

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

For Office Use Only:File Number ANPL2024068

Related File Number _____

Pre-consultation Meeting _____

Application Submitted February 28/2024Complete Application March 18, 2024

Application Fee

2743.00 - paid Feb.29.24.

Conservation Authority Fee

257.07 - paid Mar.18.24.

Well & Septic Info Provided

N/A

Planner

Hanne Yager

Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 493-100-03700-0000**A. Applicant Information**Name of Owner DOUG PIKE

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 399 Cedar DriveTown and Postal Code Turkey Point NOE1T0

Phone Number _____

Cell Number 519-755-1620Email dpasales@rogers.comName of Applicant DOUG PIKEAddress 3 EVANS ST.Town and Postal Code PARIS N3L1A9Phone Number 519-442-2883Cell Number 519-755-1620Email dpasales@rogers.com

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

50x25 home (1250 sq.ft.)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

- outside deck.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

~~N/A~~ 1966.

9. Existing use of abutting properties:

N/A

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Cottage lot coverage 15% - addition of deck raises it to 24%

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

N/A Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

N/A Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

N/A Frontage: _____

Depth: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance No

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance No

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance No

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance No

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance No

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance No

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance No

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance No

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance No

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance No

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance No

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance No

Erosion

☐ On the subject lands or ☐ within 500 meters – distance No

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance No

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

K. Declaration

I, Doug Pike of \$ Turkey Point Ont
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Hannelore Yager

Doug Pike

Owner/Applicant/Agent Signature

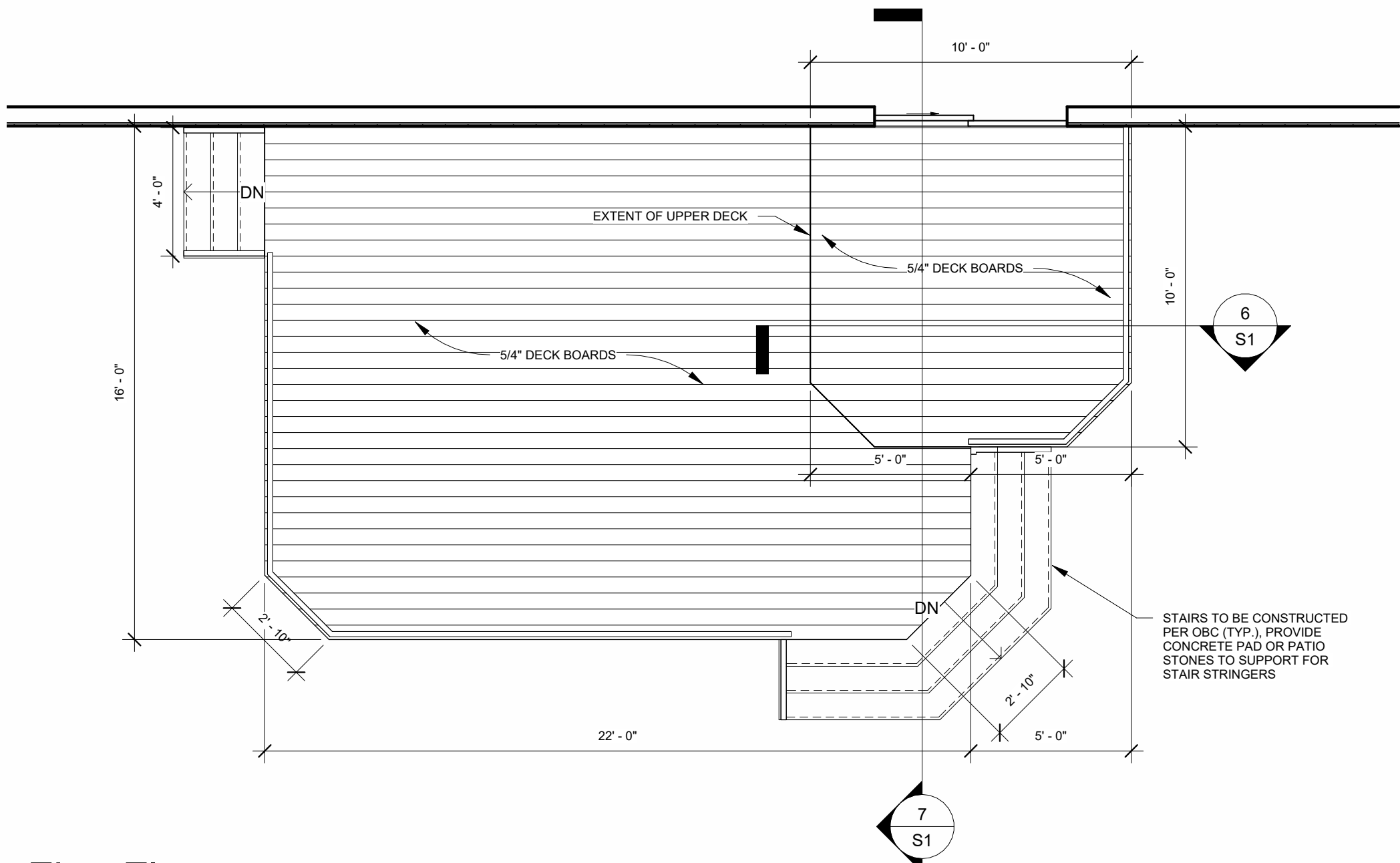
In Norfolk County.

This 28th day of February

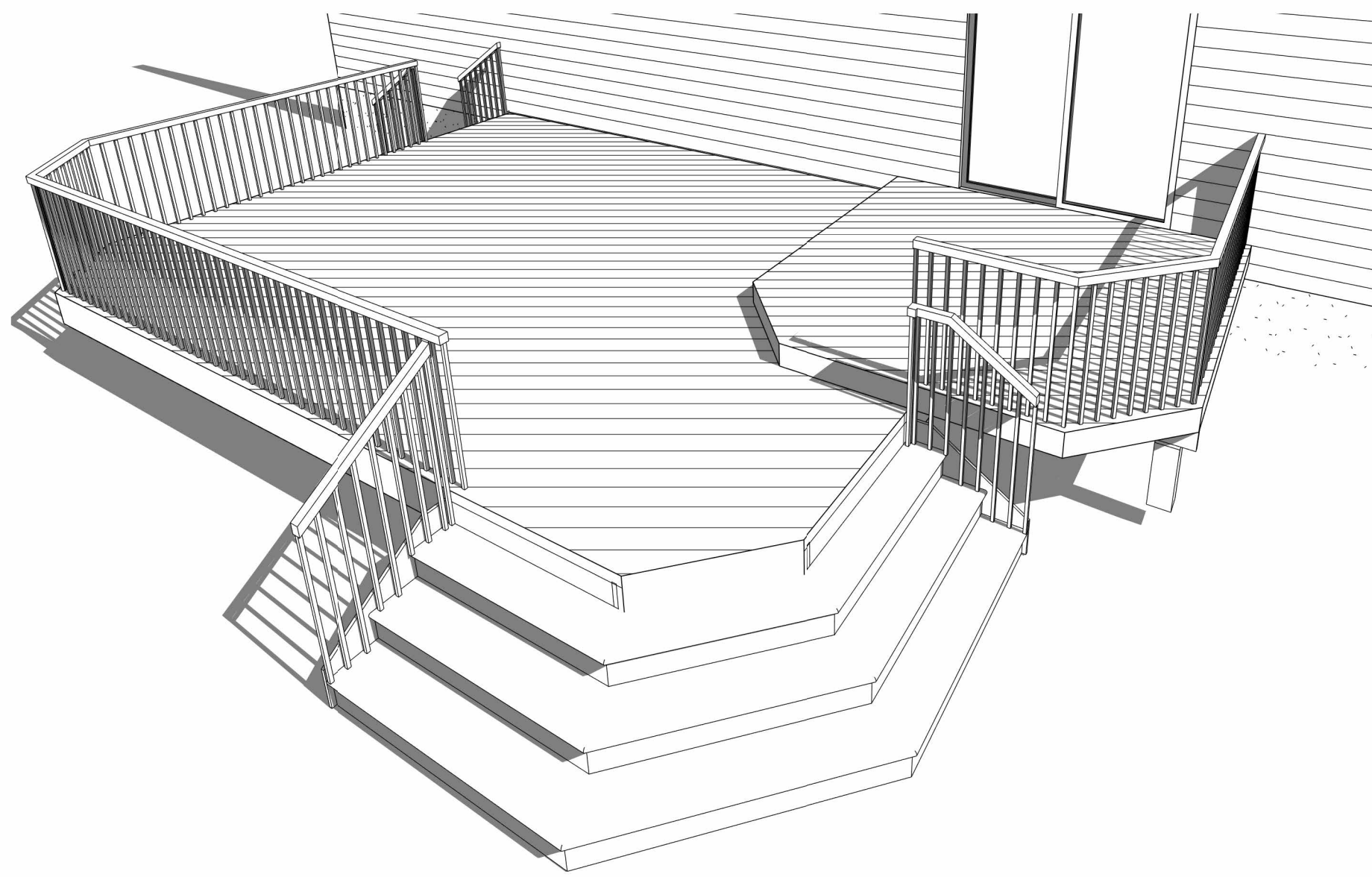
A.D., 2024.

