

**For Office Use Only:**

File Number ANPL2024013  
Related File Number -  
Pre-consultation Meeting -  
Application Submitted Feb.26.2024  
Complete Application Mar.12.2024

Application Fee \$2743.00 - paid Mar.6.24  
Conservation Authority Fee 514.15 - paid Mar.12.24.  
Well & Septic Info Provided N/A  
Planner Hanne Yager  
Public Notice Sign

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

Property Assessment Roll Number: 493 1100 34 00 00 00

**A. Applicant Information**

Name of Owner SALLY LANE

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 202 CEDAR DR.

Town and Postal Code VICTORIA NOE 1W0

Phone Number

Cell Number 1226 931 0416

Email sally@leadcommunications.com

Name of Applicant MACLEAN'S MASTER CARPENTRY LTD

Address 2428 COCKSHUTT RD RR#1

Town and Postal Code WATERFORD NOE 1Y0

Phone Number

Cell Number 519 802 6305

Email macleansmastercarpentry@gmail.com

Name of Agent

N/A

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: 202 CEDAR DR. VICTORIA NOE IWO

Present Official Plan Designation(s): RESORT AREA

Present Zoning: RESORT RESIDENCE

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

14.14 DWELLING ZONE TO BE SFD.

3. Present use of the subject lands:

COTTAGE



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SKETCH IS ATTACHED TO SEE SETBACKS  
DRY SHED TO BE REMOVED. SINGLE STORY 25.9m<sup>2</sup>. HEIGHT 2.4m.  
COTTAGE TO REMAIN. SINGLE STORY 86m<sup>2</sup>.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

NEW PROPOSED TWO-STORY STORAGE GARAGE. 85.8m<sup>2</sup>.  
HEIGHT 7.62m.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SKETCH IS ATTACHED

NEW PROPOSED TWO-STORY STORAGE GARAGE. 85.8m<sup>2</sup>  
HEIGHT. 7.62m

7. Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

UNKNOWN

9. Existing use of abutting properties:

COTTAGES

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

POSSIBLE HYDRO EASEMENT AT REAR



an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	12.167m	/	/	/	/
Lot depth	55.461m	/	/	/	/
Lot width	12.186m	/	/	/	/
Lot area	675.84m <sup>2</sup>	/	/	<del>1540.0%</del> 13.5%	<del>1540.0%</del> 13.5%
Lot coverage	111.88m <sup>2</sup>	10%	3.2.1	<del>171.7%</del>	<del>59.86m<sup>2</sup></del> 3.5%
Front yard	8.7m	6m	5.8.2	7.6m	<del>1.6m</del>
Rear yard	39m	1.2m	3.2.1	35m	<del>4m</del>
Height	/	7m	3.2.1	7.62	0.62m
Left Interior side yard	6.8m	1.2m	3.2.1	4.2	<del>2.6m</del>
Right Interior side yard	1.3m	1.2m	3.2.1	1.3m	<del>1m</del>
Exterior side yard (corner lot)	/	/	/	/	/
Parking Spaces (number)	4	<del>100 sqm</del>	/	4	<del>39 sqm</del>
Aisle width	25.9m <sup>2</sup>	<del>89 sqm</del>	3.2.1	139 sqm	<del>50 sqm</del>
Stall size	/	/	/	/	/
Loading Spaces	/	/	/	/	/
Other	/	/	/	/	/

3.5%  
3.5%

BLE  
OR



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

N/A

THE HEIGHT IS TOO HIGH FOR BY-LAW. THE m<sup>2</sup> EXCEEDS ALLOWABLE BY-LAW.

LOT COVERAGE IS OVER ALLOWABLE.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

N/A



N/A

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_



Owners Name: N/A  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: N/A  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

N/A.  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

N/A.  
\_\_\_\_\_  
\_\_\_\_\_



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

GARAGE REPLACING EXISTING GARAGE

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_



## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

☐ Municipal piped water

☐ Communal wells

☐ Individual wells

☒ Other (describe below)

PRIVATELY OWNED.

### Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order ☐ Other (describe below)

### Storm Drainage

☒ Storm sewers

☐ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

CEDAR DR. VICTORIA.

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

N/A.

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

N/A.



## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



### I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

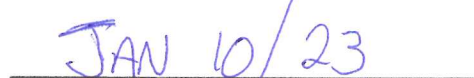
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



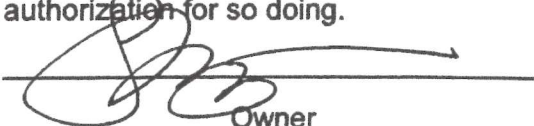
Date

### J. Owner's Authorization

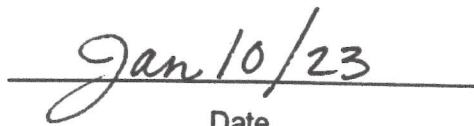
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Sally Lane am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Corey MacLean to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



**K. Declaration**

I, COREY MACLEAN of MACLEAN'S MASTER CARPENTRY LTD.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE, ONT



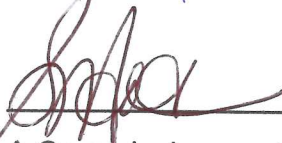
Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This JAN day of 10

A.D., 20 24

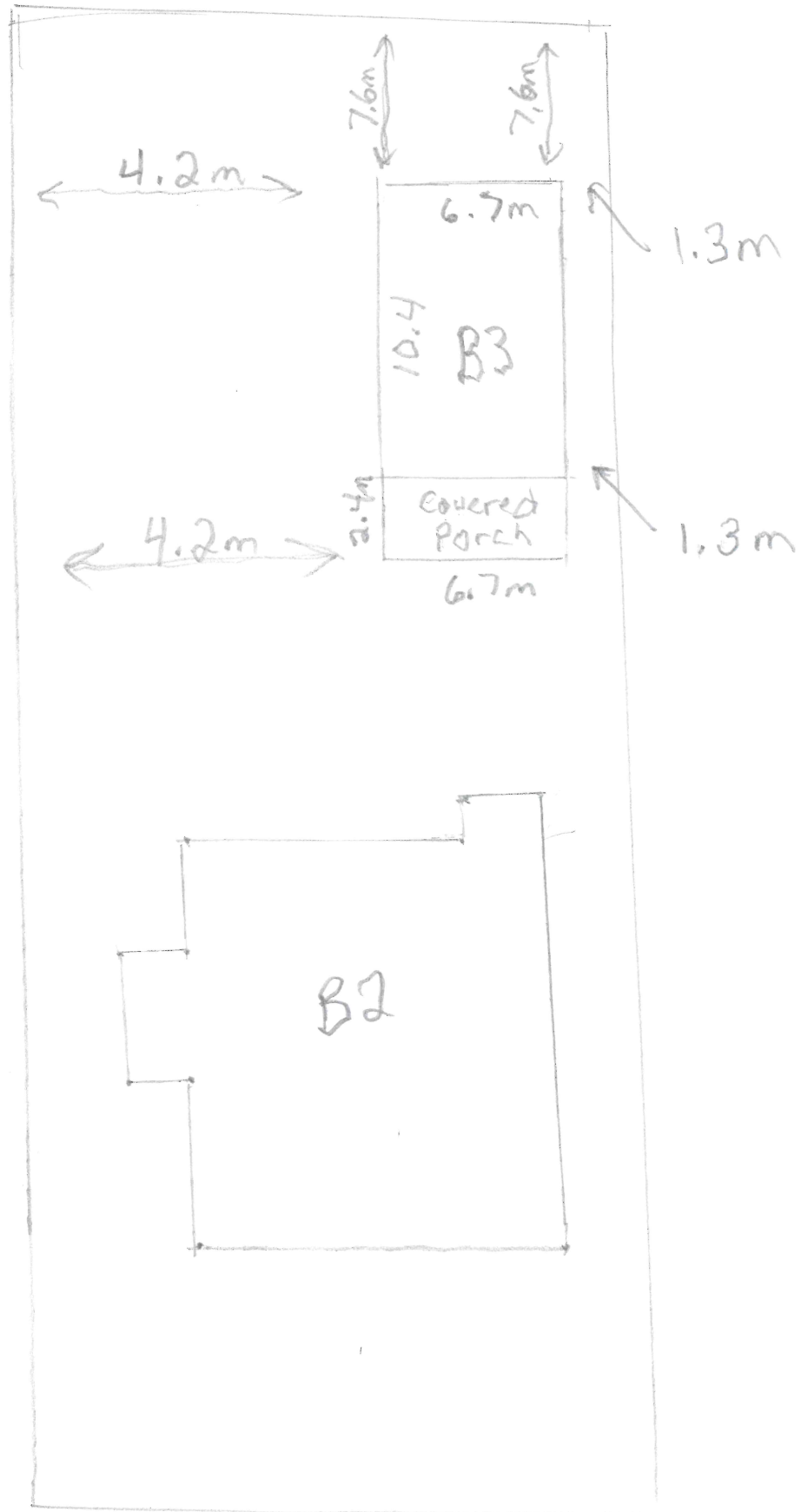
Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires March 16, 2026.

