

For Office Use Only:			
File Number	BNPL2023399	Application Fee	\$4952.00
Related File Number	ANPL2023400	Conservation Authority Fee	2743.00
Pre-consultation Meeting		Well & Septic Info Provided	Yes - required
Application Submitted	Dec,19.2023	Planner	N/A
Complete Application	Jan.24.2024	Public Notice Sign	Hanne Yager

Check the type of planning application(s) you are submitting.

- ☒ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 331033401011300

A. Applicant Information

Name of Owner Larry de Koning

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 110 Brown Street

Town and Postal Code Port Dover, ON N0A 1N7

Phone Number 519-410-1907

Cell Number _____

Email dekoning@kwic.com

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent Mary Elder, Elder Plans Inc.
Address 32 Miller Cres
Town and Postal Code Simcoe, ON N3Y 4R1
Phone Number _____
Cell Number 519-429-4933
Email Elderplans2018@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PIN 50247 is composed of part of lots 25 and 26, lots 37, 38 39, in Block 29, Plan 207, Port Dover.
the proposal is to sever lot 37

Municipal Civic Address: 12 Crescent Park

Present Official Plan Designation(s): Urban Residential

Present Zoning: R2

2. Is there a special provision or site specific zone on the subject lands?

Yes ☒ No ☐ If yes, please specify:

3. Present use of the subject lands:

residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

see survey sketch for details. There are 3 dwellings, 3 buildings and 6 small sheds.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

on lot 37 - one semi-detached

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

more than 20 years

9. Existing use of abutting properties:

residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	49.43 m	17 m	5.2.2 b)	18.317 m	
Lot depth	44.977 m			24.536 m	
Lot width	49.43 m			18.317 m	
Lot area	2032.58 sq m	510 sq m	.5.22 a)	450.93 m	59.07 sq m
Lot coverage					
Front yard	0.81 m	6.m	5.2.2 c)	6 m	on retained lot
Rear yard	7.5 m plus	7.5 m	5.2.2 f)	7.5 m	
Height					
Left Interior side yard	1.17 m	1.2 m	5.2.2 e) iii)	1.2 m	
Right Interior side yard	2.66 m	1.2 m	5.2.2 e) iii)	1.2 m	
Exterior side yard (corner lot)					
Parking Spaces (number)	6	2/dwelling	4.9 a)	4	
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The shape of the property and location of existing dwelling on the west create a situation where lot 37 is smaller than the minimum lot size. All other provisions can be met. This semi will replace a home that was on lot 37 but lost due to a fire. Retained lot has existing front yard deficiencies.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage:	<u>18.317 m</u>
Depth:	<u>24.536 m</u>
Width:	<u>18.317 m</u>
Lot Area:	<u>450.93 sq m</u>
Present Use:	<u>vacant</u>
Proposed Use:	<u>residential</u>

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage:	<u>31.116 m</u>
Depth:	<u>44.977 m</u>
Width:	<u>31.116 m minimum</u>
Lot Area:	<u>1581.65 sq m</u>
Present Use:	<u>residential</u>
Proposed Use:	<u>residential</u>

Buildings on retained land: 3 dwellings, 23 buildings, 5 sheds

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:	_____
Depth:	_____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

owners knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|---|---|
| <input checked="" type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input checked="" type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|--|---------------------------------------|
| <input checked="" type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

Crescent Park

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

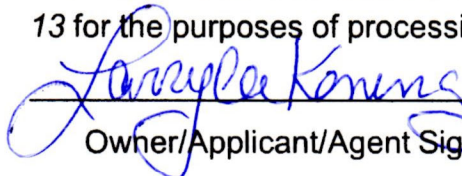
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

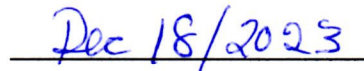
Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

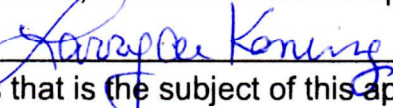
For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.


Owner/Applicant/Agent Signature

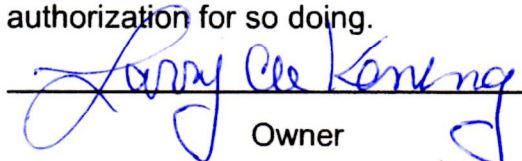

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We  am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mary Elder of Elder Plans Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner


Date

Owner

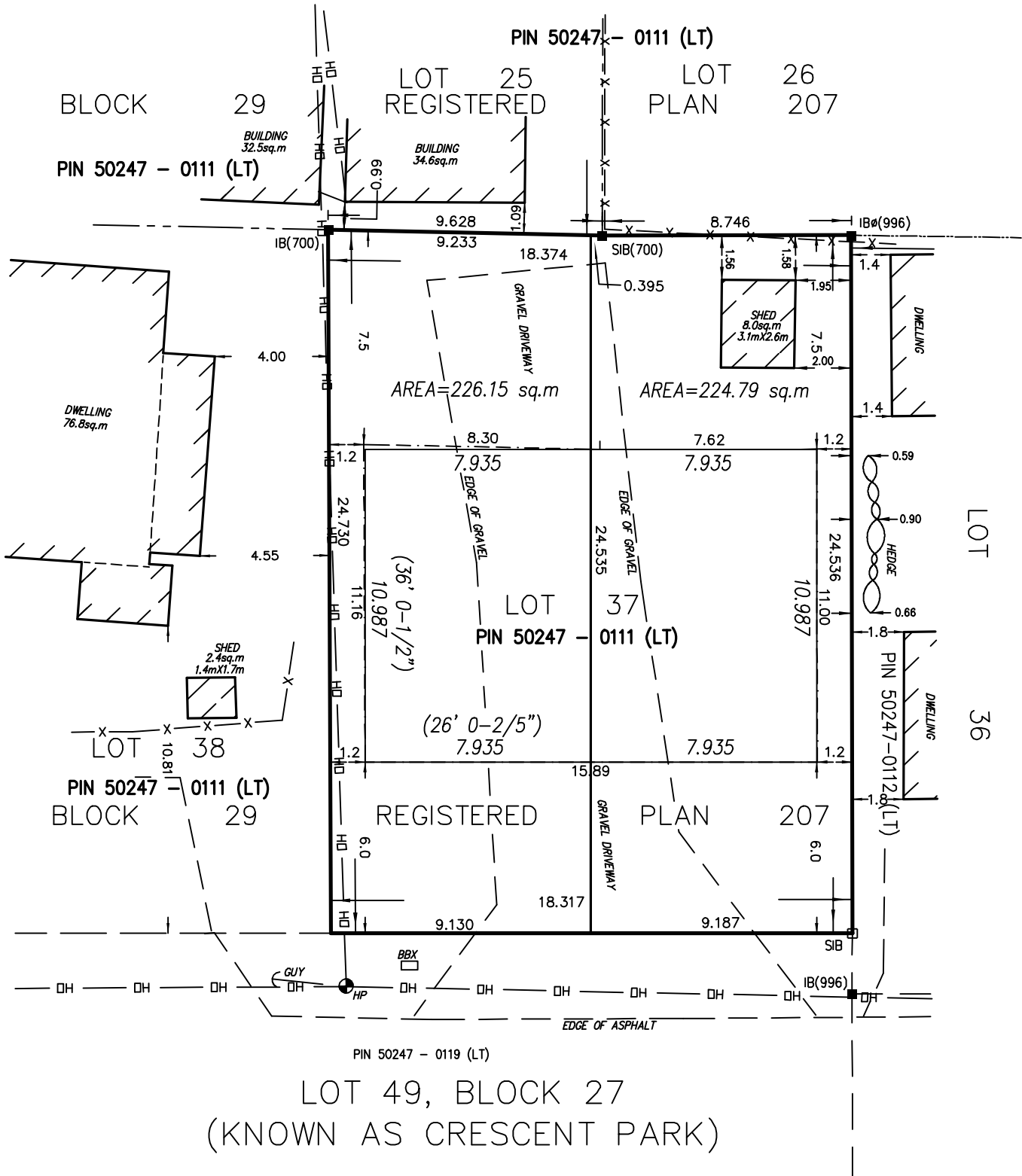
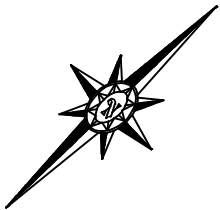
Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