Hannelore Yager
A Commissioner, etc.

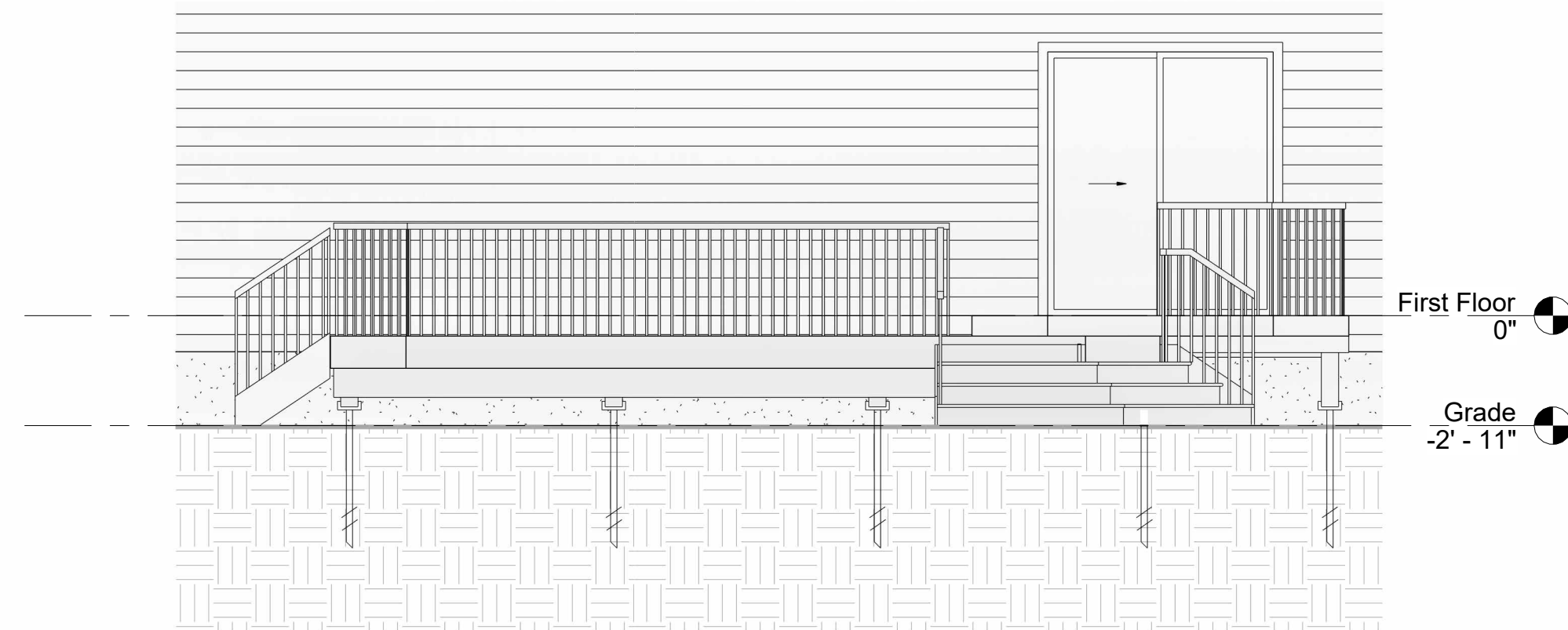
Hannelore Tenley Yager, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires November 21, 2025.



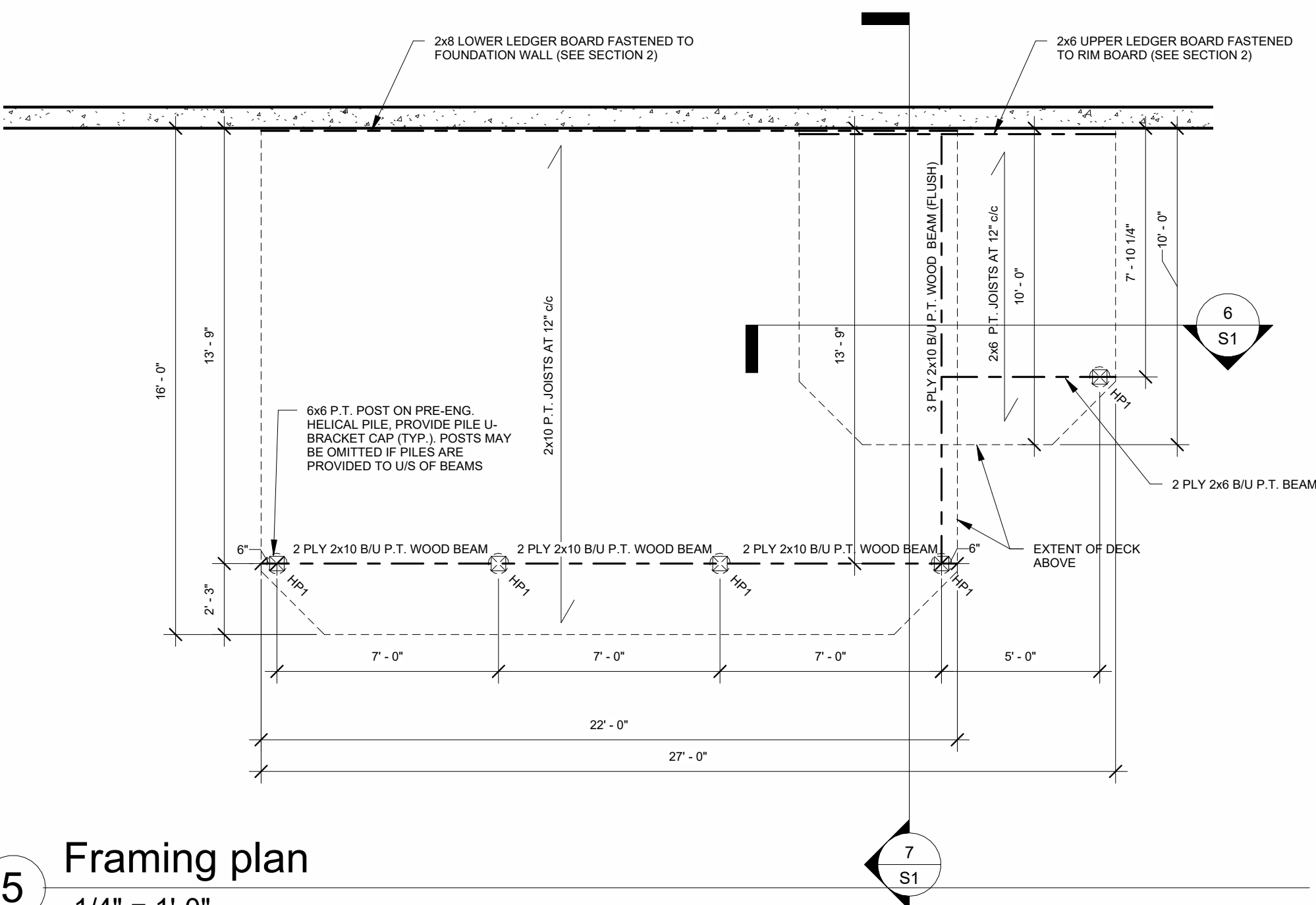
1 First Floor
1/4" = 1'-0"



