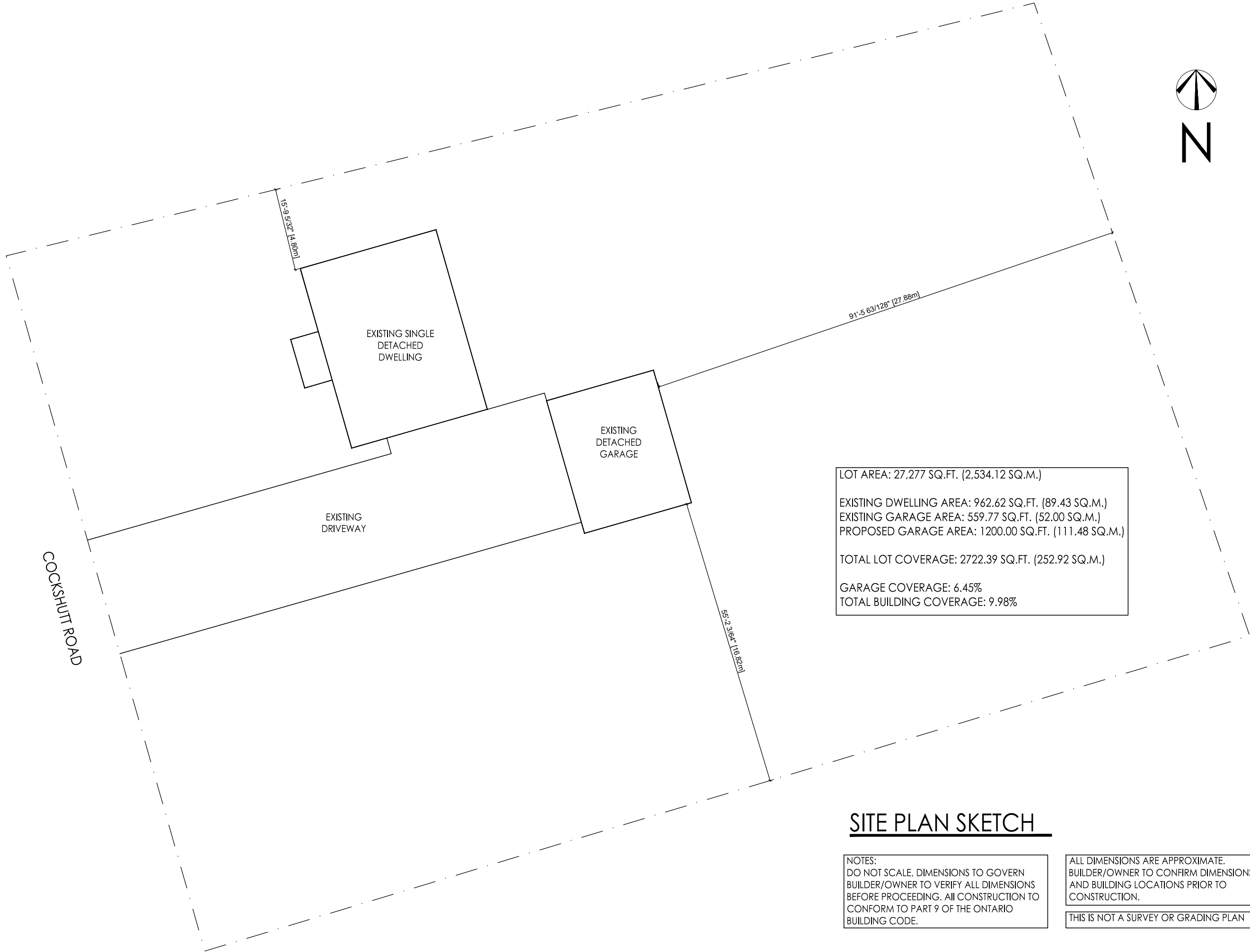
project
GARAGE W/ ADU

location
3020 COCKSHUTT RD
WATERFORD, ON

drawing
SITE PLAN

date
AUG 28, 2023

scale
N.T.S.



LOT AREA: 27,277 SQ.FT. (2,534.12 SQ.M.)

EXISTING DWELLING AREA: 962.62 SQ.FT. (89.43 SQ.M.)
EXISTING GARAGE AREA: 559.77 SQ.FT. (52.00 SQ.M.)
PROPOSED GARAGE AREA: 1200.00 SQ.FT. (111.48 SQ.M.)

TOTAL LOT COVERAGE: 2722.39 SQ.FT. (252.92 SQ.M.)

GARAGE COVERAGE: 6.45%
TOTAL BUILDING COVERAGE: 9.98%

SITE PLAN SKETCH

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client
RITE-WAY CONSTRUCTION

project
GARAGE W/ ADU

location
3020 COCKSHUTT RD
WATERFORD, ON

drawing
SITE PLAN

date
AUG 28, 2023

scale
3/16" = 1'-0"

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GARAGE W/ ADU

location

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WATERFORD, ON

drawing

GROUND LEVEL

date

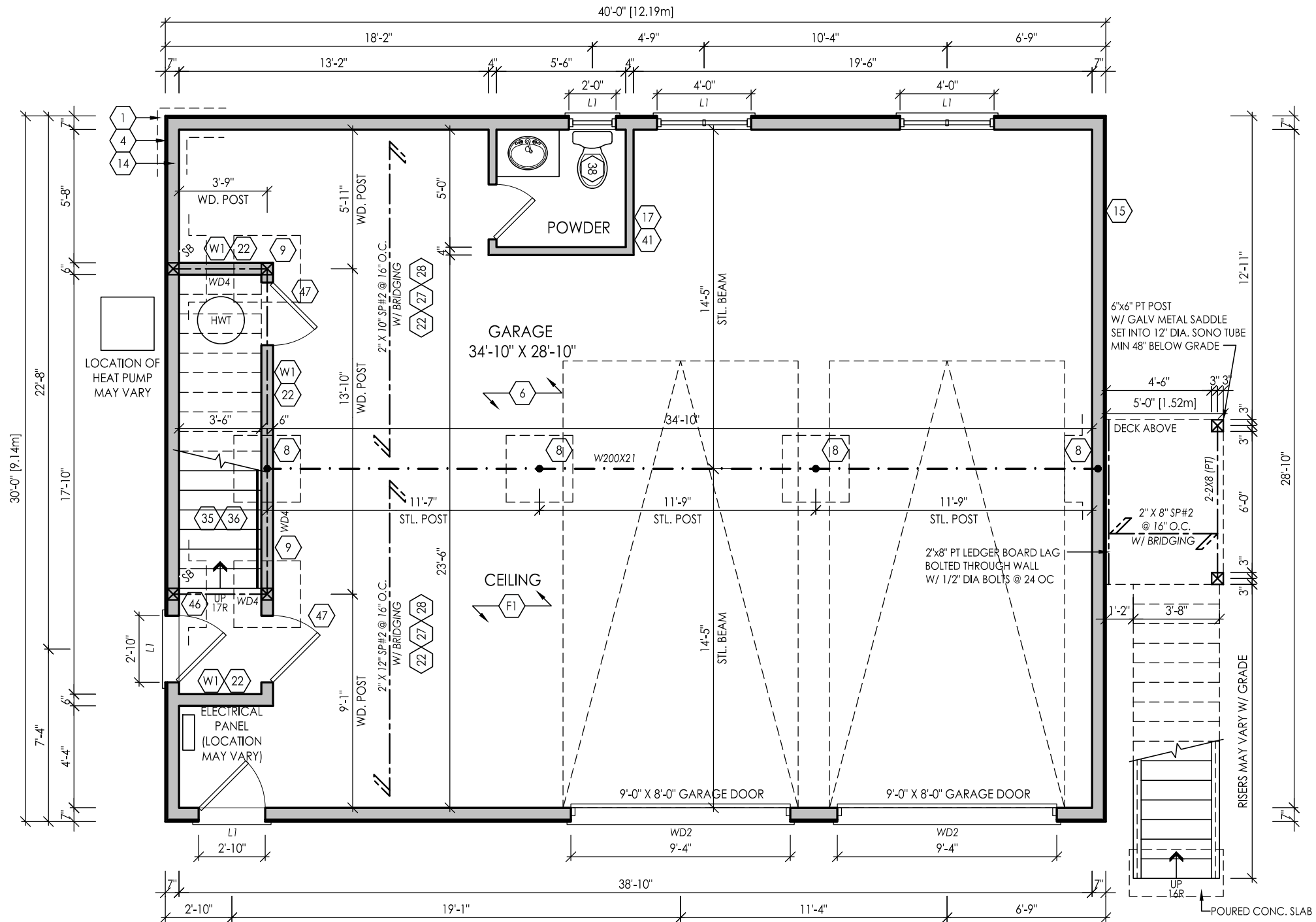
AUG 28, 2023

scale

3/16" = 1'-0"

