

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- ☒ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** TBD. - NEW ROLL ## REQ'D **SEVERED LOT = LOT #10**

**A. Applicant Information**

**Name of Owner** PERRY POIRIER AND CAITLYN GILMET

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 802 HWY 59 (LOT 9 EXISTING)  
**Town and Postal Code** PORT ROWAN, ON N0E 1M0  
**Phone Number** 905 512 2283 (PERRY POIRIER)  
**Cell Number** \_\_\_\_\_  
**Email** PERRYPOIRIER.REMAX@GMAIL.COM

**Name of Applicant** PERRY POIRIER AND CAITLYN GILMET  
**Address** 802 HWY 59 (LOT 9 EXISTING)  
**Town and Postal Code** PORT ROWAN, ON N0E 1M0  
**Phone Number** 905 512 2283 (PERRY POIRIER)  
**Cell Number** \_\_\_\_\_  
**Email** PERRYPOIRIER.REMAX@GMAIL.COM

**Name of Agent** 4THGSTUDIO INC. (Gary J. Gerard)

**Address** 1835 Cedarpark Drive

**Town and Postal Code** London ON N5X 0H9

**Phone Number** \_\_\_\_\_

**Cell Number** 519 495 8980

**Email** 4THGSTUDIO@GMAIL.COM

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☒ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

PERRY POIRIER AND CAITLYN GILMET

## **B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LOT 9 AND 10 (ROLL#54305005700)

Municipal Civic Address: 802 HWY 59 (LOT 10 EXISTING)

Present Official Plan Designation(s): RR

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

SINGLE DETACHED 1 STOREY ACC. BUILDING (GARAGE)

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

EXISTING ACC. STRUCTURE TO BE DEMOLISHED.

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5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

UPON SEVERANCE A NEW DWELLING WILL BE CONSTRUCTED. SEE AA1

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

N/A 60+ YEARS

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9. Existing use of abutting properties:

RR - SINGLE DETACHED DWELLINGS

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10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.** **SEVERED LOT = LOT #10**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
<b>Lot frontage</b>	40.23M	15.0M	5.8.2.b	20.23M	NONE
<b>Lot depth</b>	45.72M			45.72M	NONE
<b>Lot width</b>	40.23M	15.0M	5.8.2.b	20.23M & 21.95M	NONE
<b>Lot area</b>	.18hA	0.4hA	5.8.2.a	957.6 SM (0.09hA)	-0.31hA
<b>Lot coverage</b>	40.0 SM (DEMO.)	15%+10%	5.8.2.h	14.9%	NONE
<b>Front yard</b>	----	6.0m	5.8.2.c	10.2M	NONE
<b>Rear yard</b>	----	9.0M	5.8.2.f	24.9M	NONE
<b>Height</b>	2.7M DEMO'D	9.1M	5.8.2.g	10.00M	+0.9METRE
<b>Left Interior side yard</b>	----	1.2M	5.8.2.e.i	4.1M	NONE
<b>Right Interior side yard</b>	----	1.2M	5.8.2.e.i	2.4M	NONE
<b>Exterior side yard (corner lot)</b>	----	----	----	----	----
<b>Parking Spaces (number)</b>	2 SPACE	1	----	3 SPACE	----
<b>Aisle width</b>	----	----	----	----	----
<b>Stall size</b>					
<b>Loading Spaces</b>					
<b>Other</b>					



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: 20.23M

Depth: 45.72M

Width: 20.23M & 21.95M

Lot Area: 957.6 SM

Present Use: RR - ACCESSORY BUILDING TO BE REMOVED.

Proposed Use: RR - SINGLE DETACHED DWELLING

Proposed final lot size (if boundary adjustment): 957.6 SM

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

TBD. - NEW ROLL ## REQ'D

Description of land intended to be retained in metric units:

Frontage: 20.00M

Depth: 45.72M

Width: 20.00 & 18.29M

Lot Area: 883.5 SM

Present Use: RR - SINGLE FAMILY DWELLING

Proposed Use: RR - SAME AS EXISTING

Buildings on retained land: 1 2 STOREY STRUCTURE - ELEVATED.

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: ---

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

**Water Supply**

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water       | <input type="checkbox"/> Communal wells         |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |

**Sewage Treatment**

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal sewers  | <input type="checkbox"/> Communal system        |
| <input checked="" type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |

**PROPOSED****Storm Drainage**

- |   |  |
|---|--|
| <input type="checkbox"/> Storm sewers           | <input checked="" type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |  |

2. Existing or proposed access to subject lands:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road             | <input type="checkbox"/> Other (describe below) |

Name of road/street:

**G. All Applications: Other Information**

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Perry Poirier

23 JAN 24

DocuSigned by:

Caitlyn Gilmet Owner/Applicant/Agent Signature

Date

D5E03949F321494...

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We PERRY POIRIER AND CAITLYN GILMET am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize 4THGSTUDIO INC. (Gary J. Gerard) to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

DocuSigned by:

Perry Poirier

23 JAN 24

4E25AD32AE64452...

Owner

Date

DocuSigned by:

Caitlyn Gilmet

23 JAN 24

D5E03949F321494...

Owner

Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



**SEVERED LOT = LOT #10**

**K. Declaration**

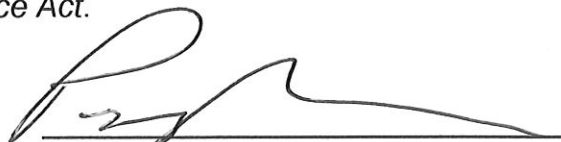
I, PERRY POIRIER of NORFOLK COUNTY

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe



Owner/Applicant/Agent Signature

In Norfolk County

This 25 day of January

A.D., 2024 Michelle Anne Bergen, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires May 8, 2026.

\_\_\_\_\_  
A Commissioner, etc.