  
A Commissioner, etc.



# Proposed Building

B3 - Proposed  
2 storcy  
garage  
Height - 7.62m  
85.8m<sup>2</sup>

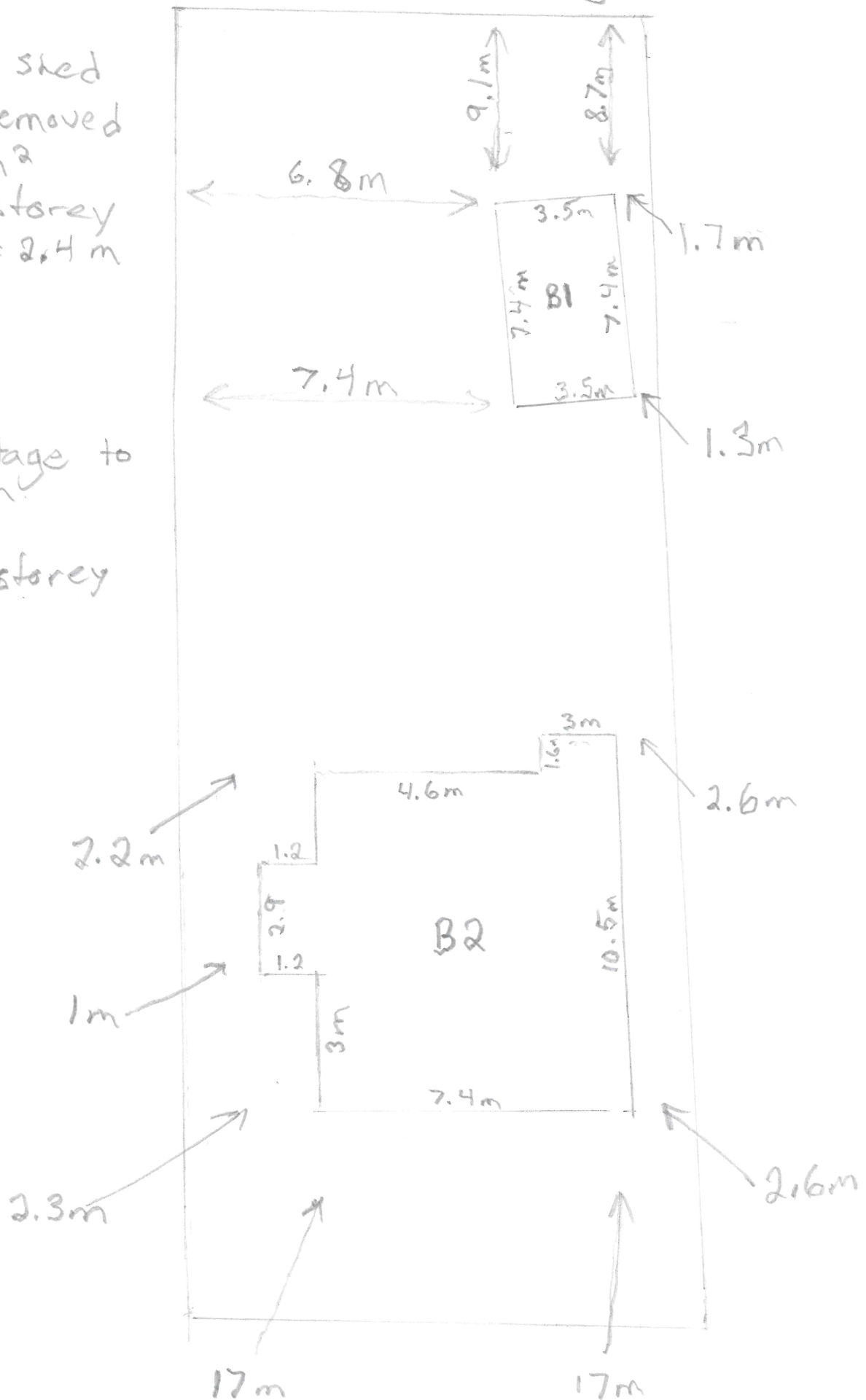




# Existing Buildings

B1 - Dry shed  
to be removed  
 $25.9 \text{ m}^2$   
Single storey  
Height =  $2.4 \text{ m}$

B2 - Cottage to  
remain.  
 $86 \text{ m}^2$   
single storey





PLAN OF SURVEY  
AND  
TOPOGRAPHIC SITE PLAN  
OF ALL OF  
**LOT 37**  
**REGISTERED PLAN 128**  
AND PART OF  
**LOT 12**  
MARSH IN FRONT OF  
**CONCESSION A**  
**TURKY POINT**  
IN THE GEOGRAPHIC  
**TOWNSHIP OF CHARLOTTEVILLE**

**NORFOLK COUNTY**

PIN 50267 - 0450 (LT)

PIN 50267 - 0407 (LT)

SCALE: 1 : 150

15 0 15 METRES

**JEWITT AND DIXON LTD.**

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN NUMBER PIN  
V-30475



LEGEND	
BELL SIGN	SHOWN
BENCH MARK	SHOWN
TOP OF FOUNDATION	SHOWN
UNDERPIRE OF SIGN	SHOWN
OVERHEAD HYDRO LINE	SHOWN
HYDRO POLE	SHOWN
HYDRO METER	SHOWN
CONCRETE TREE	SHOWN
DECIDUOUS TREE	SHOWN

ELEVATIONS SHOWN HEREON ARE IN METRES  
AND ARE BASED ON A GEODETIC DATUM.

**METRIC NOTE**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTE**  
THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE  
BASED ON PHYSICAL LOCATES.  
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION  
LOCATE IS BOTH RECOMMENDED AND ADVISED.

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**

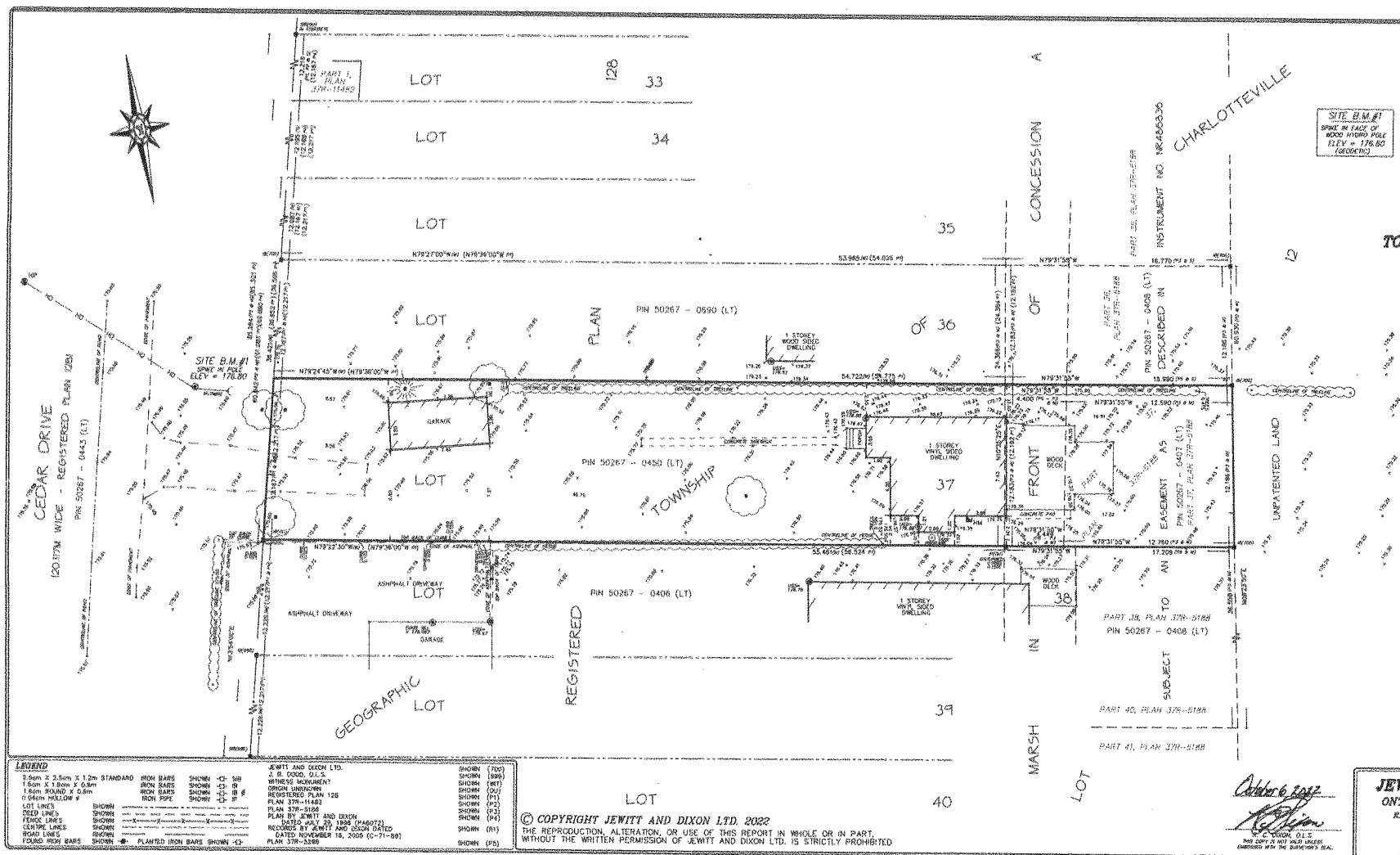
K.R.I. SIMCOE, ONTARIO, N4Y 4P9

(51 PARK ROAD)