page

A1



GARAGE LEVEL

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

NOTE: STEEL BEAM SUPPORTING FLOOR ABOVE TO BE DROPPED UNLESS NOTED OTHERWISE

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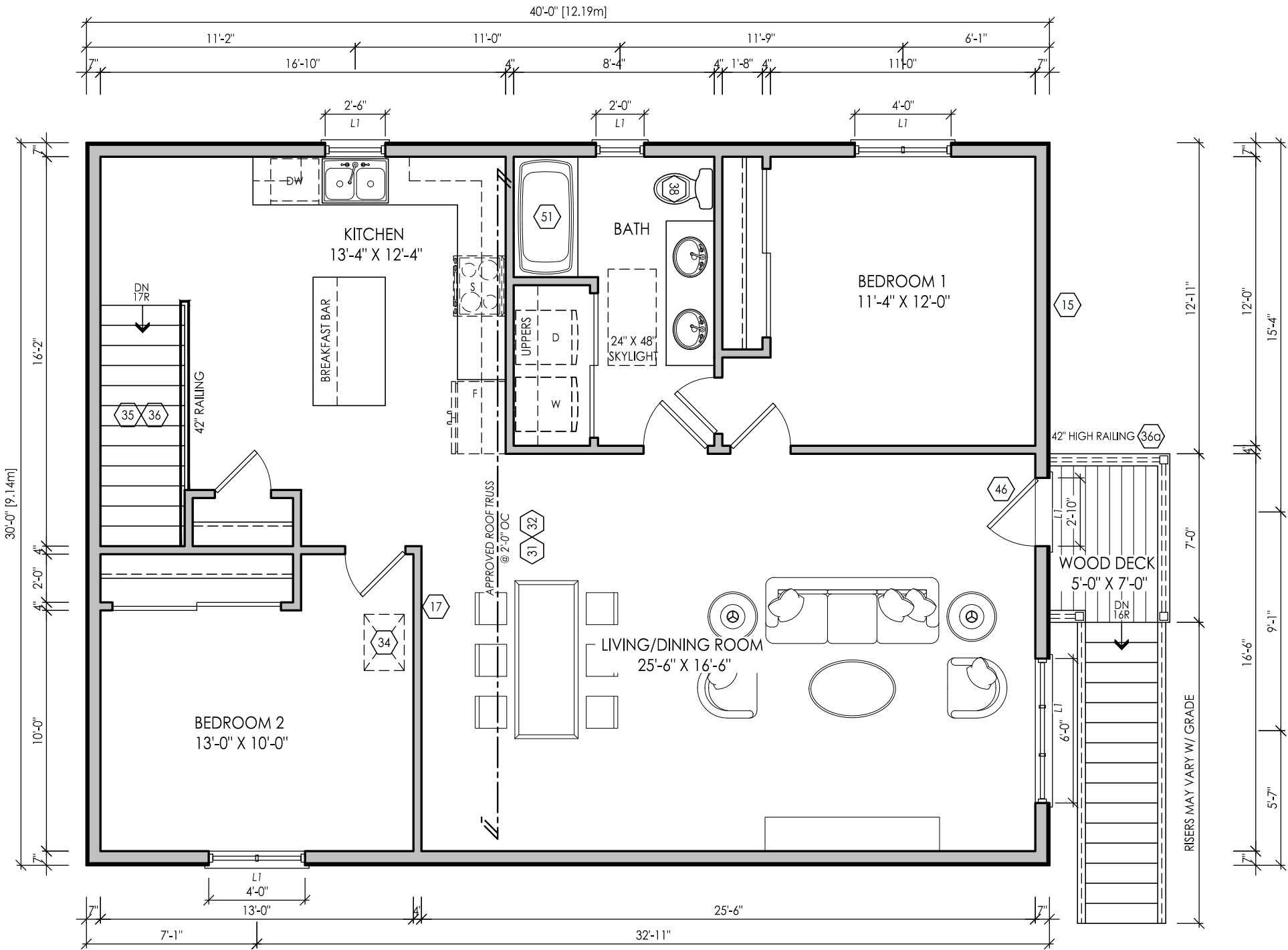
UPPER LEVEL

date
AUG 28, 2023

scale
3/16" = 1'-0"

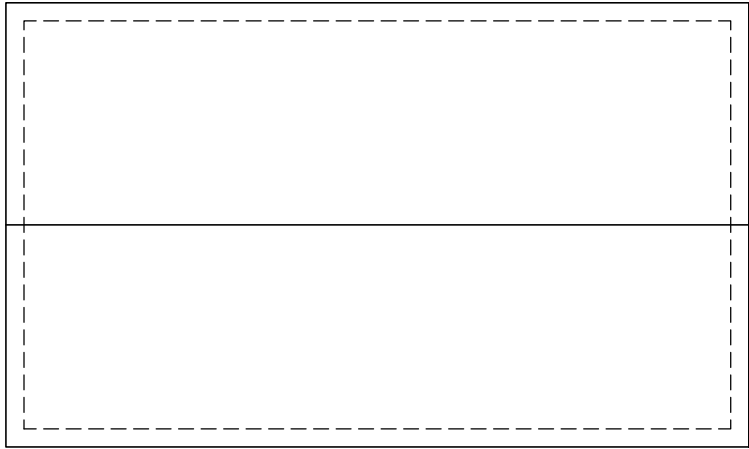
page

A2



UPPER LEVEL

NOTE: REFER TO TRUSS DRAWINGS
FOR APPROVED TRUSS LAYOUT



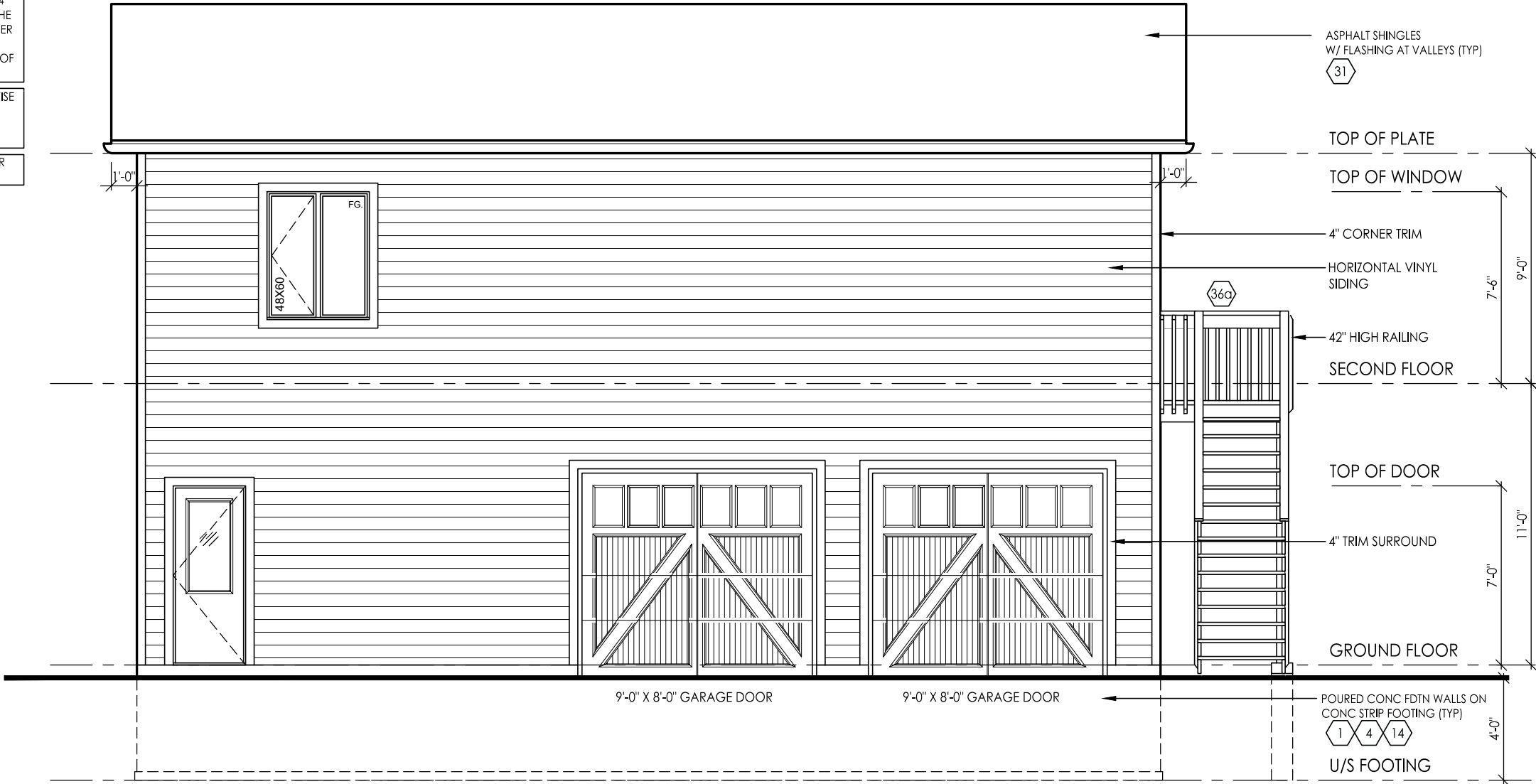
ROOF PLAN

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO STREETSCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



FRONT ELEVATION

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ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES, REGULATIONS AND/ OR BY LAWS, WHICH MAY TAKE PRECEDENCE PRIOR TO PROCEEDING WITH CONSTRUCTION. THE OWNER / BUILDER, BUILDER AND/OR CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS, ON THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

THE BUILDER IS TO PROVIDE ALL NECESSARY TEMPORARY BRACING SUPPORT FOR WALLS AND FLOOR(S) PRIOR TO COMPLETION OF VERTICAL AND LATERAL LOAD SYSTEMS. ALL WORKMANSHIP IS TO ME OF A STANDARD EQUAL (OR BETTER) IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

ELECTRICAL, HEATING/MECHANICAL AND PLUMBING SERVICES TO BE DESIGNED AND INSTALLED BY RESPECTIVE LICENSED AND / OR CERTIFIED TRADES IN ACCORDANCE TO LOCAL MUNICIPAL AND ONTARIO BUILDING CODE REQUIREMENTS AND REGULATIONS.

