

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	<u>ANPL2023405</u>	Application Fee	<u>\$2743.00</u>
Related File Number	<u>-</u>	Conservation Authority Fee	<u>N/A</u>
Pre-consultation Meeting	<u>-</u>	Well & Septic Info Provided	<u>N/A</u>
Application Submitted	<u>Dec.28.2023</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>Jan.16.2024</u>	Public Notice Sign	<u></u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** DOUG & WANDA WALKER

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 302 DUNCOMBE ROADTown and Postal Code WATERFORD, ONTARIO, N0E 1Y0Phone Number 519 717 5013Cell Number 519 717 5013Email DWALKERC392@ROGERS.COM**Name of Applicant** MICHELE HAMMOND (CDN BUILDINGS)Address UNIT 3 - 523 JAMES STREETTown and Postal Code DELHI, ONTARIOPhone Number 519 582 8222 EXT 240Cell Number 226 931 1865Email MH@CDNBUILDINGS.COM

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LOT 19 TOWNSEND. TOWNSHIP IN CITY OF NANTICOKE

MUNICIPALITY OF HALDIMAND - NORFOLK

Municipal Civic Address: 302 DUNCOMBE ROAD

Present Official Plan Designation(s): R1-A

Present Zoning: RESIDENTIAL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

STORAGE SHED - RETAINED - SEE ATTACHED SITE PLAN

HOUSE - RETAINED - SEE ATTACHED SITE PLAN

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

STORAGE SHED - 1 STOREY - 4.6M W X 5.2M L X 3.05M H

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

YEAR 2000 - HOUSE BUILT

9. Existing use of abutting properties:

EAST: ORCHARD, SOUTH : RESIDENTIAL, NORTH: THOMPSON ROAD EAST/RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area	944.82m ²	560m ²	5.1.2.a)	944.82m ²	
Lot coverage	9.28m ² (0.3%) (ACCS. ONLY)	303.98m ² (10%)	3.1.c)	32.95m ² (1.1%)	
Front yard	8.56m	6m	5.1.2.c)	8.56m	
Rear yard	20.82m	7.5m	5.1.2.f)	20.82m	
Height	1 STOREY	5m	5.1.2.g)	4.21m	
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)	20.0m	CANNOT OCCUPY 6m	5.1.2.d) AND 3.2.c)	2.95m	3.05m
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other USABLE FLOOR AREA	9.28m ²	303.98m ² 10%	3.1.c)	32.95m ² (1.1%)	

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The homeowners would like to build in their exterior side yard to store their personal belongings. The location of the detached garage is the only place where it will be 5m away from the septic bed and tank.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

The lot was previously zoned as Agrivcultural

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☒ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)

N/A

Sewage Treatment

- ☐ Municipal sewers
☐ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

N/A

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
- ☐ Open ditches

N/A

2. Existing or proposed access to subject lands:

- ☐ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

N/A

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

NO.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

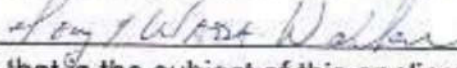
For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.


Owner/Applicant/Agent Signature

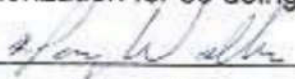
DEC 27, 2023
Date

J. Owner's Authorization

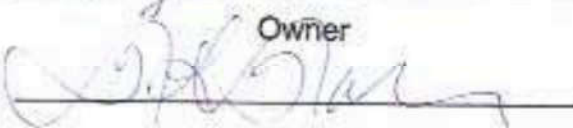
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We  am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize MICHELE HAMMOND to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner


Date


Owner

Dec 14/23
Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

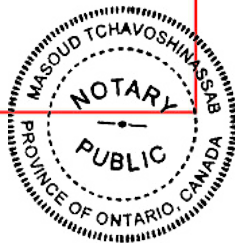
I, Michele Hammond of Town of Norfolk County
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Sworn (or Affirmed or Declared) remotely by
MICHELE HAMMOND
stated as being located inat the (City, Town, etc.) of
COURTLAND
in the (County, Regional Municipality, etc.)
of NORFOLK COUNTY
before me at the (City, Town, etc.) of TORONTO
in the (County, Regional Municipality, etc.)
of TORONTO
on DECEMBER 27, 2023,
in accordance with O. Reg 431/20, Administering Oath or
Declaration Remotely.

.....M. T. Macleod.....
Commissioner for Taking Affidavits

Michele Hammond
Owner/Applicant/Agent Signature

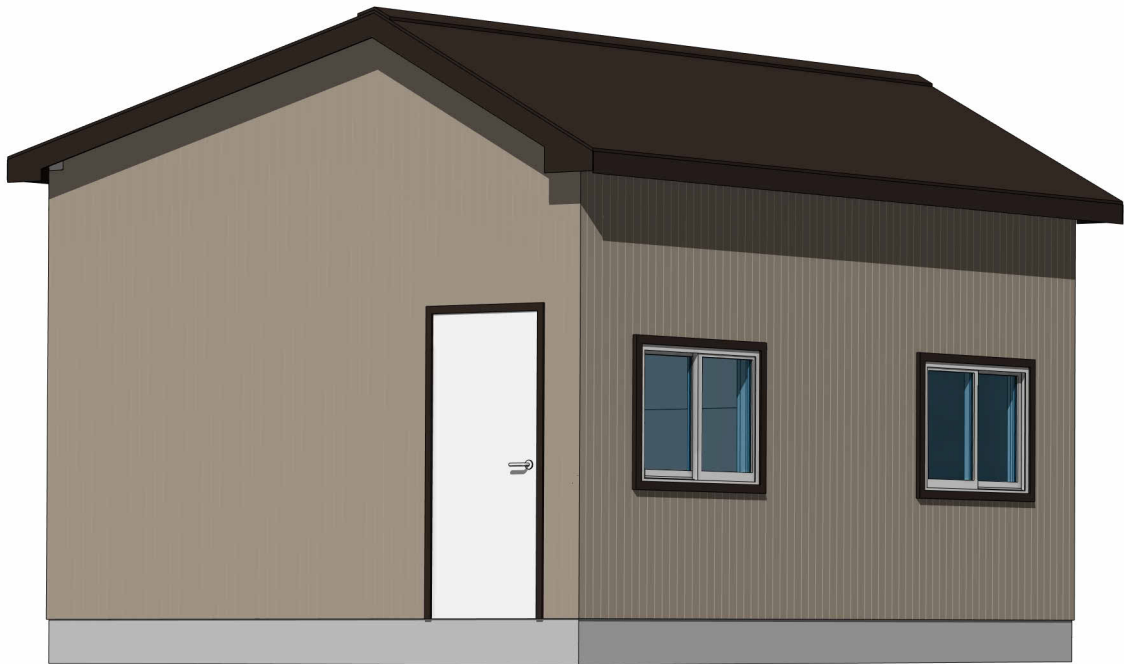


WALKER, DOUG & WANDA

ADDRESS: 302 DUNCOMBE ROAD
WATERFORD, ONTARIO
NOE 1Y0

CONTACT: DOUG WALKER
PHONE: (519) 717 5013
EMAIL: DWALKER392@ROGERS.COM

15'-0"W x 17'-0"L x 10'-0"H ASSYMETRICAL ROOF 1 STOREY - ACCESORY CARPORT ADDITION



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2 Website: www.cdnbuildings.com

GENERAL NOTES
THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE 2012
ONTARIO BUILDING CODE AND ALL UP TO DATE AMENDMENTS.

