

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310-493-110-28900**A. Applicant Information****Name of Owner** Patterson and Deborah Mauthe

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 4 Kendrick Court

Town and Postal Code Ancaster, ON, L9G 5A4

Phone Number 905-962-7762

Cell Number \_\_\_\_\_

Email deborahmauthe@gmail.com

**Name of Applicant** agent

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Agent** David McPherson  
**Address** 8 Culver Lane  
**Town and Postal Code** Simcoe, ON, N3Y 5C8  
**Phone Number** \_\_\_\_\_  
**Cell Number** 519-427-6483  
**Email** david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

N/A  
\_\_\_\_\_

## **B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lots 14 & 15 Plan 159 Charlotteville  
\_\_\_\_\_

Municipal Civic Address: 13 Walter Street, Turkey Point

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential  
\_\_\_\_\_  
\_\_\_\_\_

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing single storey dwelling to be demolished

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5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Construct new 2 storey dwelling of 173.28 sq.m.

Architectural plans are attached.

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

In excess of 50 years

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9. Existing use of abutting properties:

Residential

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10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

Hydro easement as shown on attached survey

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	7.027m	15m		7.027m	7.973m
Lot depth	22.86m			22.86m	
Lot width	22.86m			22.86m	
Lot area	696.77sqm			696.77sqm	
Lot coverage	9%	15%		24.9%	9.9%
Front yard		6m		5.03m	0.97m
Rear yard		9m		3.652m	5.348m
Height		9.1m		8.89m	
Left Interior side yard		1.2m		2.0m	
Right Interior side yard		1.2m		14.527m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Configuration of lot does not allow for placement of new structure in compliance zone provisions.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: N/A

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: No new proposed easement. Existing Hydro easement shown on survey attached.

Depth:

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: N/A  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
Information provided by current and former owners.

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☒ within 500 meters – distance 375m

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

☐ Municipal piped water

☐ Communal wells

☐ Individual wells

☒ Other (describe below)

private piped water system

### Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

### Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Walter Street

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise of application is attached.

## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

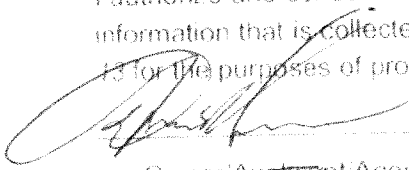
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act* I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.13* for the purposes of processing this application.

  
Owner/Applicant/Agent Signature

Feb 7 / 24  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Norfolk County Council am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
Owner

  
Date

  
Owner

  
Date

**Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

Norfolk

**K. Declaration**

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

RAB



~~Owner/Applicant~~/Agent Signature

In Simcoe

This 8th day of February

A.D., 20 24

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires March 16, 2026

  
A Commissioner, etc.

**Premise and Justification of  
Minor Variance Application  
for 13 Walter Street, Turkey Point**

This application is for the demolition of an existing vacation home and the construction of a new vacation home on the subject property. The subject property is comprised of 2 lots at the intersection of Walter & Walter Streets in Turkey Point.

Existing now, on the subject lands, is a single storey vacation home, dating from the 1950's, of some 63 sq.m in building area.

Proposed is to demolish the existing dwelling and to construct a new 2-storey vacation home of 174 sq.m.

Reliefs are being sought for the front and rear yard setbacks, as well as from the lot frontage and maximum permitted percent lot coverage. The proposal is consistent with Provincial Policy Statements promoting dwellings in resort residential areas.

Attached is a survey, prepared by Jewitt & Dixon, to show the existing dwelling. Also attached is a site plan, prepared by Jewitt & Dixon, to show the proposed vacation home's footprint.

Architectural plans of the proposed vacation home are also attached.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

### **Norfolk County Official Plan**

The subject property is designated as Resort Residential in the Norfolk County Official Plan. Permitted uses within this designation include cottages. The application enables the continued use of a cottage in the Resort Residential designation and therefore conforms to the general intent and purpose of the Official Plan, including the Lakeshore Special Policy Area Secondary Plan.

### **Norfolk County Zoning By-law 1-Z-2014**

Zoning By-law 1-Z-2014 zones the property Resort Residential. Article 5.8.1a) permits a vacation home within the Resort Residential Zone.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. Turkey Point is a large, established cottage node within Norfolk County. The neighboring properties to 13 Walter St. are all vacation homes. The proposed vacation home maintains the general cottage character of the neighborhood, conforms to the established building line, and is compatible with the established streetscape. The requested variance will maintain the general intent and purpose of the Zoning By-law and will promote continued and better use of the vacation home property.

### **Is the Variance Desirable and Appropriate**

The continued use of this property, with a modern up-to-date vacation home, is compatible with and fits within the existing neighborhood. Small, old, outdated cottages in Turkey Point have been demolished and rebuilt over the past 40 years. This proposal is an improvement of the property in that the new up-to-date vacation home is desirable and an appropriate reflection of the Ordinance Ave. streetscape.

### **Is the Variance Minor in Nature**

The application is minor in nature because it proposes a modest decrease of front yard setback and rear yard setback, a small increase in lot coverage of 9.9%, and a reduced lot frontage of 7.027m.

## **Conclusion**

The requested relief in lot frontage, lot coverage, front and rear setbacks is minor in nature, appropriate for the neighborhood, compatible with the existing streetscape, and generally meets the intent of the Norfolk County Official Plan and the Norfolk County Zoning By-law

David McPherson



**BUILDING AREA:**

FIRST FLOOR LIVING AREA	1 283 SQ. FT.
VERANDAH	139 SQ. FT.
GARAGE	398 SQ. FT.
VERANDAH STEPS	29 SQ. FT.
<b>TOTAL FOOT PRINT</b>	<b>1 849 SQ. FT.</b>
<b>SECOND FLOOR AREA</b>	<b>1 334 SQ. FT.</b>
<b>TOTAL LIVING AREA</b>	<b>2 637 SQ. FT.</b>

**11.3/15 BLUE PLAN**

- B1** 11 7/8" BLUE LAMINATED 20-C. .... BY JOYCE DESIGNER.  
FLUSH MOUNTED.
- B2** 3 - 2x10 S.P.F.
- B3** 11 7/8" BLUE LAMINATED 20-C. .... BY JOYCE DESIGNER.  
FLUSH MOUNTED
- B4** 11 7/8" BLUE LAMINATED 20-C. .... BY JOYCE DESIGNER.  
FLUSH MOUNTED C/W JOYCE HANGER

**COLUMN SCHEDULE:**

- C1** 4-ZONE P.T. - B.L.C.  
12" SQUARE POLY-CLASSIC CRAFTSMAN COLUMN BRUSH, SMOOTH, NON-TAPED CAP W/ MOODY STYL. CAP & BASE AS SHOWN ACTIVATED BY TUNING/F. 800-423-5211, [www.StainedGlass.com](http://www.StainedGlass.com)  
GALVANNEED "CROWN" POST CAP  
SMITH STROHS 1E CAT. NO. 1P036  
W = 4 1/2", H = 5 1/2"  
GALVANNEED ADJUSTABLE S. STANDOFF POST BASE  
SMITH STROHS 1E CAT. NO. AU058  
W = 5 1/2", L = 5 1/2"
- C2** SAME AS C1 CROCKET  
GALVANNEED "SNIP" POST CAP

REVISION SCHEDULE:  
REVISION #

- REVISION C
1. ENSUITE BATH DOOR CHANGED TO POCKET STYLE.
  2. POWDER BATH DOOR CHANGED TO POCKET STYLE.
  3. WINDOW IN EAST WALL OF BEDROOM ADDED.
  4. HUSBAND WINDOW CHANGED TO POCKET STYLE.
  5. WINDOW IN WEST WALL OF MECHANICAL ROOM REMOVED.
  6. WINDOWS IN NORTH & SOUTH WALLS OF MECHANICAL ROOM ENLARGED.
  7. LAUNDRY TUB LOCATED AT WINDOW.

GENERAL NOTES:

- FIRST FLOOR CEILING HEIGHT

- \* SEEING FLOOR COATING THICKEN TO 1/2" 1/8".