I, NICOLE MAURER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF 729 DESIGN UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. QUALIFIED DESIGNER BCIN: 46242 FIRM BCIN: 127747

DATE: T. Maurer AUG 28, 2023

SIGNATURE:

#	revisions	date
1	ISSUED FOR CLIENT REVIEW	31-MAY-23
2	ISSUED FOR PERMIT	28-AUG-23

client
RITE-WAY CONSTRUCTION

project
GARAGE W/ ADU

location
3020 COCKSHUTT RD
WATERFORD, ON

drawing
ELEVATION

date
AUG 28, 2023

page
A3

scale
3/16" = 1'-0"

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RIGHT SIDE ELEVATION

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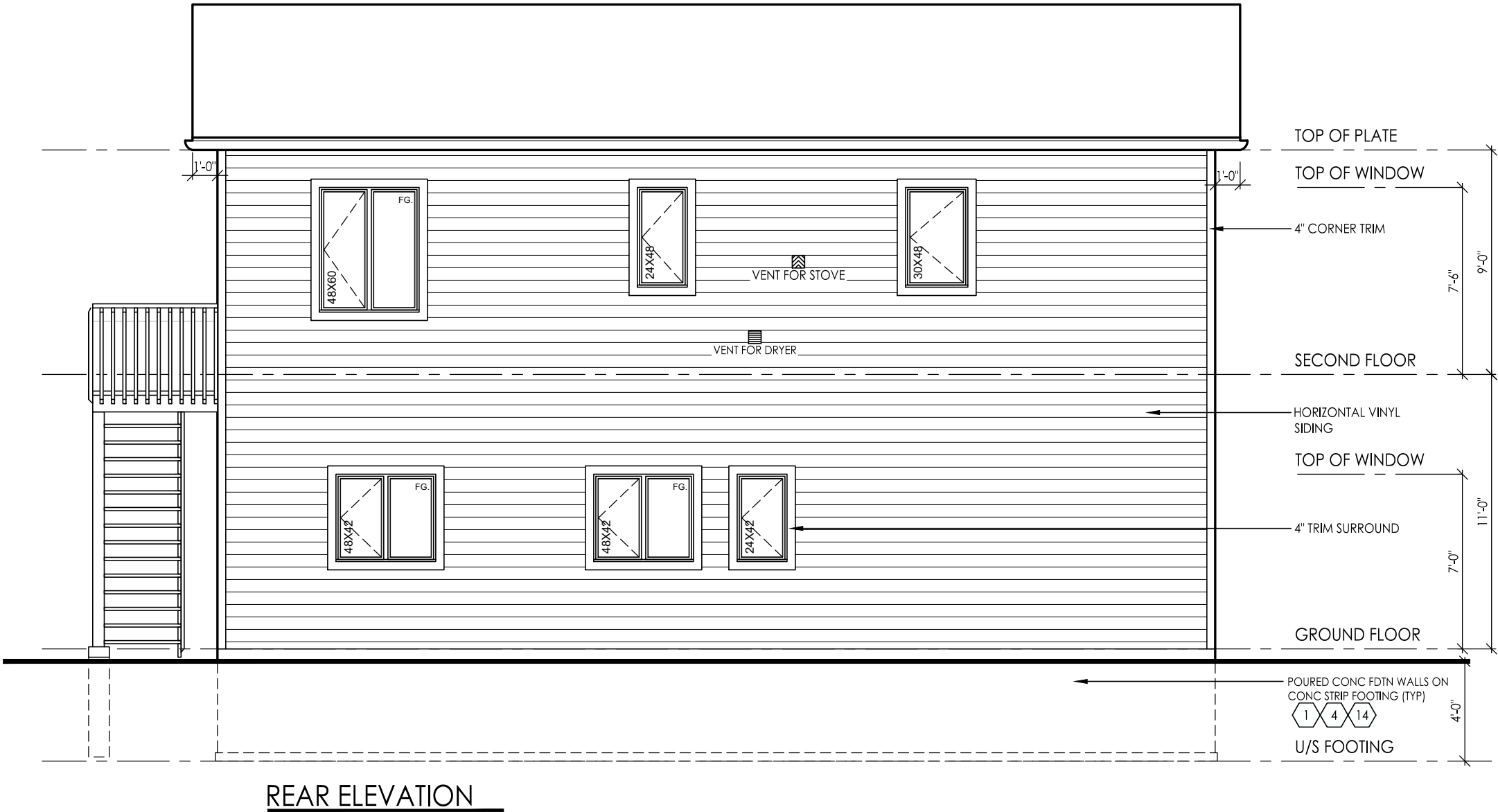
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A5



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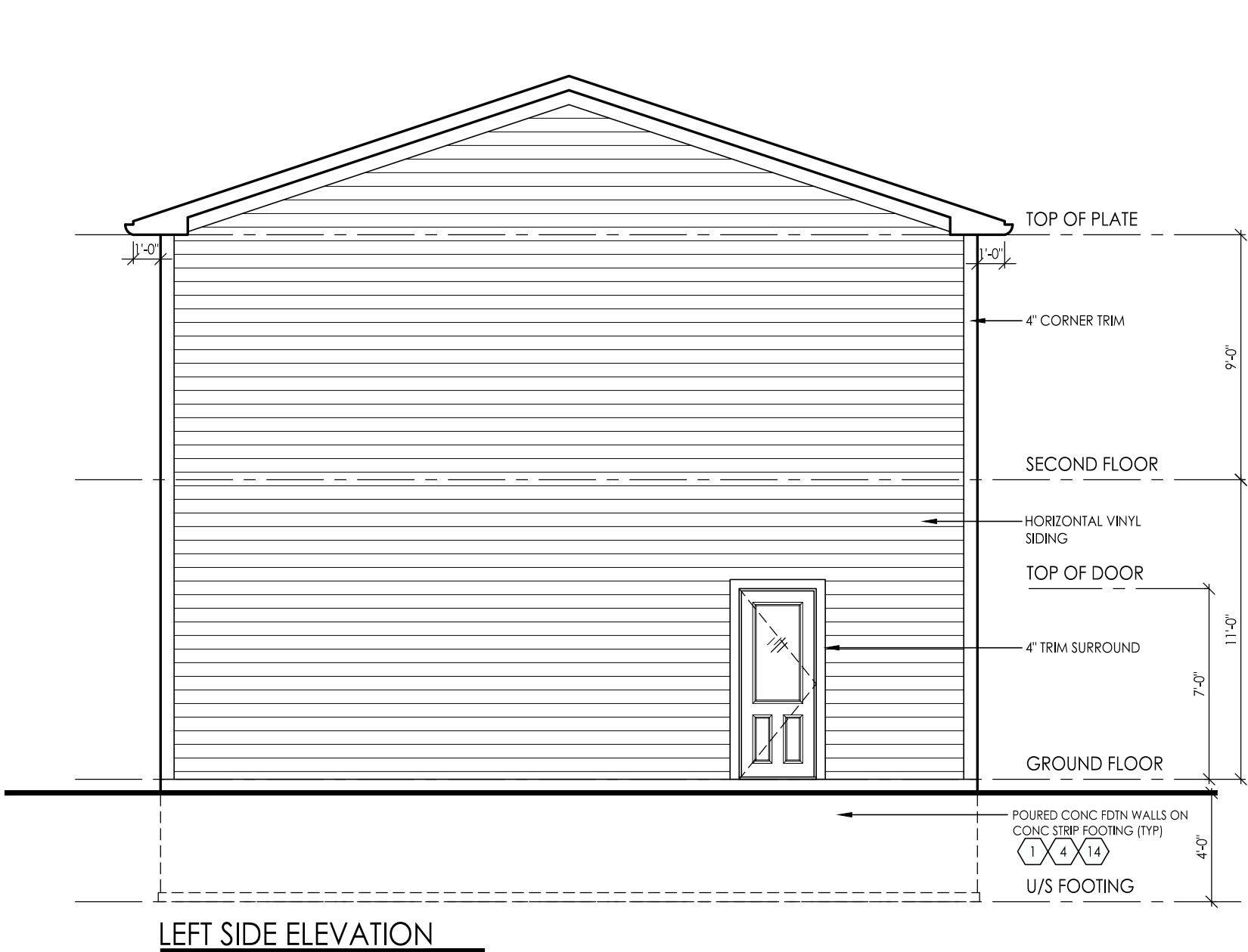
AUG 28, 2023

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3/16" = 1'-0"

page

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CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2022 ENACTMENT

(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
-THERMAL RESISTANCE VALUES BASED ON ZONE 1

DESIGN LOADS:

WATERFORD, ONTARIO
GROUND SNOW LOAD: Ss 1.9 kPa, Sr 0.4 kPa
SPECIFIED SNOW LOAD: 1.45 Kpa [O.B.C. 9.4.2.2.(1)]
WIND LOADS: 1/50 - 0.36 kPa, 1/10 - 0.47 kPa

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:
O.B.C. 9.15.3.
-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY
-FTG. TO HAVE CONTINUOUS KEY
-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)
-REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
BRICK VENEER
-1 STOREY - 13" X 4" (330mm X 100mm)
-2 STOREY - 19" X 6" (485mm X 155mm)
-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING-
-1 STOREY - 10" X 4" (255mm X 100mm)
-2 STOREY - 14" X 4" (360mm X 100mm)
-3 STOREY - 18" X 5" (460mm X 130mm)

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6.
-1 STOREY MASONRY - 16" X 4" (410mm X 100mm)
-1 STOREY STUD - 12" X 4" (305mm X 100mm)
-2 STOREY MASONRY - 26" X 9" (650mmX 230mm)
-2 STOREY STUD - 18" X 5" (450mm X 130mm)
-3 STOREY MASONRY - 36" X 14" (900mm X 360mm)
-3 STOREY STUD - 24" X 8" (600mm X 200mm)

STEP FOOTING:

O.B.C. 9.15.3.9.
-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

GARAGE SLAB / EXTERIOR SLAB:

-4"(100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
-6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mmX 100mmx 6.35mm) STEEL BTM. PLATE
-FOR WOOD BEAMS, MIN. 4"X4"X1/4" (100mmX 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
-ADJUSTABLE COLUMNS TO CONFORM TO CAN1/CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN [O.B.C. 9.17.3.4.]
COL. SPACING: FTG SIZE:
2 STOREY
-MAX. 9'-10" (2997mm) - 34" X 34" X 16"
- (860mmX 860mmX 400mm)
-MAX. 16'-0" (4880mm) - 44" X 44" X 21"
- (1120mmX 1120mmX 530mm)

3 STOREY
-MAX. 9'-10" (2997mm) - 40" X 40" X 19"
- (1010mmX 1010mmX 480mm)
-MAX. 16'-0" (4880mm) - 51" X 51" X 24"
- (1295mmX 1295mmX 610mm)
-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

WOOD COLUMN:

OBC 9.17.4.1 , 9.17.4.2. & 9.17.4.3.
-5 ½" x 5 ½" (140mm x 140mm) SOLID WOOD COLUMN - OR
-3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8"(9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C.
-WRAP COLUMN BASE W/ 6 MIL POLY
-COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)
-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/ 9'-10" COL.SPACING)
-34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED W/ 9'-10" COL.SPACING)

WALL ASSEMBLIES:

FOUNDATION WALL:
O.B.C. 9.15.4.2.
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN Laterally supported height.
-8" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN Laterally supported height.
-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
- ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76)RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMP PROOFING & WATERPROOFING:

-DAMP PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.2.6.(2)(b)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE [O.B.C. 9.28.1.4. & 9.27.]
-1" (25mm) R5 (RSI 0.88) RIGID INSULATION W/ TAPED JOINTS [O.B.C. 9.27.3.4.]
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1. OBC SB-12.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4..
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW2c (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
-BATT INSULATION REQUIRES A MASS OF AT LEAST 1.0 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 5/8" (15.9mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

INTERIOR STUD WALLS:

O.B.C. T.9.23.10.1.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3)
-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-R22 (RSI 3.87) INSULATION IN WALLS,
-R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
-BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

WALLS ADJACENT TO ATTIC SPACE:

-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
-R22 (RSI 3.87) INSULATION
-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

FLOOR ASSEMBLIES:

SILL PLATE:
O.B.C. 9.23.7.
-2" X 4" (38mm X 89mm) PLATE
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

BRIDGING & STRAPPING:

O.B.C. 9.23.9.4.
a) STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
-FASTENED TO SILL OR HEADER @ ENDS
b) BRIDGING
-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
d) FURRING OR PANEL TYPE CEILING
-STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

FLOOR ASSEMBLY:

O.B.C. 9.23.14.3, 9.23.14.4
-5/8" (15.9mm) WAFERBOARD [R-1 GRADE] OR EQUIVALENT
-FLOOR JOISTS AS PER FLOOR PLANS

ROOF ASSEMBLIES

TYPICAL ROOF:
O.B.C. 9.26.
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOF SLOPES EQUAL TO AND GREATER THAN 4:12 AND LESS THAN 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
-TRUSS BRACING AS PER TRUSS MANUFACTURER
-EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

CEILING:

-R60 (RSI 10.56) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

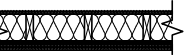
VAULTED OR CATHEDRAL CEILING:

O.B.C. 9.26. & TABLE A4
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR
-2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
-R31 (RSI 5.46) INSULATION
-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD

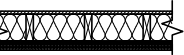
CONVENTIONAL FRAMING:

O.B.C. TABLE A6 OR A7
-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)
-2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
-CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.
-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.



W4d (45 MIN. F.R.R. / 53 STC)

O.B.C. SB-3
- 1/2" (12.7mm) TYPE X GYPSUM BOARD
-2"x4" (38mm X 89mm) WOOD STUDS SPACED 16" (610mm) O.C.
-RESILIENT METAL CHANNELS SPACED 16" (610mm) O.C.
-2 LAYERS 1/2" (12.7mm) TYPE X GYPSUM BOARD



F9h (45 MIN. F.R.R. / 53 STC)

O.B.C. SB-3
- 5/8" (15.5mm) PLYWOOD, OSB OR WAFERBOARD, OR (17mm) TONGUE AND GROOVE SUBFLOOR
-WOOD JOISTS OR I-JOISTS SPACED NOT MORE THAN 16" (610mm) O.C. FILLED WITH THICK ABSORPTIVE MATERIAL
-RESILIENT METAL CHANNELS SPACED 16" (610mm) O.C.
-2 LAYERS 1/2" (12.7mm) TYPE X GYPSUM BOARD

NOTES:

- SOUND ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, GLASS OR CELLULOSE FIBRE. ABSORPTIVE MATERIAL SHOULD NOT OVERFILL CAVITY.
- REGULAR AND TYPE X GYPSUM BOARD SHALL CONFORM TO ARTICLE 9.29.5.2. OF DIVISION B
- REGULAR GYPSUM BOARD MUST BE INSTALLED SO ALL EDGES ARE SUPPORTED

GENERAL:

PRIVATE STAIRS:

O.B.C. 9.8.4.
-MAX. RISE = 7-7/8" (200mm)
-MIN. RUN = 10" (255mm)
-MIN. TREAD = 11" (280mm)
-NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-5" (1950mm)
-MIN. WIDTH = 2'-10" (860mm)
(BETWEEN WALL FACES)
-MIN. WIDTH = 2'-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)
TAPERED TREADS: (9.8.4.3.)
-MIN. RUN = 5 7/8" (150mm)
-MIN. AVG. RUN** = 10" (255mm)
(**MEASURE FROM 300mm FROM MIDPOINT OF INSIDE HANDRAIL)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXTERIOR CONC. STEPS TO HAVE MIN. 11" (280mm) TREAD & MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS
-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION
HEIGHT:
O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-6" (1070mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

INTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3.
-GUARDS TO BE 3'-6" (1070mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

729 DESIGN

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QUALIFIED DESIGNER BCIN: 46242
FIRM BCIN: 127747

DATE: *T. Maurer* AUG 28, 2023
SIGNATURE:

#	revisions	date
1	ISSUED FOR CLIENT REVIEW	31-MAY-23
2	ISSUED FOR PERMIT	28-AUG-23

client
RITE-WAY CONSTRUCTION

project

GARAGE W/ ADU
location
3020 COCKSHUTT RD
WATERFORD, ON

drawing
DETAILS & SECTIONS

date
AUG 28, 2023
scale
3/4" = 1'-0"
page
D1

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34 ATTIC ACCESS HATCH:
OBC 9.19.2.1. & S8-12.3.1.1.8.(1)
-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

36 EXTERIOR GUARDS:
O.B.C. S8-7 & 9.8.8.3.
-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).
-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-FOR WOOD GUARDS PROVIDE MID-SPAN POSTS AS PER S8-7.
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

38 -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)

39 -CAPPED DRYER VENT

40 -1"x2" (19mmX38mm) BOTH SIDES OF STEEL.

41 -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

42 -PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

44 SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM
-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
-INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

45 CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

46 -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED

47 -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
-R4 (RSI 0.70)

48 -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT;
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

51 STUD WALL REINFORCEMENT:
O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(c)&(c) & 3.8.3.13.(2)(g) & 3.8.3.13.(4)(e)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

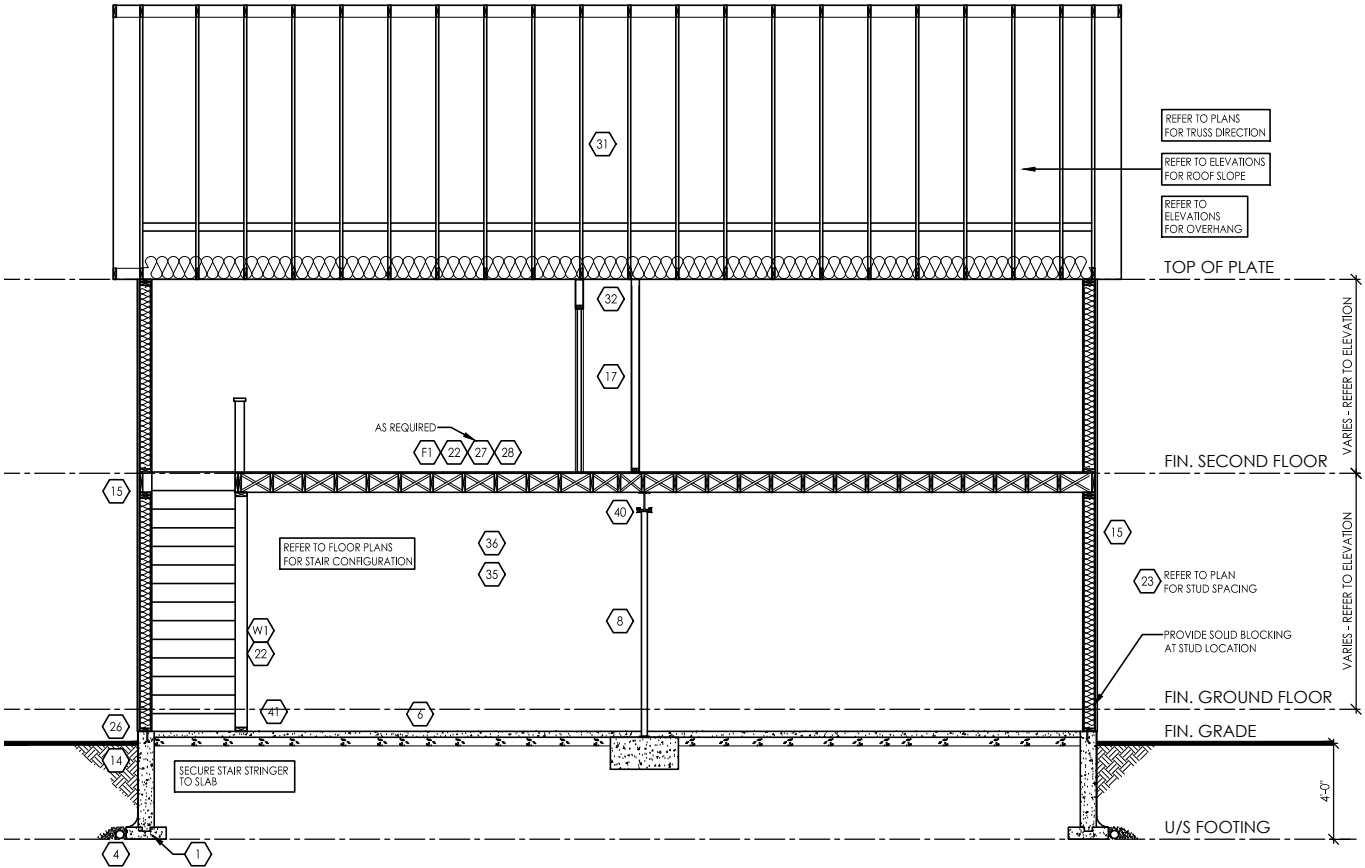
53 WINDOW GUARDS:
@ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS OR -
WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(8)(b)
@ FLOORS - OBC 9.8.8.1.(6)
OPERABLE WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.