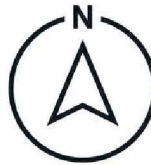
LOADS:
a) SNOW S_s = x.xx kPa (DEAD LOAD = 0.4 kPa)
 S_r = x.xx kPa
 C_b = x.xx
 C_s = x.xx
 I_s = x.xx
 S = x.xx kPa / xx.x psf
 q₅₀ = x.xx kPa
b) WIND P = AS PER 2015 NBCC FIGURE 4.1.7.6-A

COLOURS:
WALLS: LIGHT STONE
ROOF: DARK BROWN
TRIM: DARK BROWN
DOORS: WHITE (DEFAULT)
WINDOWS: WHITE (DEFAULT)

PROJECT NUMBER :	23-982
PROJECT DATE:	2023-12-04
DRAWN BY:	MH
REVIEWED BY:	LDO

INDEX

NO.	SHEET NAME
0.00	CODE MATRIX
A0.01	GENERAL NOTES
A0.02	GENERAL NOTES
A0.03	TYPICAL MEMBER SIZES
A0.04	SITE PLAN
A0.05	ISOMETRIC MODELS
A1.01	FLOOR PLAN
A2.01	ELEVATION
A2.02	ELEVATION
A2.03	ELEVATION
A2.04	ELEVATION
A3.01	DETAILS
A4.01	SECTION 'A'
F1.01	SLAB EDGE PLAN
F5.01	SECTIONS
S0.01	STRUCTURAL ISOMETRIC
S1.01	POST PLAN
S1.02	TRUSS & BRACING LAYOUT
S2.01	ELEVATIONS
S2.02	ELEVATIONS
S2.03	ELEVATIONS
S2.04	ELEVATIONS
S3.01	TRUSS WELDING DETAILS
S3.02	TRUSS WELDING DETAILS
S3.03	TRUSS WELDING DETAILS
S3.04	POST BRACING DETAIL
S3.05	ROOF BRACING DETAIL
S3.06	DETAILS
S3.07	DETAILS
S3.08	DETAILS
S3.09	TRUSS DETAILS



LOT INFO

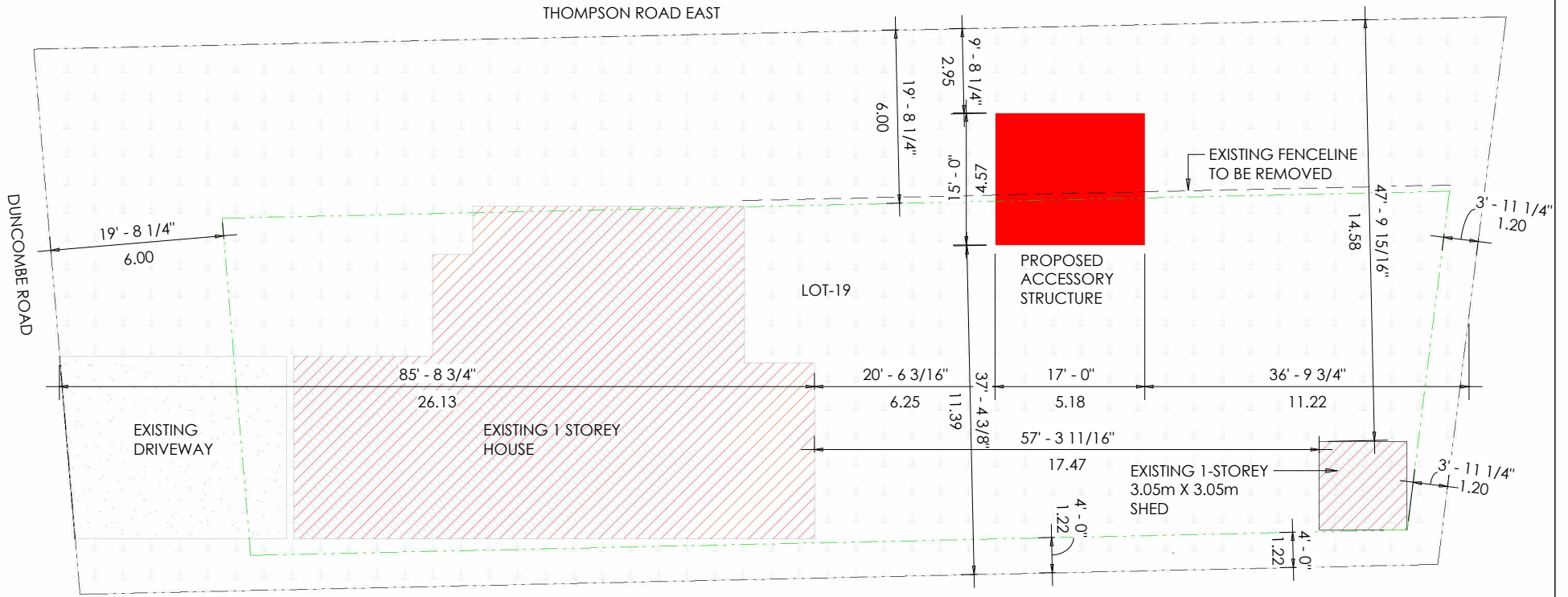
SITE ADDRESS: 302 DUNCOMBE RD
TOWNSHIP/CITY: CITY OF WATERFORD
COUNTY-NORFOLK
ZONING: R1-A
ROLL #: 33605054590
BUILDING USE: ACCESSORY BUILDING

ZONING - BY - LAW 1-Z-2014

PROVISIONS		PROPOSED
FRONT YARD SETBACK	6 M	32.38 M
REAR YARD SETBACK	1.2 M	11.22 M
MINIMUM INTERIOR SIDE YARD SETBACK	1.2 M	8.34 M
MINIMUM EXTERIOR SIDE YARD SETBACK	20 M	2.95 M
MAXIMUM HEIGHT	5 M	4.08 M
LOT SF = 3039.77 m ² / 9973 SF		
EXISTING RESIDENCE = 548.03 m ² / 1798 SF		
EXISTING SHED = 9.29 m ² / 100 SF		
PROPOSED ACCESSORY BUILDINGS = 23.67 m ² / 255 SF		
MAXIMUM COVERAGE	10 %	1.1 %

LEGEND

	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	EXISTING STRUCTURE TO BE DEMOLISHED
	PROPERTY LINES
	PROPERTY SETBACKS
	SEPTIC/WELL
	DRIVEWAY
	PROPOSED BUILDING
	EXISTING STRUCTURE
	EXISTING STRUCTURE TO BE REMOVED
	GRASS
	GRAVEL DRIVEWAY
	CONCRETE



1 SITE PLAN
A0.04 1/16" = 1'-0"



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2
Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14
3	REV. LAYOUT	24-01-12