PHONE (519) 426-0842

E-mail: info@jewittdixon.com

DATE	J.M.S.
BOOK	L.T.F.F.
CALC.	J.M.S.
PLAN	M.T.C.
CHECK	K.H.
CLIENT	LANE
PROJECT No.	22-3543
22-3543-P08/TOPO	

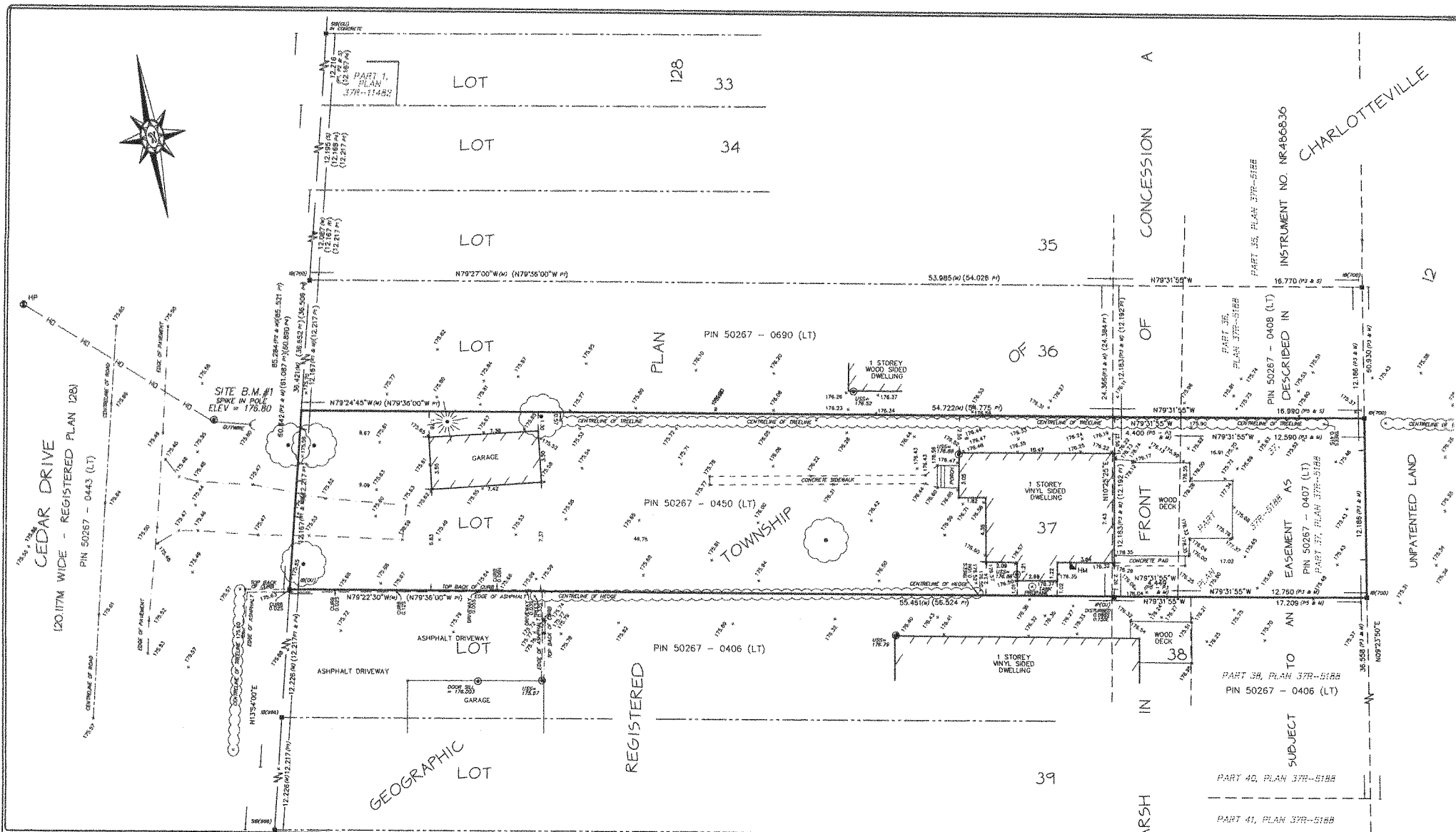


LEGEND	
1.50m x 2.50m x 1.2m STANDARD	IRON BARS SHOWN
1.50m x 1.80m x 0.8m	IRON BARS SHOWN
1.50m ROUND x 0.8m	IRON BARS SHOWN
0.60m HOLLOW	IRON PIPE SHOWN
LOT LINES	SHOWN
DEED LINES	SHOWN
FENCE LINES	SHOWN
CENTRE LINES	SHOWN
ROAD LINES	SHOWN
FOUND IRON BARS	SHOWN
PLANTED IRON BARS	SHOWN

JEWITT AND DIXON LTD.  
J. B. DIXON, O.L.S.  
WHITNEY MCKINNEY  
O.L.S.  
REGISTERED PLAN 128  
PLAN 378-11482  
PLAN 378-5188  
DATED JULY 23, 1998 (M46072)  
RECORDED BY JEWITT AND DIXON LIMITED  
DATED NOVEMBER 18, 2005 (C-71-901)  
PLAN 378-3258

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# LEGEND

2.5cm X 2.5cm X 1.2m STANDARD	IRON BARS	SHOWN	-□-	SIB
1.6cm X 1.6cm X 0.6m	IRON BARS	SHOWN	-□-	SIB
1.6cm ROUND X 0.6m	IRON BARS	SHOWN	-□-	SIB
0.04cm HOLLOW	IRON PIPE	SHOWN	-□-	SIB
LOT LINES	SHOWN	---	---	---
DEED LINES	SHOWN	---	---	---
FENCE LINES	SHOWN	---	---	---
CENTRE LINES	SHOWN	---	---	---
ROAD LINES	SHOWN	---	---	---
FOUND IRON BARS	SHOWN	---	---	---
	PLANTED IRON BARS	SHOWN	-□-	SIB

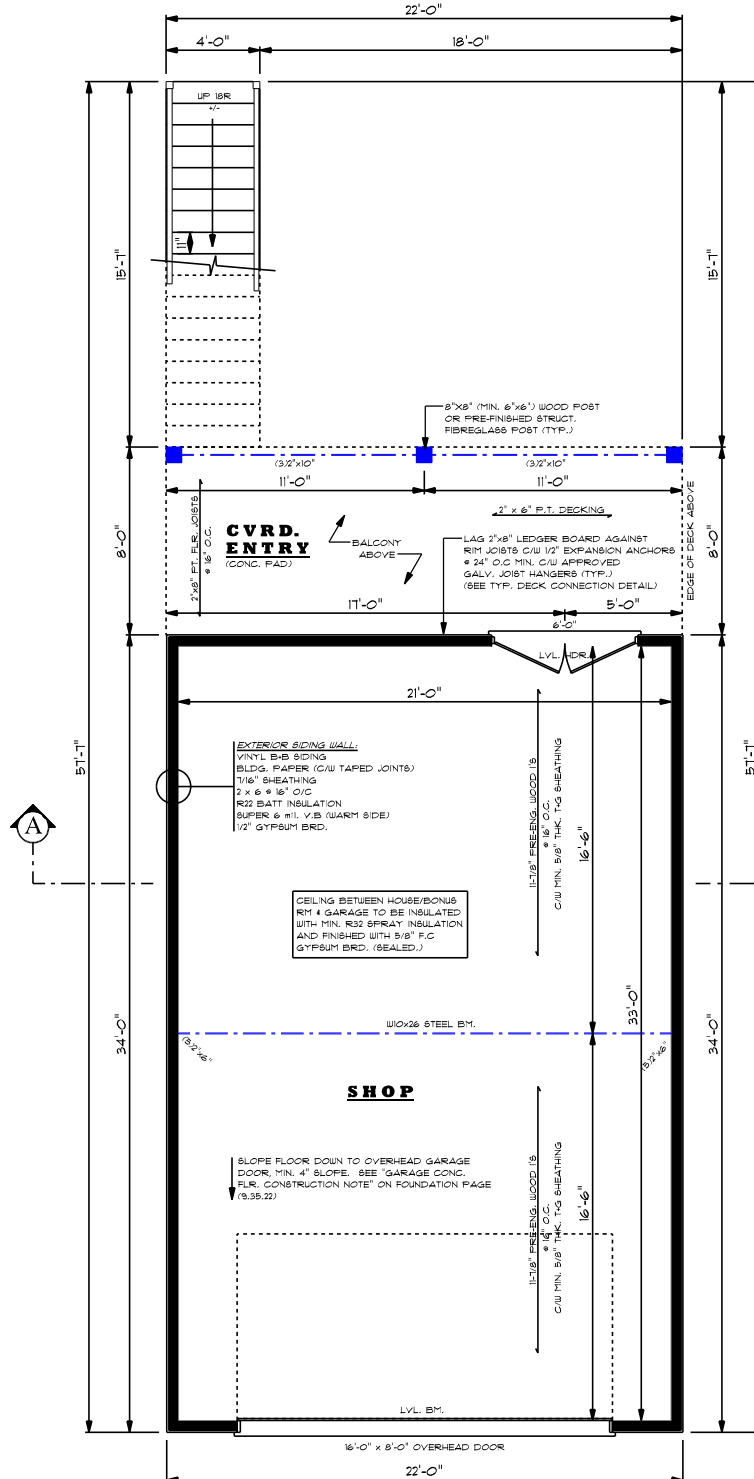
JEWITT AND DIXON LTD.  
 1000, O.L.S.  
 WITNESS MONUMENT  
 ORIGIN UNKNOWN  
 REGISTERED PLAN 128  
 PLAN 37R-11482  
 PLAN BY JEWITT AND DIXON  
 DATED JULY 23, 1998 (P45072)  
 RECORDS BY JEWITT AND DIXON DATED  
 DATED NOVEMBER 16, 2005 (C-71-66)  
 PLAN 37R-5296