SKETCH SHOWING
BUILDING ENVELOPE
LOT 37
BLOCK 29
REGISTERED PLAN 207
PORT DOVER

PART OF PIN 50247 - 0111 (LT)

SCALE: 1 : 200
JEWITT AND DIXON LTD.
SEPTEMBER 21, 2023



NOTE:

THIS PLAN IS IN METRIC AND CAN BE CONVERTED
TO IMPERIAL BY MULTIPLYING BY 3.2808

CAUTION:

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT
BE USED FOR PURPOSES OTHER THAN THE
PURPOSE INDICATED IN THE TITLE BLOCK.

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JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

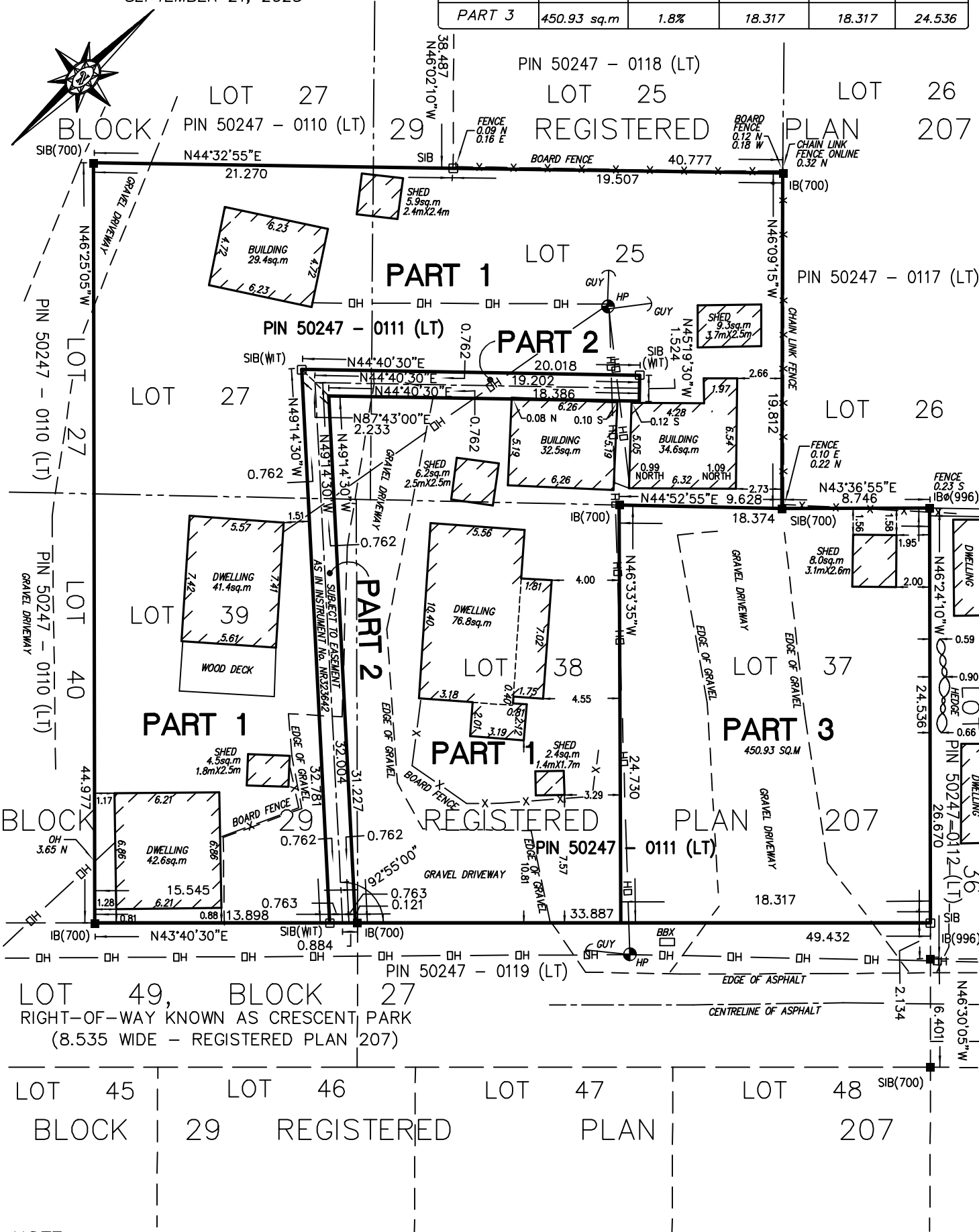
JOB # 23-3693 CLIENT : DEKONING

SKETCH FOR
PROPOSED SEVERANCE
LARRY DEKONING
#12, #14 & #18
CRESCENT PARK
PORT DOVER

SCALE: 1 : 300
JEWITT AND DIXON LTD.
SEPTEMBER 21, 2023

LEGAL DESCRIPTION
PART LOTS 25 & 27, BLOCK 29 &
ALL OF LOTS 37, 38 & 39, BLOCK 29
REGISTERED PLAN 207
PIN 50247 - 0111 (LT)