2 3D View

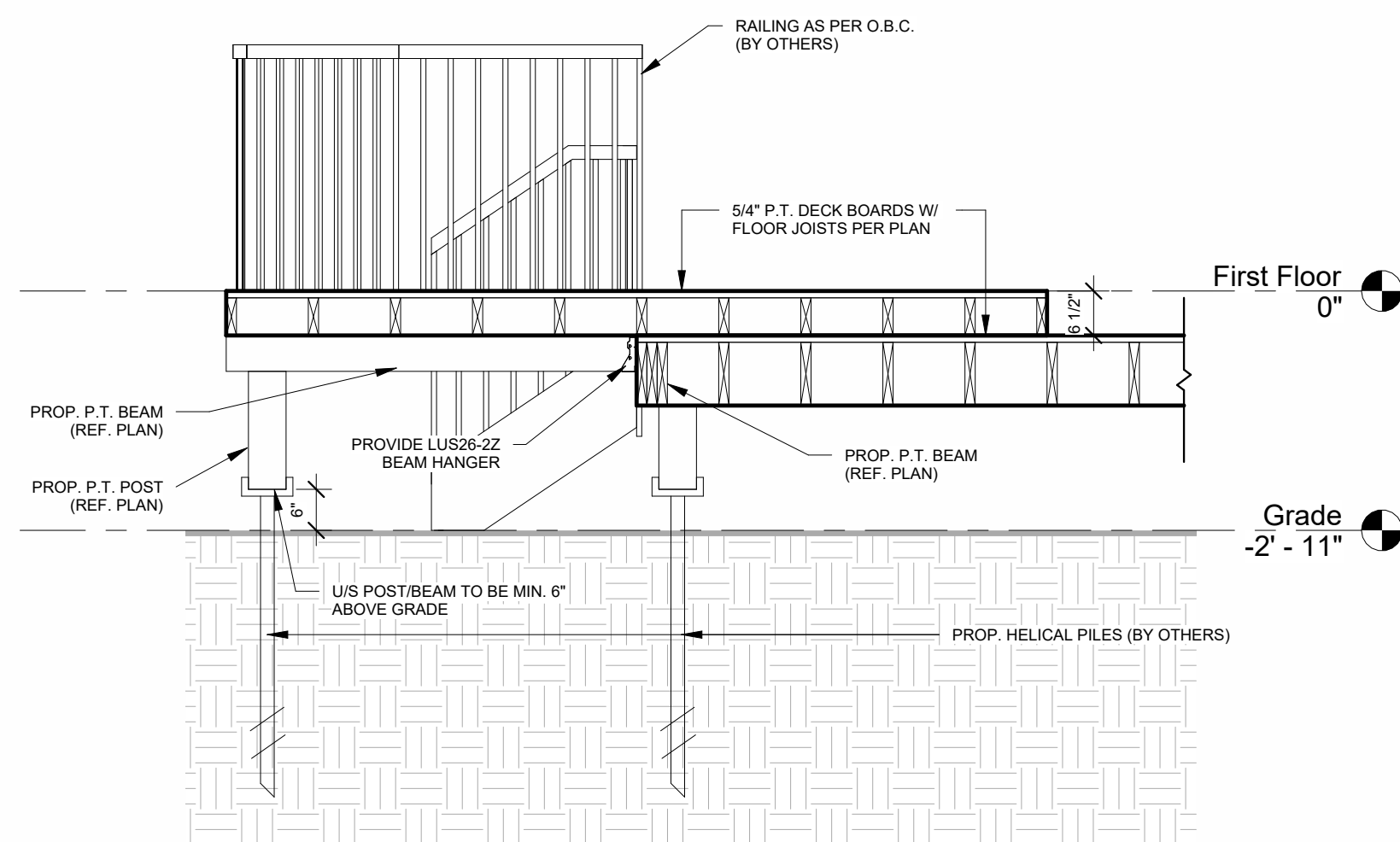


4 Elevation
1/4" = 1'-0"

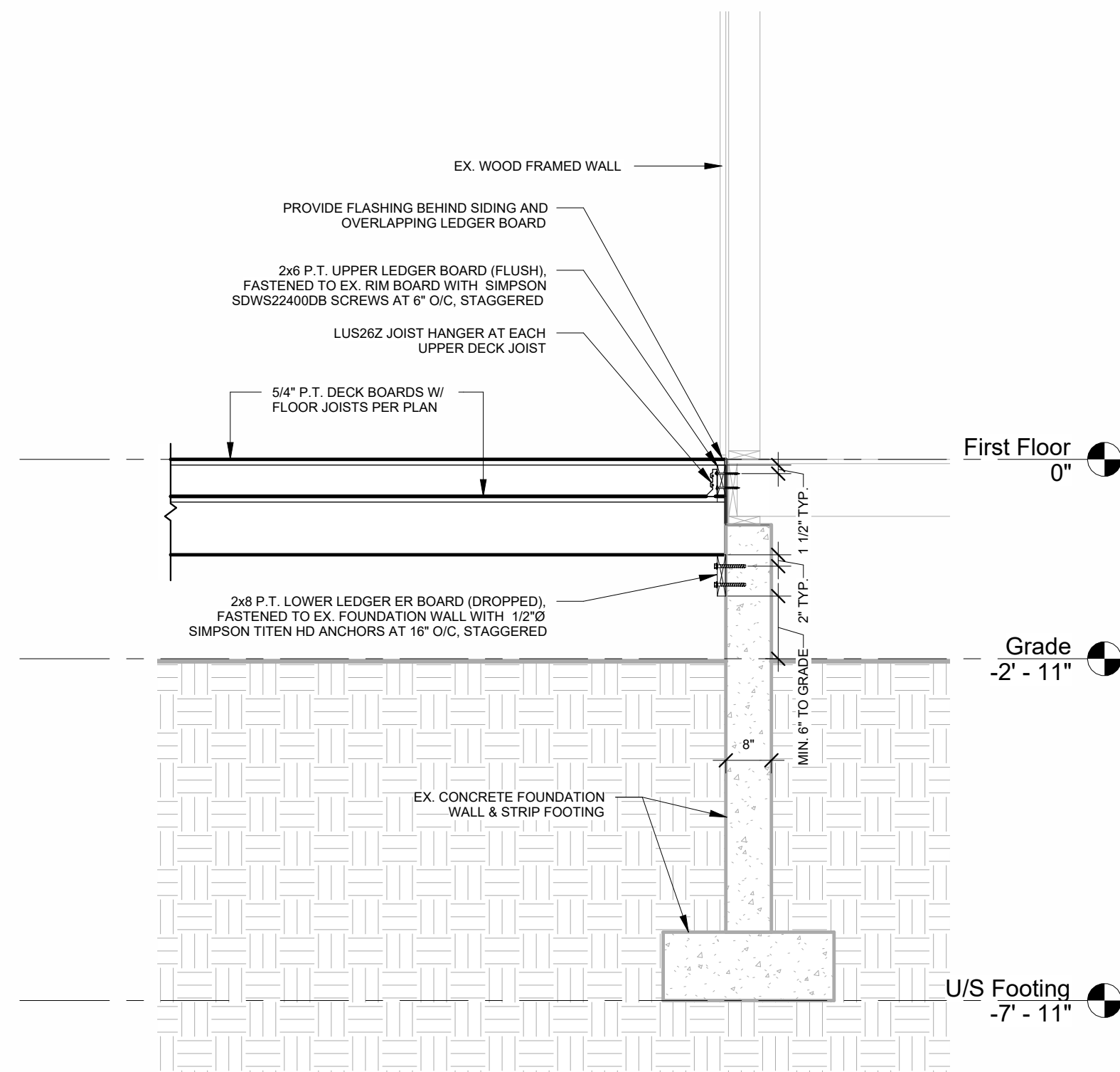


5 Framing plan
1/4" = 1'-0"

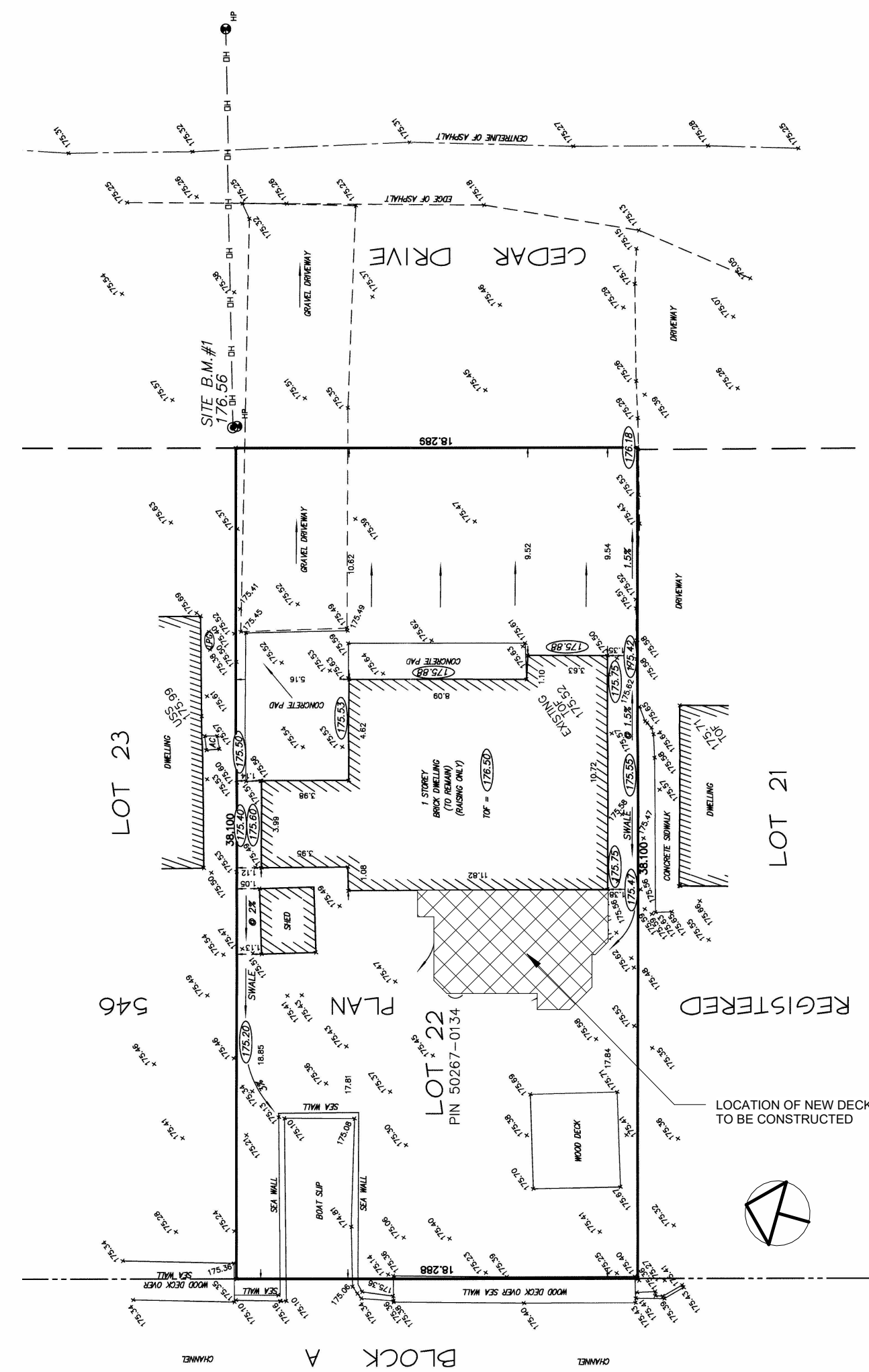
PILE SCHEDULE	
MARK	MINIMUM FACTORED COMPRESSIVE CAPACITY (ULS)
HP1	5,000 lbs (22 kN)



6 Section 1
1/2" = 1'-0"



7 Section 2
1/2" = 1'-0"



3 Site Plan
1" = 20'-0"

GENERAL NOTES

1. UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
3. ALL DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
4. CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
5. FOUNDATION DESIGN HAS BEEN COMPLETED FOR AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 75 kPa.

DESIGN LOADS

- | | |
|--|---------------|
| 1. GROUND SNOW (S _g) / RAIN (S _r): | 1.3 / 0.4 kPa |
| 2. MAXIMUM SNOW (S): | 1.12 kPa |
| 3. DECK LIVE (L): | 1.9 kPa |
| 4. DECK DEAD (D): | 0.5 kPa |

LUMBER NOTES

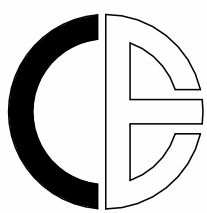
1. ALL SAWN LUMBER TO BE S.P.F. No. 1/2 AND CONFORM TO CSA-086.
2. ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.N.
3. PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR JOISTS.
4. ALL WOOD CONNECTIONS AND BLOCKING/BRACING SHALL BE IN ACCORDANCE WITH OBC S.2.3 U.N.D.