1. ALL STAFF, ADOPS, HANDMAIDS & GUARDS TO O.R.C. 2.E

- 16 8 @ 7.342" = 132.500" (11'-0 1/2")  
17 T @ 10.00"

ENRAGE

- $S \oplus 6.917^\circ = 41.300^\circ$  ( $S \cdot S \cdot 1/2^\circ$ )  
 $S \oplus 10^\circ = 50.000^\circ$  ( $4^\circ \cdot 2^\circ$ )

O.S.C. 9.7.1.3. (MTPB)  
O.S.C. 9.7.1.4. (TPE)

- SPATIAL SEPARATION BETWEEN HOUSES

FRAMING NOTES:

1. FOR WINDOW INSTALLATION HEIGHTS SEE ELEVATIONS.
2. JOIST MATERIAL: S.P.F. (SPRUCE, PINE, FIR) NOS. 1 AND NO. 2.
3. ALL ENGINEERED FLOOR SYSTEM COMPONENTS AS PER NAME.
4. CONTRACTOR SHALL REVIEW FOR HIMSELF ALL PRE-APPROXIMATE COMPONENTS, ENGINEERING REPORTS, AND ANY CHANGES FOR BUILDING INSPECTOR REVIEW.
5. INSTALL FULL BEARING WIDTH STUD POSTS BELOW ALL GIRDERS.
6. CARRY ALL POINT LOADS TO FOUNDATION.
7. SEE ROOF PLAN, BUILDING & WALL SECTIONS FOR TRUSS DETAILS.

1. CONSTRUCTION BETWEEN GARAGES AND DWELLING UNIT SHOWN O.N.C. 8.10.8.16.

7. ALL JOINTS IN GYPSUM BOARD TO BE TAPE, AND PAINT ALL JOINTS.
8. ALL WALLS TO BE SEALED WITH PRIMER PAINT.
9. EDGES AT BASE OF WALL AND PERIMETER OF ALL OPENINGS CAULKING.
10. ALL ELECTRICAL, MECHANICAL, OPENINGS TO BE SEALED WITH

1. SUCT LAYOUT AS SHOWN  
POTENTIAL PATHWAY C

2. HEATING, AIR CONDITIONING, VENTILATION AND ELECTRICAL.
3. ALL ELECTRICAL AND FUEL BURNING APPLIANCES TO BE INSTALLED PER APPLICABLE CODES, AND MANUFACTURERS SPECIFICATIONS.
4. HY VAC AND ELECTRICAL DESIGN BY OTHERS.
5. SMOKE ALARMS TO MEET THE REQUIREMENTS OF Q.B.C. 9.10.
6. LIGHTING OF ENTRANCES AND INTERIOR SPACES TO Q.B.C. 9.11.

**T/PLATE** TOP OF PLATE

- |        |                              |        |                |
|--------|------------------------------|--------|----------------|
| E.D.   | - SMOKE DETECTOR             | F.J.   | - FLUE         |
| C.D.   | - CASHIER HENDERSON DETECTOR | P.B.T. | - POLYESTER    |
| E.C.   | - COILING ELEMENT            | L.P.   | - LUMBER       |
| F.D.   | - FLUE DRAIN                 | S.F.   | - STEEL        |
| S.D.M. | - SPLIT-UP BEAM              | L.V.S. | - LUMBER       |
| R.U.E. | - RAIL-UP RAIL               | G.L.T. | - GLASS        |
| S.F.   | - STEEL                      | W.     | - WOOD         |
| F.L.   | - FLOOR LAMP                 | W.B.C. | - WOOD-BURNING |
| F.M.   | - FLUE MOUNTED MEMBER        | W.W.   | - WOOD         |
| W.     | - WOODWORK                   | GA.    | - GALVANIZED   |
|        | - TOP OF MEMBER              | BS.    | - BRASS        |
|        | - TRANSPARENT WINDOW         | F.E.   | - FIBER        |
| A.F.F. | - ABOVE FIRST FLOOR BURNFL.  | F.P.   | - FIBER        |
| A.S.F. | - ABOVE SECOND FLOOR BURNFL. | F.G.B. | - FIBER        |

REVISION	DESCRIPTION
A	ISSUED FOR CLIENT REVIEW.
B	SEE SCHEDULE THIS DRAWING.
C	SEE SCHEDULE THIS DRAWING.
D	ISSUED FOR CONSTRUCTION.

THESE DRAWINGS ARE THE PROPERTY OF SCOTT OLES BUILDING TRADING  
AND HAVE BEEN PRODUCED FOR THE PURPOSE OF AIDING IN THE CLOSURE  
OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE  
COMPLICATIONS AND RISKS THE REQUIREMENTS SET OUT IN THE EMPLOYMENT  
THE MORE SIGNIFICANT ON THE ATTACHED DOCUMENTS.

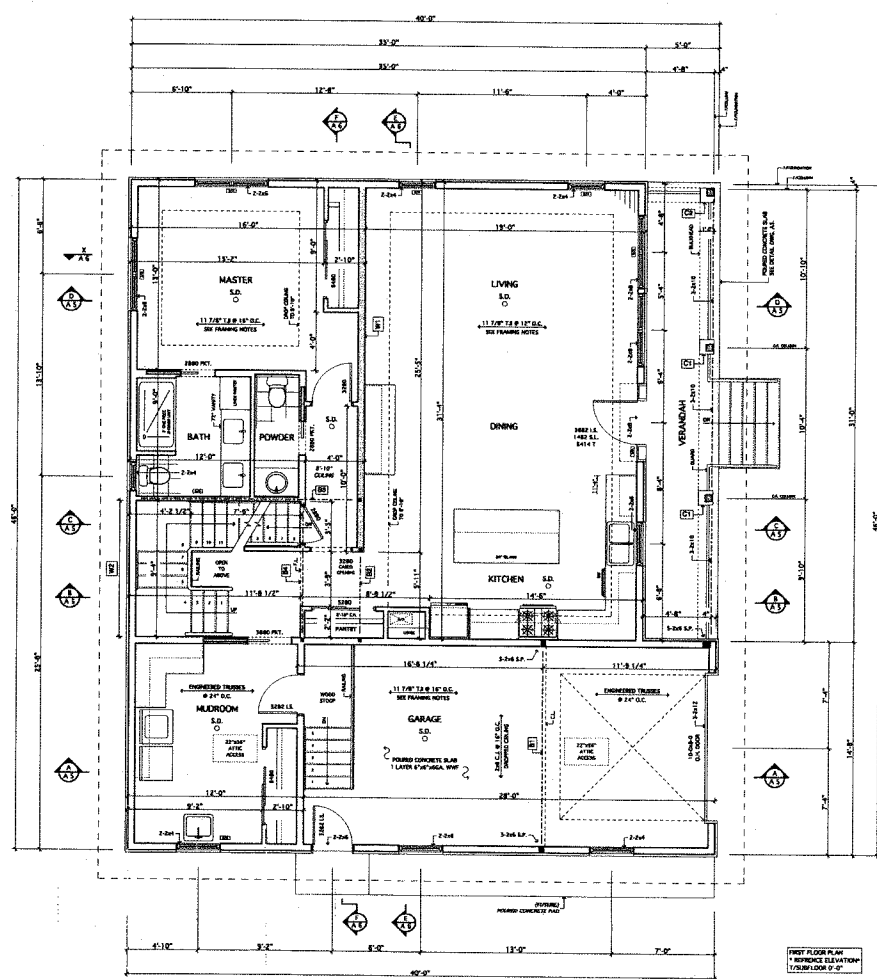
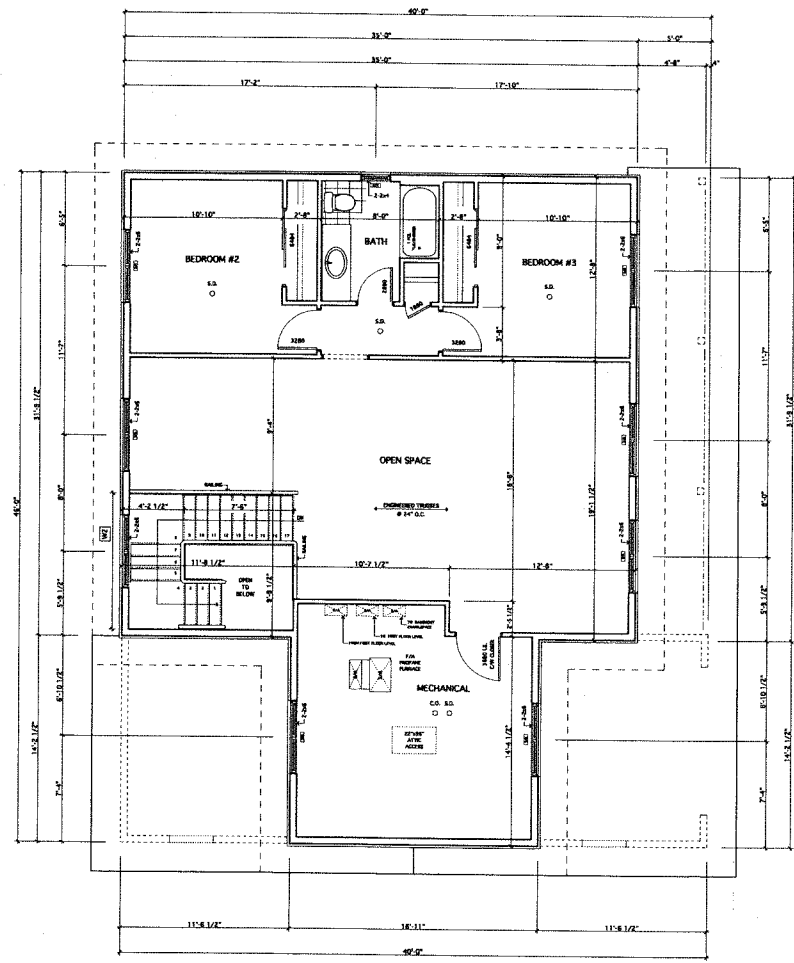
QUALIFICATION INFORMATION  
SCOTT GLEN