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- ☒ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 5430505700 (LOT 9)

**A. Applicant Information**

**Name of Owner** PERRY POIRIER AND CAITLYN GILMET

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**RETAINED LOT - LOT #9 OLD - EXIST. COTTAGE.**

**Address** 802 HWY 59 (LOT 9 EXISTING)  
**Town and Postal Code** PORT ROWAN, ON N0E 1M0  
**Phone Number** 905 512 2283 (PERRY POIRIER)  
**Cell Number** \_\_\_\_\_  
**Email** PERRYPOIRIER.REMAX@GMAIL.COM

**Name of Applicant** PERRY POIRIER AND CAITLYN GILMET

**Address** 802 HWY 59 (LOT 9 EXISTING)  
**Town and Postal Code** PORT ROWAN, ON N0E 1M0  
**Phone Number** \_\_\_\_\_  
**Cell Number** 905 512 2283 (PERRY POIRIER)  
**Email** PERRYPOIRIER.REMAX@GMAIL.COM

**Name of Agent**

4THGSTUDIO INC. (Gary J. Gerard)

**Address**

1835 Cedarpark Drive

**Town and Postal Code**

London ON N5X 0H9

**Phone Number****Cell Number**

519 495 8980

**Email**

4THGSTUDIO@GMAIL.COM

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner☒ Agent☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

PERRY POIRIER AND CAITLYN GILMET

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LOT 9 AND 10 (ROLL#54305005700)

Municipal Civic Address: 802 HWY 59

Present Official Plan Designation(s): RR

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

SINGLE FAMILY COTTAGE ON DOUBLE LOT

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

THE EXISTING ELEVATED COTTAGE (CIRCA 2020) WILL BE RETAINED TO THE EXISTING NORTH LOT

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

NO ADDITION IS PROPOSED

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

THE SURROUNDING LANDS ARE SINGLE FAMILY DWELLINGS AND / OR COTTAGES TO BOTH NORTH AND SOUTH

THE RETAINED SITE WILL HAVE THE SINGLE ELEVATED DWELLING TO REMAIN

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

OVER 60+ YEARS

9. Existing use of abutting properties:

RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:



### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

**RETAINED LOT - LOT #9 OLD - EXIST. COTTAGE.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
<b>Lot frontage</b>	40.23M	15.00M	5.8.2.b	20.00M	NONE
<b>Lot depth</b>	45.72M			45.72M	NONE
<b>Lot width</b>	40.23M	15.00M	5.8.2.b	18.29M & 20.00M	NONE
<b>Lot area</b>	.18hA	0.4hA	5.8.2.a	883.5SM (0.09hA)	-0.31hA
<b>Lot coverage</b>	14.4%+6.4%	15.0%	5.8.2.h	21.0%	+6%
<b>Front yard</b>	7.50M	6.0M	5.8.2.c	7.5M EXIST.	NONE
<b>Rear yard</b>	27.95M +/-	9.0M	5.8.2.f	27.95M +/-	NONE
<b>Height</b>	7.1M +/-	9.1M	5.8.2.g	7.1M +/- EXIST.	NONE
<b>Left Interior side yard</b>	3.99M	3.0 & 1.2M		3.99M	NONE
<b>Right Interior side yard</b>	3.86 (*) BLDG	3.0 & 1.2M	5.8.2.e.i	3.86M EXIST (*)	NONE
<b>Exterior side yard (corner lot)</b>	---	---	---	---	---
<b>Parking Spaces (number)</b>	3	1	---	EXIST.	NONE
<b>Aisle width</b>	---	---	---	---	---
<b>Stall size</b>	---	---	---	---	---
<b>Loading Spaces</b>	---	---	---	---	---
<b>Other</b>	DECK ASBUILT			0.53M & 0.96M	SEE PLANS

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: 20.23M

Depth: 45.72M

Width: VARIES: FRONT 20.23M REAR 21.95M

Lot Area: 957.6 SM

Present Use: RR - SINGLE FAMILY DWELLING

Proposed Use: RR - SINGLE FAMILY DWELLING

Proposed final lot size (if boundary adjustment): SEE SURVEY SKETCH

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

SAME OWNERS AND CURRENT ROLL ###

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Description of land intended to be retained in metric units:

Frontage: 20.00M

Depth: 45.72M

Width: 883.5SM (0.09hA)

Lot Area: 883.5SM (0.09hA)

Present Use: RR - SINGLE FAMILY DWELLING

Proposed Use: RR - SINGLE FAMILY DWELLING

Buildings on retained land: 1 SINGLE STRUCTURE - 2 STOREYS (ELEVATED 2020)

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: ---

Depth: ---

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

---

---

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

---

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

---

---

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☐ Communal wells

☒ Individual wells

☐ Other (describe below)

---

Sewage Treatment

☐ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order ☒ Other (describe below)

HOLDING TANK - EXISTS.

---

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

---

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

---

**G. All Applications: Other Information**

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

---

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan ✓
2. All measurements in metric ✓
3. Existing and proposed easements and right of ways ✓
4. Parking space totals – required and proposed ✓
5. All dimensions of the subject lands ✓
6. Dimensions and setbacks of all buildings and structures ✓
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures ✓
8. Names of adjacent streets ✓
9. Natural features, watercourses and trees ✓

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.* 13 for the purposes of processing this application.

Perry Poirier

23 JAN 24

DocuSigned by:

Owner/Applicant/Agent Signature

Date

DocuSigned by:

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We PERRY POIRIER AND CAITLYN GILMET am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize 4THGSTUDIO INC. (Gary J. Gerard) to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Perry Poirier

23 JAN 24

DocuSigned by:

Owner

Date

Caitlyn Gilmet

23 JAN 24

DocuSigned by:

Owner

Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

**K. Declaration**

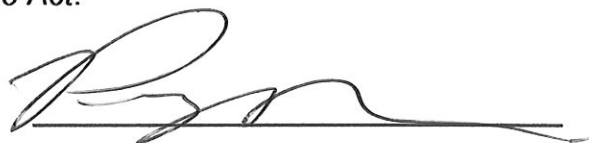
I, PERRY POIRIER of NORFOLK COUNTY

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe, ON



Owner/Applicant/Agent Signature

In January Norfolk County

**RETAINED LOT - LOT #9 OLD -  
EXIST. COTTAGE.**

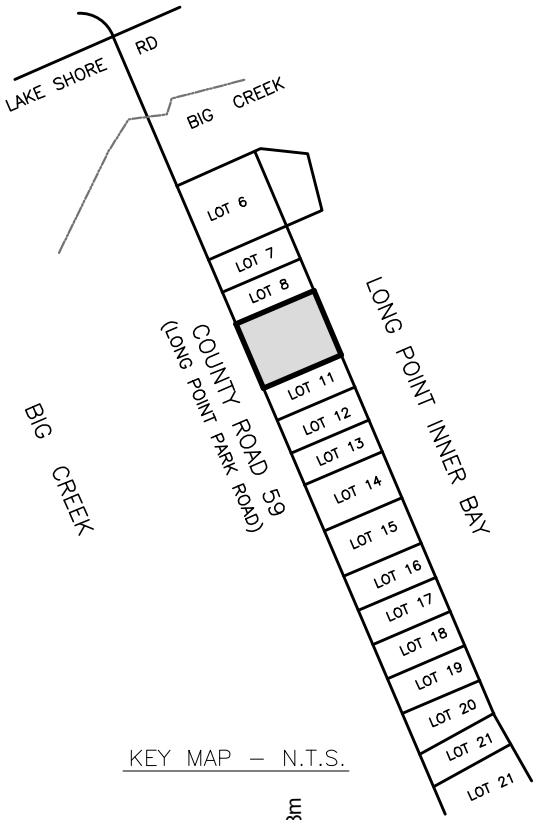
This 25 day of January

A.D., 20 24 Michelle Anne Bergen, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires May 8, 2028.

\_\_\_\_\_  
A Commissioner, etc.

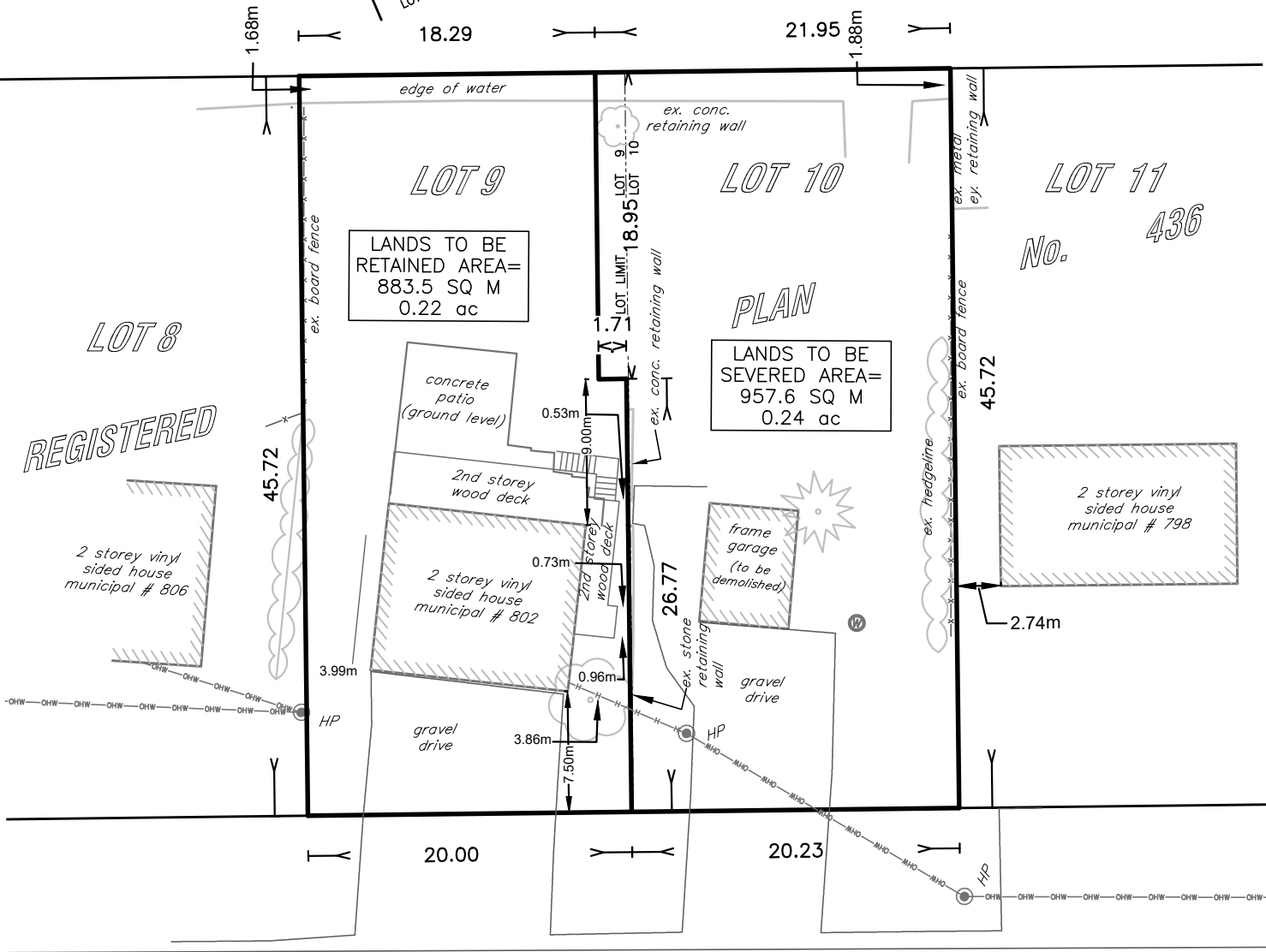


SEVERANCE SKETCH FOR PROPERTY AT  
LONG POINT PARK ROAD  
(GEOGRAPHIC TOWNSHIP OF WALSINGHAM)  
NORFOLK COUNTY



KEY MAP — N.T.S.

MARSH LAND IN FRONT OF LOT 14,  
CONCESSION B  
LONG POINT INNER BAY



LONG POINT PARK ROAD  
(COUNTY ROAD 59 (FORMERLY THE KING'S HIGHWAY 59))

**Metric:**

DISTANCES AND COORDINATES SHOWN ON THIS SKETCH ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**Caution:**

THIS IS NOT A PLAN OF SURVEY. THIS SKETCH SHALL NOT BE USED FOR MORTGAGE OR TRANSACTION PURPOSES.