SHOWN (700)  
 SHOWN (985)  
 SHOWN (817)  
 SHOWN (01)  
 SHOWN (P1)  
 SHOWN (P2)  
 SHOWN (P3)  
 SHOWN (P4)  
 SHOWN (R1)  
 SHOWN (P5)

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October 6, 2021  
 J.C. DIXON, O.L.S.  
 THIS COPY IS NOT VALID UNLESS  
 CROSSCHECKED WITH THE SURVEY





# MAIN FLOOR PLAN

SCALE: 1/4" = 1'0"

FLOOR AREA = 748 S.Q.F.T.



## WOOD LINTEL/SHEADERS:

ALL LINTELS SUPPORTING TRUSS SPANS THAT EXCEED THE ALLOWED 32'-1 SUPPORTED TRUSS LENGTH ARE TO BE PRE-ENGINEERED LVL HEADERS. (9.23.12)

ALL LINTELS TO BE GRADE \* 2 SFF (2) 2"x10" UNLESS OTHERWISE NOTED. IF WINDOW SIZES ARE CHANGED, PLEASE REFER TO THE LAST PAGE FOR WOOD LINTEL CHARTS. ALL LINTELS UNDER OPENINGS CARRYING POINT LOADS ARE TO BE PRE-ENGINEERED.

## GENERAL FLOOR PLAN SPECIFICATIONS:

SEE ADDITIONAL SPECIFICATIONS ON END SHEET

### WINDOWS & EXT. DOORS NOTE:

BUILDER/HOMEOWNER TO VERIFY ALL WINDOW & EXTERIOR DOOR STYLES/SIZES PRIOR TO ORDERING. FRAMING CONTRACTOR TO BE SUPPLIED WINDOW SUPPLIER R50 (ROUGH STUD OPENINGS) PRIOR TO FRAMING.

### PRE-ENGINEERED TRUSSES:

TRUSS LAYOUT TO BE DESIGNED/ENGINEERED BY TRUSS MANUFACTURER. MANUFACTURER TO SUBMIT SEALED STAMPED ENGINEERED SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL BY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. IF GIRDER TRUSS LOCATIONS ARE SHOWN ON THESE DRAWINGS, THEY ARE BASED ON ANTICIPATED PLACEMENT DESIGNED BY TRUSS MANUFACTURER

### ABBREVIATIONS:

REFER TO THE LAST PAGE "SPECIFICATIONS" FOR A LIST OF ABBREVIATIONS

### LVL MEMBERS & TRUSS JOIST:

SUPPLIERS OF ALL LVL MEMBERS AND TRUSS JOIST (WOOD IS) SYSTEMS TO PROVIDE ENGINEERED SHOP DRAWINGS. RUS HOME DESIGN INC. IS NOT RESPONSIBLE FOR PRE-ENGINEERED PRODUCTS.

### MECHANICAL VENTILATION:

PROVIDE MECHANICAL VENTILATION SYSTEM TO EXCHANGE AIR ( SEE OPTIONS 123, OR 4 AS PER VENTILATION SYSTEMS) SEE O.B.C 9.32, DRYER EXHAUST FANS TO CONFORM WITH PART 6

### END BEARINGS:

ALL WOOD & STEEL BEAMS SHALL HAVE EVEN & LEVEL BEARINGS OF NOT LESS THEN 3-1/2" OF AT END OF SUPPORTS AS PER (9.23.6.1.)

ALL WOOD LINTELS WITH SPANS LESS THEN 8'-8" REQUIRE MIN. 1-1/2" BEARING AT EACH END, EXCEPT WHERE SPANS ARE GREATER THEN 8'-10" MIN. BEARING SHALL BE 3" (9.23.12.3)

### POINT LOADS:

POINT LOADS CREATED IN WALLS DUE TO GIRDER TRUSSES OR BEAMS ENDS ARE TO HAVE (4) STUDS WHICH ARE TO BE CARRIED DOWN TO THE FDN.

### LIGHTING OUTLETS:

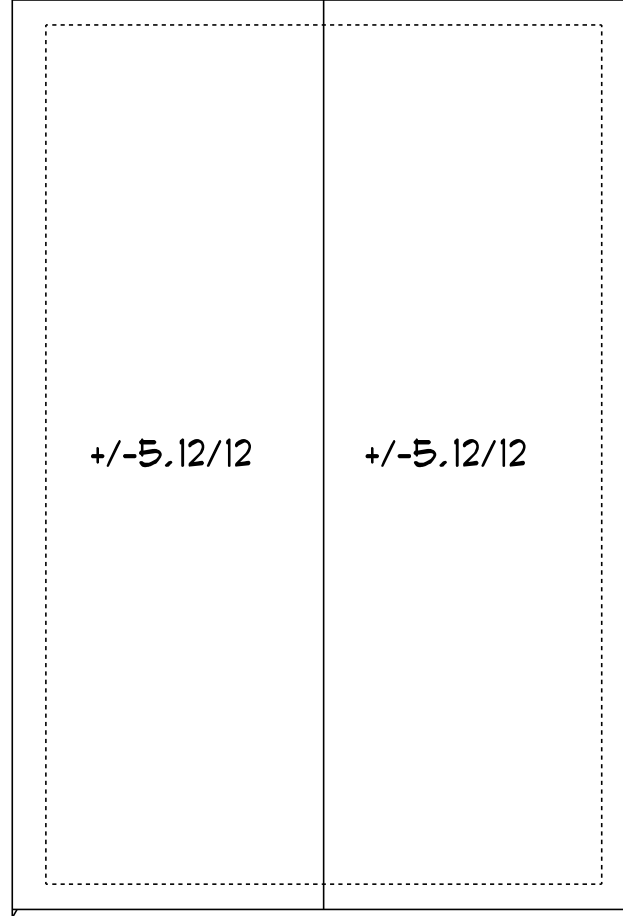
PROVIDE EXTERIOR LIGHTS AT ALL EXITS. (9.34.2.1) EVERY STAIRWAY SHALL BE LIGHTED AND CONTROLLED WITH A 3-WAY SWITCH FOR STAIRWAYS WITH MORE THEN 4 RISERS IN DUELLING UNITS. (9.34.2.3)

### GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL TO CONFORM WITH (9.34) AND BE COMPLETED & INSPECTED AS PER THE ONTARIO ELECTRICAL SAFETY CODE (ESA). LOCATION AND TYPE OF ELECTRICAL OUTLETS, SWITCHES AND LIGHT FIXTURES ARE TO BE CONFIRMED BY HOME-OWNER & OR CONTRACTOR.