	AREA (sq.m)	% LOT COVERAGE	FRONTAGE	WIDTH	DEPTH
EXISTING	2032.58 sq.m	15.2%	49.432	49.432	44.977
PART 1	1503.61 sq.m	20.1%	29.590	40.777	44.977
PART 2	78.04 sq.m	0%	1.526	1.524	32.78
PART 3	450.93 sq.m	1.8%	18.317	18.317	24.536



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JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

JOB # 23-3693 CLIENT : DEKONING



GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 30 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1510 psf
- CONSTRUCTION SEQUENCING:
 - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 15 (30cm) LIFTS
 - EVENLY AROUND STRUCTURE.
 - COMPACT BACKFILL TO 98% STANDARD PROCTOR.
 - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
 - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
GROUND SNOW LOAD: 1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD: 1.12 KPA (23.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (150): 0.45 KPA (9.4 psf)
1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD NO. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 9,20,5,2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO.

RISE: MAX. 7 7/8"
RUN: MIN. 10 1/16"
TREAD: MIN. 11"
NOSING: MAX. 1"
HEADROOM: MIN. 6'-5"
UNIFORM RISE/RUN

LEGEND

SB SOLID BEARING
SB FOR GIRDER
F.L. POINT LOAD
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL, NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

DESIGNER DISCLAIMER

- THESE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE.
- IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PROPOSED RESIDENCE FOR

BOER HOMES
12 CRESCENT PARK, FORT DOVER

PROJECT NUMBER

C119-23-03

djDESIGN
Architectural • Energy • HVAC

Phone: (519) 539-9987 318 Hunter Street
E-mail: plans@djdesign.ca Woodstock, ON
Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER
2.1.1.1. OF THE BUILDING CODE

DEREK JUKEMA 21759
NAME BCIN

SIGNATURE

FRONT & REAR ELEVATION

scale:
AS NOTED

date:
2023-12-12

drawn by:
JVB

designed by:
JENSEN@DJDESIGN.CA

checked by:
ATU

A-1



DRAFT PLAN
NOT FOR
CONSTRUCTION

- CONTRACTOR TO CHECK & VERIFY ANY
DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
DIMENSIONS SHALL BE TO UNLESS OTHERWISE SCALED
ALL CONSTRUCTION, MATERIALS & EQUIP. TO ADHERE TO
LATEST EDITION OF THE U.S. & LOCAL BY-LAWS.
1. ALL FOUNDATIONS TO BE BUILT ON UNDISTURBED SOIL TO
LOCAL FROST LEVELS (14" - 20" MIN. BELOW GRADE).
2. ALL FOUNDATIONS TO BE BUILT TO MEET ALL TYP.
CONSTRUCTION DETAILS AND NOTES.
3. 1/2" MIN. CONC. REBAR COVERAGE
4. 12" MIN. MIN. STRENGTH 4000 MPa (58 KSI) 3000 psi
5. MIN. STRENGTH 4000 MPa (58 KSI)
6. ASSUMED SOIL BEARING CAPACITY - 1500 psi
CONSTRUCTION SEQUENCE:
1. BACKFILL INTERIOR OF BUILDING UNCOMPACTED SAND
BACKFILL TO BE PLACED IN 15" (30CM) LIFTS
2. MIN. 1' AROUND STRUCTURE
3. COMPACT BACKFILL TO 95% STANDARD PROCTOR;
4. ROOF TRUSSES & GIRDERES DESIGNED BY TRUSS MANUF.
FIRM TO BE REMOVED & DISPOSED BY CRUMBLING UNTIL
FINAL BRACING INSTALLATION COMPLETE.

DESIGN DATA LOCATION: SIMCOE

GROUND SNOW LOAD,	1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD,	1.12 KPA (23.4 psf)
DEAD LOAD,	0.48 KPA (10 psf)
WIND LOAD (1/50),	0.45 KPA (9.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD NO. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 9.20.5.2.

BL-1	4" V x 3 1/2" H x 1/4" T	8'-2"
BL-2	5" V x 3 1/2" H x 5/16" T	10'-1"
BL-3	6" V x 3 1/2" H x 7/16" T	11'-7"
BL-4	6" V x 3 1/2" H x 1/2" T	12'-4"

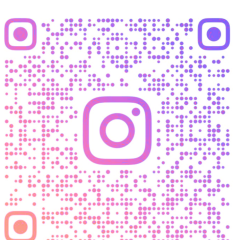
RISE:	MAX. 7 1/8"		
RUN:	MIN. 10 1/16"		
TREAD:	MIN. 11"		
NOBING:	MAX. 1"		
HEADROOM: MIN.	6'-5"		
UNIFORM RISE/RUN		D.J.	DOUBLE JOIST
		T.J.	TRIPLE JOIST
		D.C.J.	DOUBLE CEILING JOIST

1. ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) PLY 2X10 C/W 2x4 DRYWALL NAILER & FLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE.
2. ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
3. PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

1. THESE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE.
2. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
3. HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