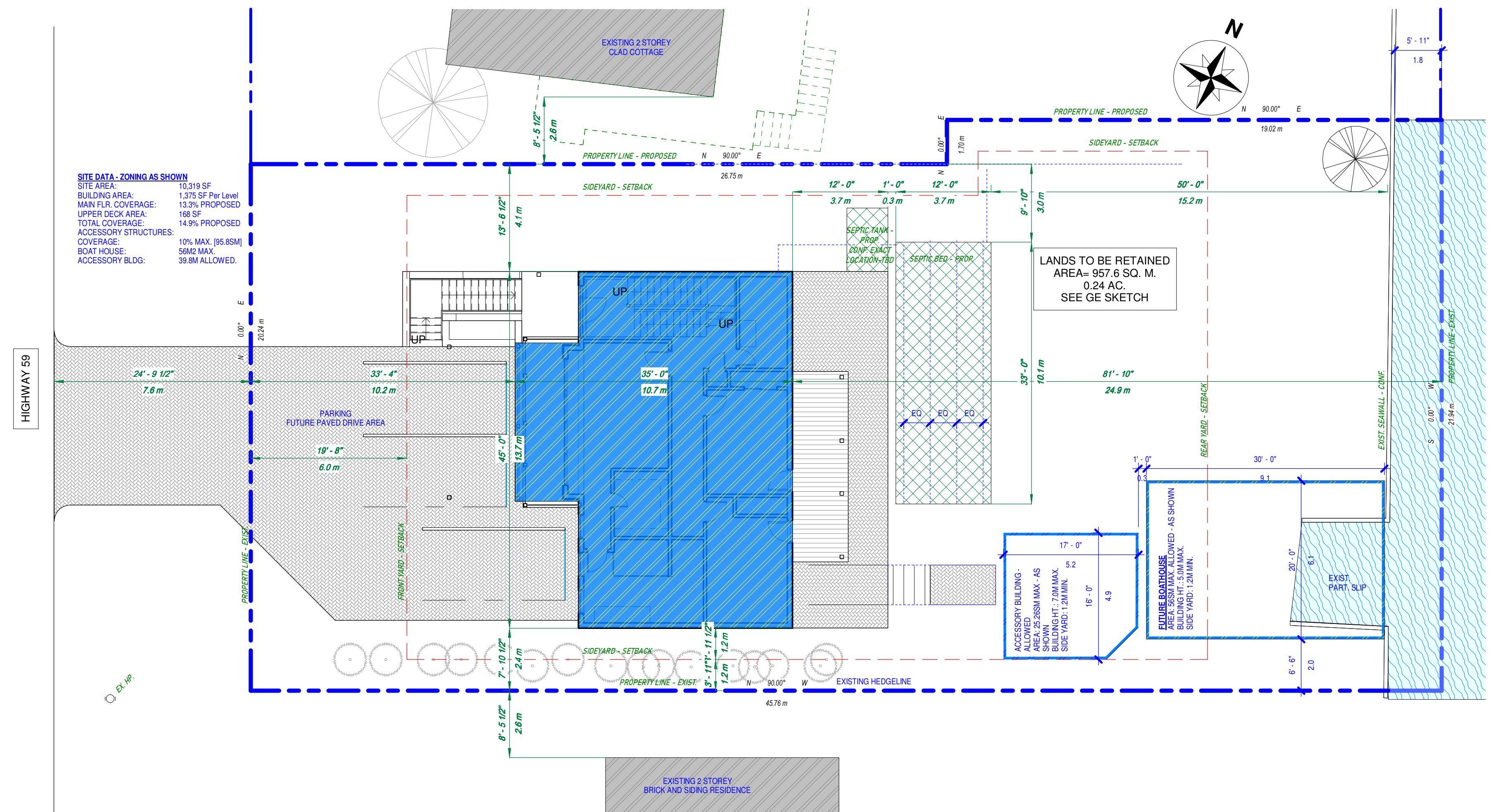
**GRIT**  
ENGINEERING

117 REGENT STREET  
STRATFORD, ON  
N5A 3W2  
www.gritengineering.ca

Project: LONG POINT PARK ROAD  
Project: SEVERANCE SKETCH  
Client: GARY J. GERARD  
Client:  
Drawn By: B. SHRUBSALL