5. ALL PRE-ENGINEERING RAILING SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
6. ALL PRE-ENGINEERED WOOD CONNECTORS ARE BY SIMPSON STRONG-TIE (OR APPROVED EQUIVALENT) AND ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. STAIR RISE AND RUN ARE TO BE DETERMINED ON SITE TO SUIT SITE CONDITIONS. STAIRS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH OBC.
8. ALL EXTERIOR FASTENERS SHALL BE HOT DIP GALVANIZED.

HELICAL PILE NOTES

1. PILES SHALL BE INSTALLED BY A CONTRACTOR CERTIFIED BY THE MANUFACTURER.
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A REPORT OF ALL HELICAL PILES INSTALLED ON THE PROJECT CERTIFYING THE ULTIMATE LOAD CAPACITIES. THE REPORT SHALL BE SEALED BY A PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.
3. ALL STEEL SHALL BE HOT DIP GALVANIZED.



1.	ISSUED FOR PERMIT & CONSTRUCTION	11/29/23	M.J.W.
No.	REVISION	DATE (MM/DD/YY)	BY



**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

440 HARRY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohooneng.com

PROJECT:

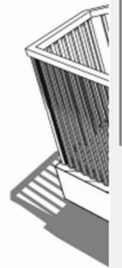
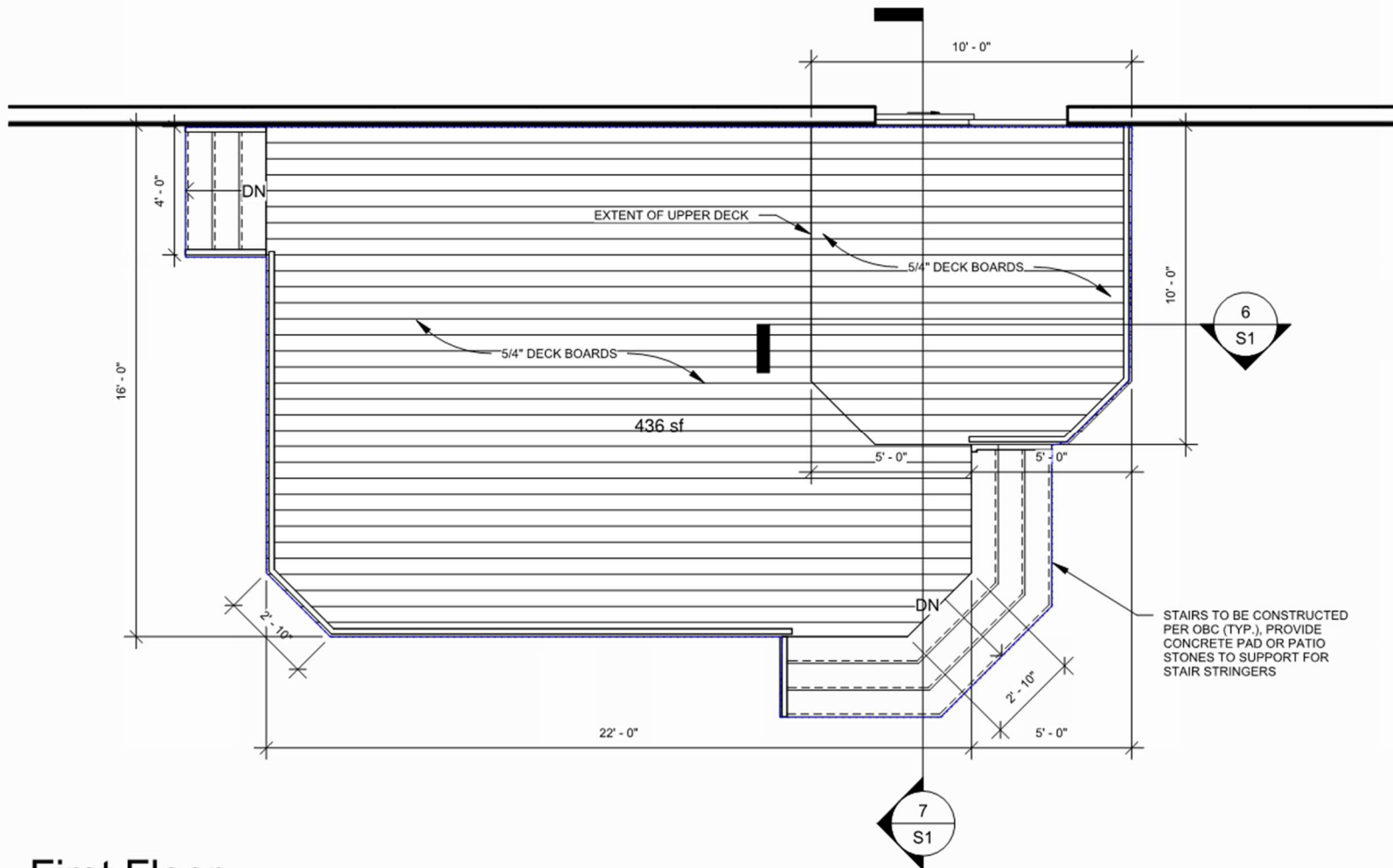
PROPOSED DECK