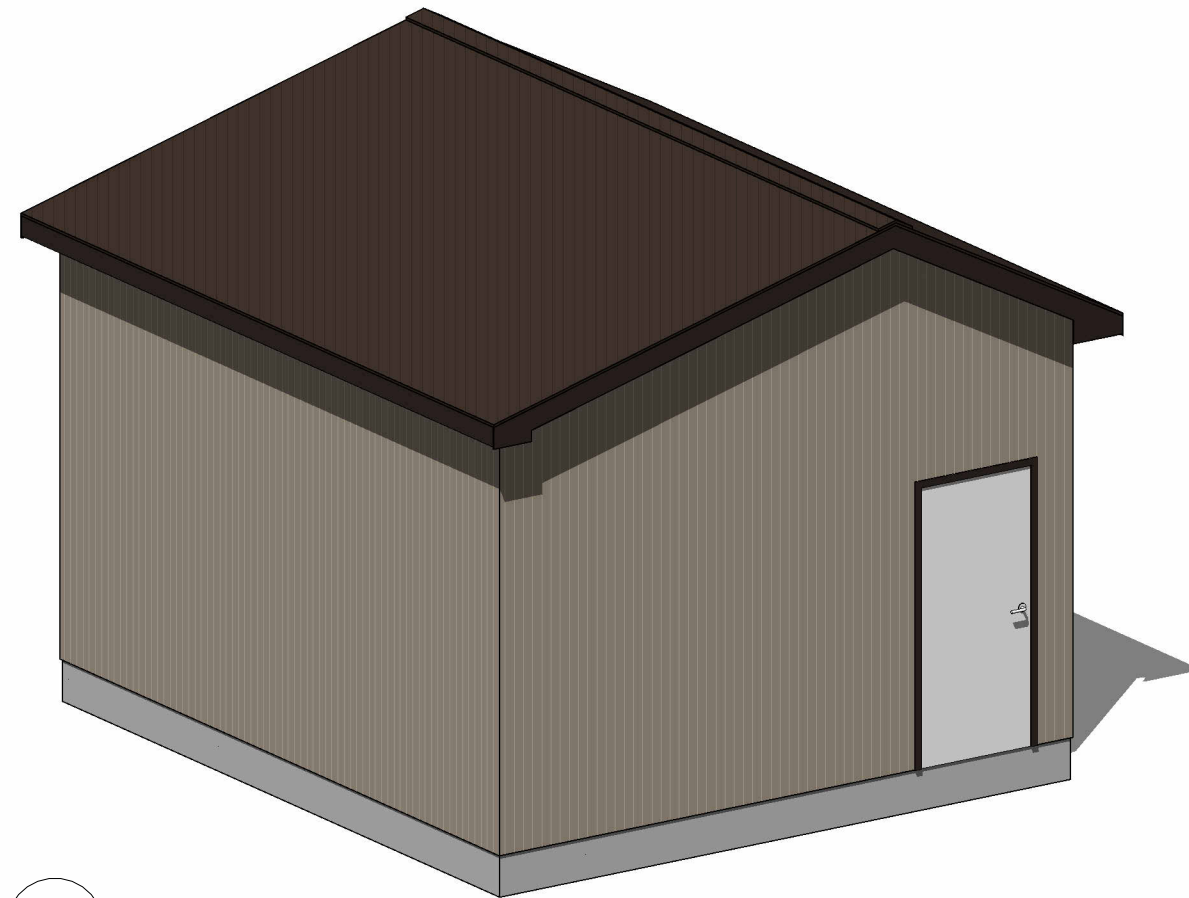
SITE PLAN

WALKER, DOUG & WANDA

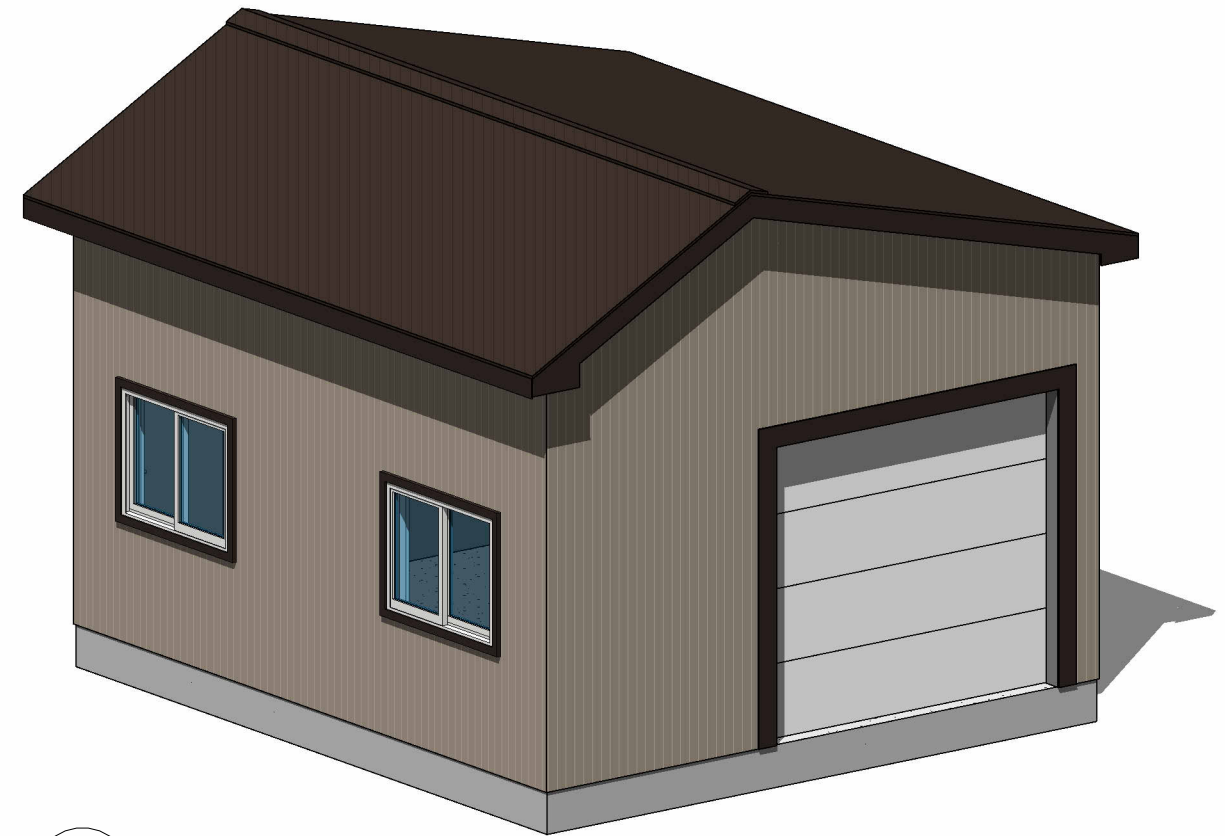
302 DUNCOMBE ROAD
WATERFORD, ONTARIO
N0E 1Y0

A0.04

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	As indicated



2 REAR VIEW
A0.05



1 FRONT VIEW
A0.05



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2

Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
3	REV. LAYOUT	24-01-12

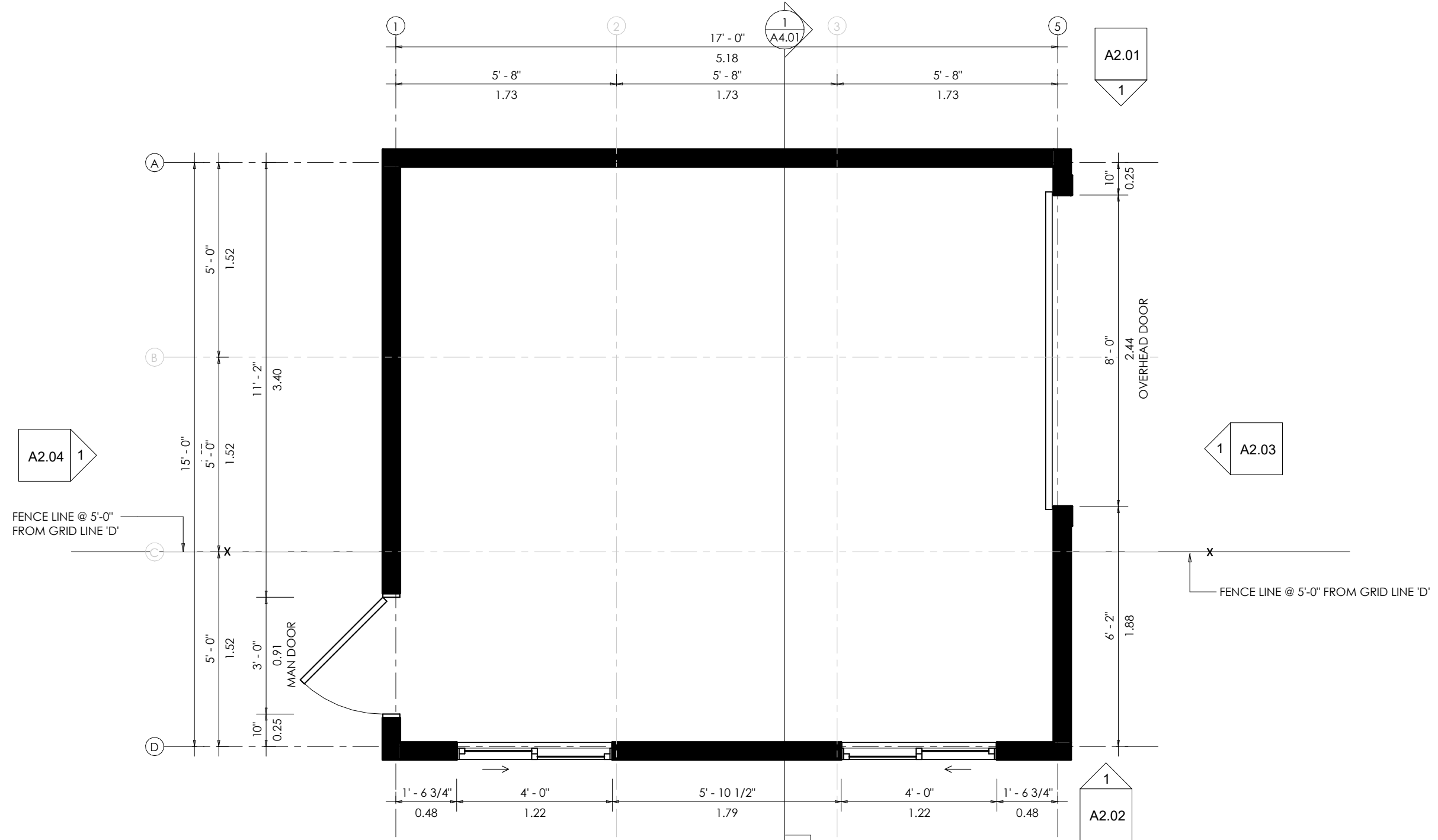
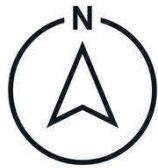
ISOMETRIC MODELS