File No.: GE23-0427-1

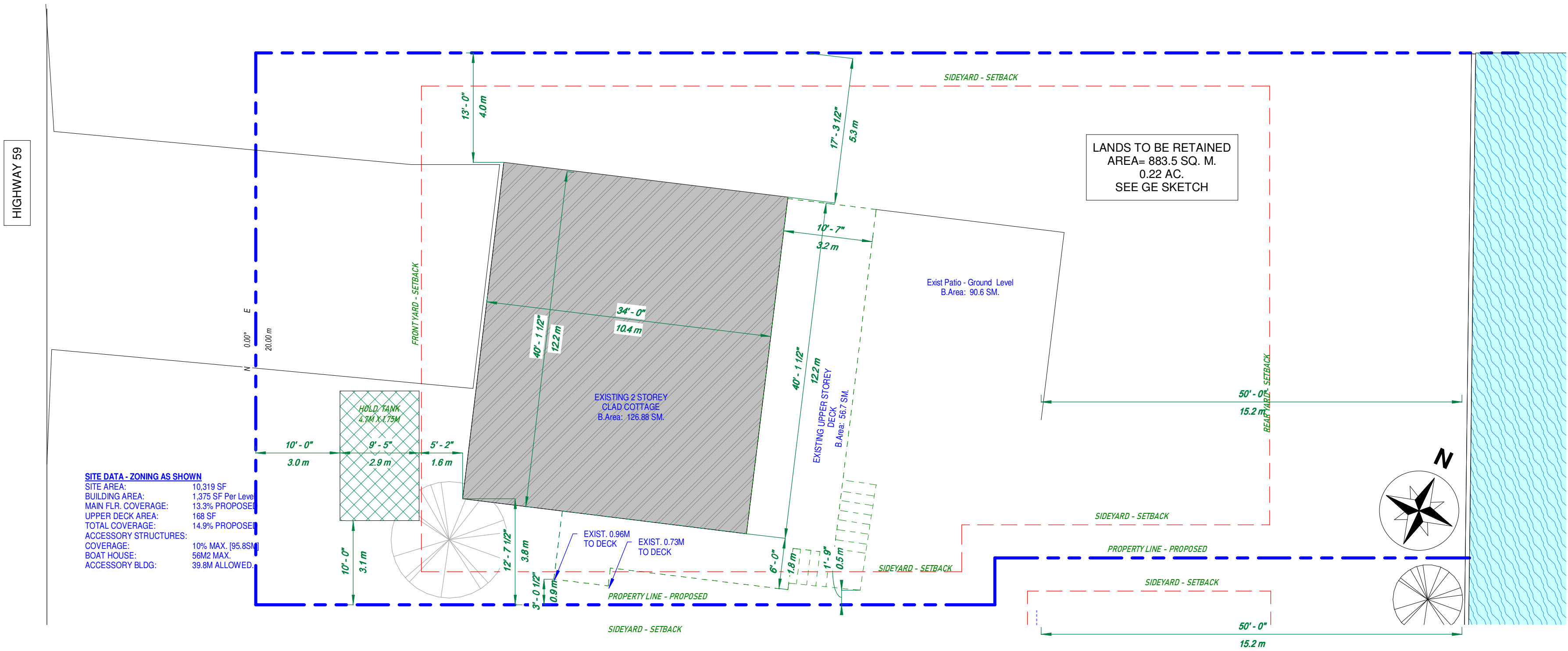
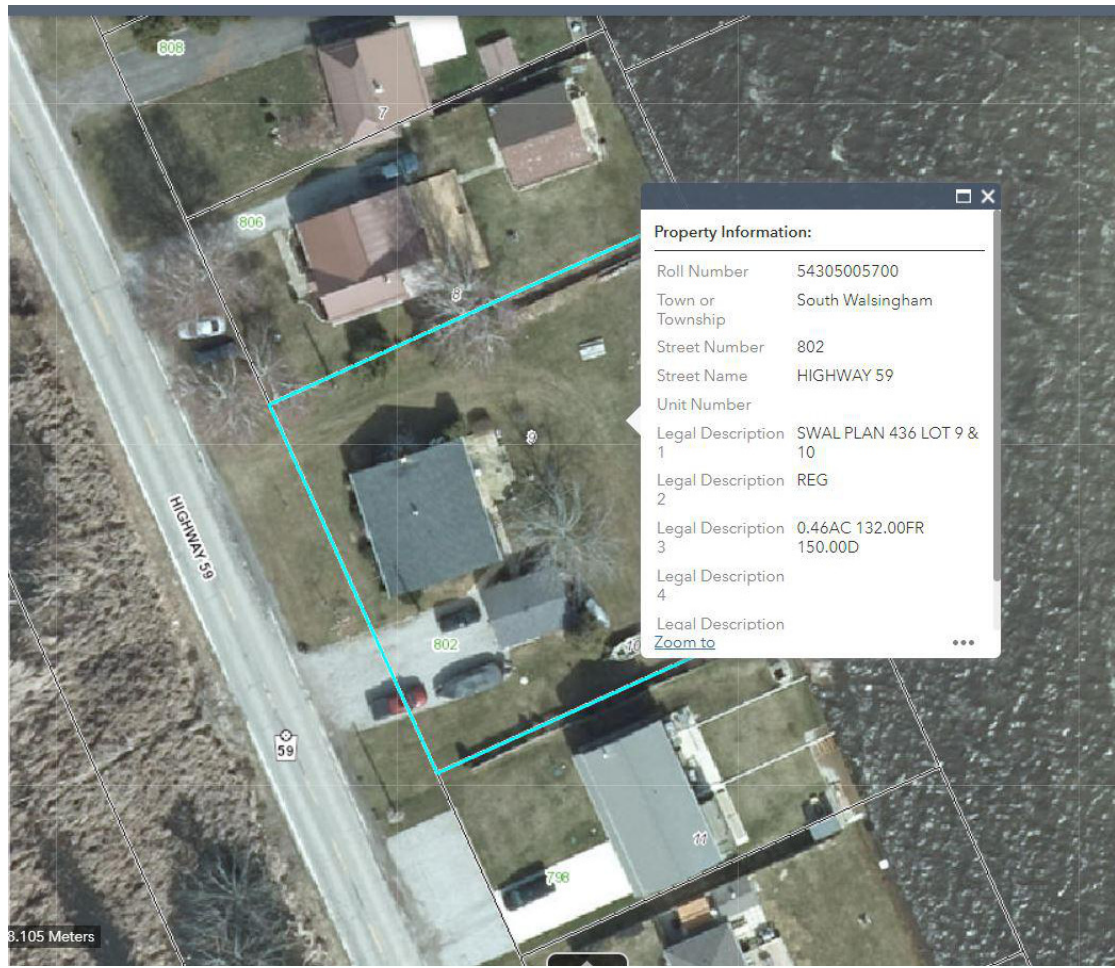




1 ARCH. SITE PLAN - LOT 10  
1" = 10'-0"



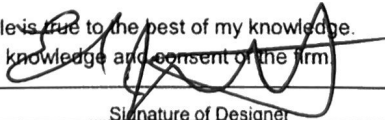




ARCH SITE PLAN - LOT 9  
1" = 10'-0"

## Schedule 1: Designer Information

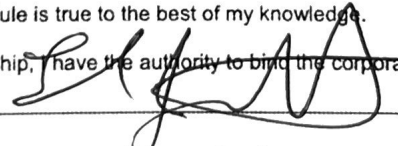
Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

<b>A. Project Information</b>															
Building number, street name <b>80## HWY 59 PORT ROWAN</b>		Unit no.	Lot/con.												
Municipality <b>NORFOLK</b>	Postal code	Plan number/ other description													
<b>B. Individual who reviews and takes responsibility for design activities</b>															
Name <b>EDWARD JR STOCKMANS</b>		Firm <b>GREAT LAKES EXCAVATION</b>													
Street address <b>752178 59 HWY OTTERVILLE</b>		Unit no.	Lot/con.												
Municipality <b>SOUTH NORWICH NOTARO</b>	Postal code	Province <b>ONTARIO</b>	E-mail <b>ted@stockmans.ca</b>												
Telephone number ( ) -	Fax number ( ) -	Cell number <b>(519) 688 9141</b>													
<b>C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]</b>															
<table style="width: 100%; border: none;"> <tr> <td><input type="checkbox"/> House</td> <td><input type="checkbox"/> HVAC – House</td> <td><input type="checkbox"/> Building Structural</td> </tr> <tr> <td><input type="checkbox"/> Small Buildings</td> <td><input type="checkbox"/> Building Services</td> <td><input type="checkbox"/> Plumbing – House</td> </tr> <tr> <td><input type="checkbox"/> Large Buildings</td> <td><input type="checkbox"/> Detection, Lighting and Power</td> <td><input type="checkbox"/> Plumbing – All Buildings</td> </tr> <tr> <td><input type="checkbox"/> Complex Buildings</td> <td><input type="checkbox"/> Fire Protection</td> <td><input checked="" type="checkbox"/> On-site Sewage Systems</td> </tr> </table>				<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural	<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input checked="" type="checkbox"/> On-site Sewage Systems
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural													
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House													
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings													
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input checked="" type="checkbox"/> On-site Sewage Systems													
Description of designer's work <b>DESIGN A CLASS 4 SEPTIC SYSTEM FOR A 3 BEDROOM HOUSE AS PER CODE</b>															
<b>D. Declaration of Designer</b>															
I, <u><b>EDWARD JR STOCKMANS</b></u> declare that (choose one as appropriate): (print name)															
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u><b>36816</b></u> Firm BCIN: <u><b>36988</b></u>															
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____															
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____															
I certify that:															
1. The information contained in this schedule is true to the best of my knowledge.															
2. I have submitted this application with the knowledge and consent of the firm.															
Date <b>NOV 1 / 2023</b>		Signature of Designer 													