FRAME CONSTRUCTION:
-ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)

-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

WATERPROOF WALLS IN BATHROOMS:
-REQUIRED AS PER OBC 9.29.2.1.

WINDOWS:
-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%



CROSS SECTION A
N.T.S.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO 729 DESIGN

SCHEDULES

DOORS 46 47	
A	865x2030x45 (2'10"x6'8"x1-3/4")
B	815x2030x35 (2'8"x6'8"x1-3/8")
C	760x2030x35 (2'6"x6'8"x1-3/8")
D	710x2030x35 (2'4"x6'8"x1-3/8")
E	460x2030x35 (1'6"x6'8"x1-3/8")
F	610x2030x35 (2'0"x6'8"x1-3/8")
G	OVER SIZED EXTERIOR DOOR

STEEL BEAMS	
ST1	W 6 X 15
ST2	W 6 X 20
ST3	W 8 X 18
ST4	W 8 X 21
ST5	W 8 X 24

WOOD BEAMS			
WD1	3/ 2" X 8" SPR	WD10	2/ 1 3/4" X7 1/4" (2.0E) LVL
WD2	4/ 2" X 8" SPR	WD11	3/ 1 3/4" X7 1/4" (2.0E) LVL
WD3	5/ 2" X 8" SPR	WD12A	1/ 1 3/4" X9 1/2" (2.0E) LVL
WD4	3/ 2" X 10" SPR	WD12	2/ 1 3/4" X9 1/2" (2.0E) LVL
WD5	4/ 2" X 10" SPR	WD13	3/ 1 3/4" X9 1/2" (2.0E) LVL
WD6	5/ 2" X 10" SPR	WD14A	1/ 1 3/4" X11 7/8" (2.0E) LVL
WD7	3/ 2" X 12" SPR	WD14	2/ 1 3/4" X11 7/8" (2.0E) LVL
WD8	4/ 2" X 12" SPR	WD15	3/ 1 3/4" X11 7/8" (2.0E) LVL
WD9	5/ 2" X 12" SPR	WD16A	1/ 1 3/4" X14" (2.0E) LVL
		WD16	2/ 1 3/4" X14" (2.0E) LVL
		WD17	3/ 1 3/4" X14" (2.0E) LVL

LINTELS			
L1	2/ 2" X 8" SPR	L9	4" X 3-1/2" X 1/4" L
L3	2/ 2" X 10" SPR	L10	4-7/8" X 3-1/2" X 5/16" L
L5	2/ 2" X 12" SPR	L11	4-7/8" X 3-1/2" X 3/8" L
L7	3-1/2" X 3-1/2" X 1/4" L	L12	5-7/8" X 3-1/2" X 5/16" L
L8	4-7/8" X 3-1/2" X 1/4" L	L13	5-7/8" X 3-1/2" X 3/8" L
		L14	5-7/8" X 3-1/2" X 1/2" L
		L15	5-7/8" X 4" X 1/2" L
		L16	7-1/8" X 4" X 3/8" L
		L17	7-1/8" X 4" X 1/2" L

PLAN/ELEVATION LEGEND

	SMOKE ALARM 44		CARBON MONOXIDE ALARM (CMA) 45		FLOOR DRAIN
	WATERPROOF DUPLEX OUTLET	DJ	DOUBLE JOIST		SOLID BEARING (TO BE SAME WIDTH AS SUPPORTED MEMBER)
	VENTS AND INTAKES	PT	PRESSURE TREATED LUMBER		POINT LOAD
	HOSE BIB	GT	GIRDER TRUSS		FLAT ARCH
	EXHAUST FAN 38	AF	ABOVE FINISHED FLOOR		2 STORY WALL
	COLD CELLAR VENT 50	BBFM (FL)	BEAM BY FLOOR MANUF FLUSH		EXT. LIGHT FIXTURE (WALL MOUNTED)
	STOVE VENT	(DR)	DROPPED		HYDRO METER
	FIRE PLACE VENT	'DO'	REPEAT SAME JOIST SIZE		GAS METER
	DRYER VENT	U/S	UNDER SIDE		
		FG	FIXED GLAZING		
		GB	GLASS BLOCK		
		BG	BLACK GLASS		

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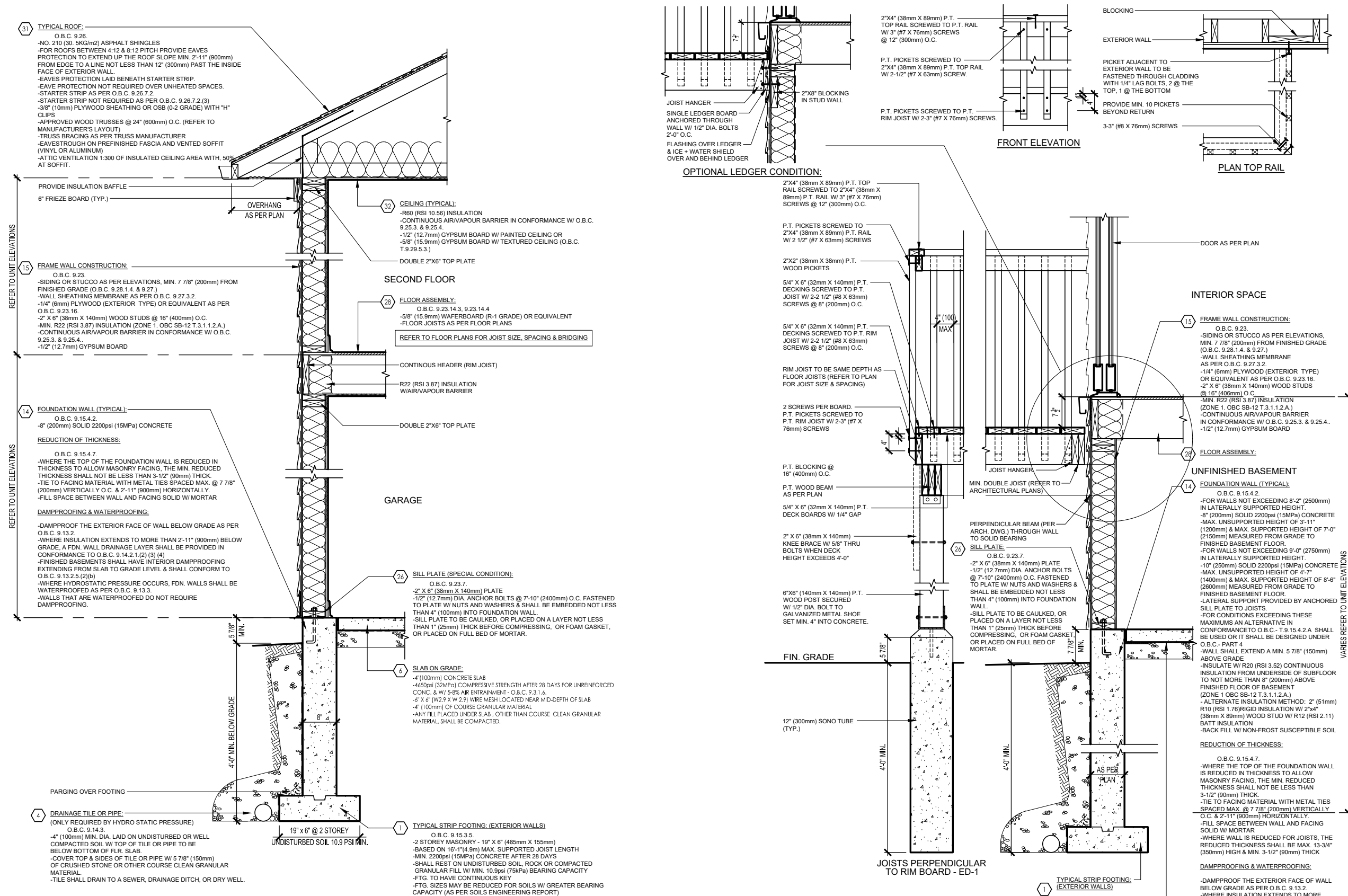
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D3