WALKER, DOUG & WANDA

302 DUNCOMBE ROAD
WATERFORD, ONTARIO
NOE 1Y0

A0.05

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2
Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14
3	REV. LAYOUT	24-01-12

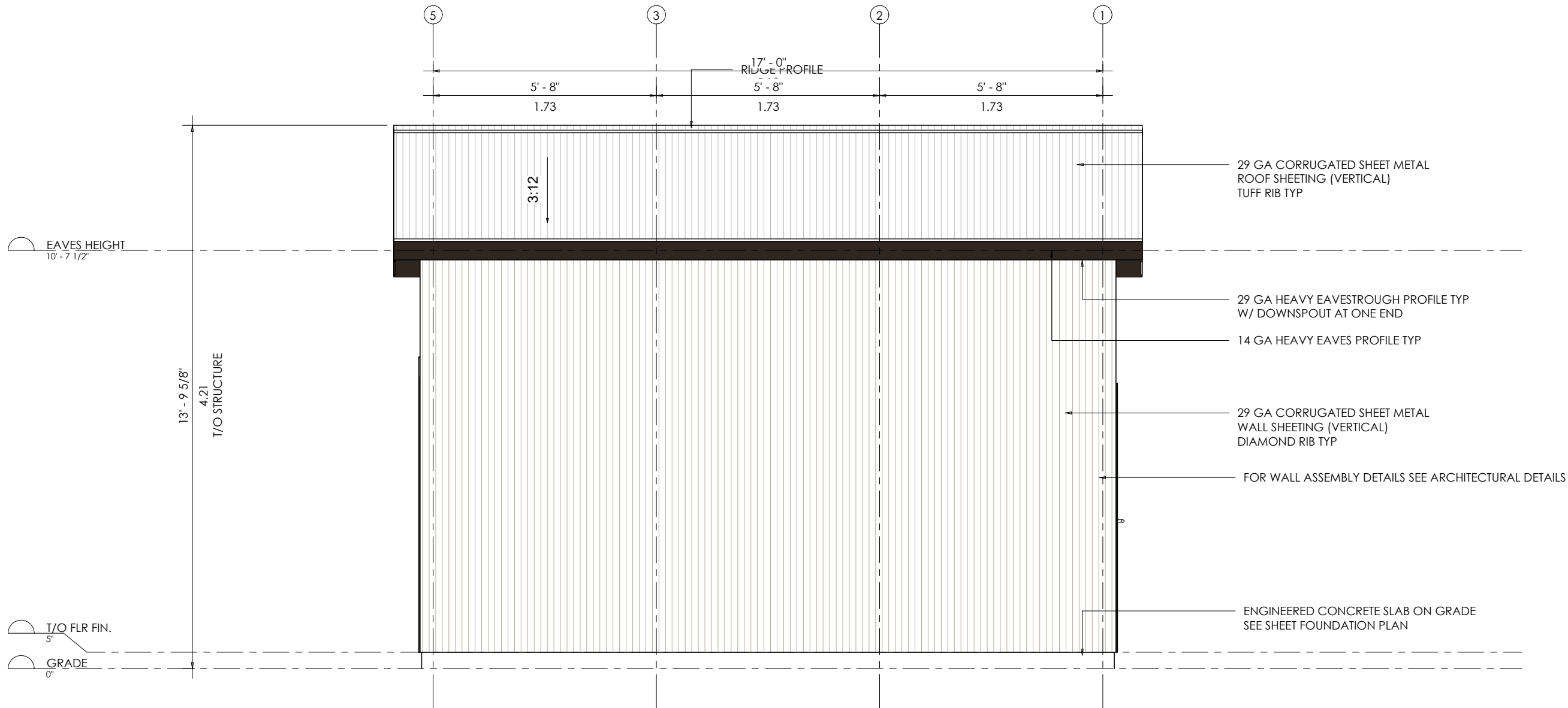
FLOOR PLAN

WALKER, DOUG & WANDA

302 DUNCOMBE ROAD
WATERFORD, ONTARIO
N0E 1Y0

A1.01

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	3/8" = 1'-0"



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2
Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14
3	REV. LAYOUT	24-01-12