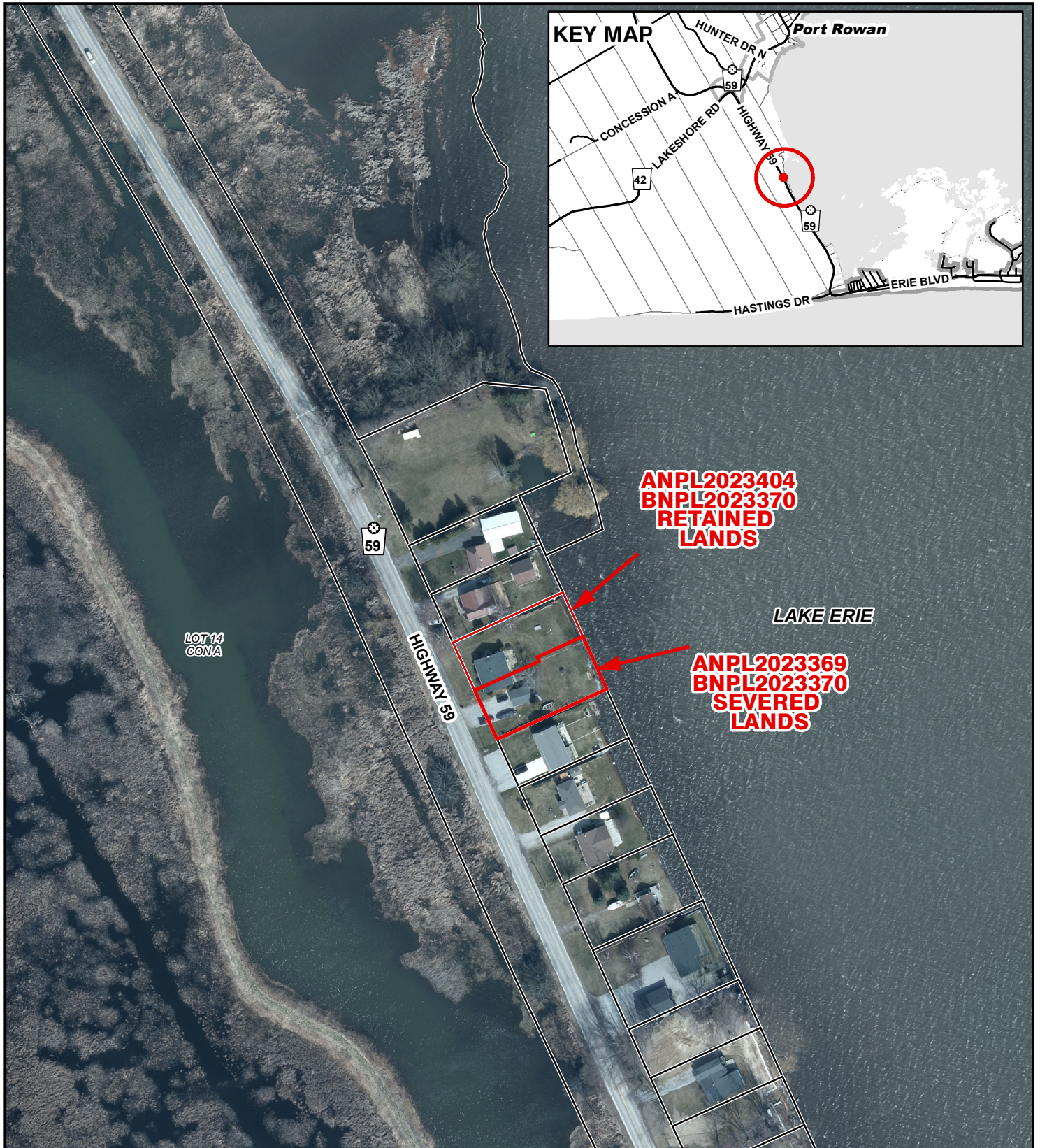
**NOTE:**

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.



## Schedule 2: Sewage System Installer Information

<b>A. Project Information</b>				
Building number, street name <b>80 #H HWY 59 PORT ROWAN</b>		Unit number	Lot/con.	
Municipality	Postal code	Plan number/ other description		
<b>B. Sewage system installer</b>				
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?				
<input checked="" type="checkbox"/> Yes (Continue to Section C) <input type="checkbox"/> No (Continue to Section E) <input type="checkbox"/> Installer unknown at time of application (Continue to Section E)				
<b>C. Registered installer information (where answer to B is "Yes")</b>				
Name <b>EDWARD JR STOCKMANS</b>		BCIN <b>36816</b>		
Street address <b>152178 59 HWY OTTENVILLE</b>		Unit number	Lot/con.	
Municipality <b>SOUTH NORWICH</b>	Postal code <b>N0T1R0</b>	Province <b>ONTARIO</b>	E-mail <b>ted@stockmans.ca</b>	
Telephone number ( )	Fax ( )	Cell number <b>(519) 688 9141</b>		
<b>D. Qualified supervisor information (where answer to section B is "Yes")</b>				
Name of qualified supervisor(s) <b>EDWARD JR STOCKMANS</b>		Building Code Identification Number (BCIN) <b>36988</b>		
<b>E. Declaration of Applicant:</b>				
I, <u><b>EDWARD JR STOCKMANS</b></u> declare that: (print name)				
<input checked="" type="checkbox"/> I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;				
OR				
<input type="checkbox"/> I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.				
I certify that:				
1. The information contained in this schedule is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
<b>NOV 1 / 2023</b> Date		 Signature of applicant		