BOER HOMES
12 CRESCENT PARK, PORT DOVER

C119-23-03



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

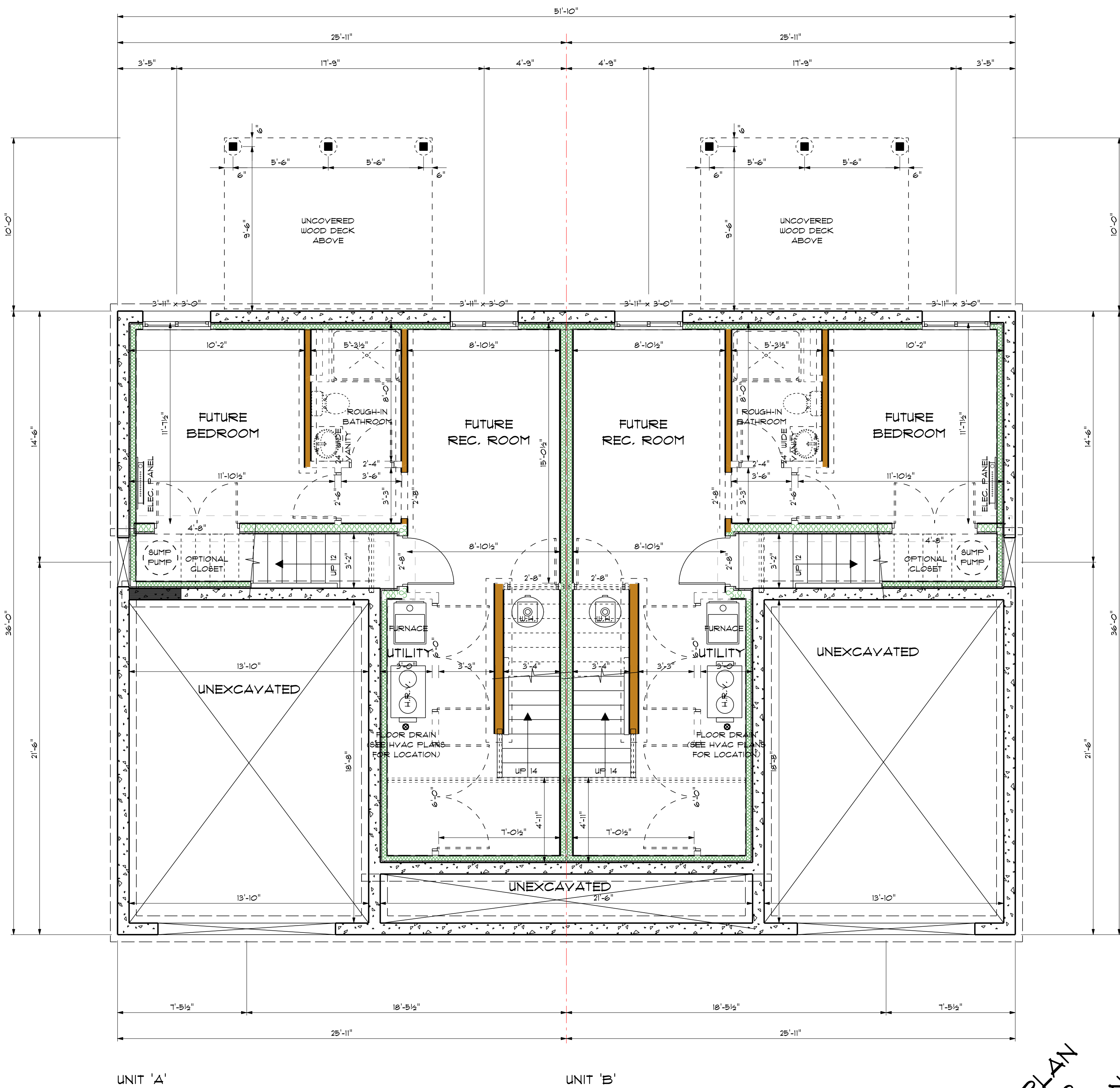
DEREK JUKEMA 21759

NAME BCIN

SIGNATURE

scale:	48 NOTED
date:	2013-12-12
drawn by:	JVB
designed by:	JENSEN@D.J.DESIGN.CA
checked by:	ATW

A-2



UNIT 'A'

UNIT 'B'

FOUNDATION PLAN - DRAFT I
SCALE: 1/4" = 1'-0"

DRAFT PLAN
NOT FOR
CONSTRUCTION

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL PROB. LEVELS (4'-0" MIN. BELOW GRADE).
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 150 psf
- CONSTRUCTION SEQUENCING:
 - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 15' (3000) LIFTS EVENLY AROUND STRUCTURE.
 - COMPACT BACKFILL TO 98% STANDARD PROCTOR.
 - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
 - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
GROUND SNOW LOAD: 1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD: 1.12 KPA (23.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (150): 0.45 KPA (9.4 psf)
1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. IN POURED CONC. SLABS
ALL WOOD NO. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL
MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 9,20,5,2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO. LEGEND
RISE: MAX. 7 1/8" 8" SOLID BEARING
RUN: MIN. 10 1/16" 8" FOR GIRDER
TREAD: MIN. 11" 8" POINT LOAD
NOSING: MAX. 1" 6" SINGLE JOIST
HEADROOM: MIN. 6'-5" 6" J. DOUBLE JOIST
UNIFORM RISE/RUN T.J. TRIPLE JOIST
D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL, NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

DESIGNER DISCLAIMER

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- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

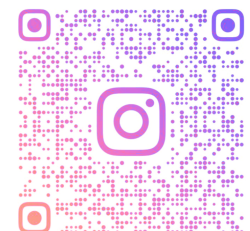
PROPOSED RESIDENCE FOR
BOER HOMES
12 CRESCENT PARK, FORT DOVER

PROJECT NUMBER

C119-23-03

djDESIGN
Architectural • Energy • HVAC

Phone: (519) 539-9987 378 Hunter Street
E-mail: plans@djdesign.ca Woodstock, ON
Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1.1.1. OF THE BUILDING CODE