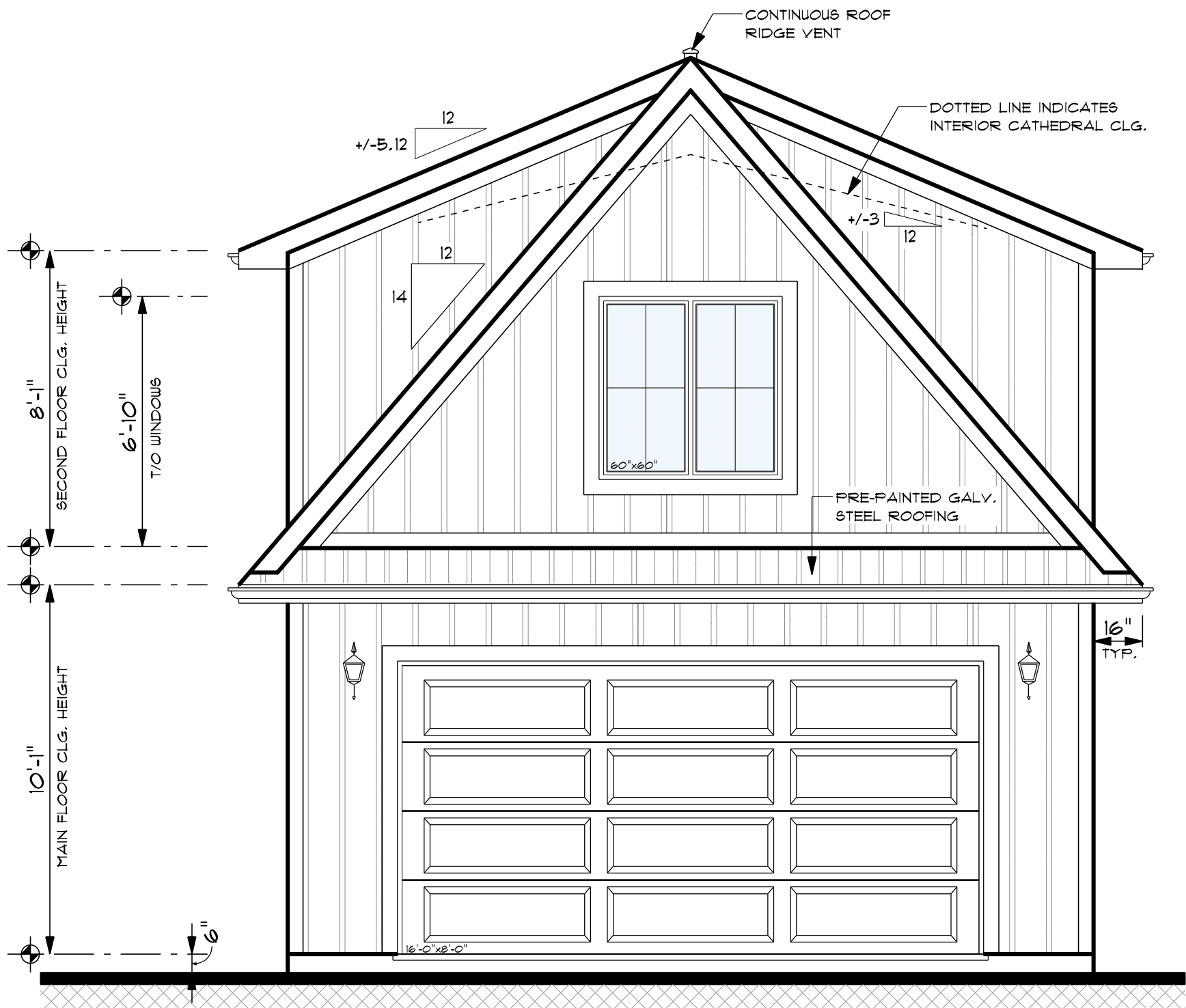




# **ROOF PLAN**

SCALE: NTS

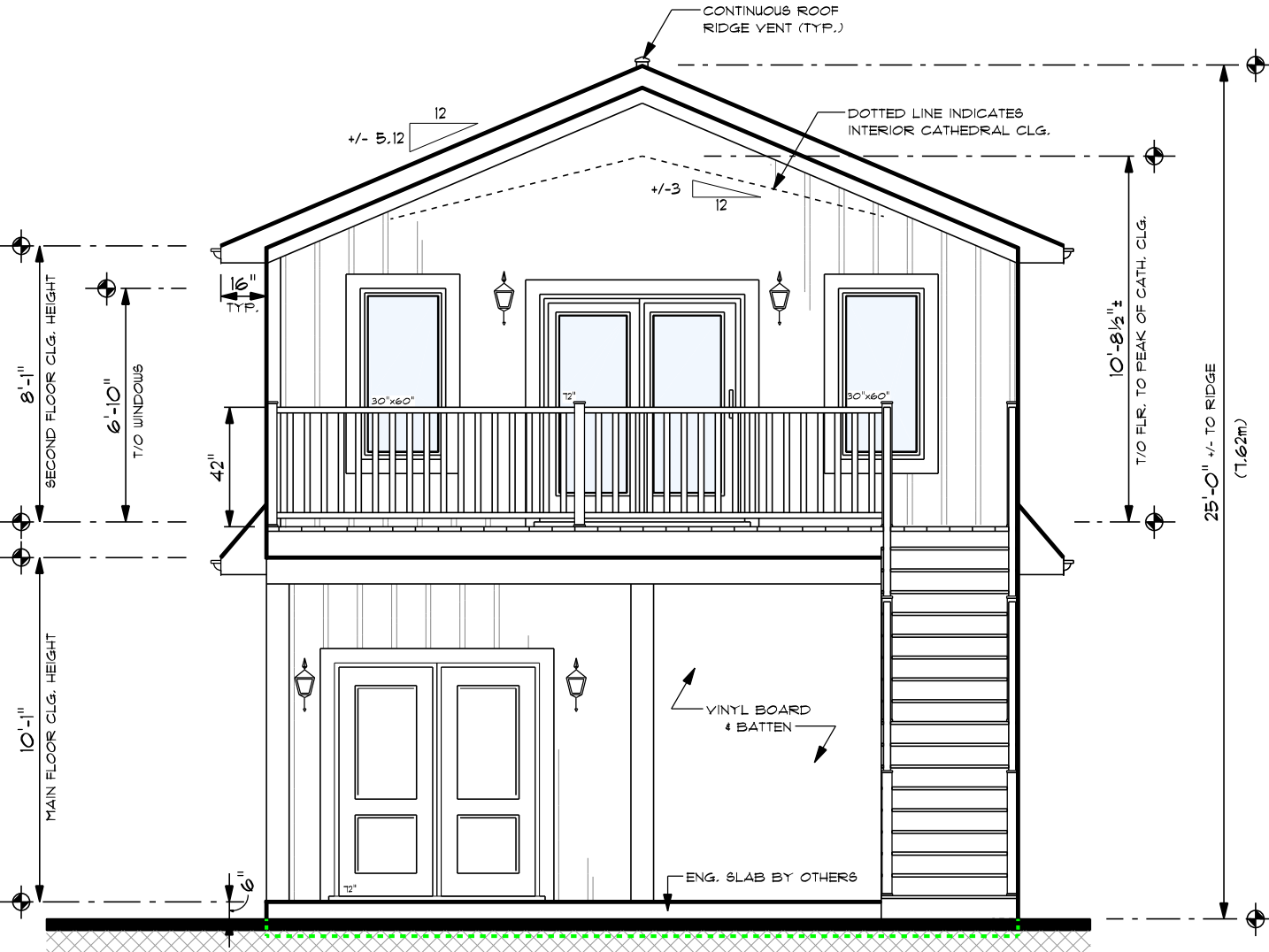
- ALL OVERHANGS TO BE 16" - ALL GABLE-END OVERHANGS TO BE 12" UNLESS OTHERWISE NOTED.
- ROOF RETURNS/ROOF SKIRTS ARE OMITTED ON ROOF PLAN. PLEASE REFER TO ELEVATIONS FOR LOCATIONS.
- ALL CHIMNEYS, FLUE'S, VENTS, ETC ARE OMITTED ON THIS DRAWING
- UNOBSTRUCTED VENT AREA OF 1/300 FOR ALL ROOF OR ATTICS ABOVE INSULATED AREAS. UNOBSTRUCTED VENT AREA OF 1/150 FOR ALL ROOF PITCHES LESS THEN 2/12 OR ROOF WITHOUT ATTIC SPACE
- TRUSS MANUFACTURER AND CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND ON THESE DRAWINGS TO THE DESIGNER PRIOR TO FABRICATION. TRUSSES INSTALLATION TO COMPLY WITH MANUFACTURER SPECS.
- SOLID BEARING SUPPORTING GIRDER TRUSSES TO EXTEND DWN. TO FNDN. WALL
- TRUSSES TO BE DESIGNED/ENGINEERED BY TRUSS MANUFACTURER. MANUFACTURER TO SUBMIT SEALED STAMPED ENGINEERED SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL BY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. TRUSS DIRECTIONS & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY TRUSS MANUFACT.



# FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'0"





## REAR ELEVATION (SOUTH)

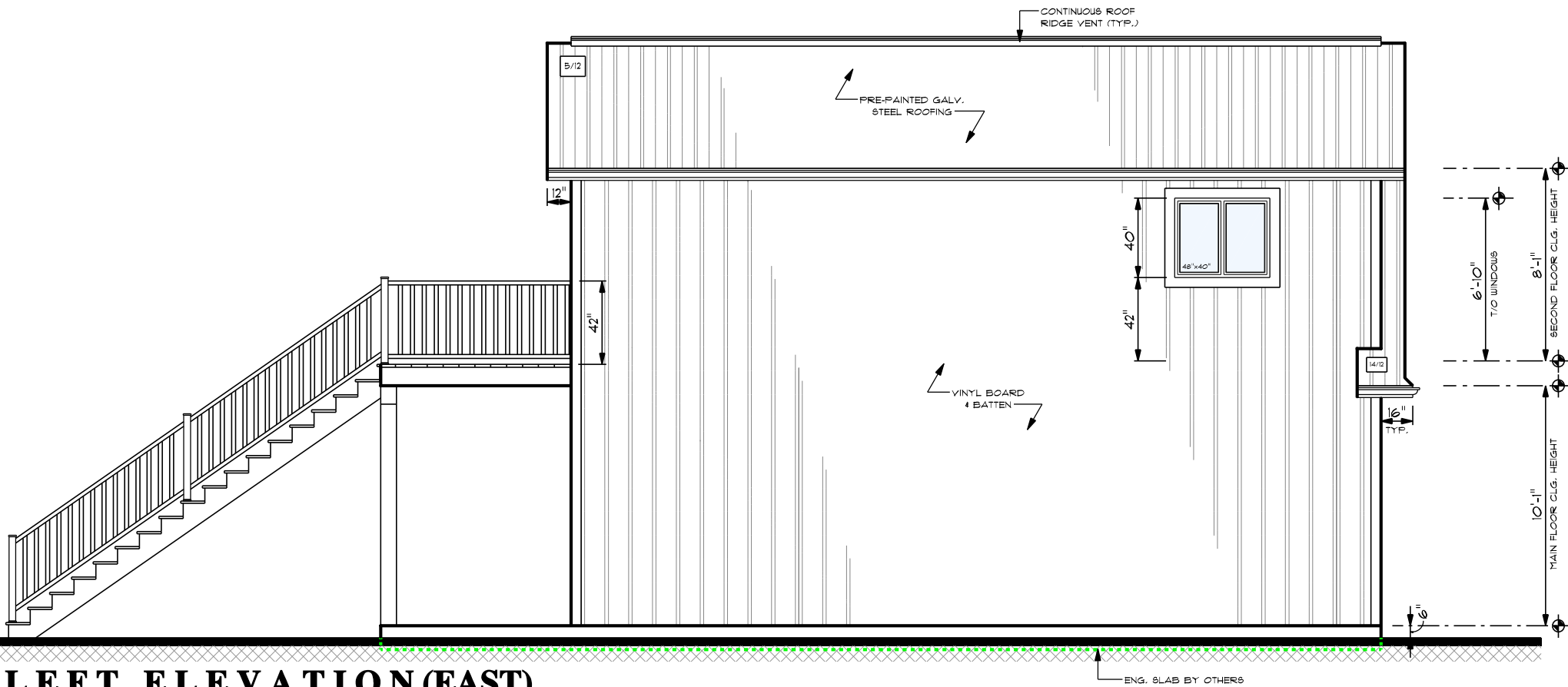
SCALE: 1/4" = 1'0"

### GENERAL ELEVATION SPECIFICATIONS:

1. ALL EXTERIOR FINISHES DETAILS / COLOURS / STYLES & MANUFACTURERS TO BE CONFIRMED BY HOME-OWNER.
2. BUILDER / OWNER / SUPPLIER TO CONFIRM ALL WINDOW & DOOR SIZES & ROUGH STUD OPENINGS PRIOR TO ORDERING.
3. DECORATIVE FRIEZE & BANDING TO BE VERIFIED BY CONTRACTOR.
4. ALL GUTTERS & DOWNSPOUTS PURPOSELY OMITTED FOR CLARITY.
5. CONTRACTOR TO VERIFY ALL EXISTING AND PROPOSED FINISHED GRADES ON-SITE. IF AN APPROVED GRADING PLAN IS PRESENT, GRADES TO MATCH SAID PLAN. FINISHED GRADE MUST SLOPE AWAY FROM HOUSE.
6. PROVIDE ICE & WATER SHIELD LAYER OVER ROOFS SLOPED 3/12 AND LESS. ALL ROOF PITCHES LESS THEN 4/12 TO HAVE "LOW SLOPE" APPLICATION SHINGLES (OBC 9.26.8)
7. ALL OVERHANGS TO BE AS STATED, UNLESS OTHERWISE NOTED:  
ROOF OVERHANG - 16"  
GABLE-END LOOK OUT FRAMING - 12"
8. FLASHING AT INTERSECTION BETWEEN ROOFS WHERE THEY ABUT WALLS AS PER (OBC 9.26.4)
9. ALL STEP FTGS. AS REQUIRED TO MAINTAIN MIN. 4'-0" GROUND COVERAGE FOR FROST PROTECTION  
-MIN. HORIZ. RUN - 23-5/8"  
-MAX. VERT. RISE - 23-5/8"  
CONTRACTOR TO VERIFY LOCATION OF ALL STEP FTGS. AND THEIR HEIGHTS ON-SITE (OBC 9.15.3.9)
10. MAINTAIN MIN. 4'-0" GROUND COVERAGE FOR FROST PROTECTION FOR ALL FOOTINGS (VERIFY WITH GEOGRAPHICAL AREA)  
ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR NATIVE ROCK
11. ALL DECKS, PORCHES, LANDINGS, DOOR THRESHOLDS THAT HAVE A WALKING SURFACE MORE THEN 23-5/8" BUT LESS THEN 5'-11" ABOVE FINISHED GRADE REQUIRE 36" HIGH GUARD. WALKING SURFACES MORE THEN 5'-11" ABOVE FINISHED GRADE REQUIRE 42" HIGH GUARD. ALL GUARDS TO CONFIRM TO SB-7

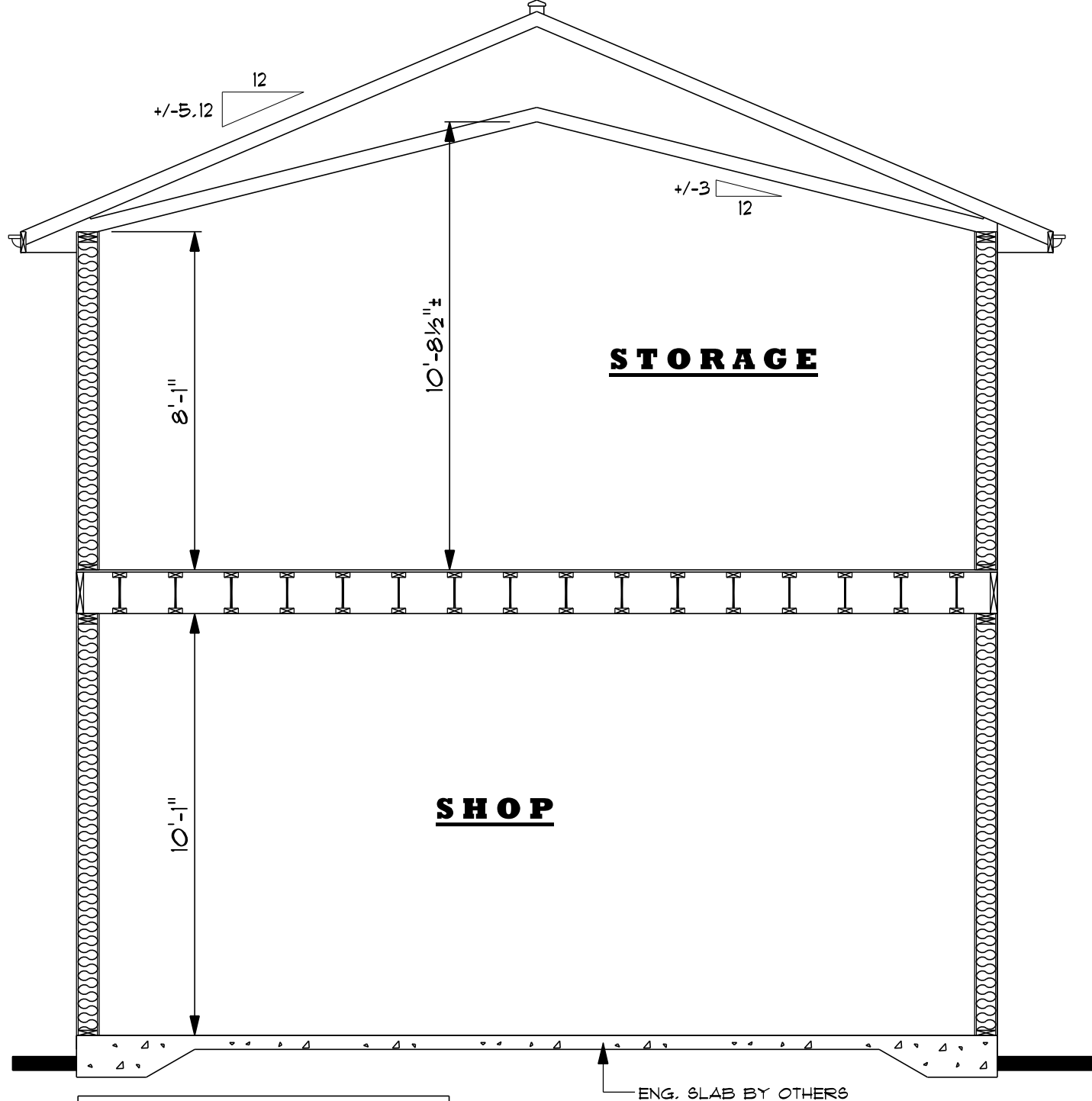






## **LEFT ELEVATION (EAST)**

SCALE: 1/4" = 1'0"