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2	ISSUED FOR PERMIT	28-AUG-23

client

RITE-WAY CONSTRUCTION

project

GARAGE W/ ADU

location

3020 COCKSHUTT RD
WATERFORD, ON

drawing

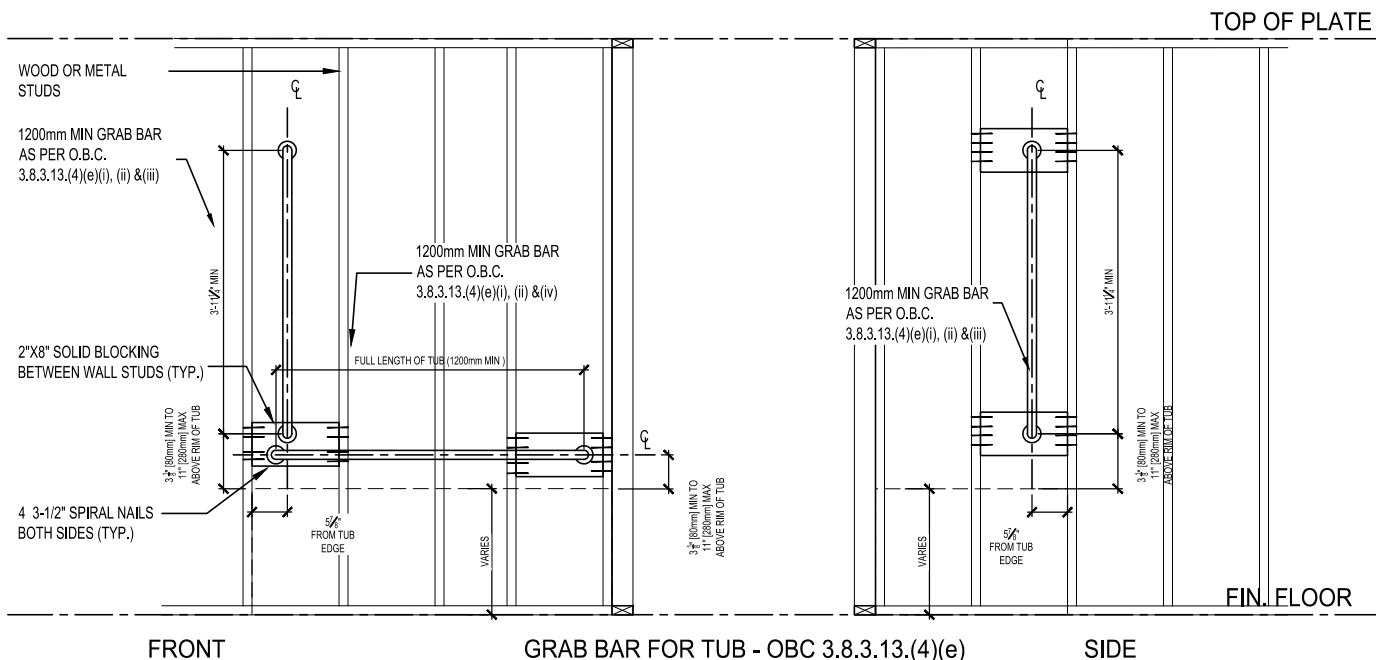
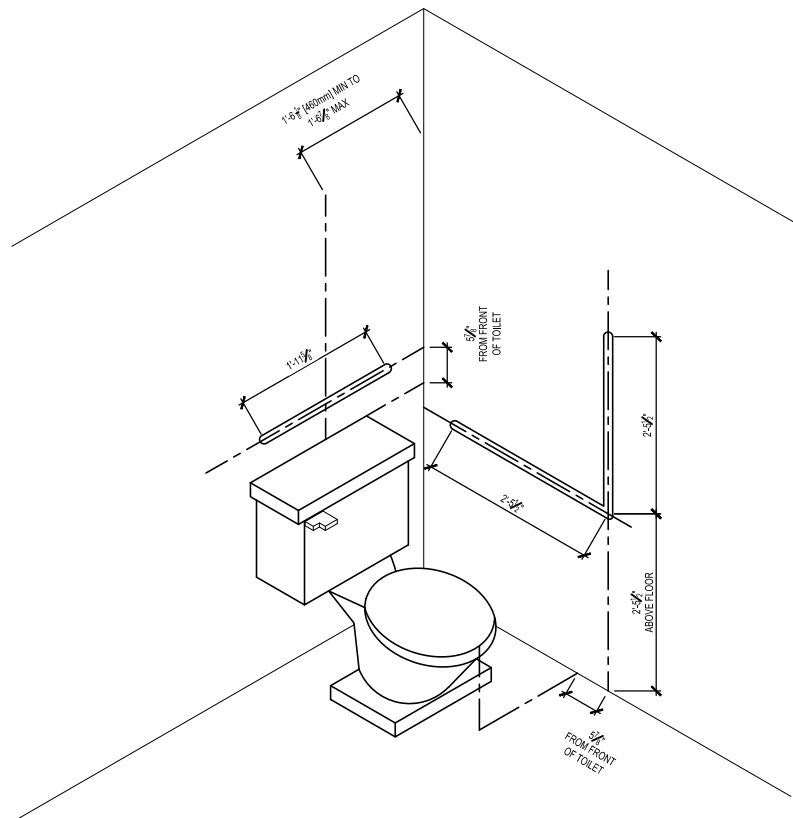
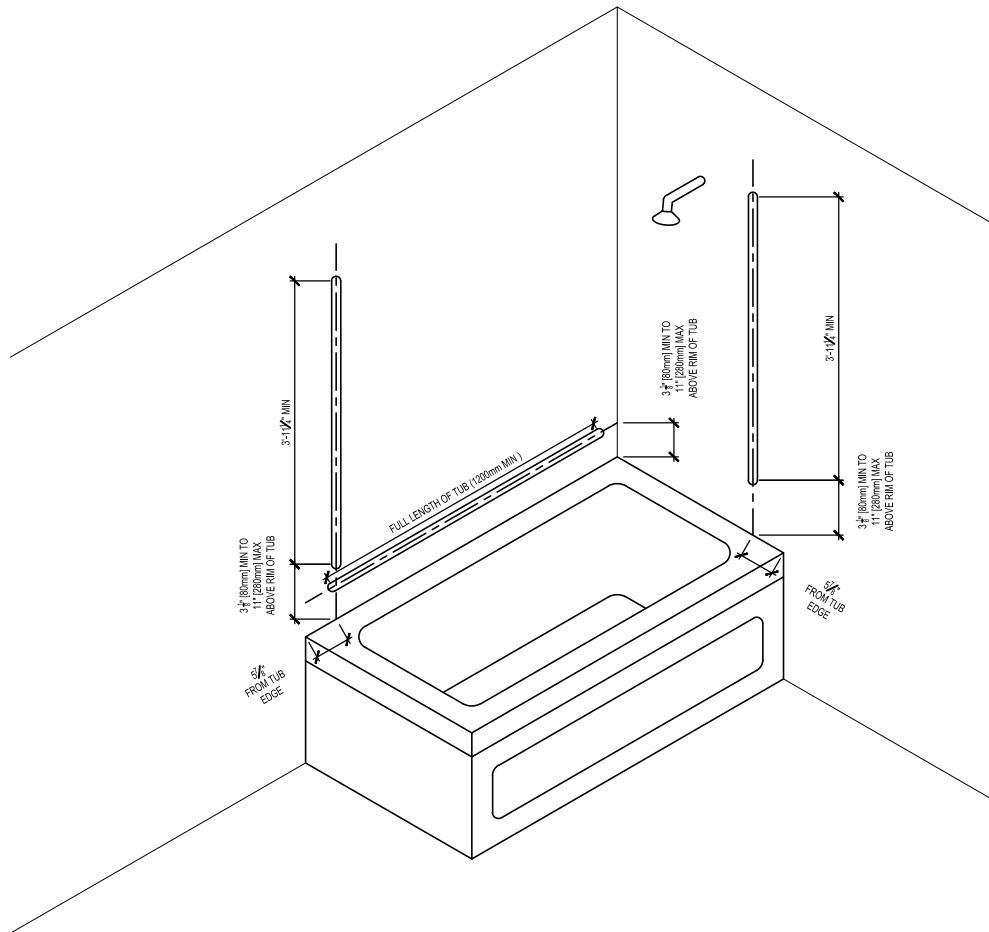
DETAILS & SECTIONS

date
AUG 28, 2023

page

D4

scale
3/8" = 1'-0"