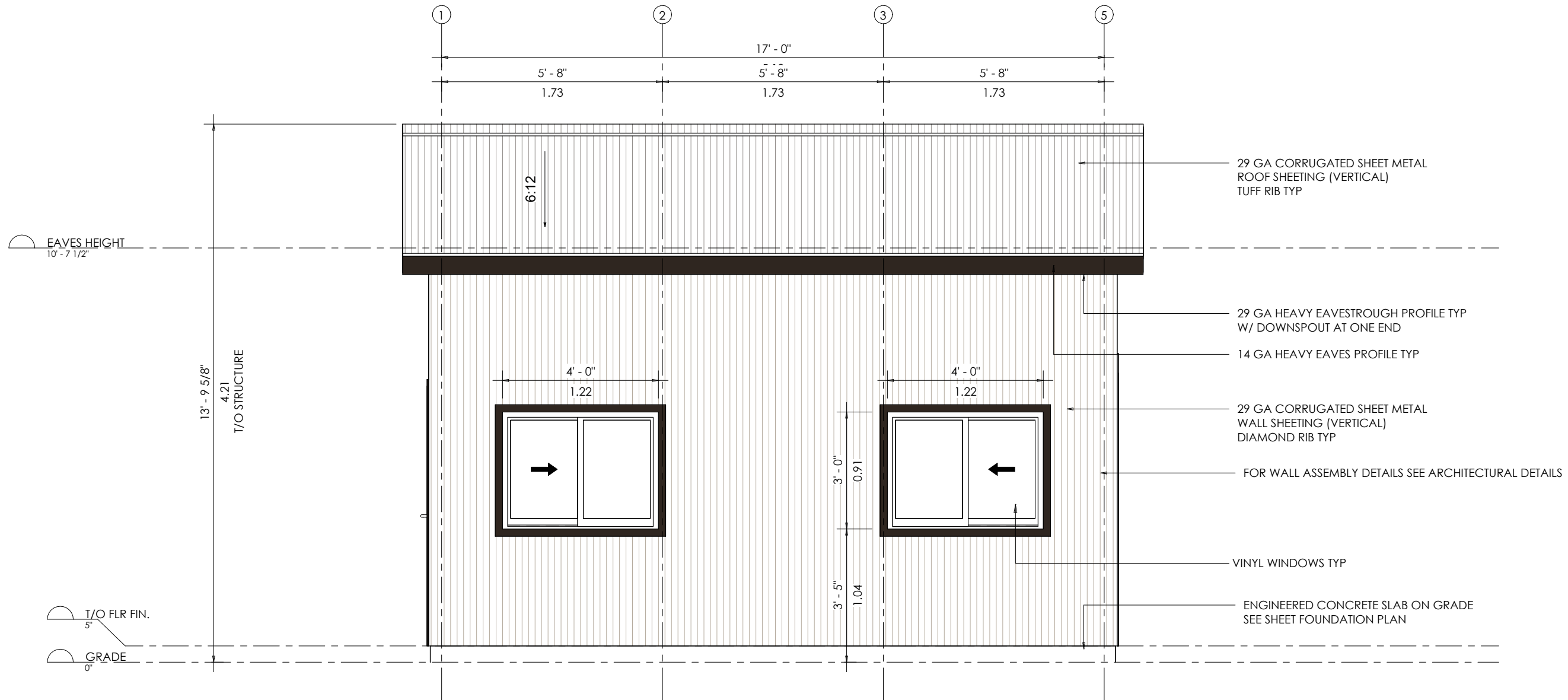
ELEVATION

WALKER, DOUG & WANDA

302 DUNCOMBE ROAD
WATERFORD, ONTARIO
N0E 1Y0

A2.01

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	3/8" = 1'-0"



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2
Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14
3	REV. LAYOUT	24-01-12

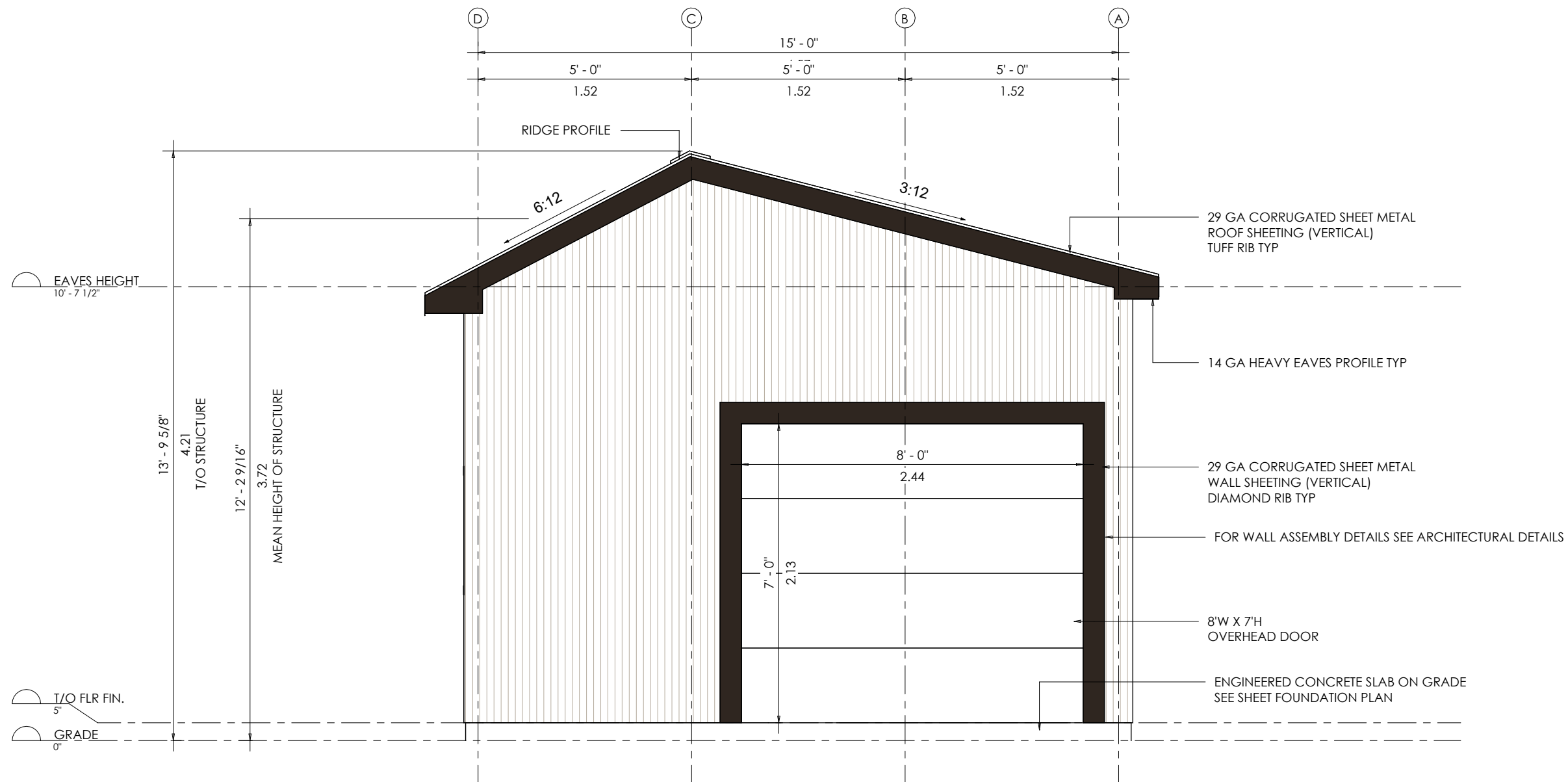
ELEVATION

WALKER, DOUG & WANDA

302 DUNCOMBE ROAD
WATERFORD, ONTARIO
N0E 1Y0

A2.02

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	3/8" = 1'-0"