\*PLEASE REFER TO "TYPICAL SECTION"  
FOR MORE DETAILED SPECIFICATIONS

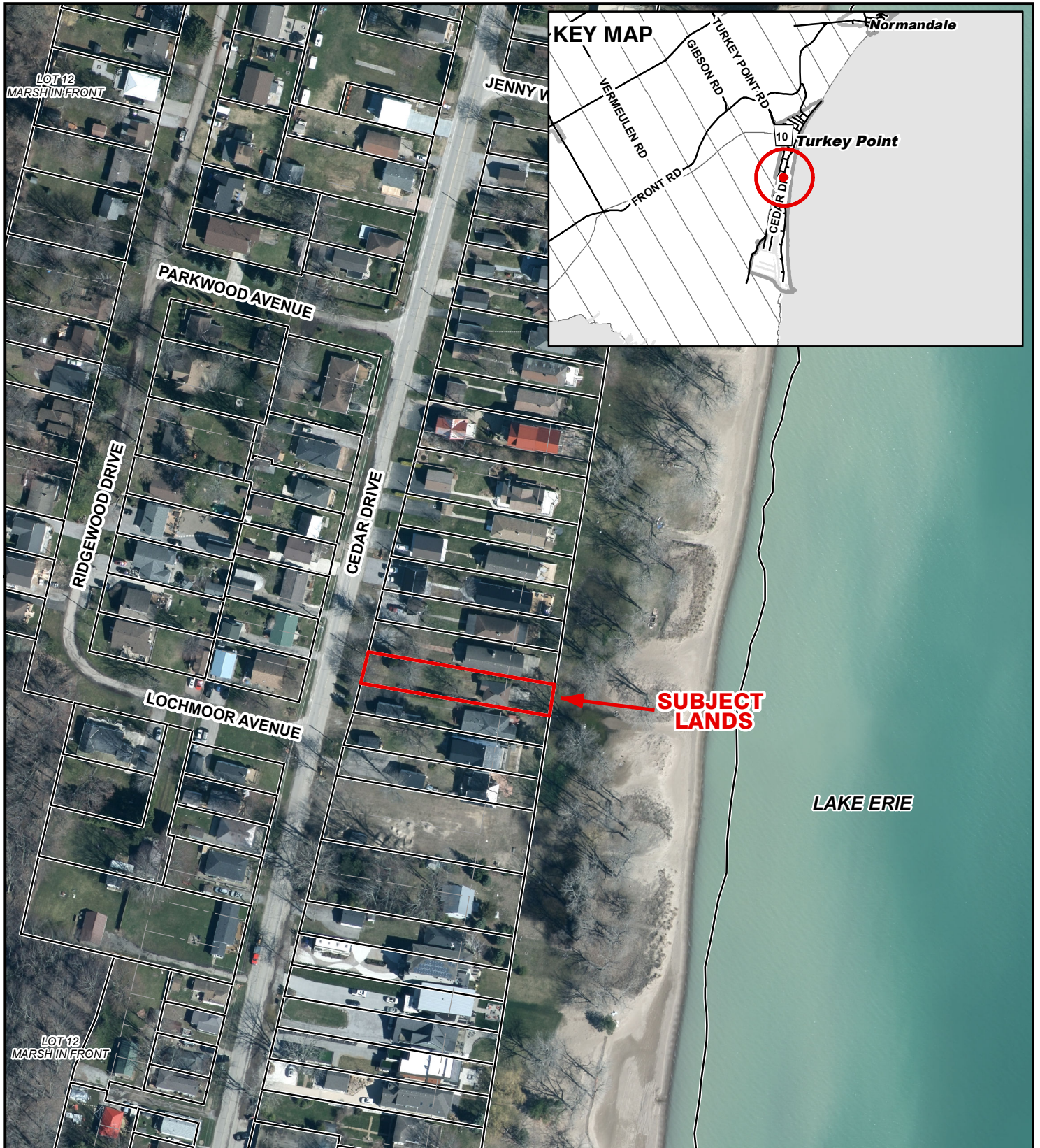
## **CROSS SECTION A-A**

SCALE: 3/8" = 1'0"




**MAP A**  
**CONTEXT MAP**  
Geographic Township of CHARLOTTEVILLE

ANPL2024013

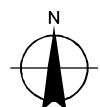


**Legend**

 Subject Lands

2020 Air Photo

3/20/2024



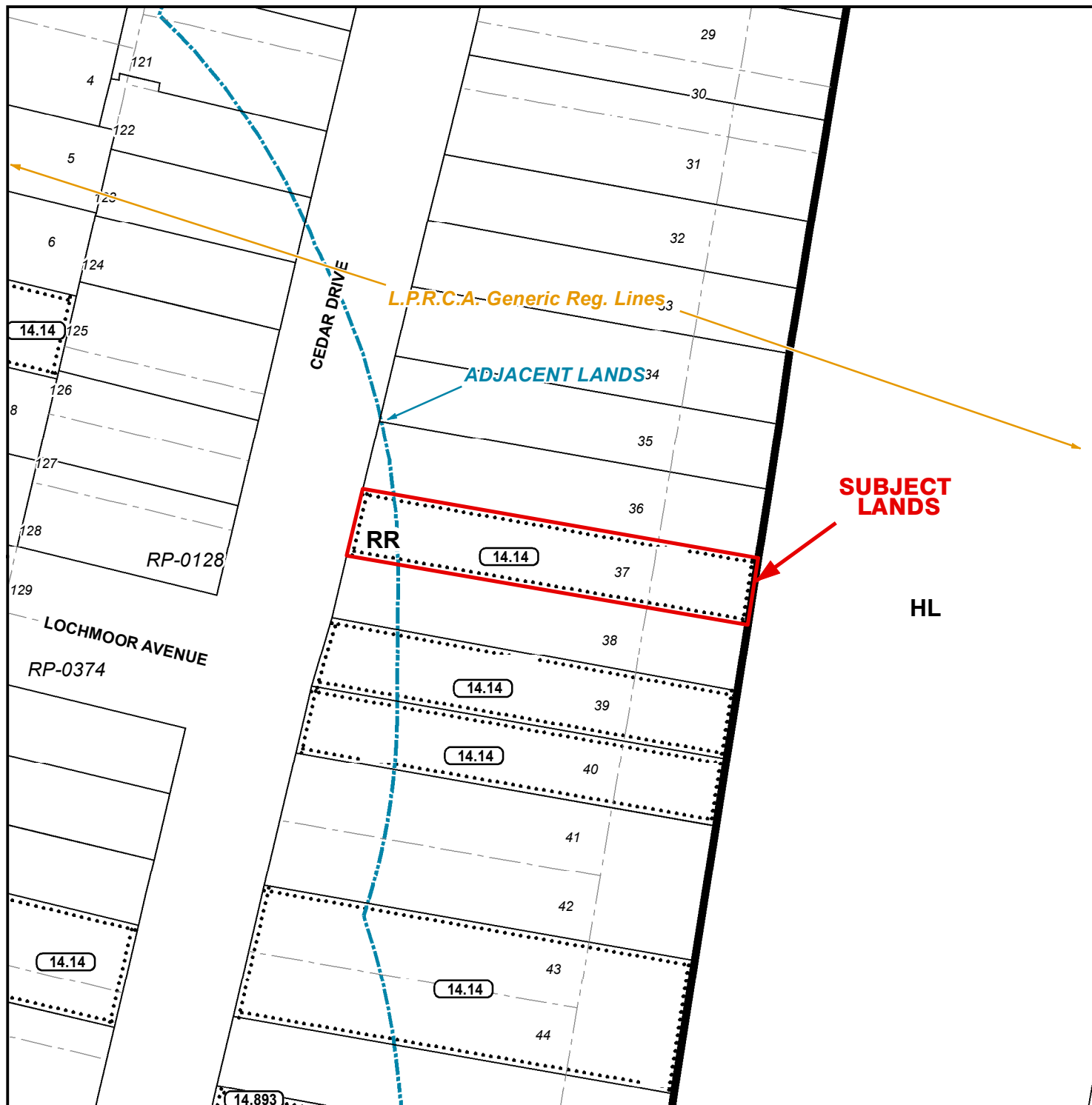
10 5 0 10 20 30 40  
Meters

# MAP B

## ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2024013



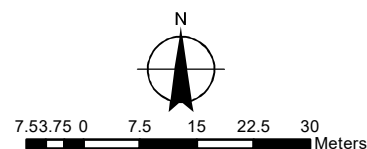
### LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