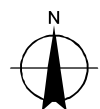


**Legend**

-  Subject Lands
-  Lands Owned

2020 Air Photo

3/19/2024

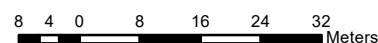


10 5 0 10 20 30 40  
Meters



## Geographic Township of SOUTH WALSINGHAM

ANPL2023404

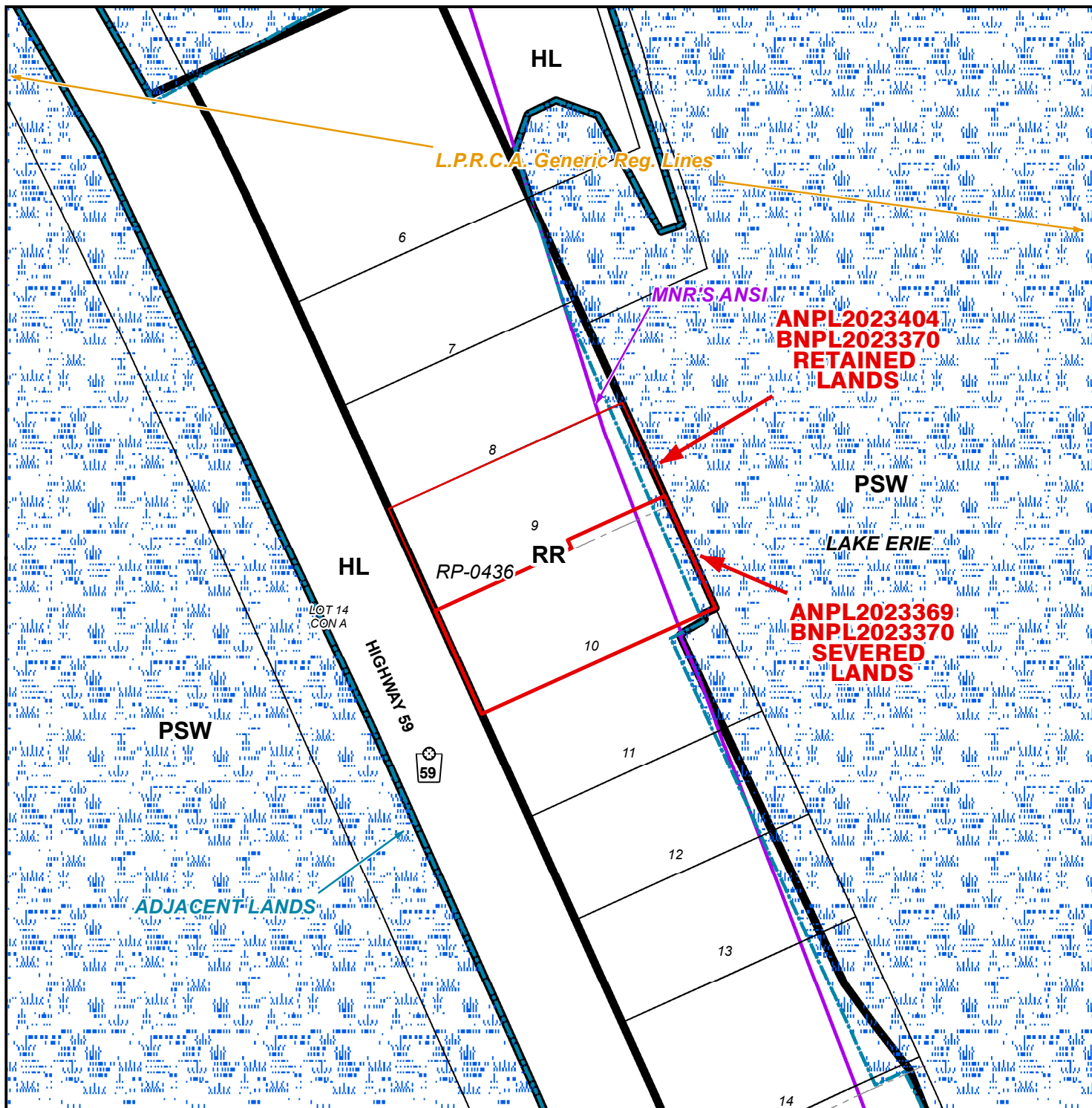


# MAP C

## ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

BNPL2023370  
ANPL2023369  
ANPL2023404



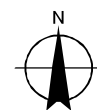
### LEGEND

- Subject Lands
- Lands Owned
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