DEREK JUKEMA 21759
NAME BCIN

SIGNATURE

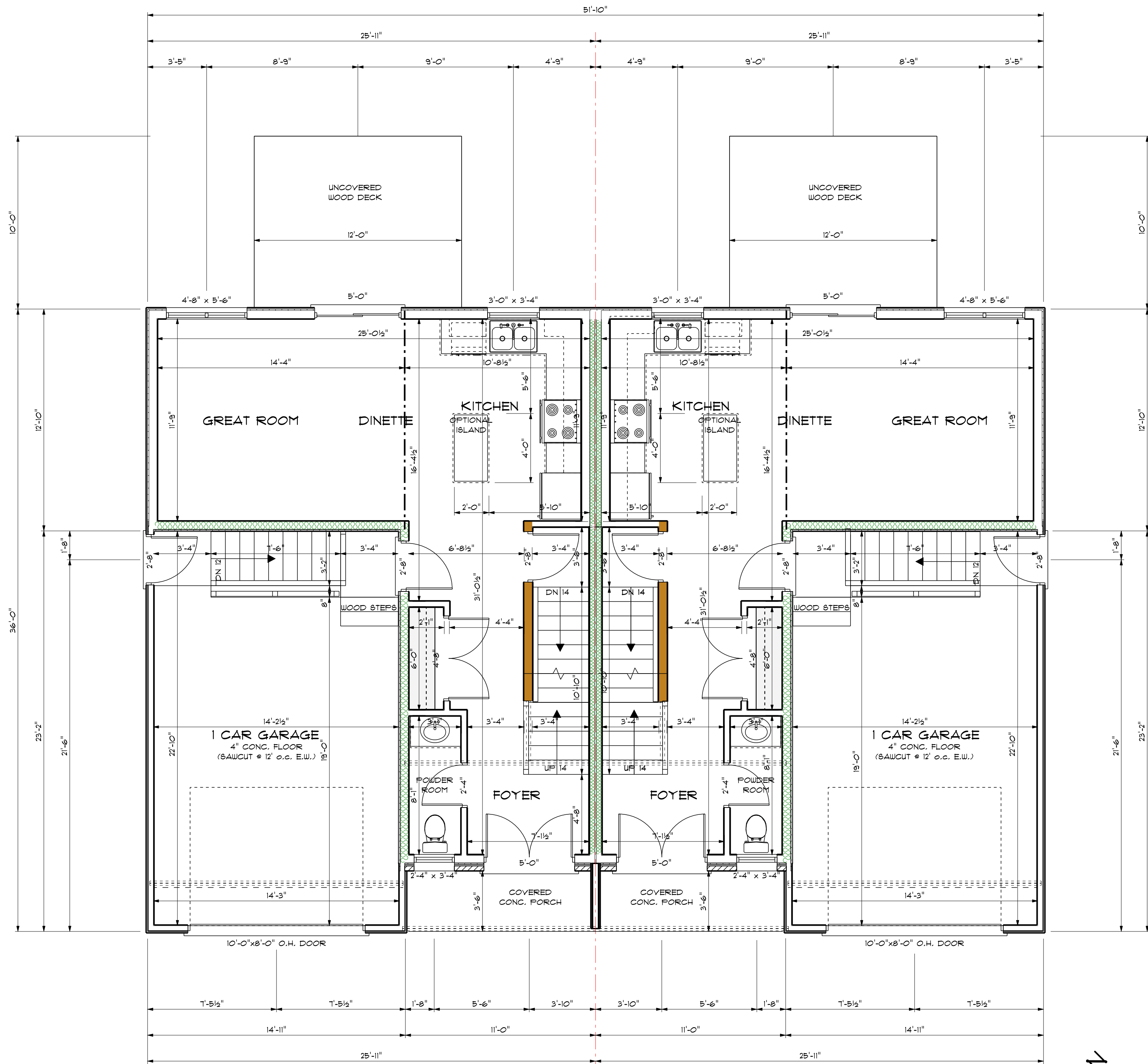
FOUNDATION PLAN

scale:
1/4" = 1'-0"
date:
2023-12-12
drawn by:
JVB
designed by:
JENSEN@DJDESIGN.CA
checked by:
ATU

A-3

WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT





UNIT 'A'	
FINISHED BASEMENT	495 sq.ft.
MAIN FLOOR PLAN	560 sq.ft.
UPPER FLOOR PLAN	852 sq.ft.
TOTAL FINISHED AREA	1907 sq.ft.
COVER PORCH	38 sq.ft.
GARAGE	335 sq.ft.
LOT COVERAGE	933 sq.ft.
TOTAL LOT COVERAGE	1866 sq.ft.

UNIT 'B'	
FINISHED BASEMENT	495 sq.ft.
MAIN FLOOR PLAN	560 sq.ft.
UPPER FLOOR PLAN	852 sq.ft.
TOTAL FINISHED AREA	1907 sq.ft.
COVER PORCH	38 sq.ft.
GARAGE	335 sq.ft.
LOT COVERAGE	933 sq.ft.
TOTAL LOT COVERAGE	1866 sq.ft.

MAIN FLOOR PLAN - DRAFT 1
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psf
- CONSTRUCTION SEQUENCING:
 - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (300mm) LIFTS EVENLY AROUND STRUCTURE.
 - COMPACT BACKFILL TO 95% STANDARD PROCTOR.
 - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
 - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
GROUND SNOW LOAD: 1.3 KPA (27.3 psf)
SPECIFIED SNOW LOAD: 1.2 KPA (25.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (150): 0.48 KPA (10 psf)
1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD No. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS 4" BRICK/STONE O.B.C. 9.20.5.2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/8" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/8" T 11'-1"
BL-4 6" V x 3 1/2" H x 1 1/2" T 12'-4"

STAIR INFO. LEGEND

RISE: MAX. 7 1/8" 8" SOLID BEARING
RUN: MIN. 10 1/16" 10" SB FOR GIRDER
TREAD: MIN. 11" 6" POINT LOAD
NOSING: MAX. 1" 8" SINGLE JOIST
HEADROOM: MIN. 6'-5" D.J. DOUBLE JOIST
UNIFORM RISE/RUN T.J. TRIPLE JOIST
D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
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PROPOSED RESIDENCE FOR

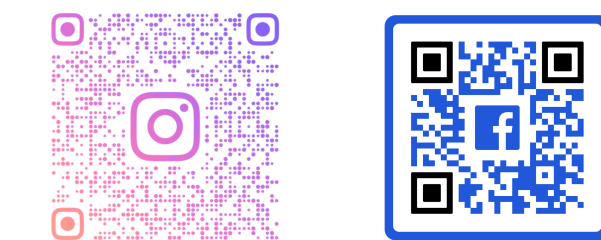
BOER HOMES

12 CRESCENT PARK, FORT DOVER

PROJECT NUMBER

C119-23-03

djDESIGN
Architectural • Energy • HVAC
Phone: (519) 539-9381 378 Hunter Street
Email: plans@djdesign.ca Woodstock, ON
Website: www.djdesign.ca N4B 4G2



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QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 217.8.1. OF THE BUILDING CODE
DEREK JUKEMA 21759
NAME SIGN