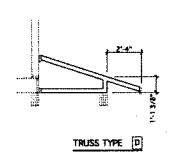
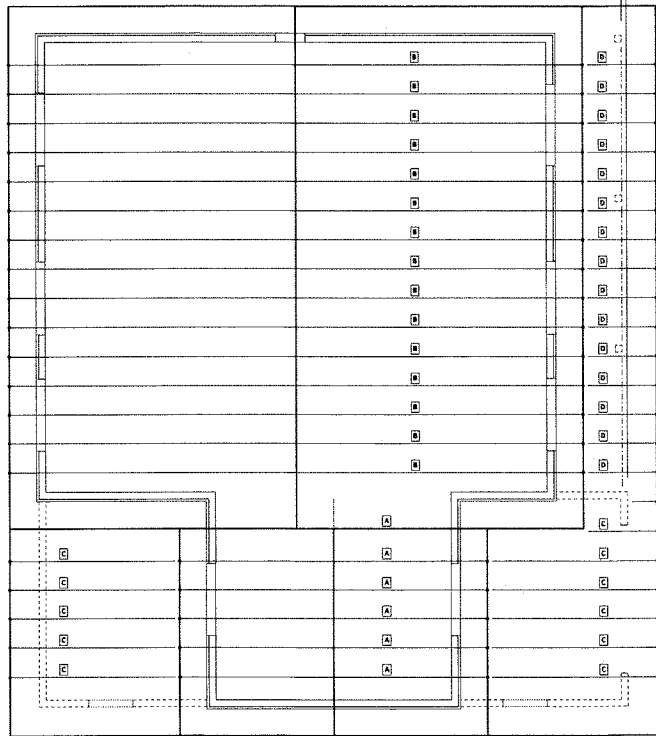
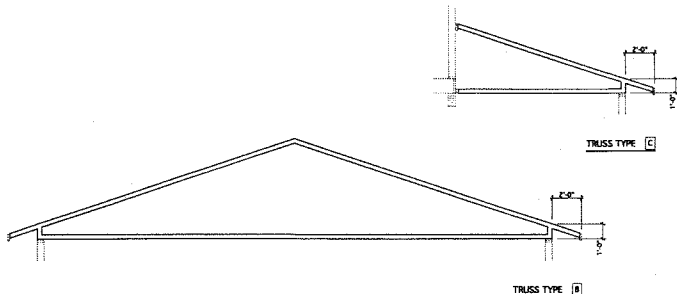
**SCOTT GILES**  
**BUILDING TECHNOLOGIES INCORPORATED**  
**DESIGNERS OF FINE HOMES**  
71 THOMPSON ROAD, WATERFORD, ONTARIO, M18 1Y5  
416-433-7750

PROPOSED RESIDENCE  
FOR  
Mr. & Mrs. Rick Mauthe  
12 WALTON STREET, TURKEY POINT, COUNTY OF N

DESIGNED	
DRUM	

DATE 10/1





**BEAM SCHEDULE**

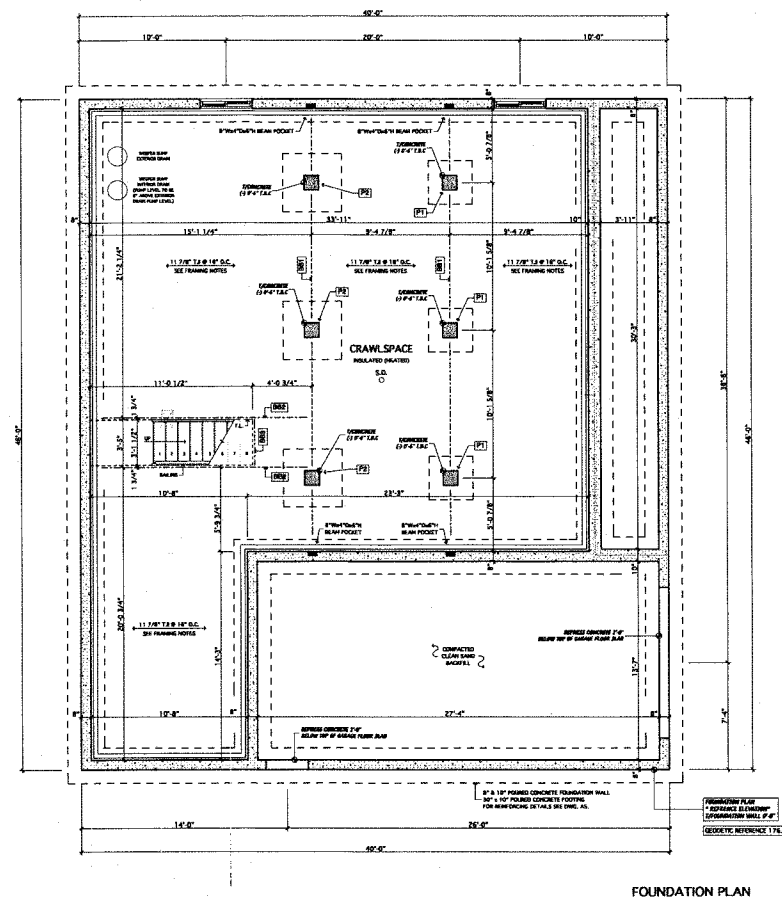
1. FOR REINFORCING DETAILS SEE DRAWING A1.

W10 x 30	22' 0" SPACED 4' x 15'0"
11' 7" x 14' 0" BLUE LAMINATED 204 ...	BY JOIST DESIGNER, FLOOR INSULATED
11' 7" x 14' 0" BLUE LAMINATED 204 ...	BY JOIST DESIGNER, FLOOR INSULATED W/ 2" JOIST HANGERS

**PIER SCHEDULE**

1. FOR REINFORCING DETAILS SEE DRAWING A1.

P1	12' x 12' POLYMER CONCRETE
P2	36" x 36" x 14' POLYMER CONCRETE PIER FOOTING
P3	12' x 12' POLYMER CONCRETE



- ROOF FRAMING & TRUSS NOTES:**
1. SEE WALL SECTIONS, BUILDING SECTIONS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
  2. TRUSSES TO BE MEASURED FROM OUTSIDE FACE OF WALL PLATE OR BEAM TO OUTSIDE FACE OF FLOOR BOARD.
  3. TRUSS ROOF SYSTEM SHALL BE DESIGNED TO INCORPORATE RATED WIND LOADS. TRUSSES SHALL BE DESIGNED TO BE PLACED ON UNREINFORCED SOLID, HAVING A MINIMUM BEARING CAPACITY OF 500 LBS/FT. SEE ENGINEERING REPORT.
  4. CONTRACTOR TO PROVIDE TRUSS MANUFACTURER WITH A FULL SET OF ARCHITECTURAL DRAWINGS.
  5. CONTRACTOR SHALL REVIEW ALL TRUSS MANUFACTURER SHOP DRAWINGS PRIOR TO PLACEMENT OF FOUNDATIONS.
  6. TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ANY DISCREPANCIES PRIOR TO THESE DRAWINGS TO THE UNDERPINNING TO FABRICATE.

- EXCAVATION:**
1. ALL EXCAVATION TO D.B.C. 8.3.2.
- FOUNDATION NOTES:**
1. ALL FOOTINGS TO BE PLACED ON MINIMUM OF 24" WINDING UNREINFORCED SOLID.
  2. ALL FOOTINGS TO BE PLACED ON UNREINFORCED SOLID, HAVING A MINIMUM BEARING CAPACITY OF 500 LBS/FT. SEE ENGINEERING REPORT.
  3. ALL FOOTINGS TO BE POURED CONCRETE. SEE ENGINEERING REPORT FOR REINFORCING REQUIREMENTS.
  4. ALL FOUNDATION WALLS TO BE POURED CONCRETE. SEE ENGINEERING REPORT FOR REINFORCING REQUIREMENTS.
  5. TRUSSES TO BE DESIGNED FOR FOOTING AND WALL, AND ALL OTHER ELEVATIONS.
  6. TRUSSES LAYOUT INCLUDING POINT LOAD LOCATIONS TO BE CONSIDERED PRIOR TO INSTALLATION OF FOUNDATIONS.