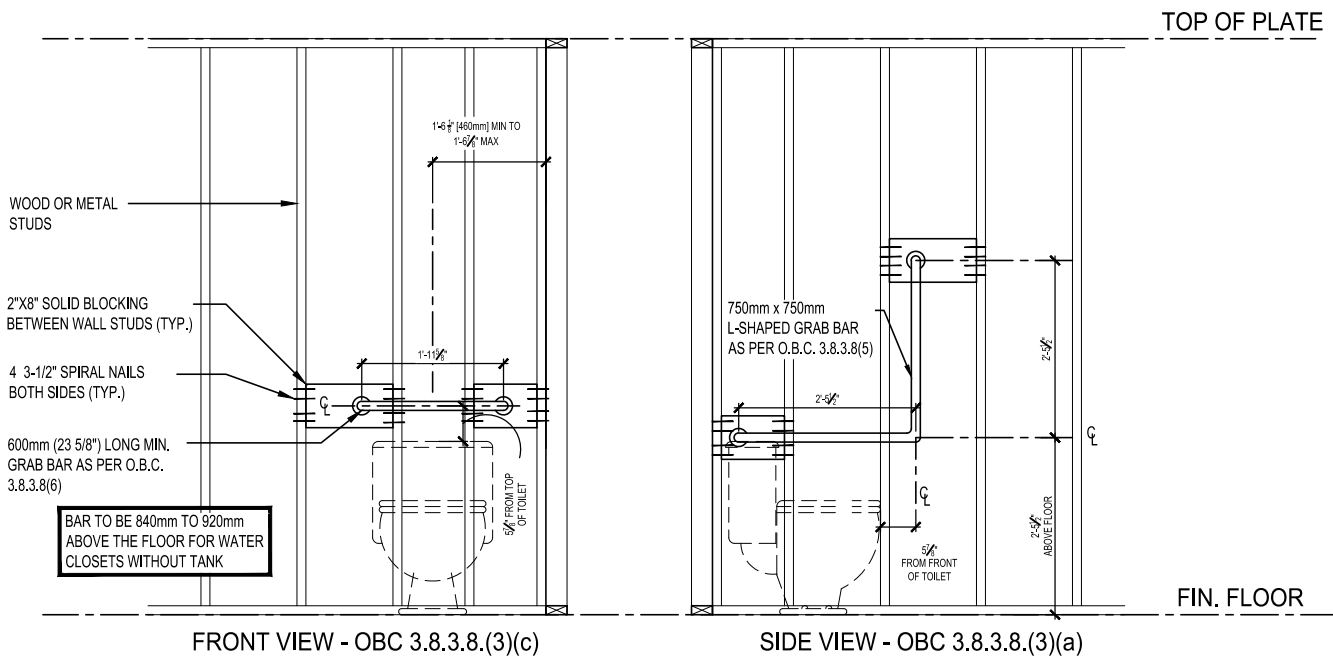


GRAB BARS - OBC 3.8.3.8.(7):
-MUST BE NO LESS THAN 30mm (1-3/16") AND NOT GREATER THAN 40mm (1-1/2").
-HAVE A CLEARANCE OF 38mm TO 50mm FROM WALL.
-HAVE A SLIP RESISTANT SURFACE.
-RESIST LOAD OF 1.3 kN APPLIED VERTICALLY & HORIZONTALLY

THE FASTENERS CONSIST OF NO FEWER THAN 2 WOOD SCREWS AT EACH POINT, PENETRATING NOT LESS THAN 32mm(1-1/4") INTO SOLID WOOD.

51-1

GRAB BAR REINFORCING DETAIL @ TUB



GRAB BARS - OBC 3.8.3.8.(7):
-MUST BE NO LESS THAN 30mm (1-3/16") AND NOT GREATER THAN 40mm (1-1/2").
-HAVE A CLEARANCE OF 38mm TO 50mm FROM WALL.
-HAVE A SLIP RESISTANT SURFACE.
-RESIST LOAD OF 1.3 kN APPLIED VERTICALLY & HORIZONTALLY

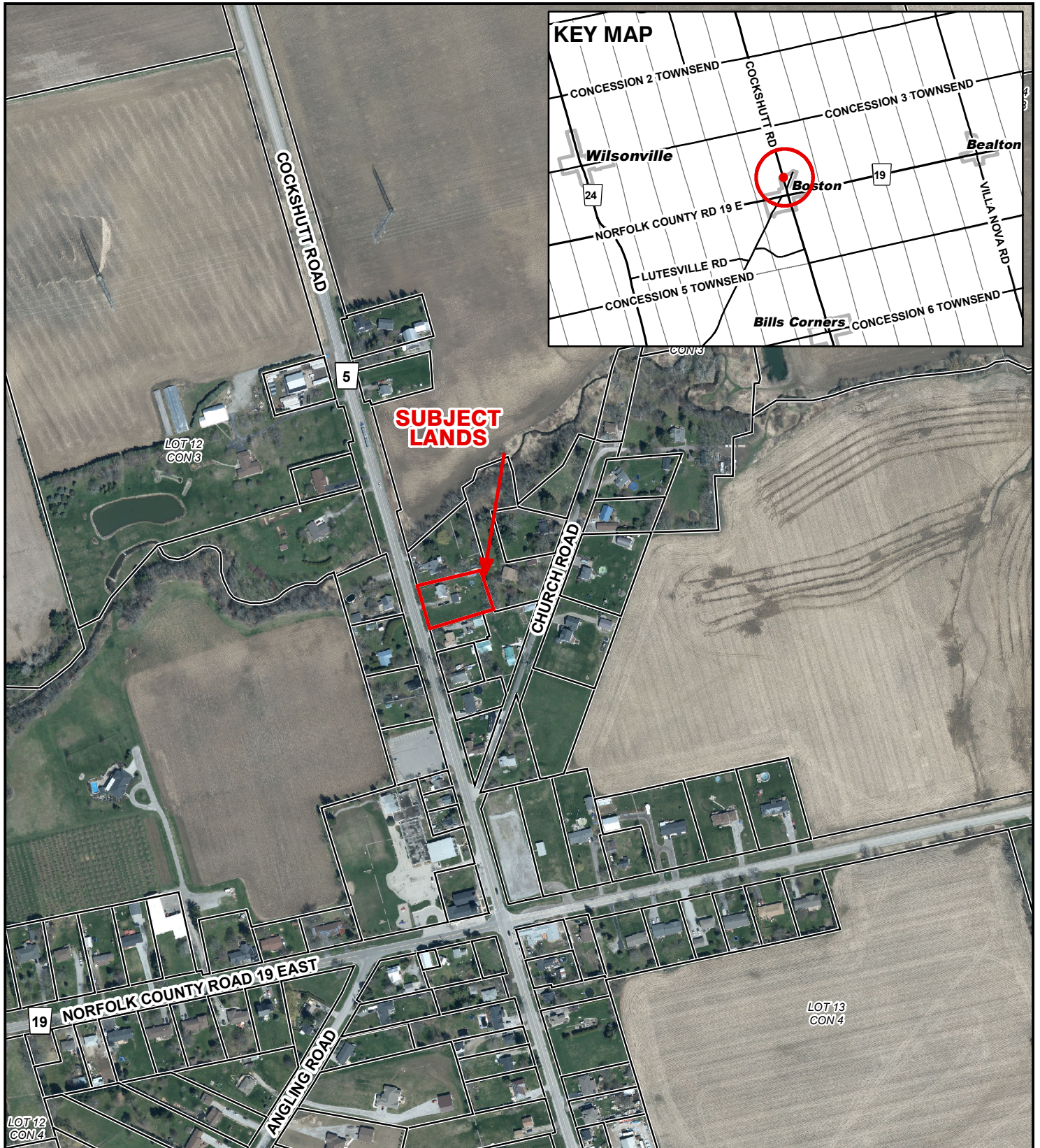
THE FASTENERS CONSIST OF NO FEWER THAN 2 WOOD SCREWS AT EACH POINT, PENETRATING NOT LESS THAN 32mm(1-1/4") INTO SOLID WOOD.

51-2



GRAB BAR REINFORCING DETAIL @ TOILET

MAP A
CONTEXT MAP
Geographic Township of TOWNSEND

ANPL2023327

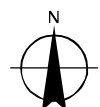


Legend

-  Subject Lands
-  Lands Owned

2020 Air Photo

12/12/2023



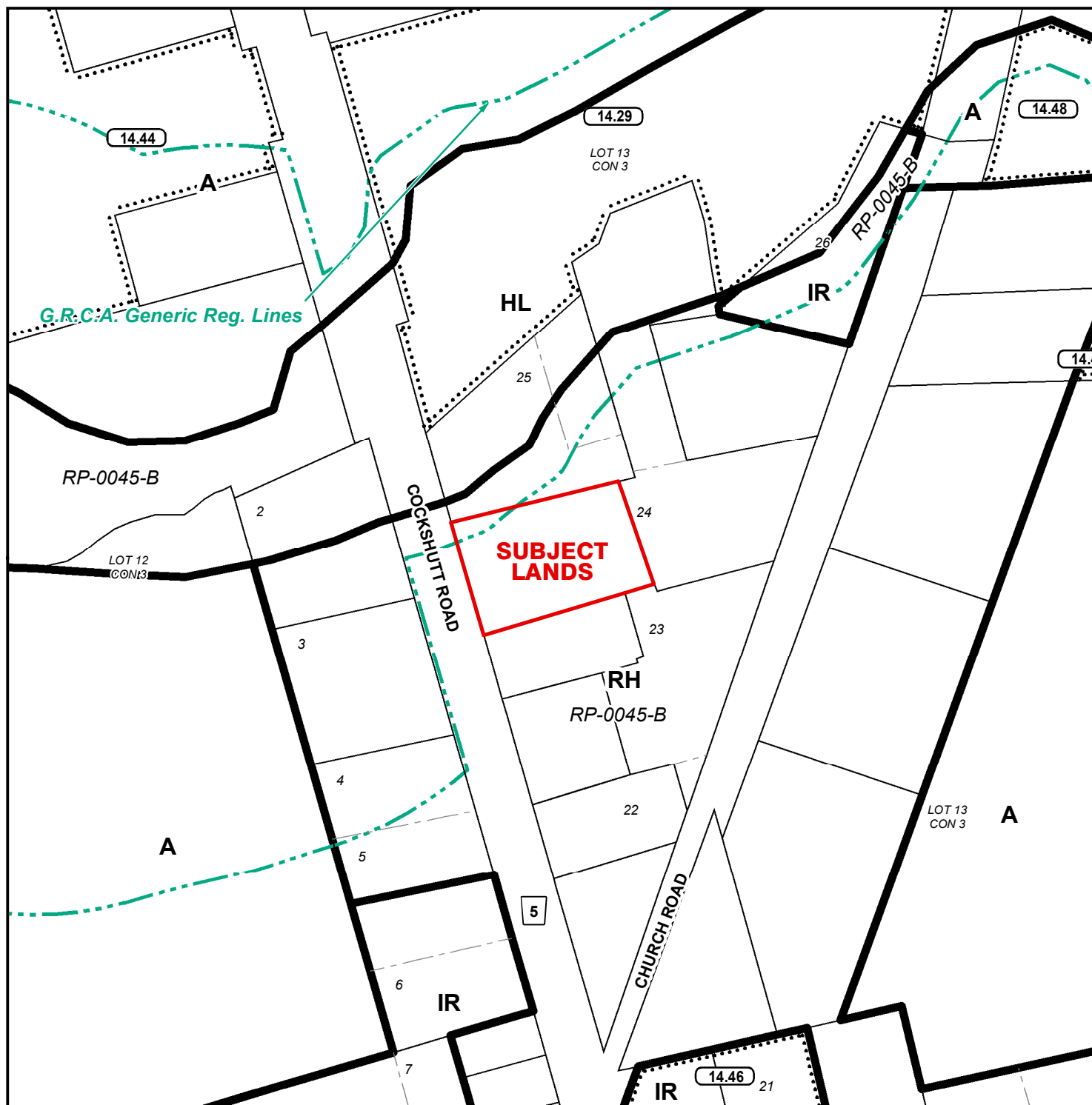
40 20 0 40 80 120 160 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of TOWNSEND