399 CEDAR DRIVE
TURKEY POINT

CLIENT: BRYCE WOLFE

PLANS, ELEVATION AND
DETAILS

DESIGN: P.D.C.	SCALE: AS SHOWN
DRAWN: K.C.	JOB No: 16541
CHECKED: M.J.W.	
SHEET: 1 of 1	DWG. No: S1
DATE: 11/29/23	



1 First Floor

2 3D

GENERAL NOTES

1. UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
3. ALL DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
4. CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
5. FOUNDATION DESIGN HAS BEEN COMPLETED FOR AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 75 kPa.

DESIGN LOADS

1. GROUND SNOW (S_g) / RAIN (S_r): 1.3 / 0.4 kPa
2. MAXIMUM SNOW (S): 1.12 kPa
3. DECK LIVE (L): 1.9 kPa
4. DECK DEAD (D): 0.5 kPa

LUMBER NOTES

1. ALL SAWN LUMBER TO BE S.P.F. No. 1/2 AND CONFORM TO CSA-086.
2. ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.M.
3. PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR JOISTS.
4. ALL WOOD CONNECTIONS AND BLOCKING/BRACING SHALL BE IN ACCORDANCE WITH OBC 9.23 U.N.O.
5. ALL PRE-ENGINEERING RAILING SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
6. ALL PRE-ENGINEERED WOOD CONNECTIONS ARE BY SIMPSON STRONG-TIE (OR APPROVED EQUIVALENT) AND ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. STAIR RISE AND RUN ARE TO BE DETERMINED ON SITE TO SUIT SITE CONDITIONS. STAIRS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH OBC.
8. ALL EXTERIOR FASTENERS SHALL BE HOT DIP GALVANIZED.

HELICAL PILE NOTES

1. PILES SHALL BE INSTALLED BY A CONTRACTOR CERTIFIED BY THE MANUFACTURER.
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A REPORT OF ALL HELICAL PILES INSTALLED ON THE PROJECT CERTIFYING THE ULTIMATE LOAD CAPACITIES. THE REPORT SHALL BE SEALED BY A PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.
3. ALL STEEL SHALL BE HOT DIP GALVANIZED.



1.	ISSUED FOR PERMIT & CONSTRUCTION	11/29/23	M.J.W.
No.	REVISION	DATE (MM/DD/YY)	BY



**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL (519) 753-2858 FAX (519) 753-4265 www.cohooneng.com

PROJECT:

PROPOSED DECK

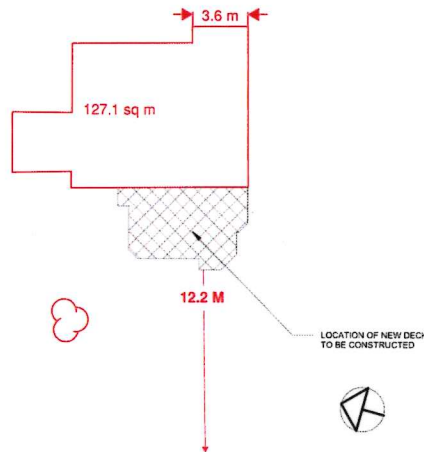
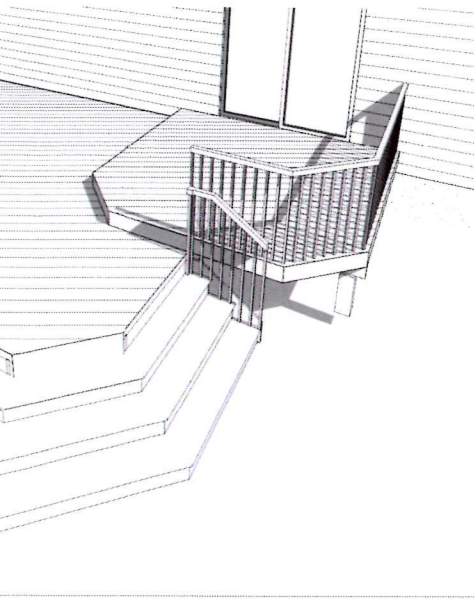
399 CEDAR DRIVE
TURKEY POINT

CLIENT:

BRYCE WOLFE

PLANS, ELEVATION AND
DETAILS

DESIGNED:	P.D.C.	SCALE:	AS SHOWN
DRAWN:	K.C.	JOB NO.:	16541
CHECKED:	M.J.W.	SHEET NO.:	S1
SHEET:	1 of 1	DATE:	11/29/23



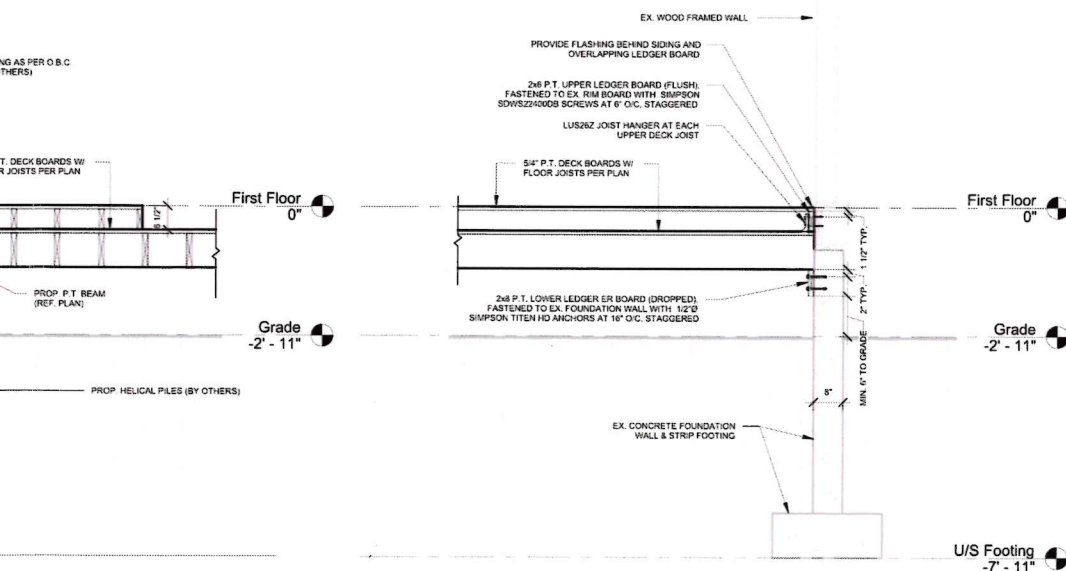
3 Site Plan
1" = 20'-0"

NG AS PER O.B.C.
(OTHERS)

J.T. DECK BOARDS W/
R JOISTS PER PLAN

PROP. P.T. BEAM
(REF. PLAN)

PROP. HELICAL PILES (BY OTHERS)



7 Section 2
1/2" = 1'-0"



Long Point Region Conservation Authority

PERMIT No. LPRCA-257/23

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street

Tillsonburg, ON

N4G 0C4

Phone (519) 842-4242

Fax (519) 842-7123

www.lprca.on.ca

Permission has been granted to:

Owner: Doug Pike

Telephone: 519-442-2883

Address: 3 Evans Street,
Paris, ON N3L 1A9

Email: dpsales@rogers.com

Agent: N/A

Telephone: _____

Address: _____

Email: _____

Location/Address of works: 399 Cedar Drive, Turkey Point. 3310-493-100-03700

Lot: 22 Plan: 546 Municipality: Norfolk County

Description of Works: To construct a 40 m² deck.