- CONCRETE NOTES:**
1. ALL CONCRETE TO D.B.C. 8.3. AND 8.16.4.
  2. FOOTINGS, FOUNDATION WALLS, AND PIER:
- 1500 PSI (2800 PSI) 3" MIN. SLAB, 3/4" MINIMUM AGGREGATE, 4" MAXIMUM SLAB.
3. FLOORING ON CONCRETE:
- 2500 PSI (3500 PSI) 4" MIN. SLAB, 3/4" MINIMUM AGGREGATE, 4" MAXIMUM SLAB.
4. WALLS, CHIMNEY, FLOORING, AND EXTERIOR PLATING:
- 3500 PSI (4500 PSI) 8" MIN. SLAB, 3/4" MINIMUM AGGREGATE, 4" MAXIMUM SLAB, 1-2% AIR ENTRAINMENT.

REVISION	DESCRIPTION	DATE
1	ISSUED FOR BIDDING PERMIT	10/1/22

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THE INFORMATION ON THIS DRAWING AND THESE REPRESENTATIONS TO THE COMPANY, AND THE QUALITY OF THE WORK AND THE RESULTS OF THE INFORMATION SET OUT IN THE DRAWING, SHALL BE THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR. THE COMPANY SHALL NOT BE RESPONSIBLE FOR THE RESULTS OF THE INFORMATION SET OUT IN THE DRAWING.

**REVISION INFORMATION**

SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED

DATE: 10/1/22

**QUALIFICATION INFORMATION**

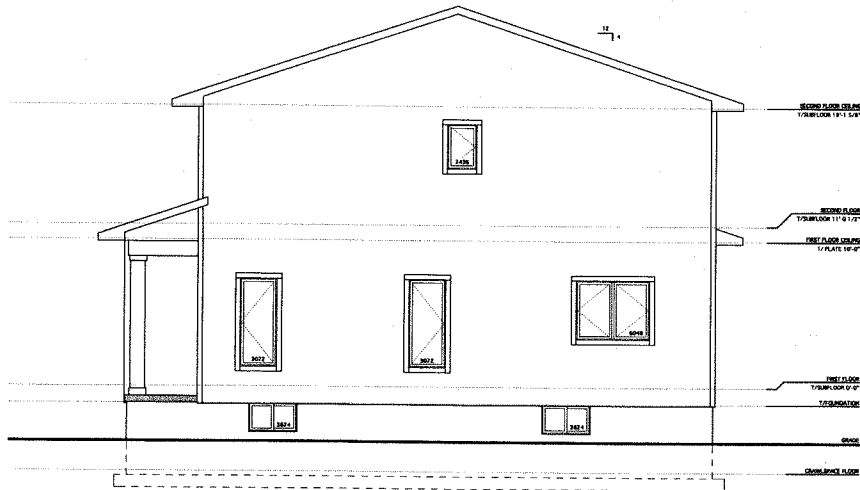
SCOTT GILES

DATE: 10/1/22

**SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED**  
DESIGNERS OF FINE HOMES  
171 HANCOCK ROAD, BAYVIEW, ONTARIO, M2H 1Y6  
416-448-7930

**PROJECT: PROPOSED RESIDENCE**  
**Mr. & Mrs. Rick Mauthe**  
13 WALTER STREET, TURKEY POINT, COUNTY OF HENRIK.

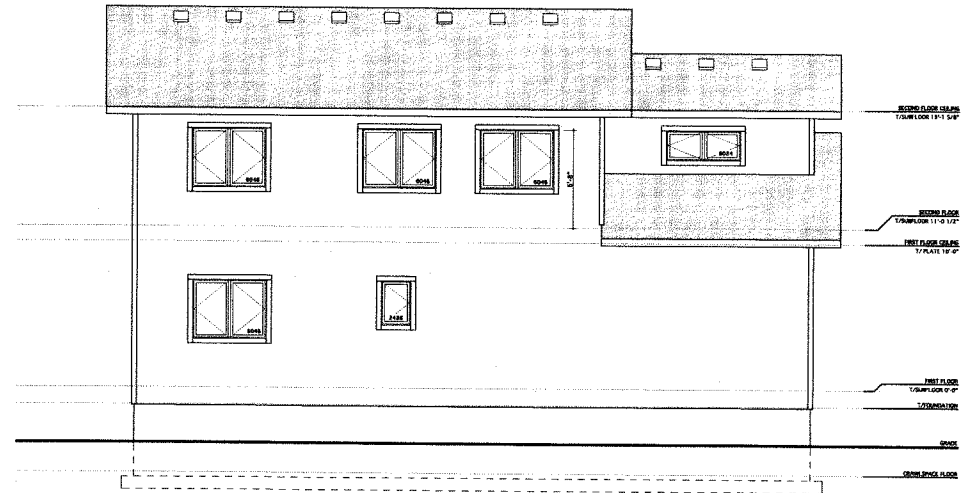
DESIGNED	S. GILES	0
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0"	A2
DATE	10/1/22	DRAWING



**EAST ELEVATION SPATIAL SEPARATION:**

LIMITING DISTANCE	5.88 M
WALL AREA	74.88 SQ. M.
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	739L
(TABLE 9.10.13.4.1)	
AREA OF OPENINGS PROPOSED	4.45 SQ. M. (48.27MS)

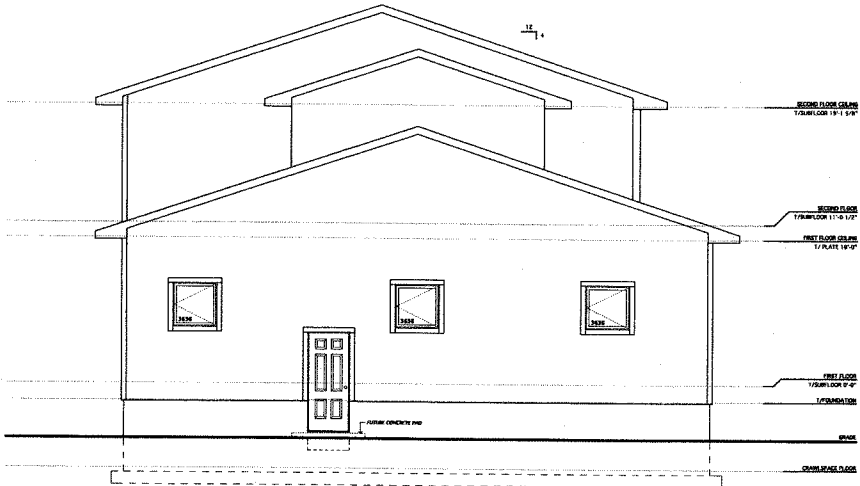
**EAST ELEVATION**



**NORTH ELEVATION SPATIAL SEPARATION:**

LIMITING DISTANCE	5.88 M
WALL AREA	97.89 SQ. M.
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	739L
(TABLE 9.10.13.4.1)	
AREA OF OPENINGS PROPOSED	5.92 SQ. M. (63.79MS)

**NORTH ELEVATION**



**WEST ELEVATION SPATIAL SEPARATION:**

LIMITING DISTANCE	5.88 M
WALL AREA	65.47 SQ. M.
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	739L
(TABLE 9.10.13.4.1)	
AREA OF OPENINGS PROPOSED	2.31 SQ. M. (24.89MS)

**WEST ELEVATION**



**SOUTH ELEVATION SPATIAL SEPARATION:**

LIMITING DISTANCE	5.88 M
WALL AREA	97.89 SQ. M.
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	739L
(TABLE 9.10.13.4.1)	
AREA OF OPENINGS PROPOSED	5.92 SQ. M. (63.79MS)

**SOUTH ELEVATION**

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REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	15/10/22
B	REVISED SQUARE CHIMNEY TO 450 MM DIA.	15/10/22
C	ISSUED FOR CONSTRUCTION	15/10/22