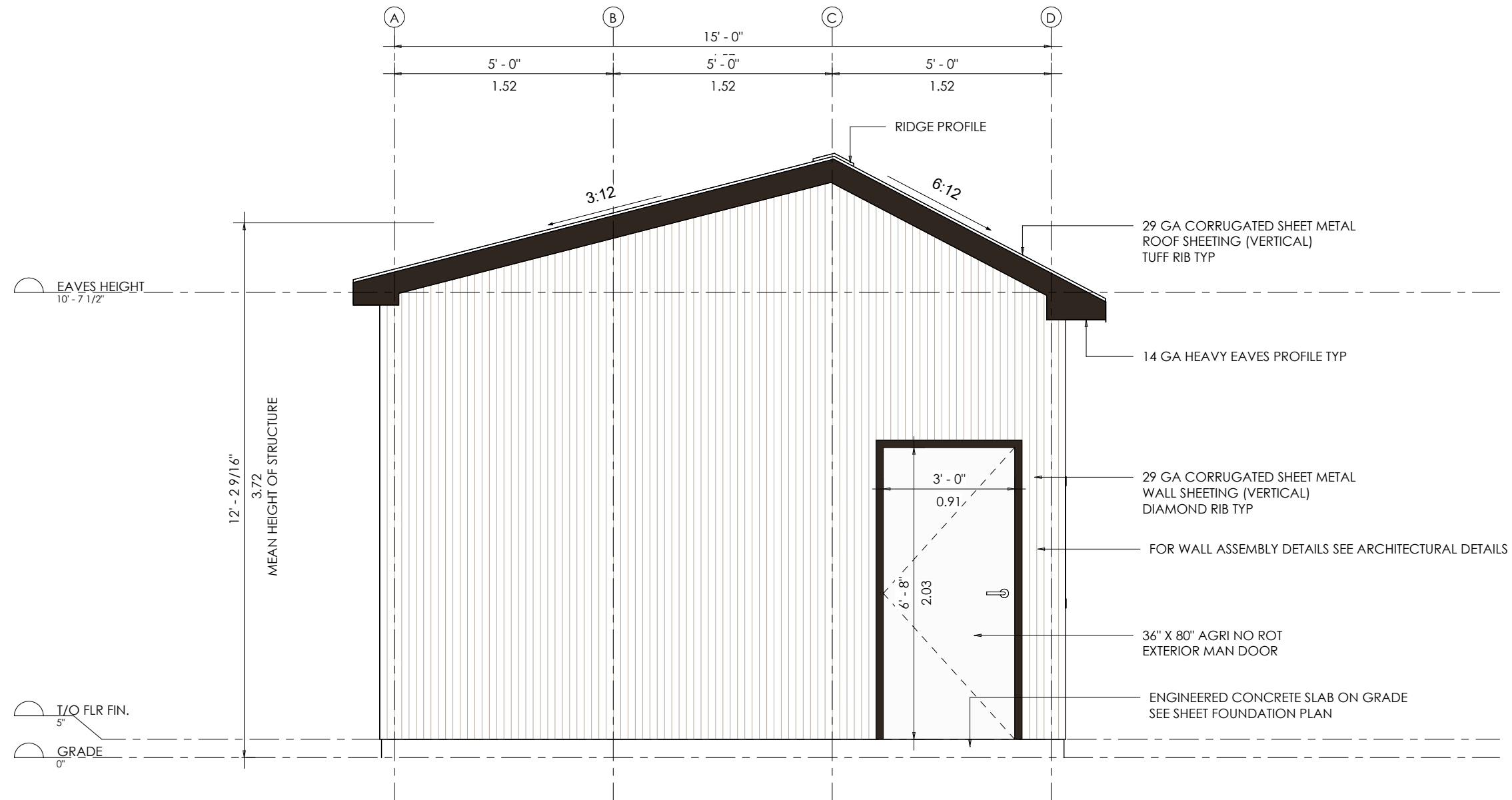


523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2

Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14
3	REV. LAYOUT	24-01-12

ELEVATION	A2.03	
	Project No.	23-982
WALKER, DOUG & WANDA	Date	2023-12-04
	Drawn by	MH
	Checked by	LDO
	Scale	3/8" = 1'-0"
302 DUNCOMBE ROAD WATERFORD, ONTARIO N0E 1Y0		



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2
Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14
3	REV. LAYOUT	24-01-12

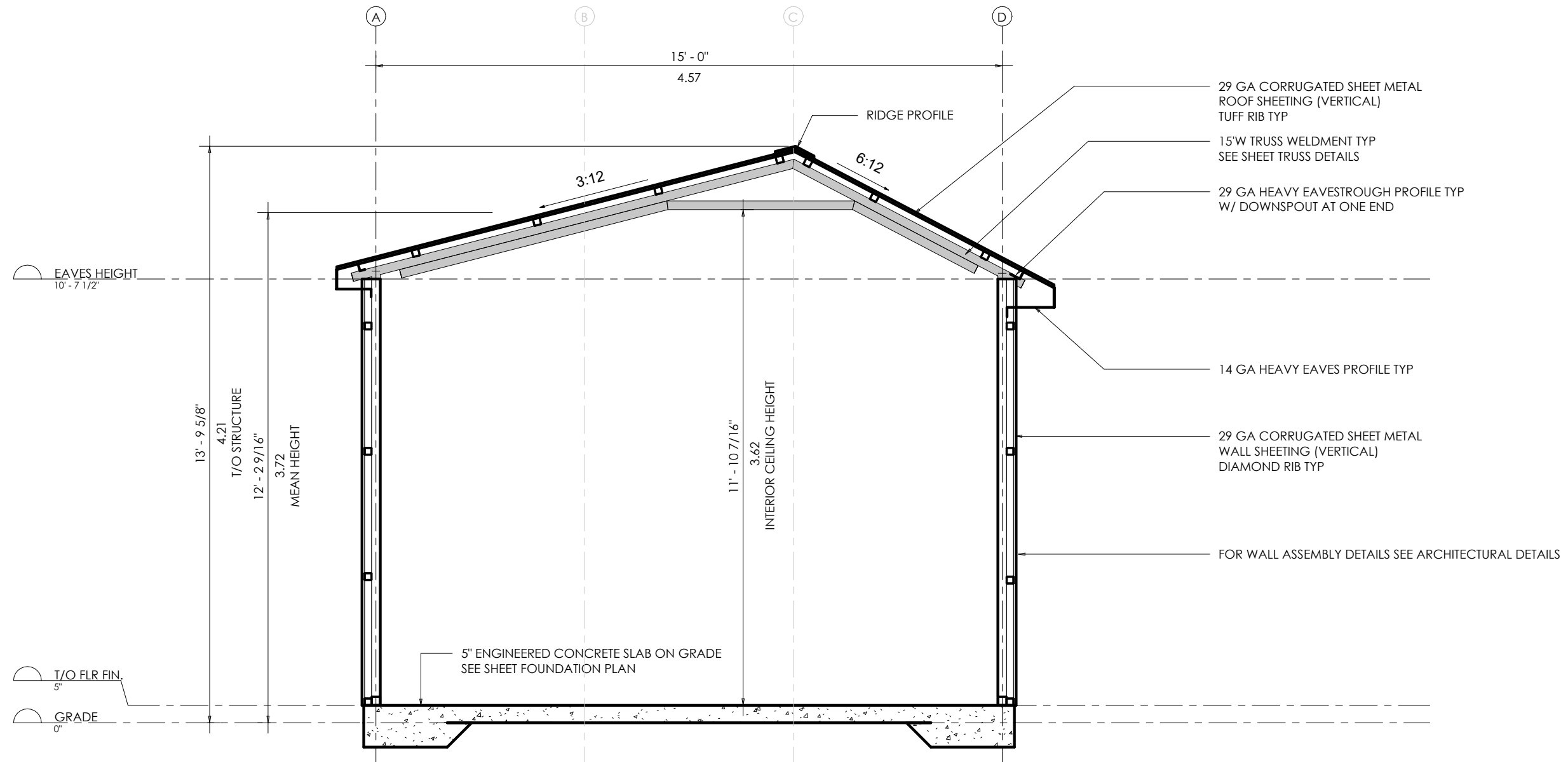
ELEVATION

WALKER, DOUG & WANDA

302 DUNCOMBE ROAD
WATERFORD, ONTARIO
N0E 1Y0

A2.04

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	3/8" = 1'-0"



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2
Website: www.cdnbuildings.com

No.	Description	Date
1	PRELIMINARY DESIGN	23-12-06
2	MINOR VARIANCE APP	23-12-14

SECTION 'A'