Type of fill: NA

This permit is valid on the above location only for the period of:

DATE: December 8, 2023 – December 8, 2025

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS:

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated December 4, 2023 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -
Office Use Only

Owner's Name:

Doug Pike

Mailing Address:

3 Evans St.

Street Address
Paris

P.O. Box

Ontario

Apartment/Unit #

N3L 1A9

City/Town

519-442-2883

Alternate Phone: 519-755-1620

Email:

Province
Postal Code
dpasales@rogers.com

Primary Phone:

Applicant's Name:



Check if same as above

Mailing Address:

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone:

Alternate Phone:

Email:

Location of Proposed Work

Lot: 22

Concession/Plan: 546

Municipality: Norfolk



Municipal Address: 399 Cedar Drive Turkey Point NOE 1T0

Street Address

Tax Assessment Roll Number: 493-100-03700-0000

Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☐ Site grading
- ☐ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe) Rear wooden deck

Quantity of fill:

Proposed square footage:

Existing square footage:

Description of Proposed Works:

Rear wooden deck 27 x 16 ft.

PROPOSED START DATE: Dec 20/23

PROPOSED COMPLETION DATE: Jan 12/24

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

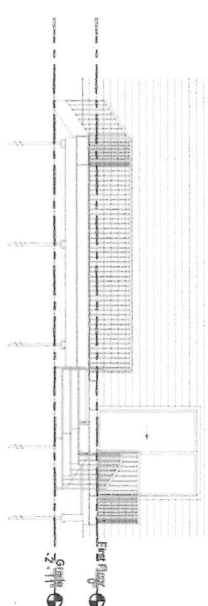
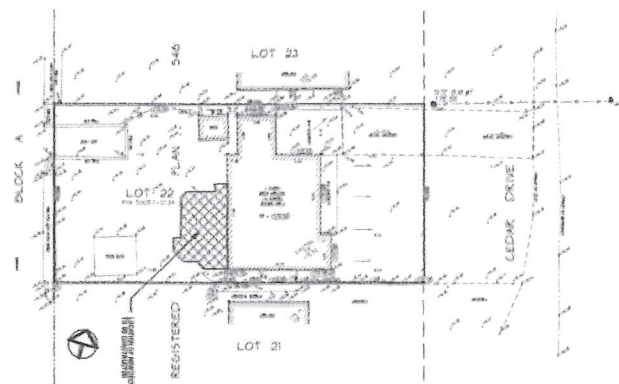
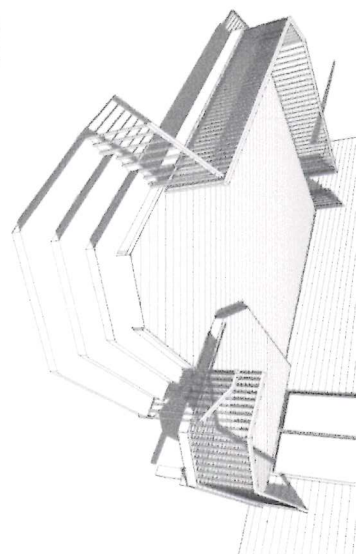
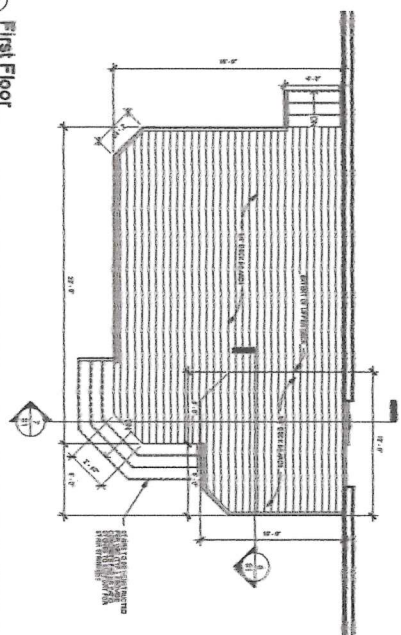
Applicant Signature

Dec. 4 2023

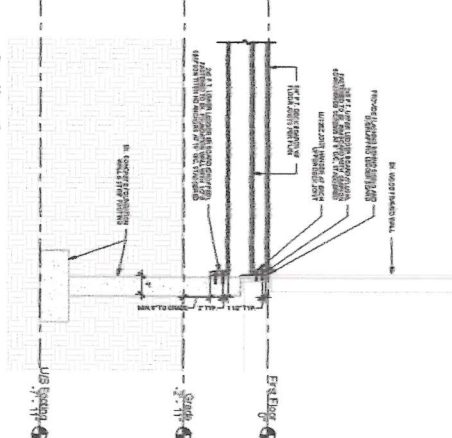
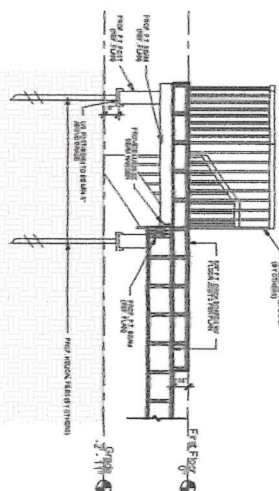
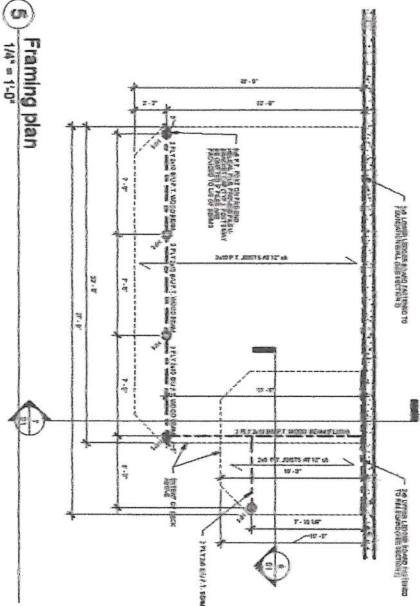
Date

Agent Signature

Date



	PILE SCHEDULE
MARK	MINIMUM FACTORED COMPRESSION CAPACITY (KIP)
HP71	9,000 lbs (33 kN)



GENERAL NOTES

- DESIGN LOADS**
- | | |
|-------------------|-----------|
| 1. dead load (DL) | 1.1 / 1.4 |
| 2. live load (LL) | 1.2 / 1.6 |
| 3. impact (IM) | 0.3 |
| 4. wind (W) | 0.9 |
| 5. seismic (SE) | 0.5 |