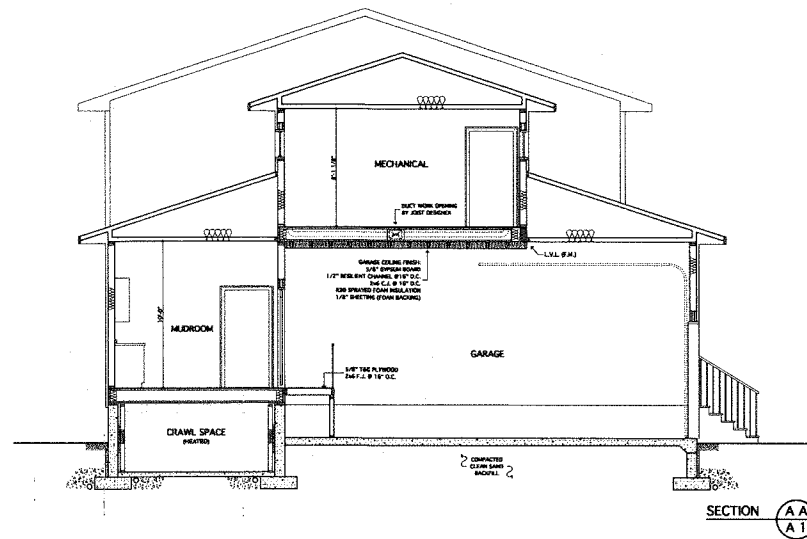
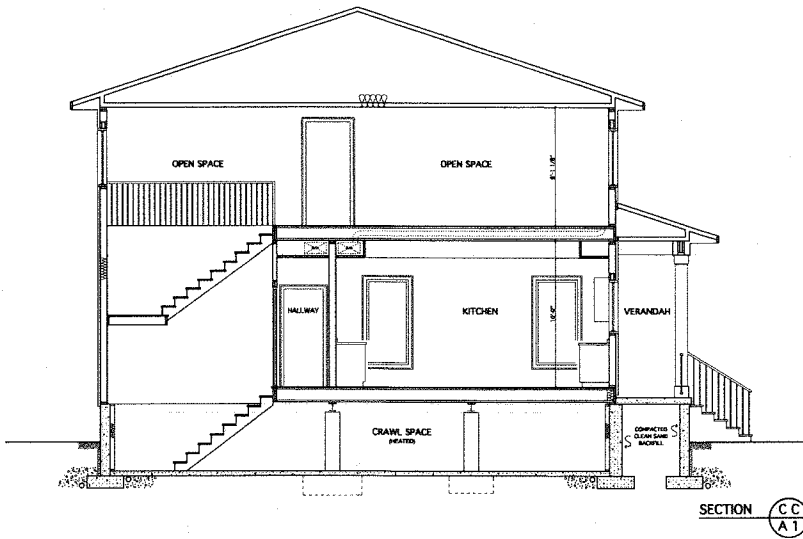
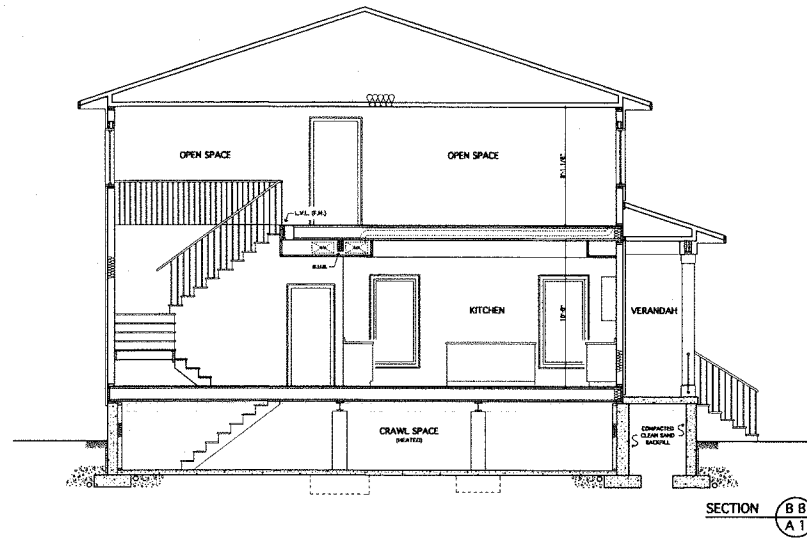
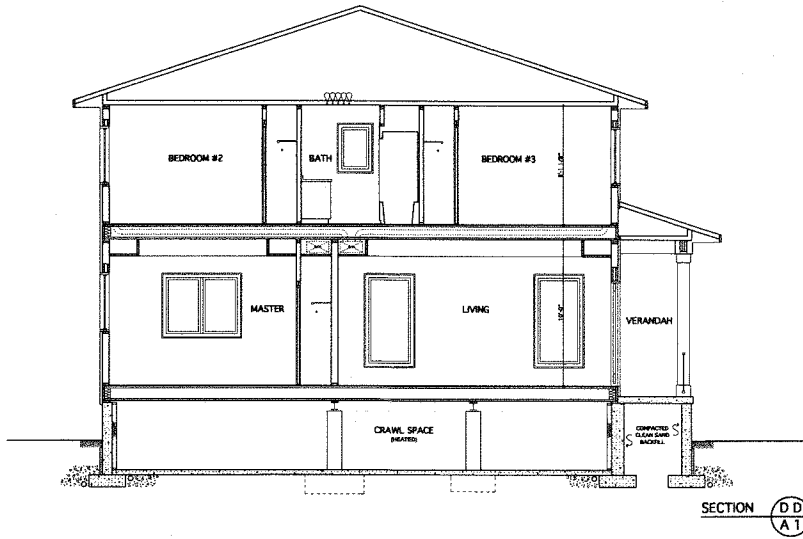
THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INC. AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SCOTT GILES BUILDING TECHNOLOGIES INC.	REGISTERED INFORMATION
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	21000
SCOTT GILES	21000
DATE	15/10/22

**SCOTT GILES**  
**BUILDING TECHNOLOGIES INCORPORATED**  
 DESIGNERS OF FINE HOMES  
 77 THOMPSON ROAD, WILLOWDALE, ONTARIO, M2H 1Y6  
 416-493-7340

PROJECT	PROPOSED RESIDENCE
FOR	Mr. & Mrs. Rick Mouton
13 MILLER STREET, TUNNEY PASTURE, COUNTY OF KNOX	
DRAWN	S. GILES
SCALE	1/4" = 1'-0"
DATE	10/06/23

0  
REVISION

A3  
DRAWING



REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	10/01/23

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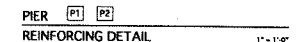
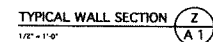
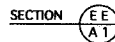
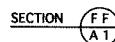
FOR INFORMATION: INFORMATION  
 SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED  
 711 THOMPSON ROAD, BETHESDA, MARYLAND 20814  
 301-413-7500

FOR INFORMATION: INFORMATION  
 SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED  
 711 THOMPSON ROAD, BETHESDA, MARYLAND 20814  
 301-413-7500

PROJECT: PROPOSED RESIDENCE  
 FOR: Mr. & Mrs. Rick Mauthe  
 13 WALTON STREET, TURNER POINT, COUNTY OF HONOLULU

DESIGNED: S. GILES  
 DRAWN: S. GILES  
 SCALE: AS NOTED  
 DATE: 10/15/23

0  
 4



SCALE	AS NOTED	A 5 DRAWING
DATE	10/18/23	



**PROPOSED  
SITE PLAN**  
**DAVE MACPHERSON**  
**#13 WALTER STREET**  
**TURKEY POINT**

PIN 50265 - 0208 (LT)  
SCALE: 1 : 100

1 0 4 METRES  
**JEWITT AND DIXON LTD.**

**SITE B.M.#1**  
SPIKE IN FACE OF  
WOOD HYDRO POLE  
ELEV = 176.80  
(GEODETIC)

LEGEND	
BENCH MARK	SHOWN BM
TOP OF FOUNDATION WALL	SHOWN TFW
UNDERSIDE OF SIDING	SHOWN USS
BELL BOX	SHOWN BBX
OVERHEAD HYDRO LINE	SHOWN O/H
CATCH BASIN	SHOWN CB
HYDRO POLE	SHOWN HP
HYDRO METER	SHOWN HM
MANHOLE	SHOWN MH

ELEVATIONS SHOWN HEREON ARE IN METRES  
AND ARE BASED ON A GEODETIC DATUM.