WALKER, DOUG & WANDA

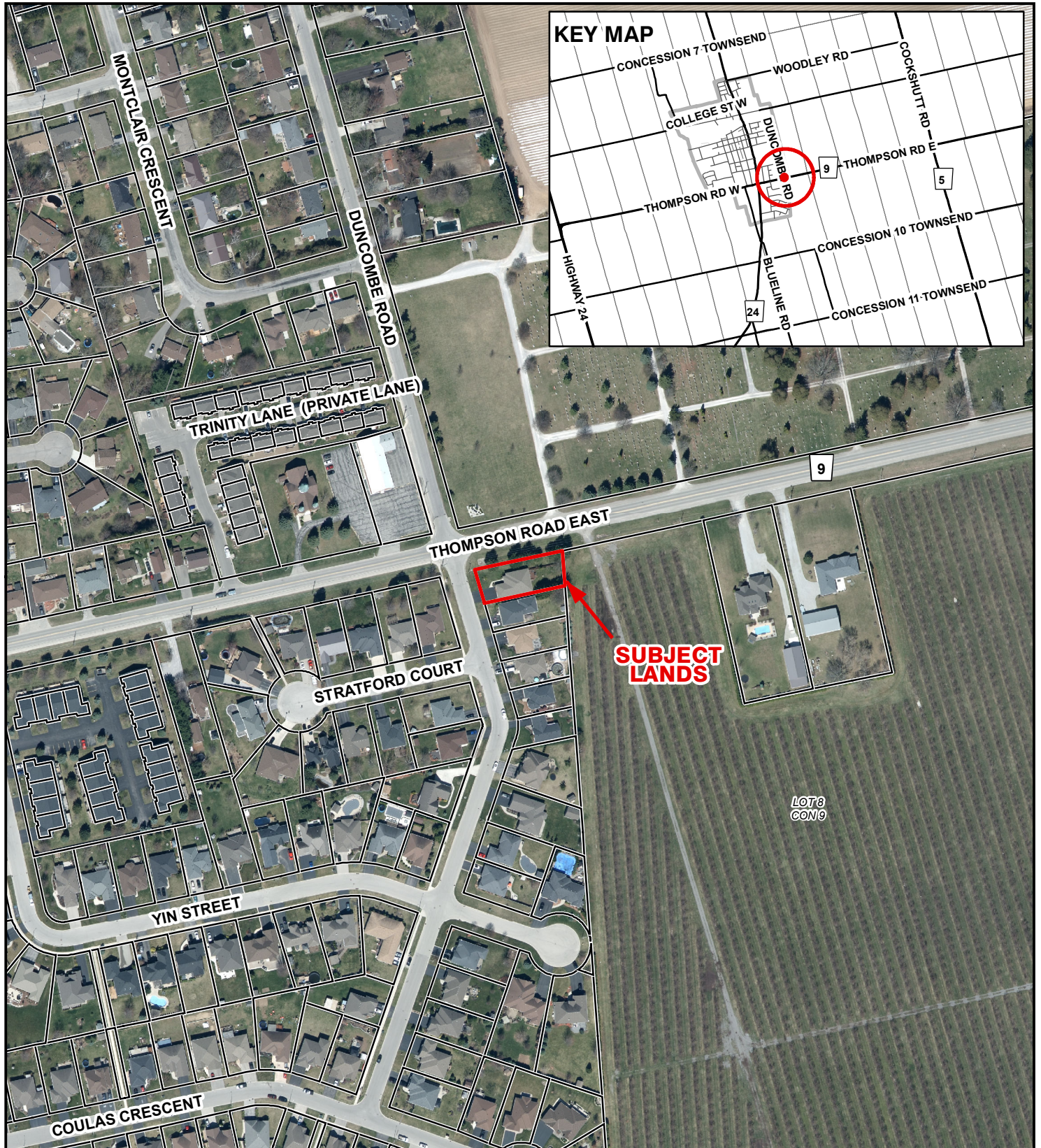
302 DUNCOMBE ROAD
WATERFORD, ONTARIO
N0E 1Y0

A4.01

Project No.	23-982
Date	2023-12-04
Drawn by	MH
Checked by	LDO
Scale	3/8" = 1'-0"

CONTEXT MAP

Geographic Township of TOWNSEND

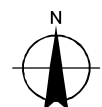


Legend

- Subject Lands
- Lands Owned

2020 Air Photo

1/18/2024



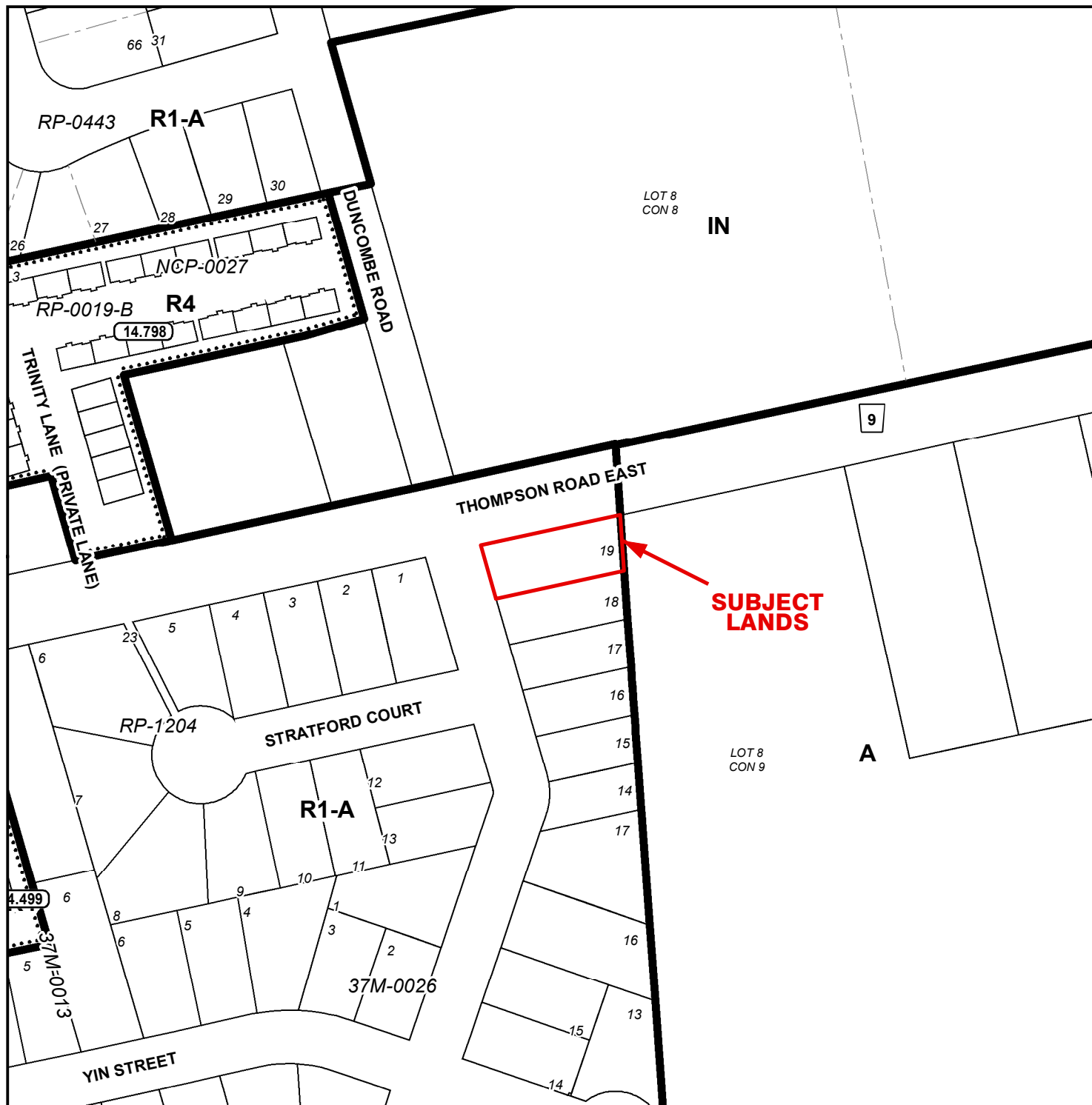
20 10 0 20 40 60 80 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of TOWNSEND