LUNGEER NOTE

- 1 2. Spain looked to be a 1/2- and 1/3- and character-
2 to catch out.
3
4 All things considered to the America is to be
5 proper attention to the problems of 2009 and
6 17-97, 8/2, but for the
7 in accordance with the
8 in accordance with the
9 included in accordance with the
10 restructuring.
11 All the things that were discussed are for the
12 the things that were discussed are for the
13 included in accordance with the
14 restructuring.
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100
101
102
103
104
105
106
107
108
109
110
111
112
113
114
115
116
117
118
119
120
121
122
123
124
125
126
127
128
129
130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222
223
224
225
226
227
228
229
230
231
232
233
234
235
236
237
238
239
240
241
242
243
244
245
246
247
248
249
250
251
252
253
254
255
256
257
258
259
260
261
262
263
264
265
266
267
268
269
270
271
272
273
274
275
276
277
278
279
280
281
282
283
284
285
286
287
288
289
290
291
292
293
294
295
296
297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315
316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335
336
337
338
339
340
341
342
343
344
345
346
347
348
349
350
351
352
353
354
355
356
357
358
359
360
361
362
363
364
365
366
367
368
369
370
371
372
373
374
375
376
377
378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403
404
405
406
407
408
409
410
411
412
413
414
415
416
417
418
419
420
421
422
423
424
425
426
427
428
429
430
431
432
433
434
435
436
437
438
439
440
441
442
443
444
445
446
447
448
449
450
451
452
453
454
455
456
457
458
459
460
461
462
463
464
465
466
467
468
469
470
471
472
473
474
475
476
477
478
479
480
481
482
483
484
485
486
487
488
489
490
491
492
493
494
495
496
497
498
499
500
501
502
503
504
505
506
507
508
509
510
511
512
513
514
515
516
517
518
519
520
521
522
523
524
525
526
527
528
529
530
531
532
533
534
535
536
537
538
539
540
541
542
543
544
545
546
547
548
549
550
551
552
553
554
555
556
557
558
559
560
561
562
563
564
565
566
567
568
569
570
571
572
573
574
575
576
577
578
579
580
581
582
583
584
585
586
587
588
589
590
591
592
593
594
595
596
597
598
599
600
601
602
603
604
605
606
607
608
609
610
611
612
613
614
615
616
617
618
619
620
621
622
623
624
625
626
627
628
629
630
631
632
633
634
635
636
637
638
639
640
641
642
643
644
645
646
647
648
649
650
651
652
653
654
655
656
657
658
659
660
661
662
663
664
665
666
667
668
669
670
671
672
673
674
675
676
677
678
679
680
681
682
683
684
685
686
687
688
689
690
691
692
693
694
695
696
697
698
699
700
701
702
703
704
705
706
707
708
709
710
711
712
713
714
715
716
717
718
719
720
721
722
723
724
725
726
727
728
729
730
731
732
733
734
735
736
737
738
739
740
741
742
743
744
745
746
747
748
749
750
751
752
753
754
755
756
757
758
759
760
761
762
763
764
765
766
767
768
769
770
771
772
773
774
775
776
777
778
779
780
781
782
783
784
785
786
787
788
789
790
791
792
793
794
795
796
797
798
799
800
801
802
803
804
805
806
807
808
809
810
811
812
813
814
815
816
817
818
819
820

MEDICAL FILE NOTES

- YOU DON'T NECESSARILY GET A CONTRACTOR CHARGED BY THE INSURANCE COMPANY. THE CONTRACTOR WILL PAY FOR THE INCREASE WITH A PORTION OF ALL REVENUE. HE'S IN CONTROL ON THE PROJECT. CARRYING THE RISK. THE CONTRACTOR'S LIABILITY SHOULD BE HELD BY A PROFESSIONAL INDEMNITY INSURANCE POLICY PRODUCED BY CONTRACTOR.
- ALL STATE SHOULD BE NOT BY CALIFORNIA.

[illegible]

PROPOSED DECK

399 CEDAR DRIVE
TURKEY POINT
BRYCE WOLFE

PLANS, ELEVATION AND DETAILS

RESID.	P.O.	MAIL	AS DRUG
DRUGS	K.C.	128	16541
DRUGS	M.M.		
DRUGS	1 of 1	128	SI
DRUGS	11/28/23		



**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

THE UNIVERSITY OF CHICAGO

CHANNEL

PLAN

546

LOT 23

CEDAR DRIVE

SITE B.M. #17665

59

1991

10

1

—

100

100

Approval LPRCA_257_2023_Pike

From: Meagan Doan (mdoan@lprca.on.ca)
To: dpasales@rogers.com
Cc: permits@norfolkcounty.ca
Date: Friday, December 8, 2023 at 02:12 PM EST

Good afternoon Doug,

Please find attached a copy of the LPRCA work permit and construction guidelines, as well as a copy of the permit application that was submitted.

If you have any questions please let me know.

Thanks,



Meagan Doan, Resource Planner
Long Point Region Conservation Authority
4 Elm Street, Tillsonburg, ON. N4G 0C4
519-842-4242 ext. 235.

From: DOUG PIKE <dpasales@rogers.com>
Sent: December 4, 2023 4:54 PM
To: Meagan Doan <mdoan@lprca.on.ca>; royal.roof.renos@gmail.com
Subject: Re: Permit 399 Cedar Drive

Hi Meagan,

Attached please find the application and required documentation requested. Hopefully you can everything clearly.

Please let me know if you need anything further.

Thanks,

Doug

Doug Pike
3 Evans St.
Paris, Ont. N3L1A9
cell: 519-755-1620
email: dpasales@rogers.com

On Monday, December 4, 2023 at 04:00:05 PM EST, Meagan Doan <mdoan@lprca.on.ca> wrote:

Hi Doug,

Attached in the LPRCA permit application for the deck.

Please include with the application:

1. Site plan with dimensions
2. Construction drawings

If you have any questions please let me know.

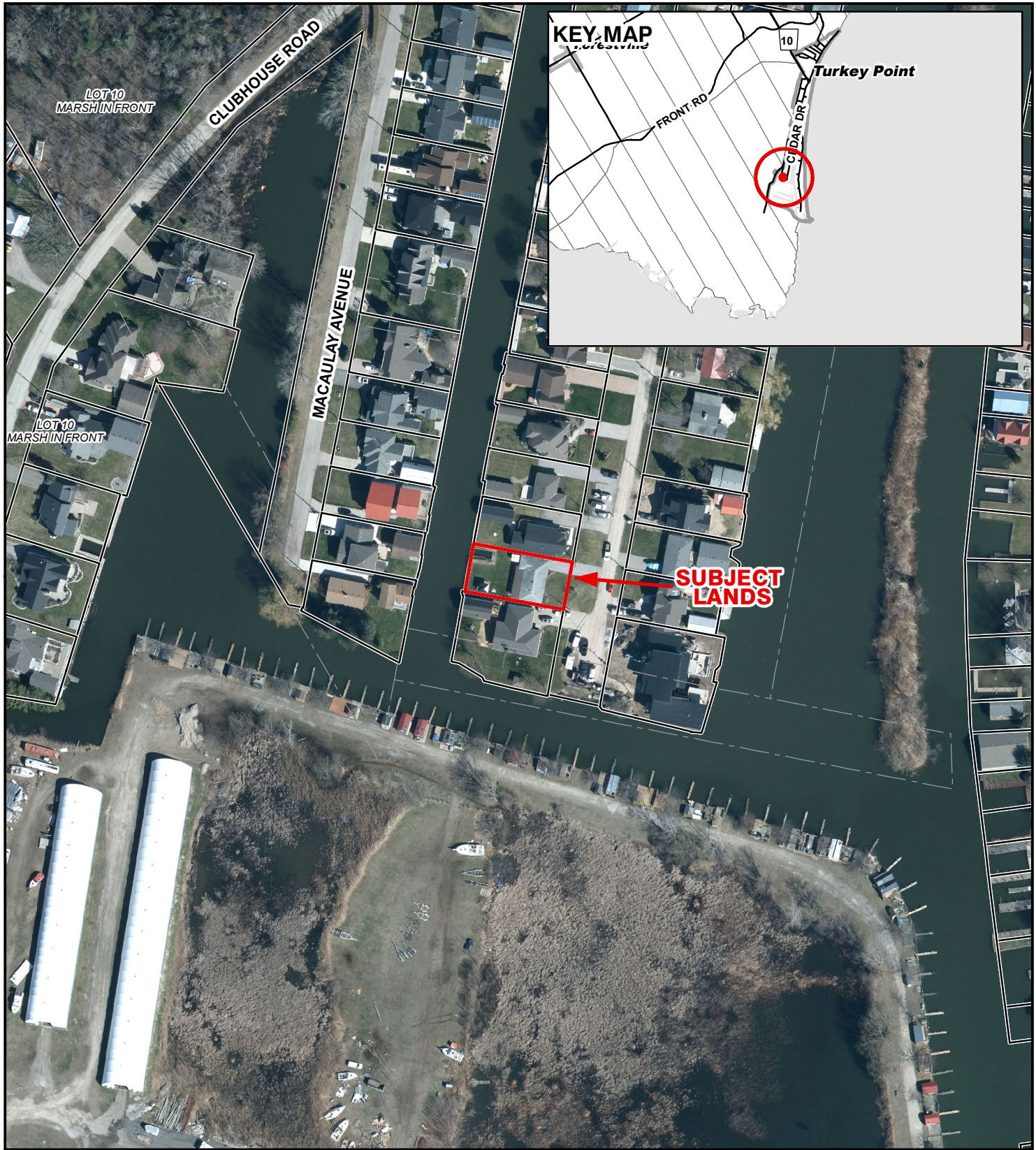
Thanks,




Meagan Doan, Resource Planner
Long Point Region Conservation Authority
4 Elm Street, Tillsonburg, ON. N4G 0C4
519-842-4242 ext. 235.