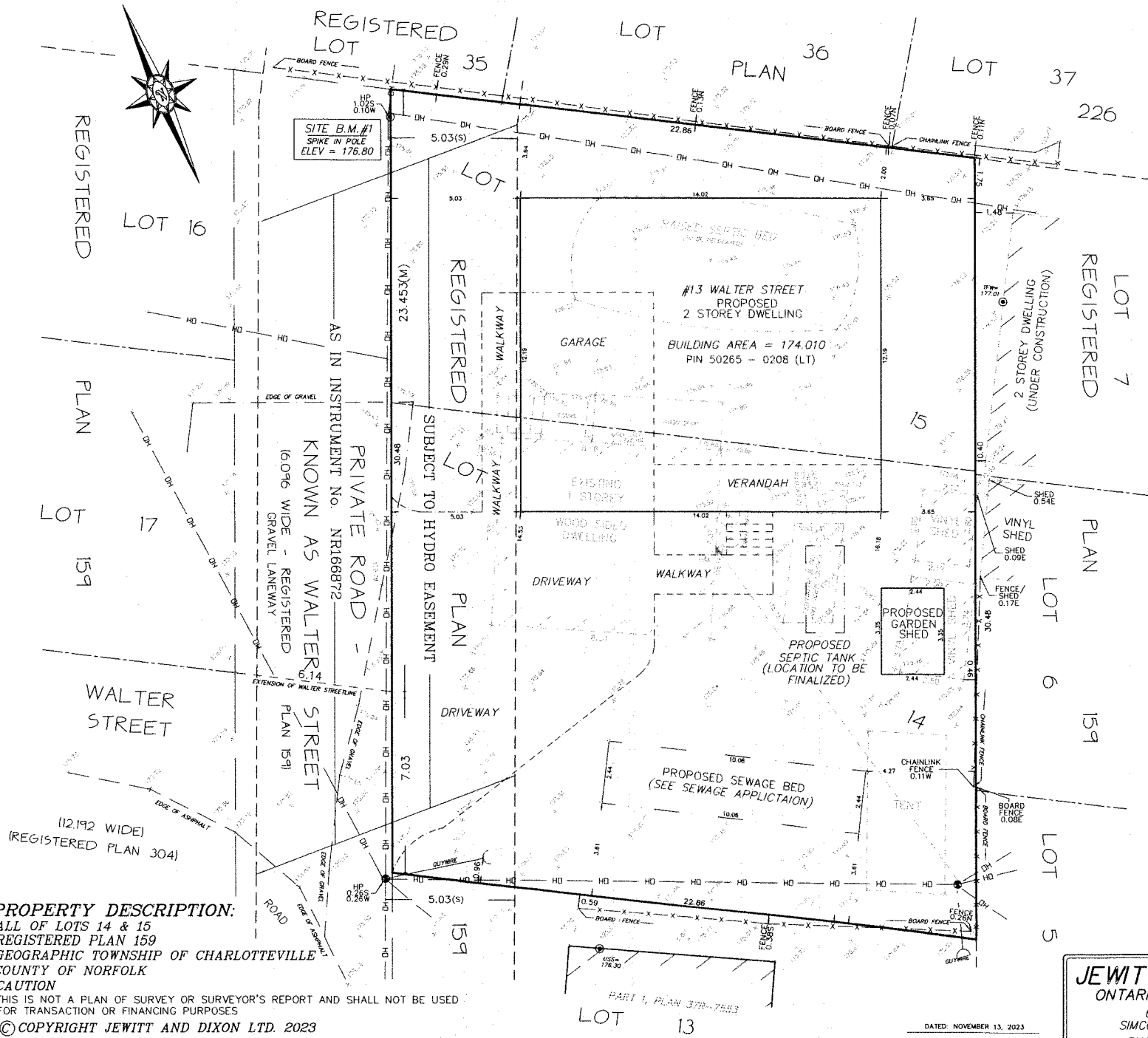
**METRIC NOTE:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

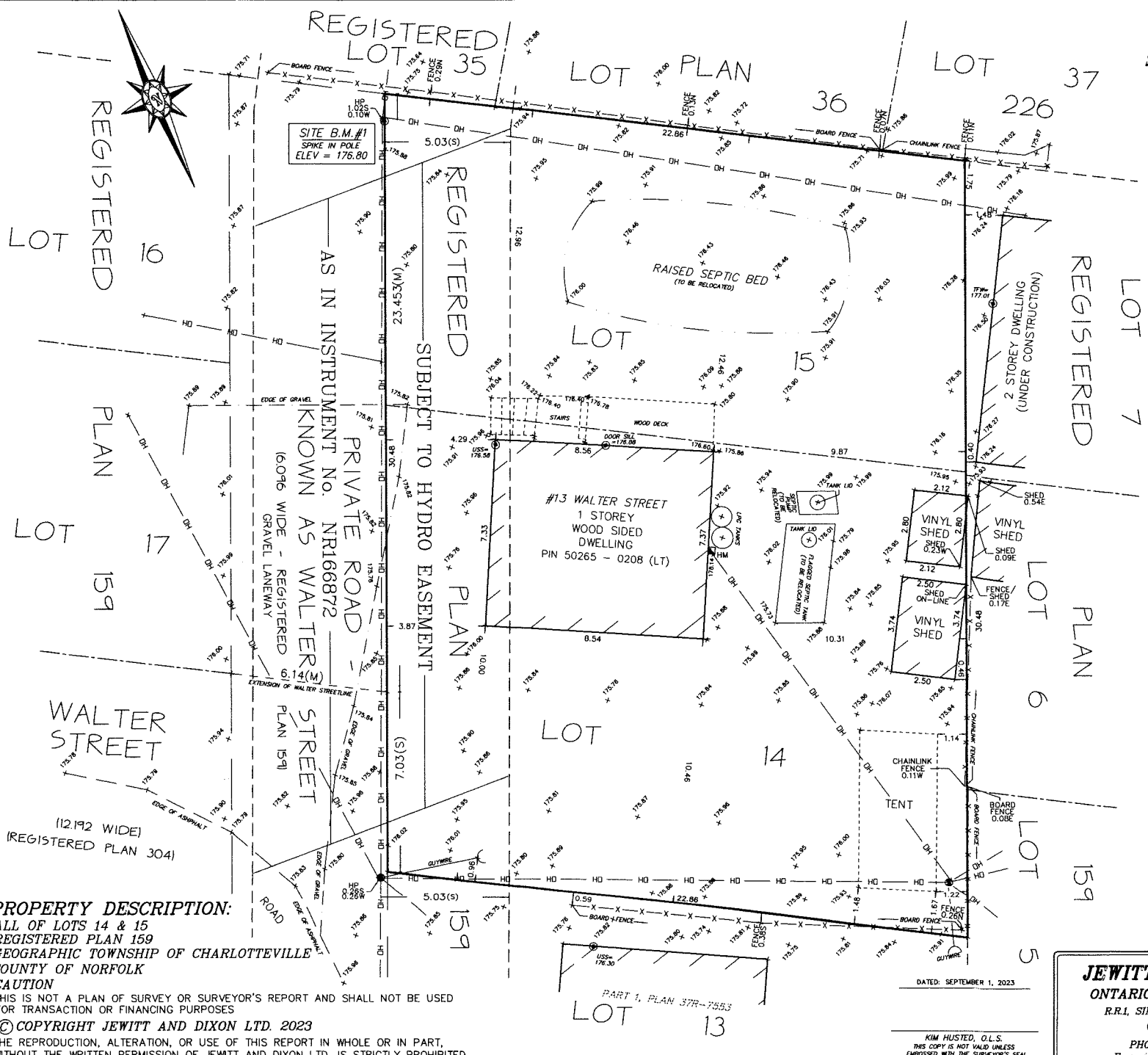
**NOTE:**  
THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE  
BASED ON PHYSICAL LOCATES.  
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION  
LOCATE IS BOTH RECOMMENDED AND ADVISED.

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**  
650 IRELAND ROAD  
SIMCOE, ONTARIO, N3Y 4K2  
PHONE: (519) 426-0842  
E-mail: info@jewittdixon.com

F.W.	- J.DEAR
BOOK	- LL-FILE
CALC.	- J.P.H.
PLAN	- M.T.C.
CHECK	- K.H.
CLIENT	- MAUTHE
PROJECT No.	- 22-3582
22-3582-TOPO	

**PROPERTY DESCRIPTION:**  
ALL OF LOTS 14 & 15  
REGISTERED PLAN 159  
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE  
COUNTY OF NORFOLK  
**CAUTION**  
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SKETCH PREPARED FOR  
**RICK MAUTHE**  
**#13 WALTER STREET**  
**TURKEY POINT**

PIN 50265 - 0208 (LT)  
 SCALE: 1 : 100  
 METRES  
**JEWITT AND DIXON LTD.**

SITE B.M. #1  
 SPIKE IN FACE OF  
 WOOD HYDRO POLE  
 ELEV = 176.80  
 (GEODETIC)



**LEGEND**

BENCH MARK	SHOWN	BM	⊙
TOP OF FOUNDATION WALL	SHOWN	TFW	—
UNDERSIDE OF SIDING	SHOWN	USS	—
BELL BOX	SHOWN	BBX	□
OVERHEAD HYDRO LINE	SHOWN	O/H	—
CATCH BASIN	SHOWN	CB	■
HYDRO POLE	SHOWN	HP	⊙
HYDRO METER	SHOWN	HM	⊙
MANHOLE	SHOWN	MH	⊙

ELEVATIONS SHOWN HEREON ARE IN METRES  
 AND ARE BASED ON A GEODETIC DATUM.