ANPL2023327



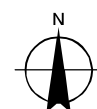
LEGEND

- Subject Lands
- Lands Owned
- GRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

12/12/2023

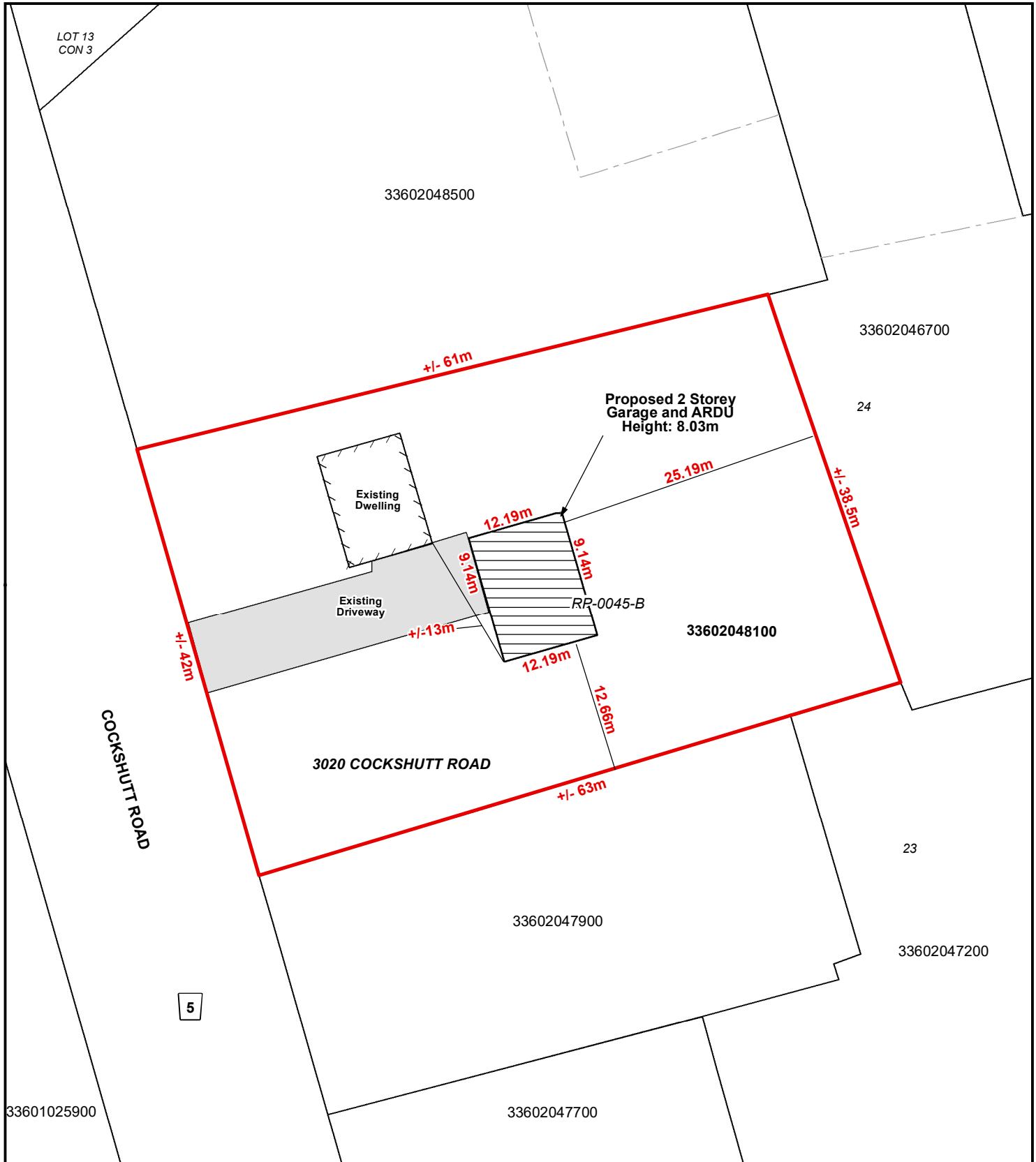
- (H) - Holding
- A - Agricultural Zone
- RH - Hamlet Residential Zone
- HL - Hazard Land Zone
- IR - Rural Institutional Zone



10 5 0 10 20 30 40
Meters

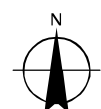
CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

- Subject Lands
- Lands Owned



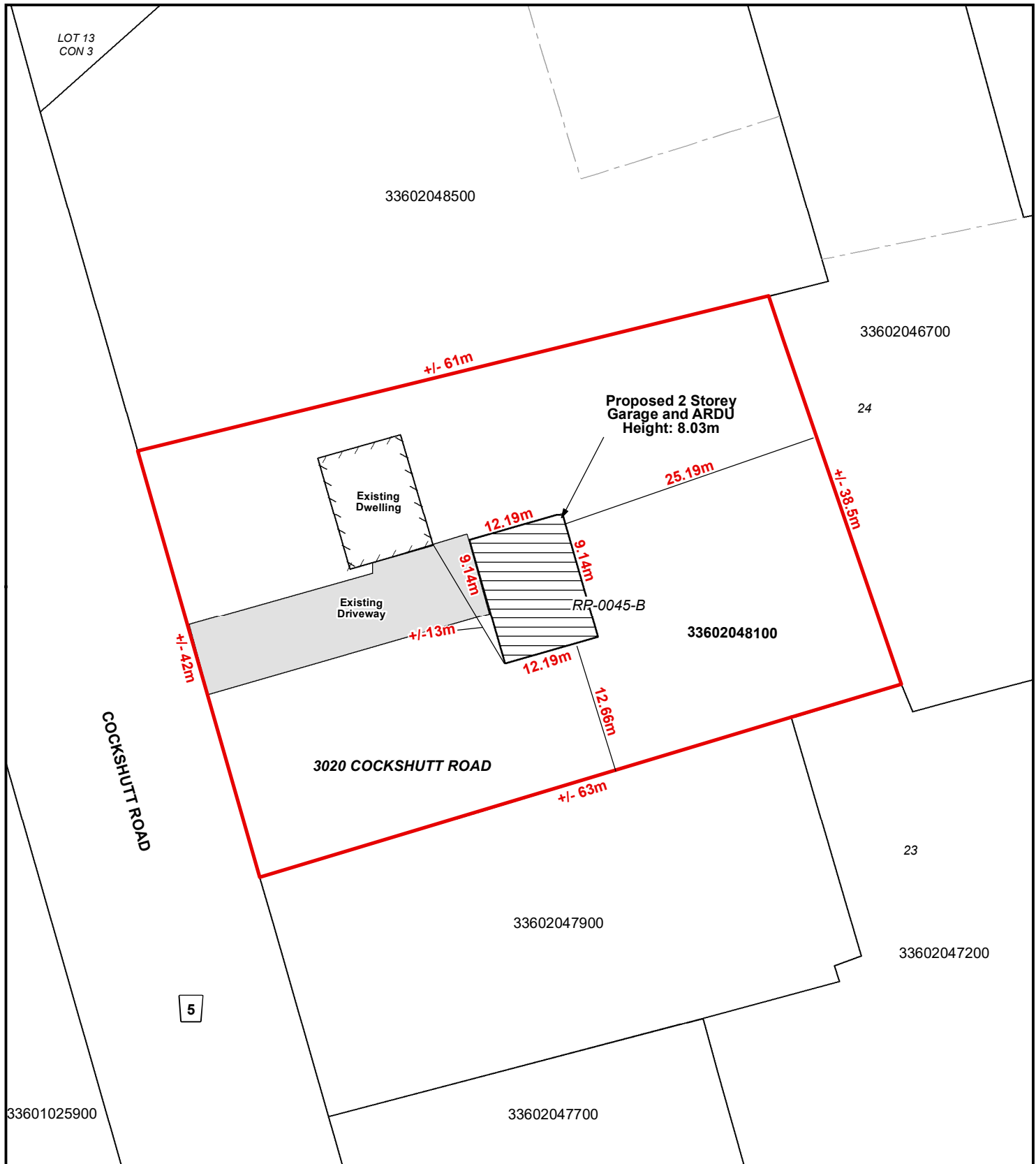
12/12/2023



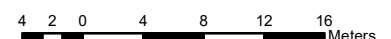
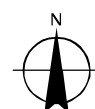
ANPL2023327

CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend



12/12/2023