SIGNATURE

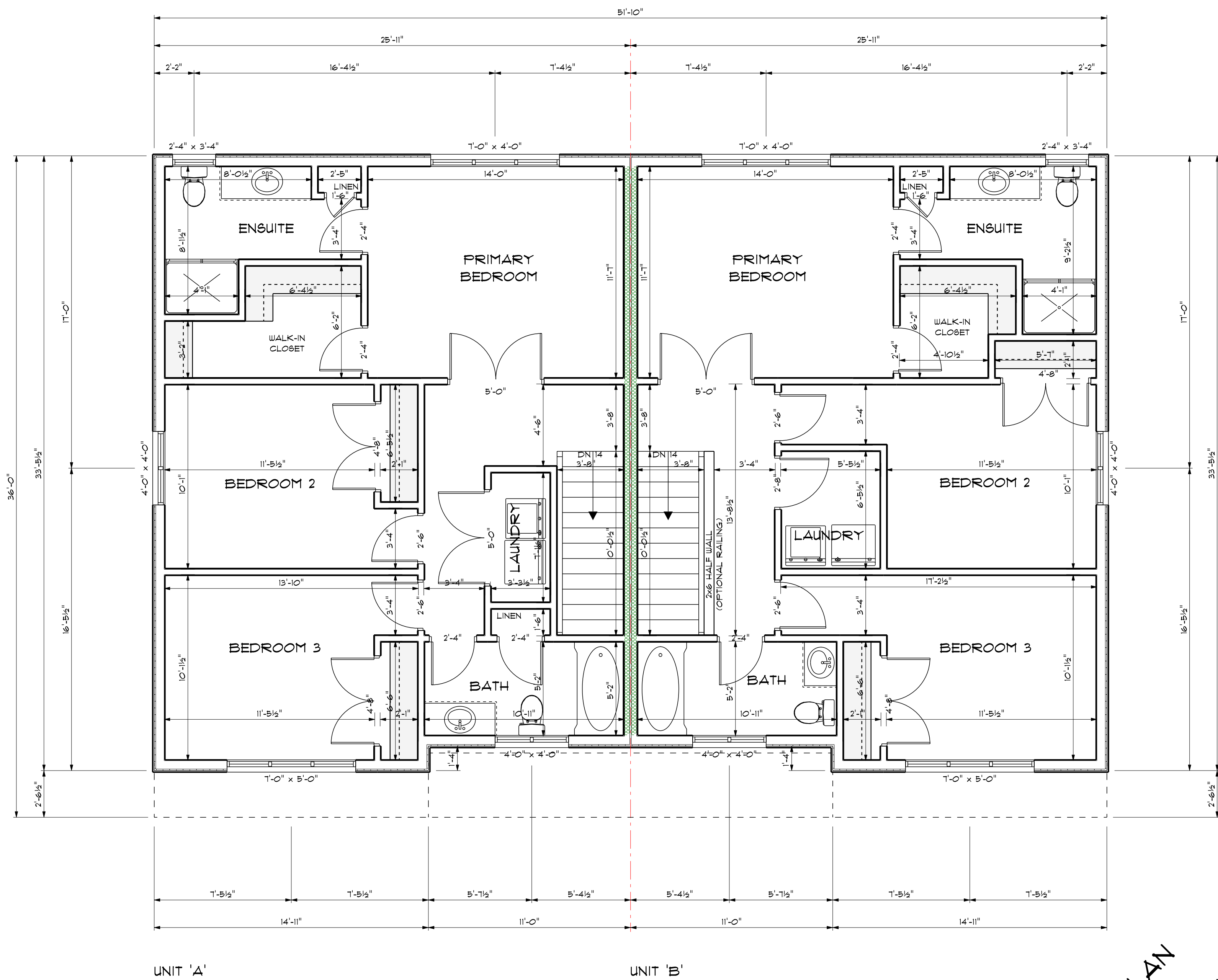
MAIN FLOOR PLAN

scale:	1/4" = 1'-0"
date:	2023-12-12
drawn by:	JVB
designed by:	JENSEN@DJDESIGN.CA
checked by:	ATW

A-4

DRAFT PLAN
NOT FOR
CONSTRUCTION





UNIT 'A'

UNIT 'B'

UPPER FLOOR PLAN - DRAFT I
SCALE: 1/4" = 1'-0"

DRAFT PLAN
NOT FOR
CONSTRUCTION

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
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- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psf
- CONSTRUCTION SEQUENCING:
 - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 15' (30cm) LIFTS EVENLY AROUND STRUCTURE.
 - COMPACT BACKFILL TO 95% STANDARD PROCTOR.
 - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
 - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
GROUND SNOW LOAD: 1.3 KPA (27.3 psf)
SPECIFIED SNOW LOAD: 1.2 KPA (25.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (150): 0.48 KPA (10 psf)
1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD No. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 9.20.5.2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/8" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/8" T 11'-1"
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO.

RISE: MAX. 7 1/8"
RUN: MIN. 10 1/16"
TREAD: MIN. 11"
NOSING: MAX. 1"
HEADROOM: MIN. 6'-5"
UNIFORM RISE/RUN

LEGEND

SB SOLID BEARING
SB FOR GIRDER
POINT LOAD
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) PLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE.
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- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PROPOSED RESIDENCE FOR

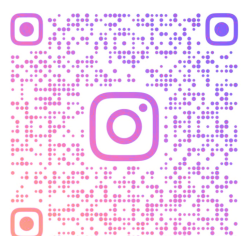
BOER HOMES
12 CRESCENT PARK, FORT DOVER

PROJECT NUMBER

C119-23-03

djDESIGN
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Phone: (519) 539-9381 378 Hunter Street
E-mail: plans@djdesign.ca Woodstock, ON
Website: www.djdesign.ca N4S 4G2



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QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 215.1. OF THE BUILDING CODE

DEREK JUKEMA 21759
NAME SIGN

SIGNATURE

UPPER FLOOR PLAN

scale:

1/4" = 1'-0"

date:

2023-12-12

drawn by:

JVB

designed by:

JENSEN@DJDESIGN.CA

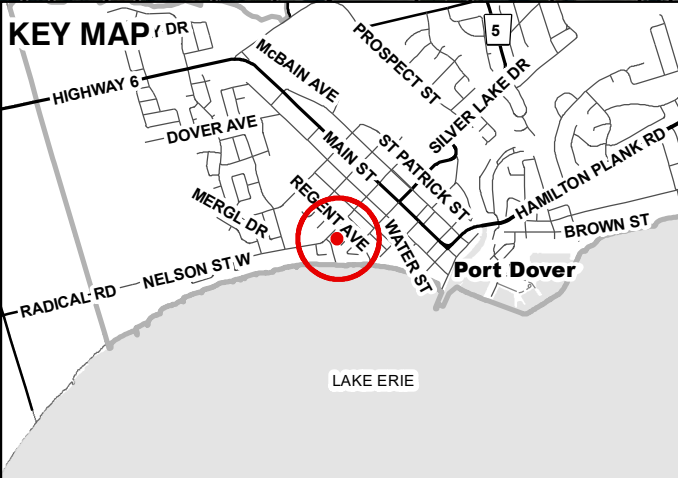
checked by:

ATW

A-5

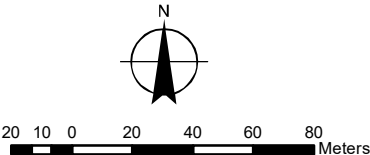


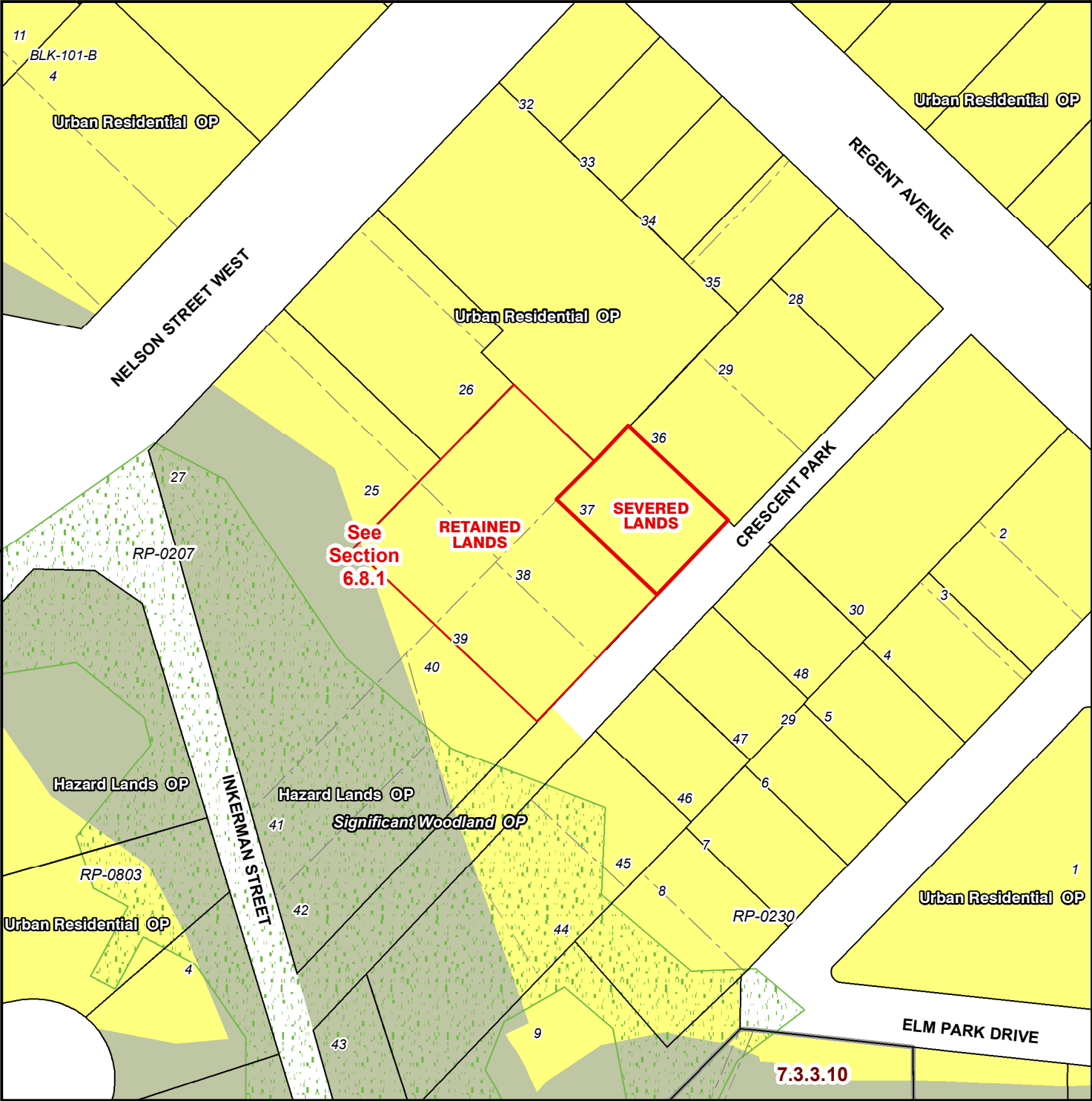
WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT



- Legend
-  Subject Lands
 -  Lands Owned
 - 2020 Air Photo

2/8/2024





Legend

- Subject Lands
- Lands Owned

Official Plan Designations

- Hazard Lands
- Urban Residential
- Special Policy Area
- Urban Area Boundary
- Significant Woodland