**METRIC NOTE:**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
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**PROPERTY DESCRIPTION:**  
 ALL OF LOTS 14 & 15  
 REGISTERED PLAN 159  
 GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE  
 COUNTY OF NORFOLK  
**CAUTION**  
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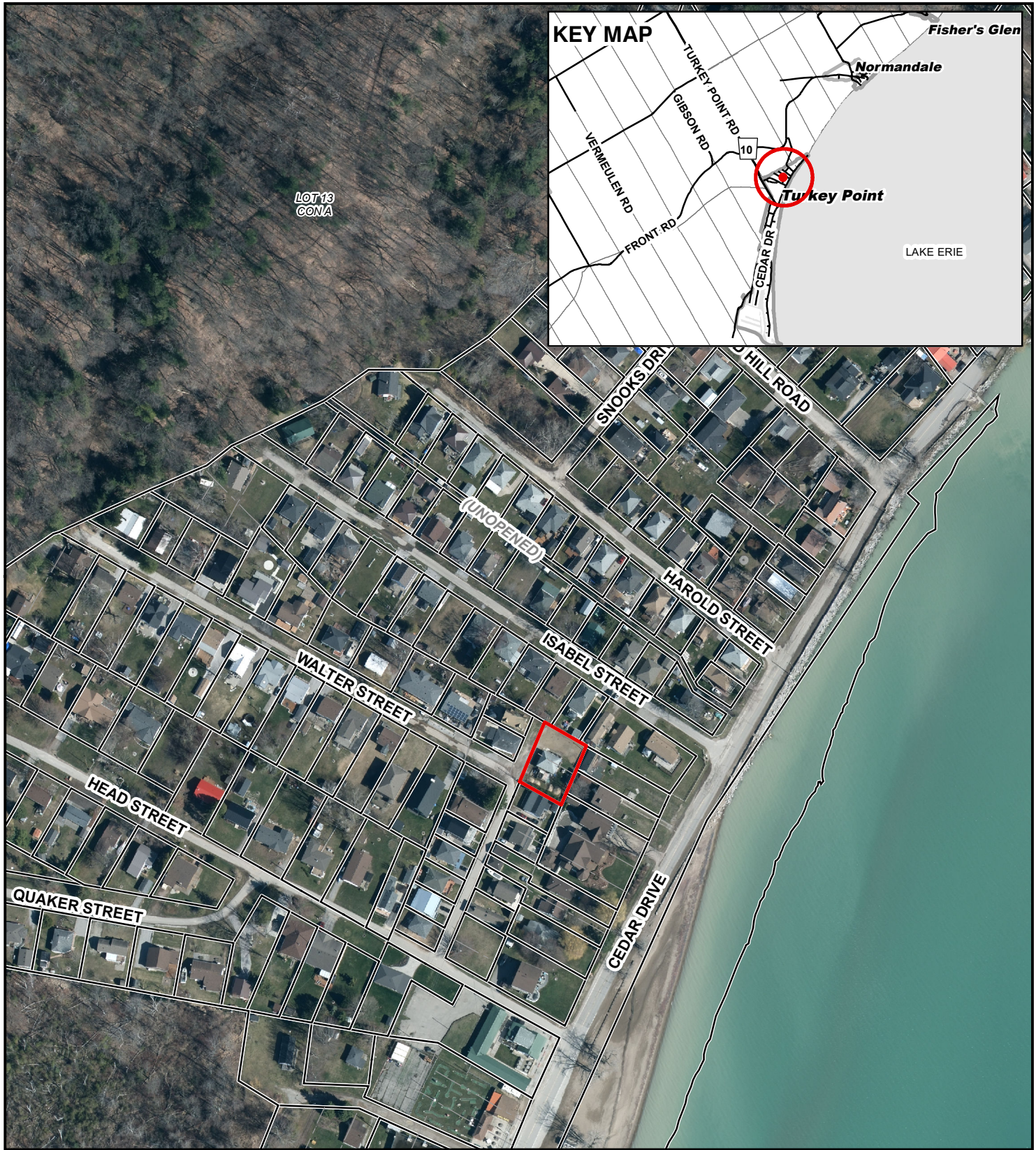
DATED: SEPTEMBER 1, 2023

KIM HUSTED, O.L.S.  
 THIS COPY IS NOT VALID UNLESS  
 EMBOSSED WITH THE SURVEYOR'S SEAL

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**  
 R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
 (51 PARK ROAD)  
 PHONE: (519) 426-0842  
 E-mail: info@jewittdixon.com

F.W.	-	J.DEAR
BOOK	-	LL-FILE
CALC.	-	J.P.H.
PLAN	-	M.T.C.
CHECK	-	K.H.
CLIENT	-	MAUTHE
PROJECT No.	-	22-3582
<b>22-3582-SK</b>		