3/19/2024

- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone



8 4 0 8 16 24 32 Meters

# MAP D

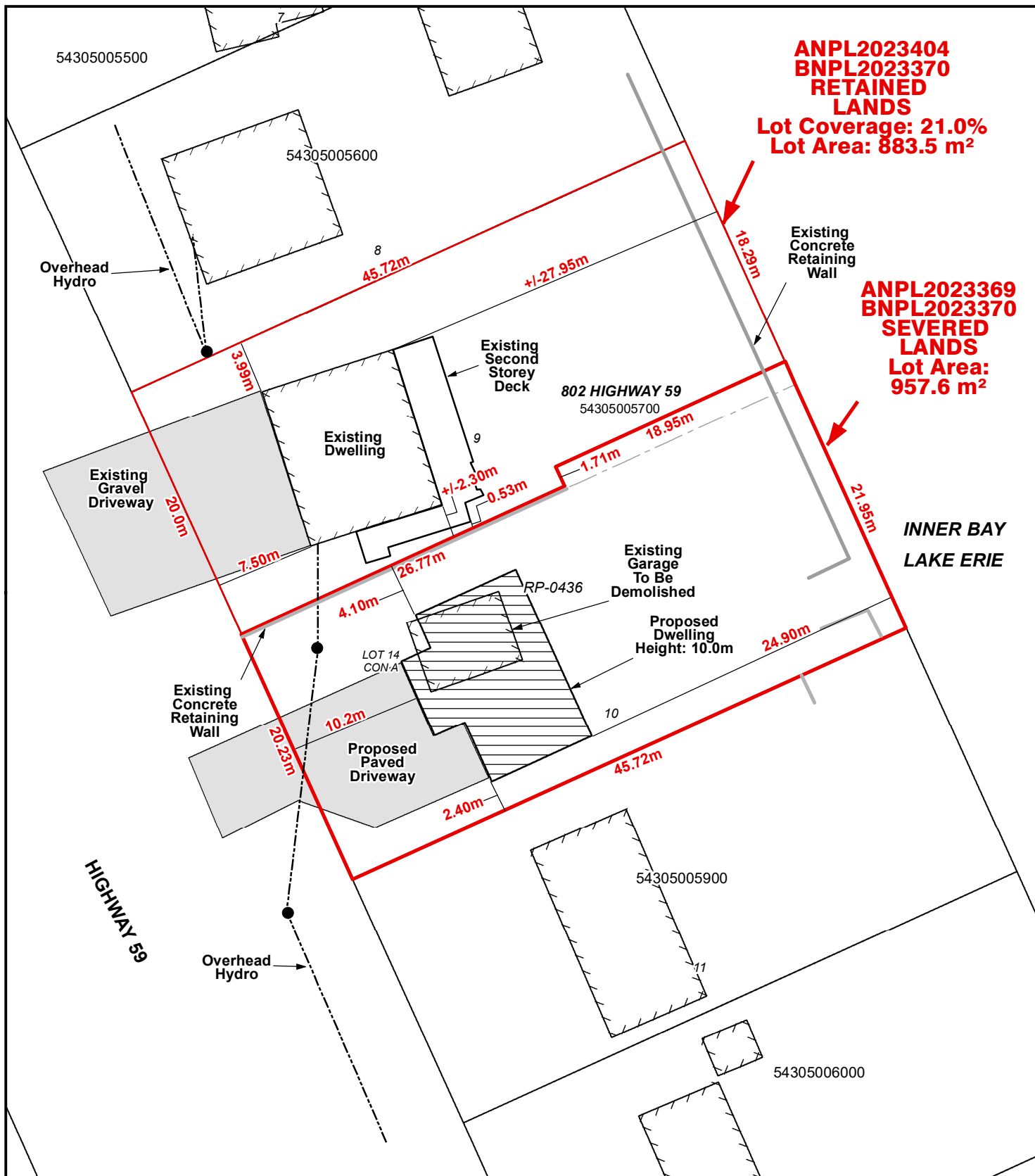
## CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM

BNPL2023370

ANPL2023369

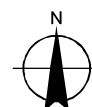
ANPL2023404



### Legend

- Subject Lands
- Lands Owned

3/19/2024



3 1.5 0 3 6 9 12 Meters

# LOCATION OF LANDS AFFECTED

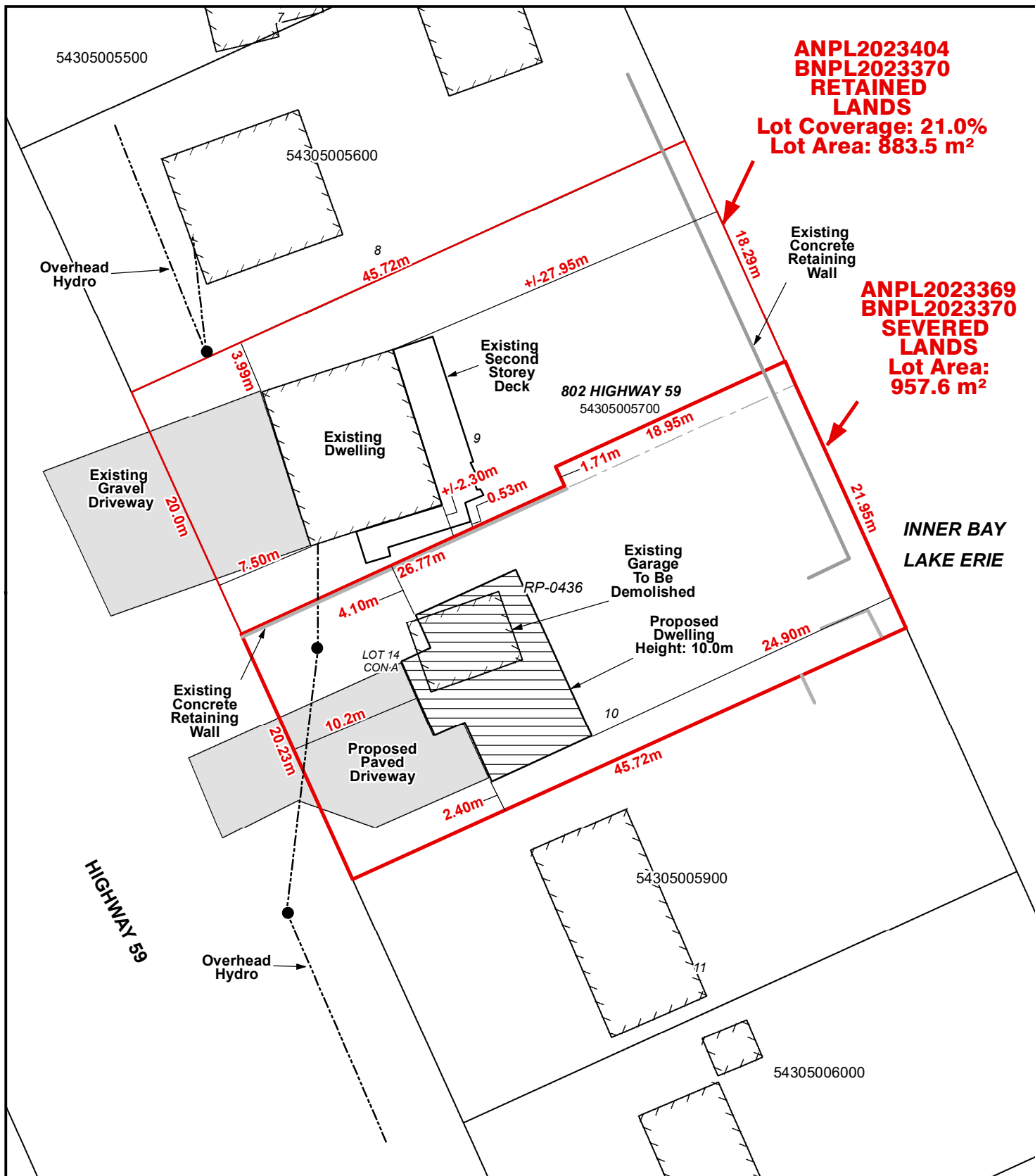
## CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM

BNPL2023370

ANPL2023369

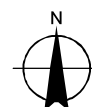
ANPL2023404



### Legend

- Subject Lands
- Lands Owned

3/19/2024



3 1.5 0 3 6 9 12 Meters