3/20/2024

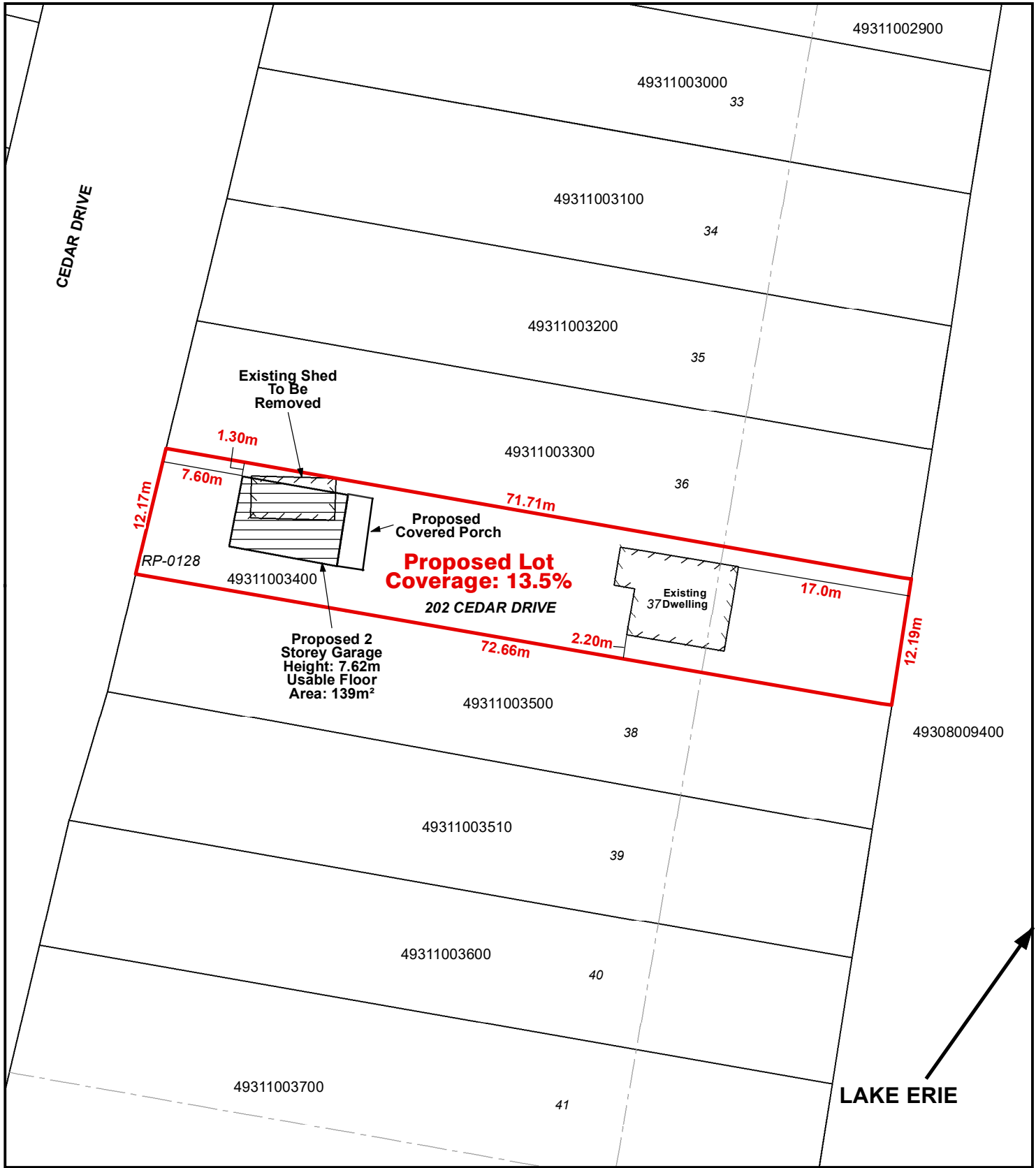
- (H) - Holding
- HL - Hazard Land Zone
- RR - Resort Residential Zone





CONCEPTUAL PLAN

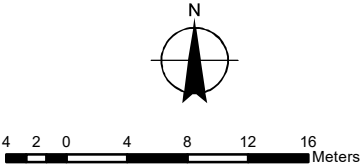
Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

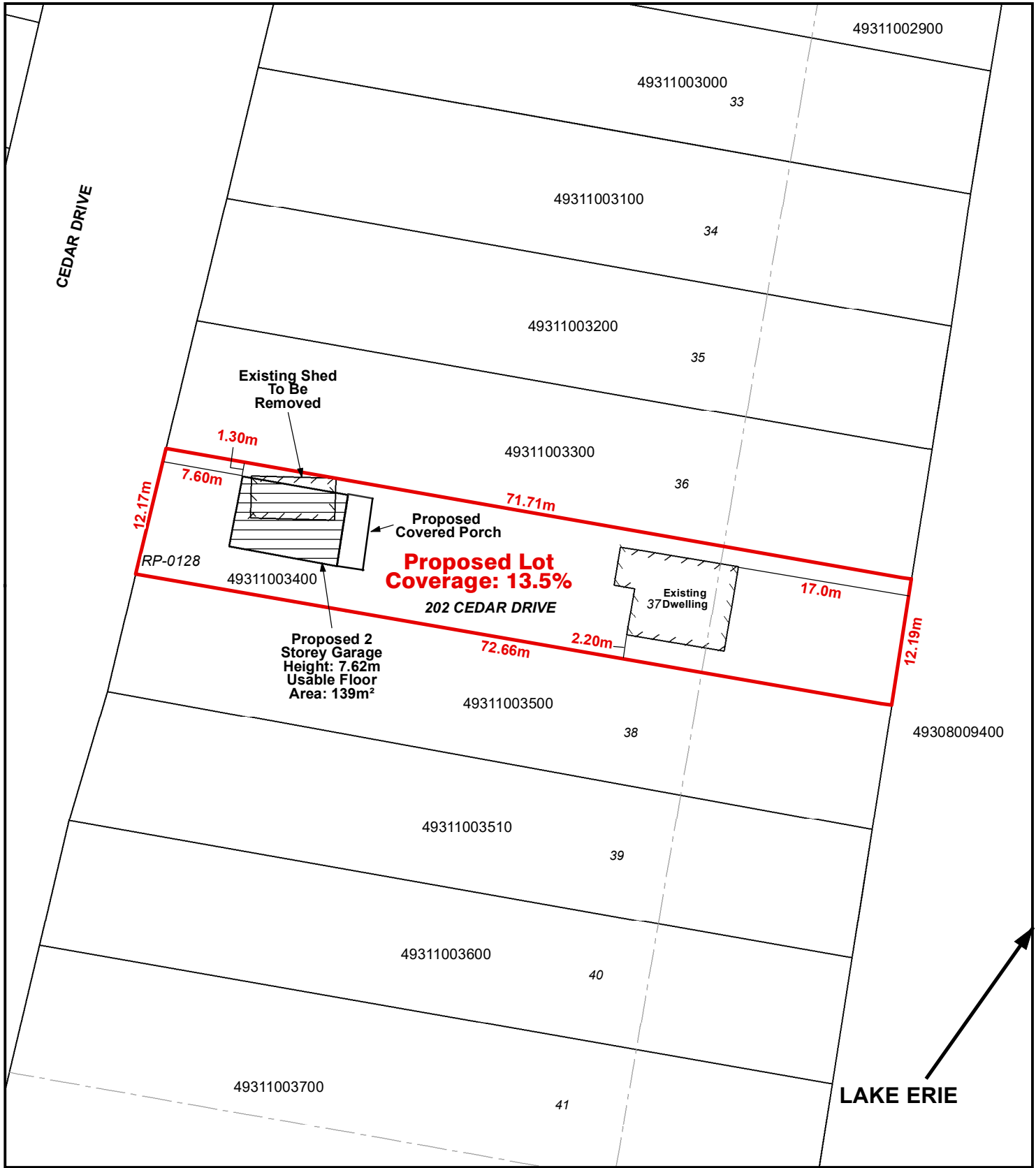
3/20/2024





CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

3/20/2024