ANPL2023405



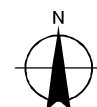
LEGEND

- Subject Lands
- Lands Owned

ZONING BY-LAW 1-Z-2014

1/18/2024

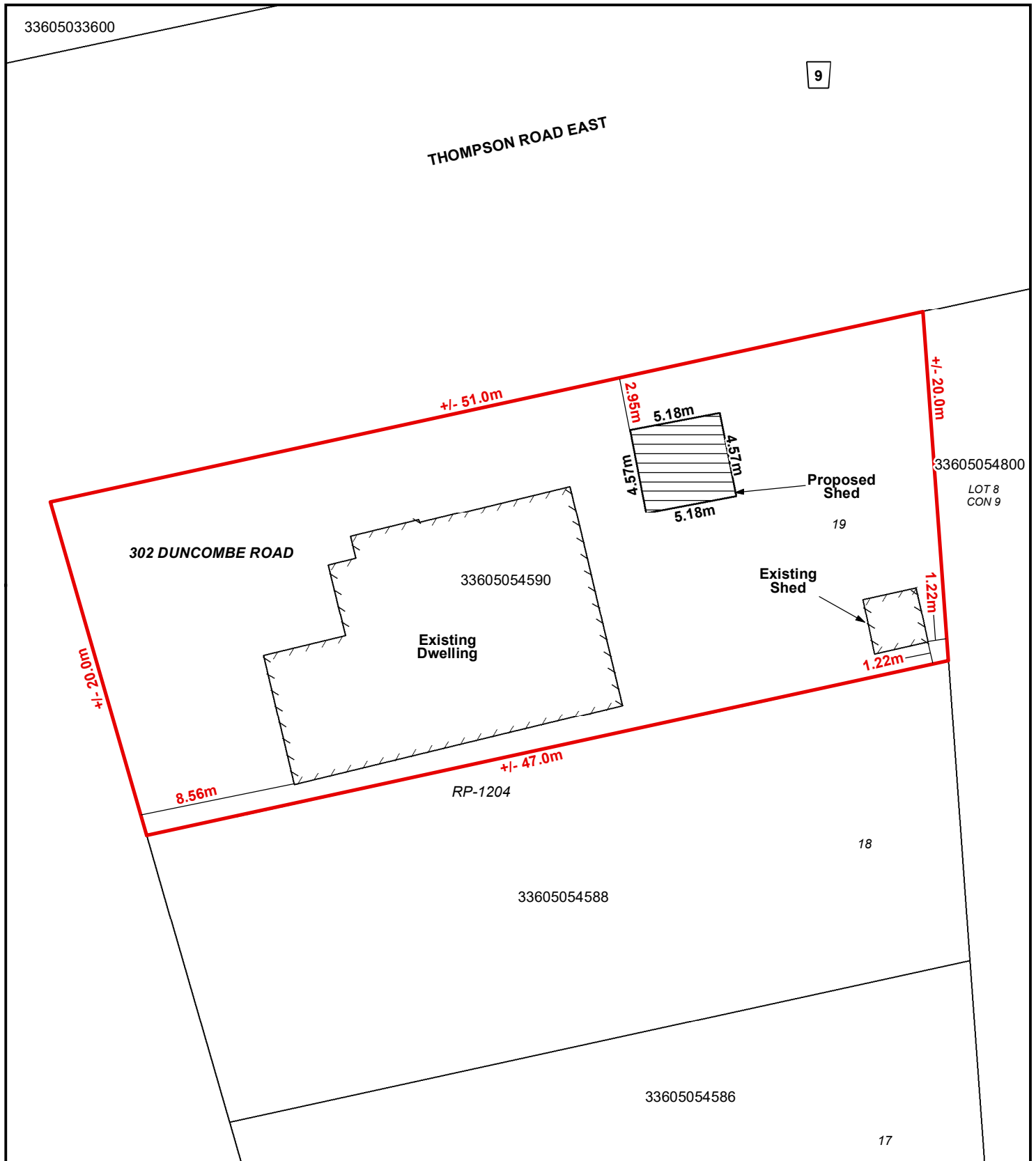
- (H) - Holding
- A - Agricultural Zone
- IN - Neighbourhood Institutional Zone
- R1-A - Residential R1-A Zone
- R4 - Residential R4 Zone



10 5 0 10 20 30 40
Meters

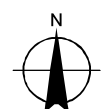
CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

- Subject Lands
- Lands Owned

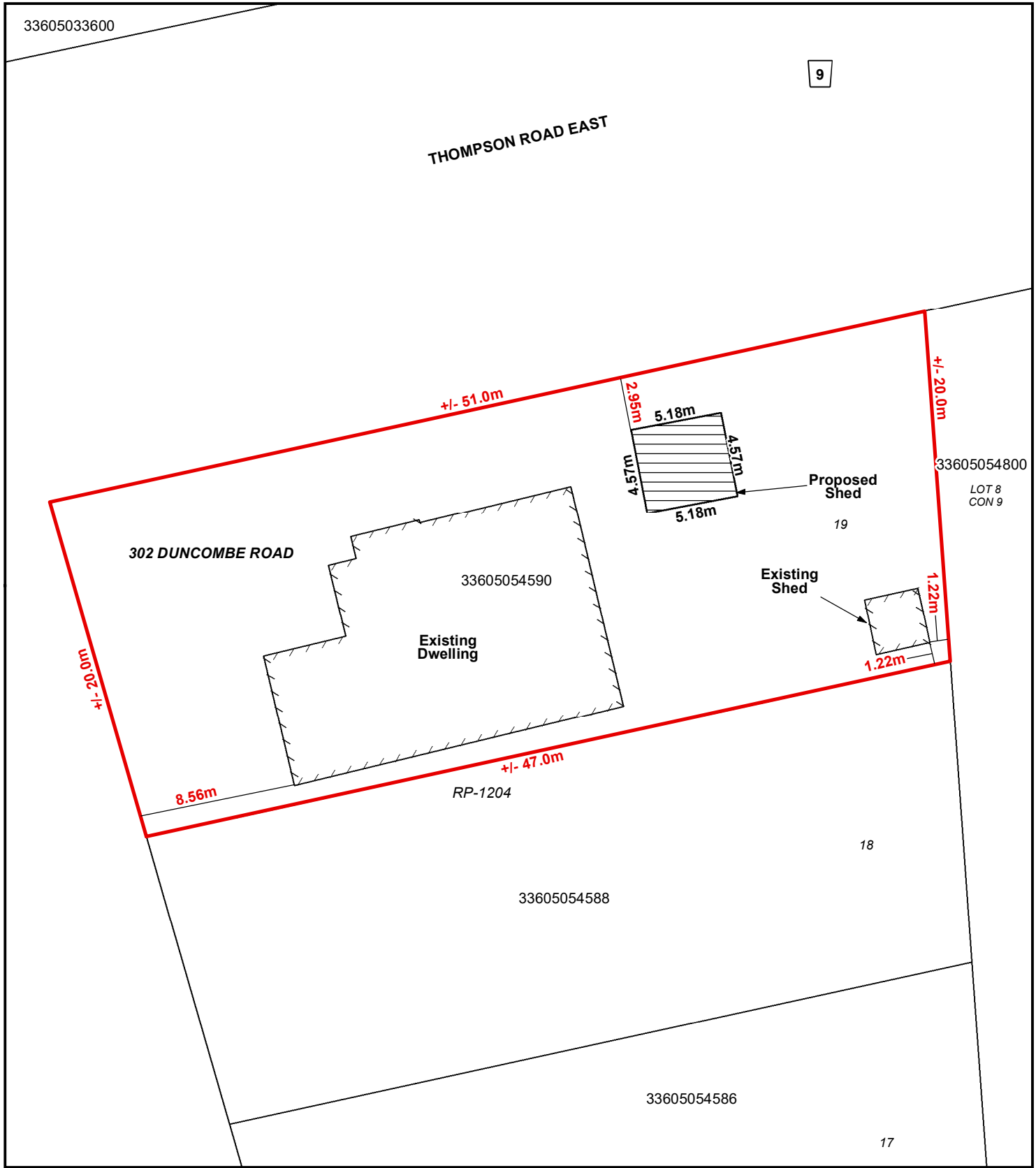


1/18/2024

2.5 1.25 0 2.5 5 7.5 10 Meters

CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

-  Subject Lands
-  Lands Owned