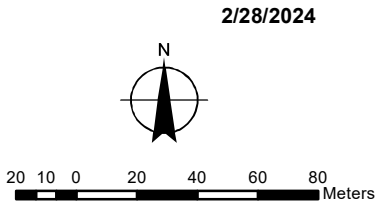




Legend

-  Subject Lands
-  Lands Owned

2020 Air Photo



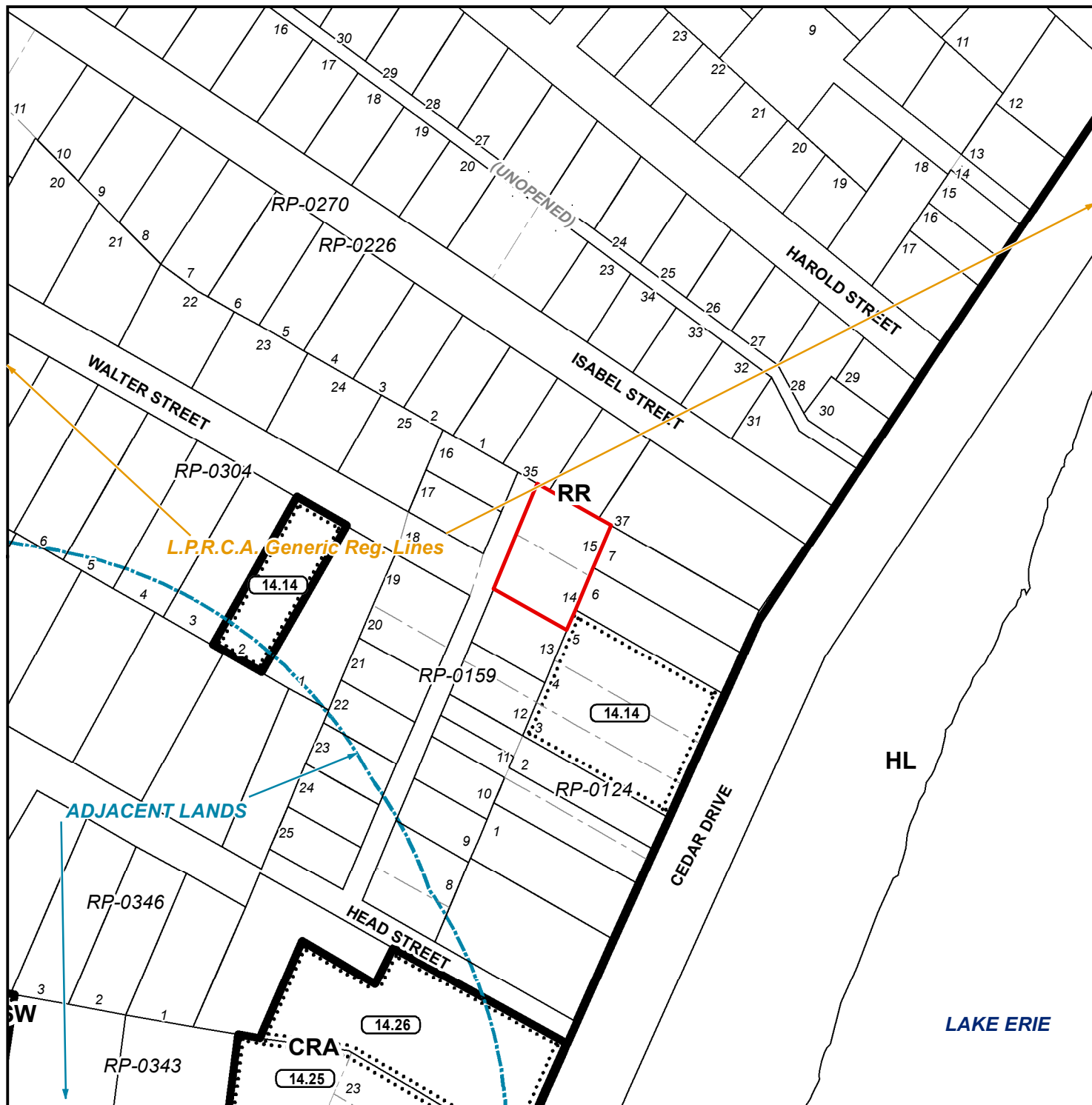


# MAP B

## ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2024049



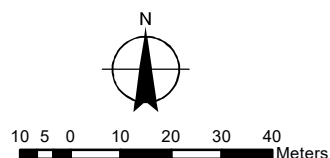
### LEGEND

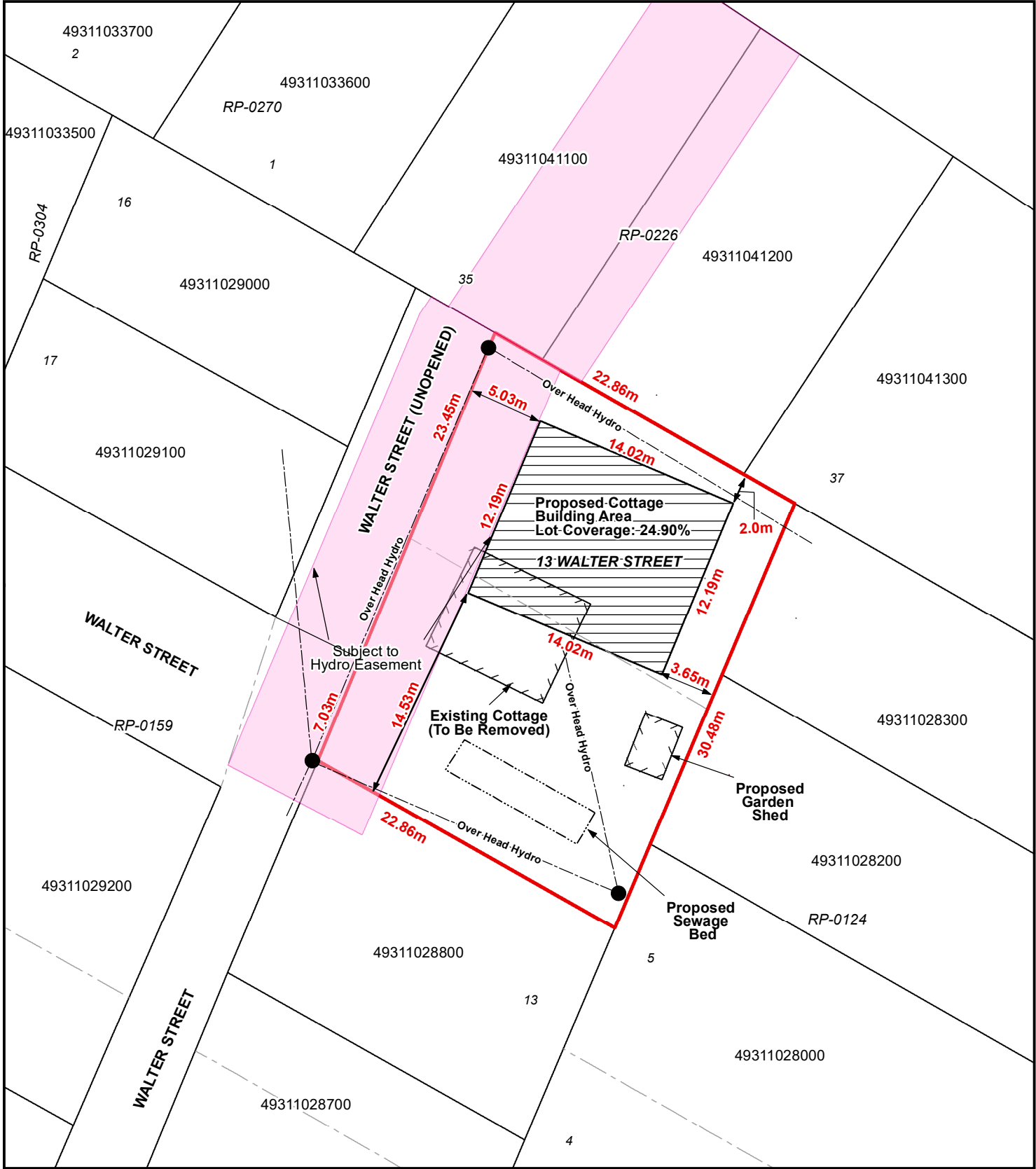
- Subject Lands
- Lands Owned
- Adjacent Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

2/28/2024

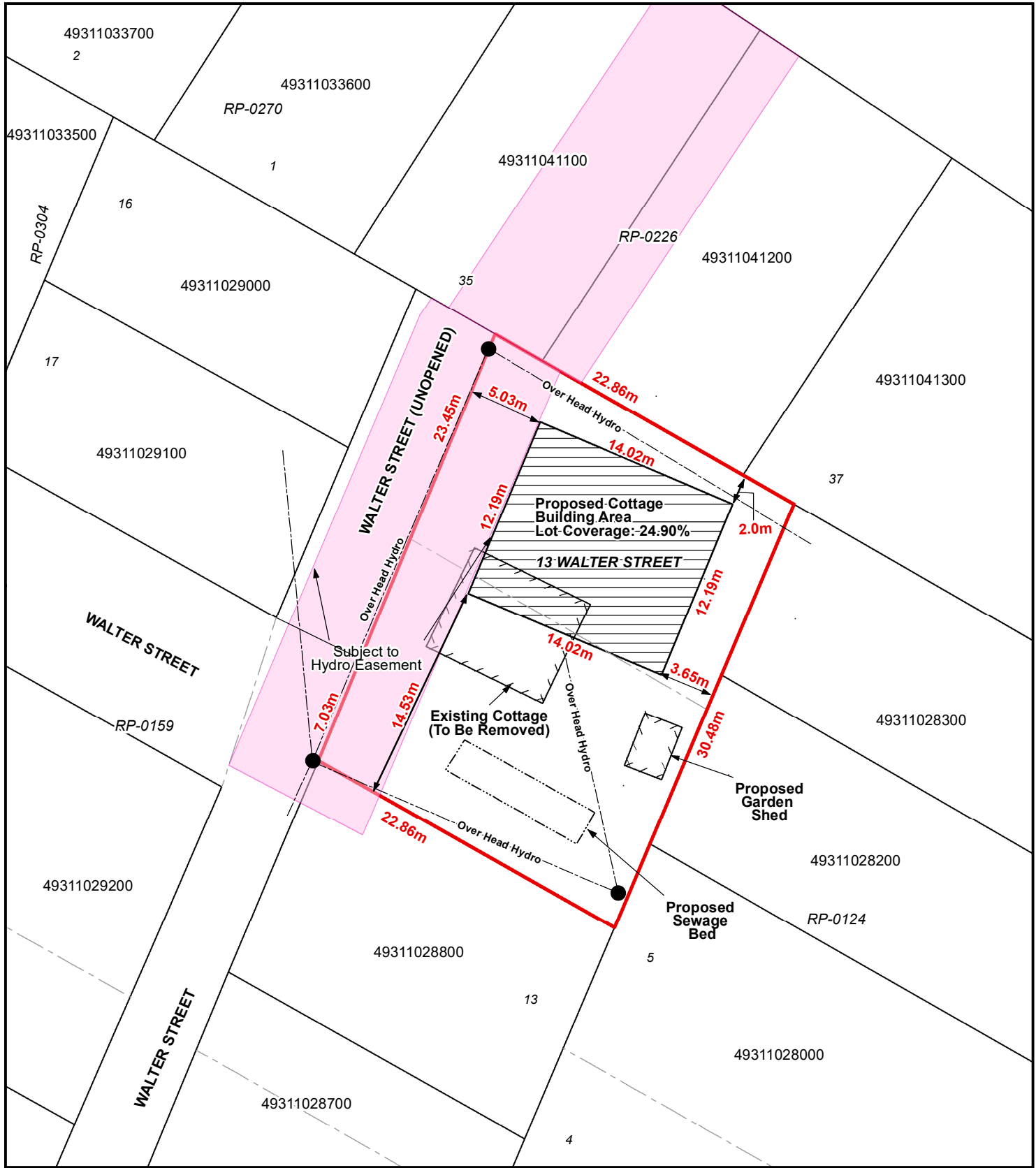
- (H) - Holding
- CRA - Resort Area Commercial Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone





CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

- Subject Lands
- Lands Owned
- Easements

3/8/2024