2/8/2024



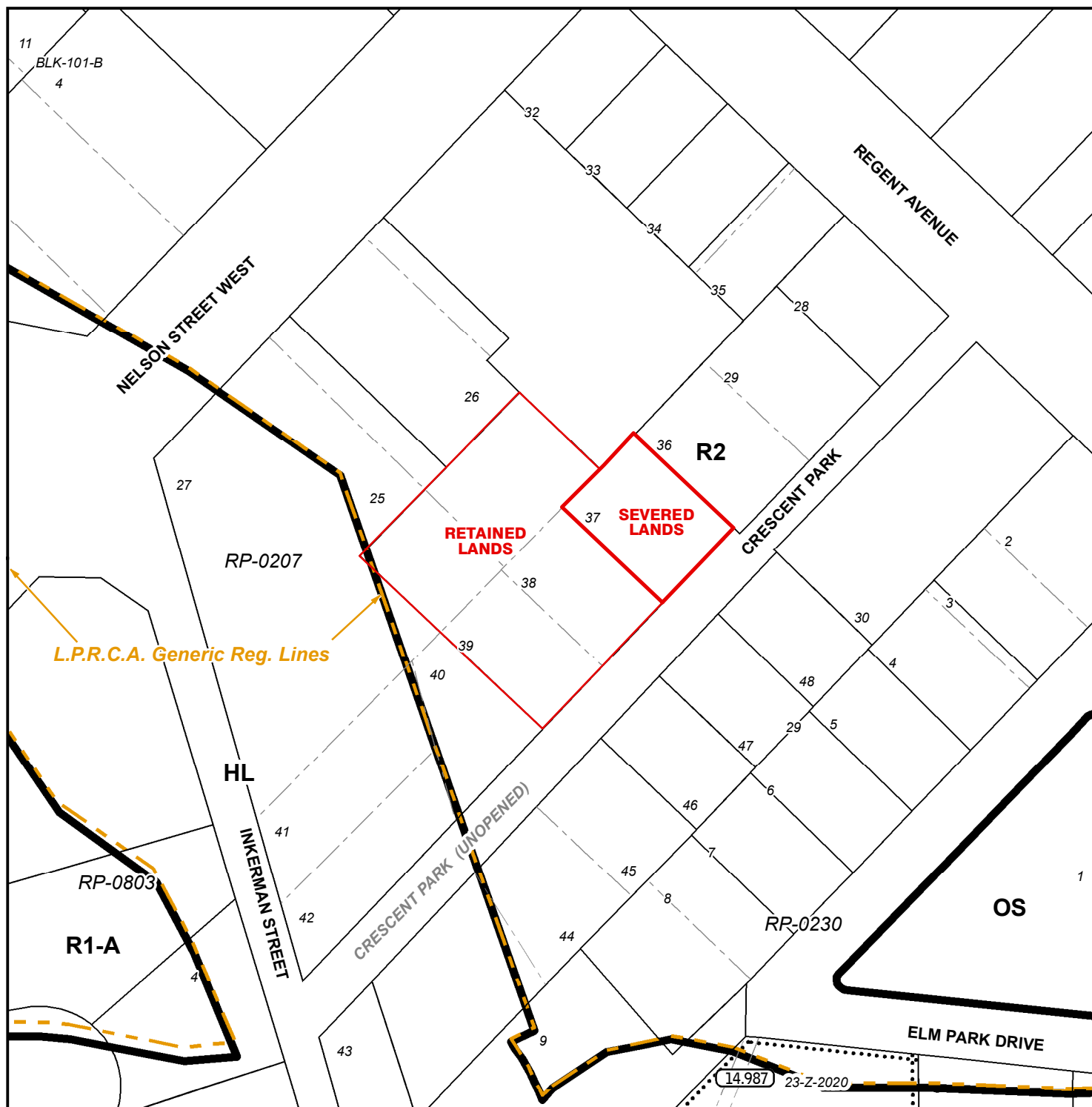
8 4 0 8 16 24 32 Meters

MAP C

ZONING BY-LAW MAP

Urban Area of PORT DOVER

BNPL2023399
ANPL2023400



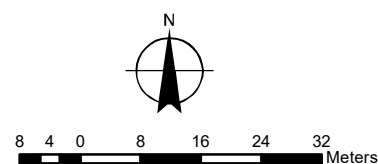
LEGEND

- Subject Lands
- Lands Owned
- LPRCA Generic Reg. Lines

ZONING BY-LAW 1-Z-2014

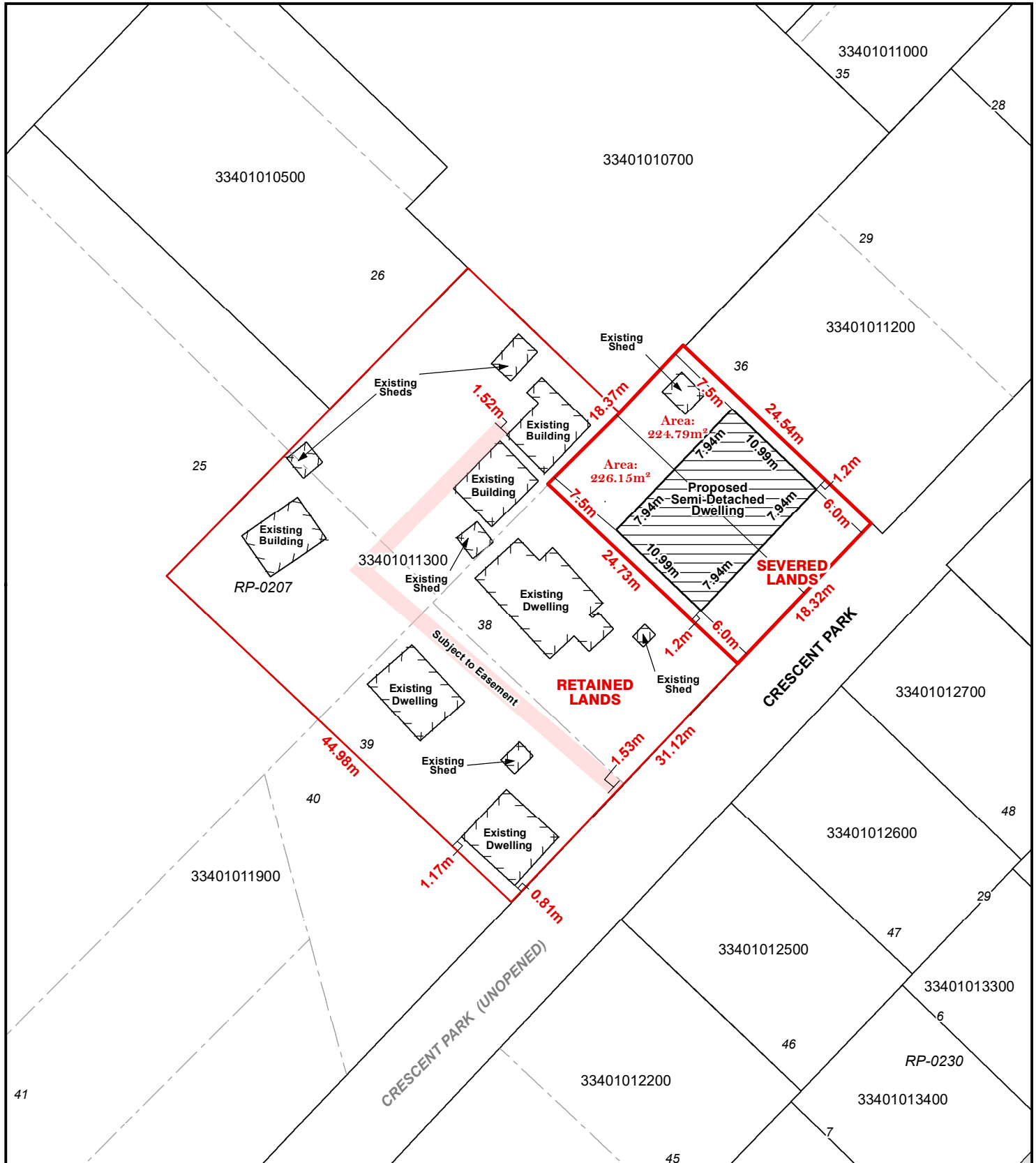
2/8/2024

- (H) - Holding
- HL - Hazard Land Zone
- OS - Open Space Zone
- R1-A - Residential R1-A Zone
- R2 - Residential R2 Zone



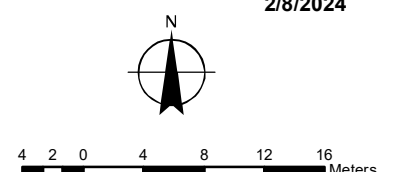
MAP D
CONCEPTUAL PLAN
 Urban Area of PORT DOVER

BNPL2023399
 ANPL2023400



Legend

- Subject Lands
- Lands Owned



CONCEPTUAL PLAN

Urban Area of PORT DOVER

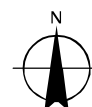
ANPL2023400



☐ Subject Lands

☐ Lands Owned

2/8/2024



A horizontal number line with tick marks at 4, 2, 0, 4, 8, 12, and 16. The word "Meters" is written at the right end.