APPROVAL_LPRCA_257_2023_Pike.pdf
4MB

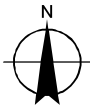


Legend

 Subject Lands

2020 Air Photo

3/20/2024



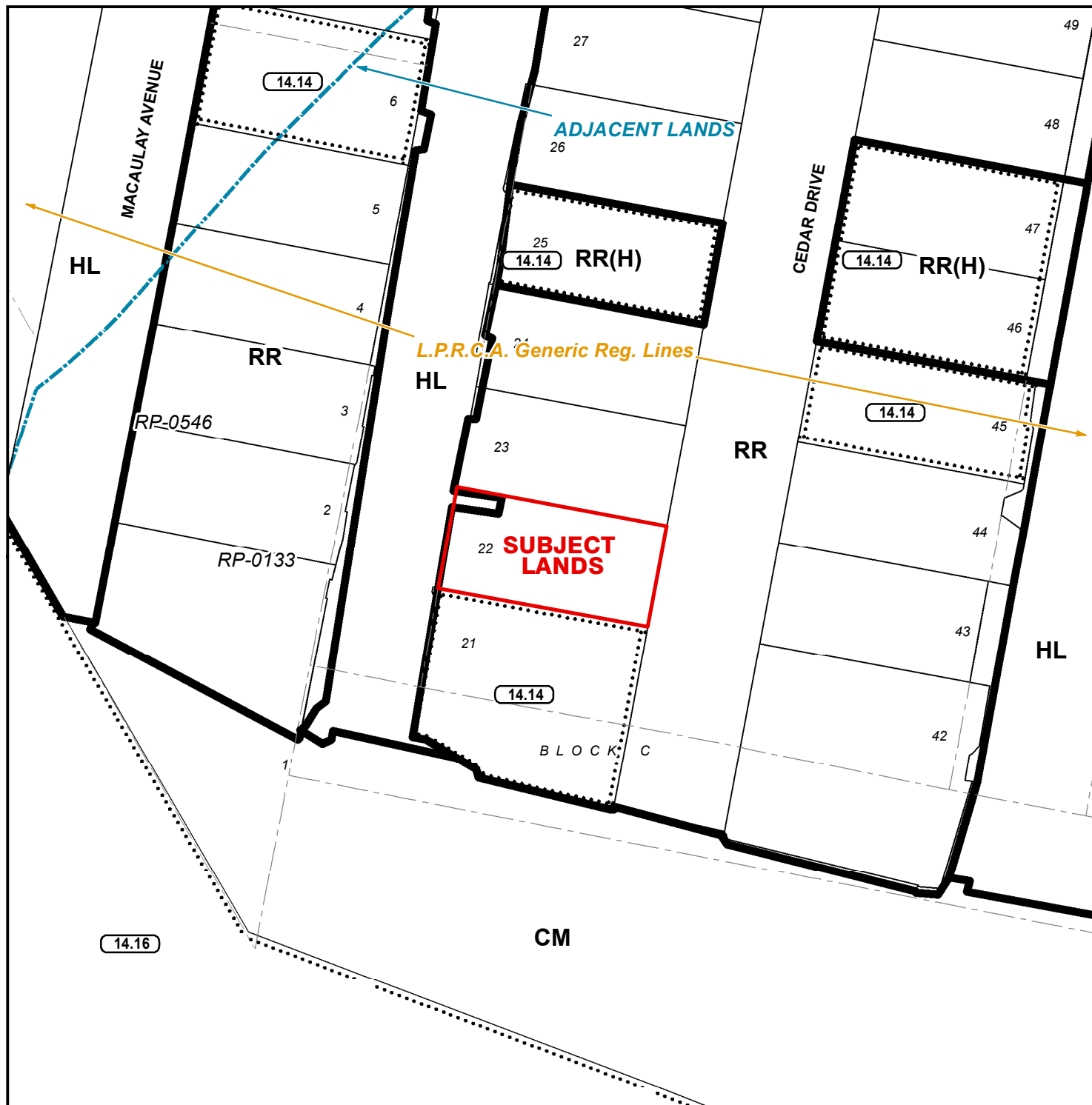
10 5 0 10 20 30 40
Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2024068



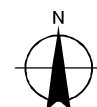
LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

3/20/2024

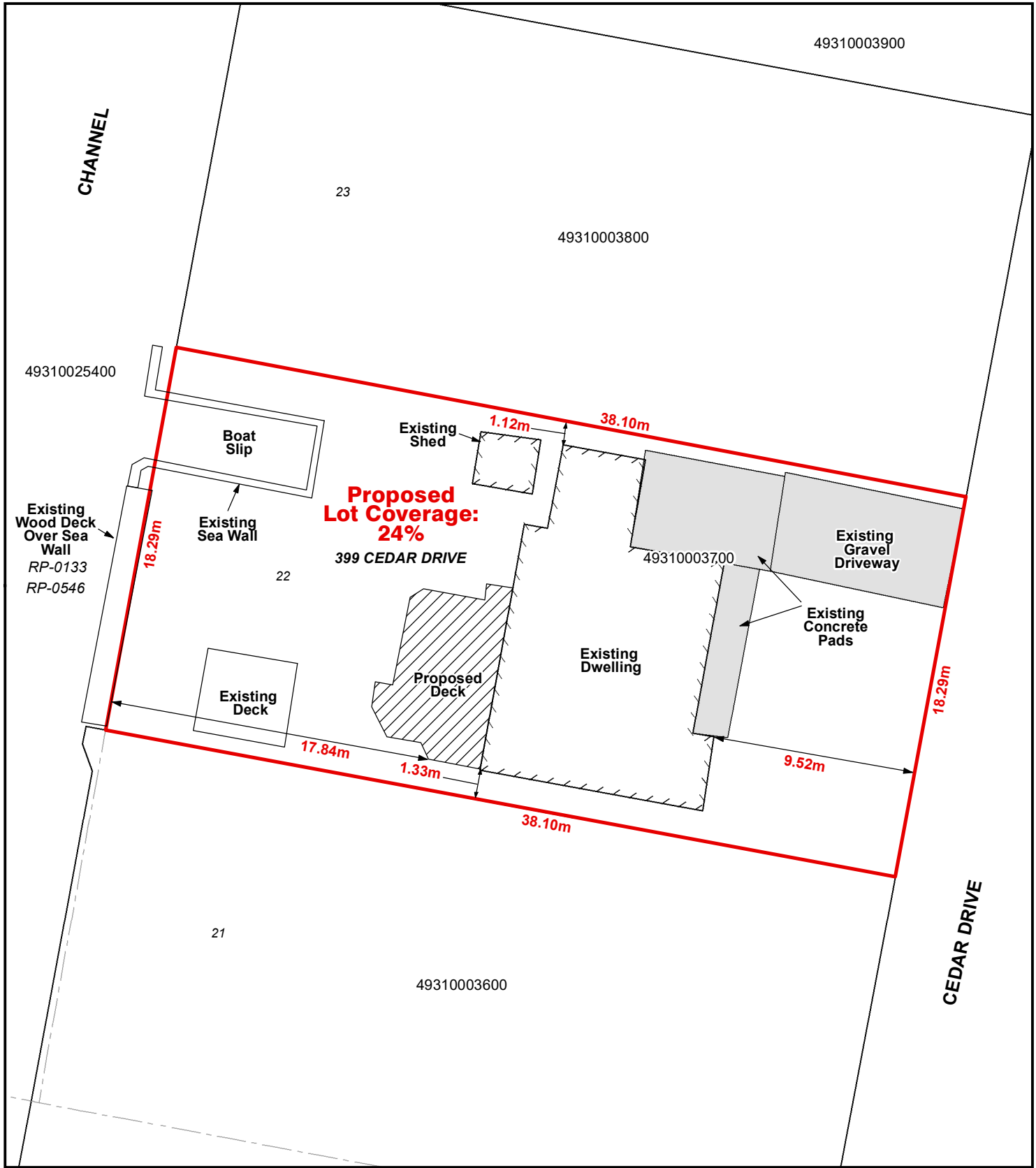
- (H) - Holding
- CM - Marine Commercial Zone
- HL - Hazard Land Zone
- RR - Resort Residential Zone




8 4 0 8 16 24 32 Meters

CONCEPTUAL PLAN

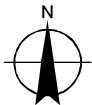
Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

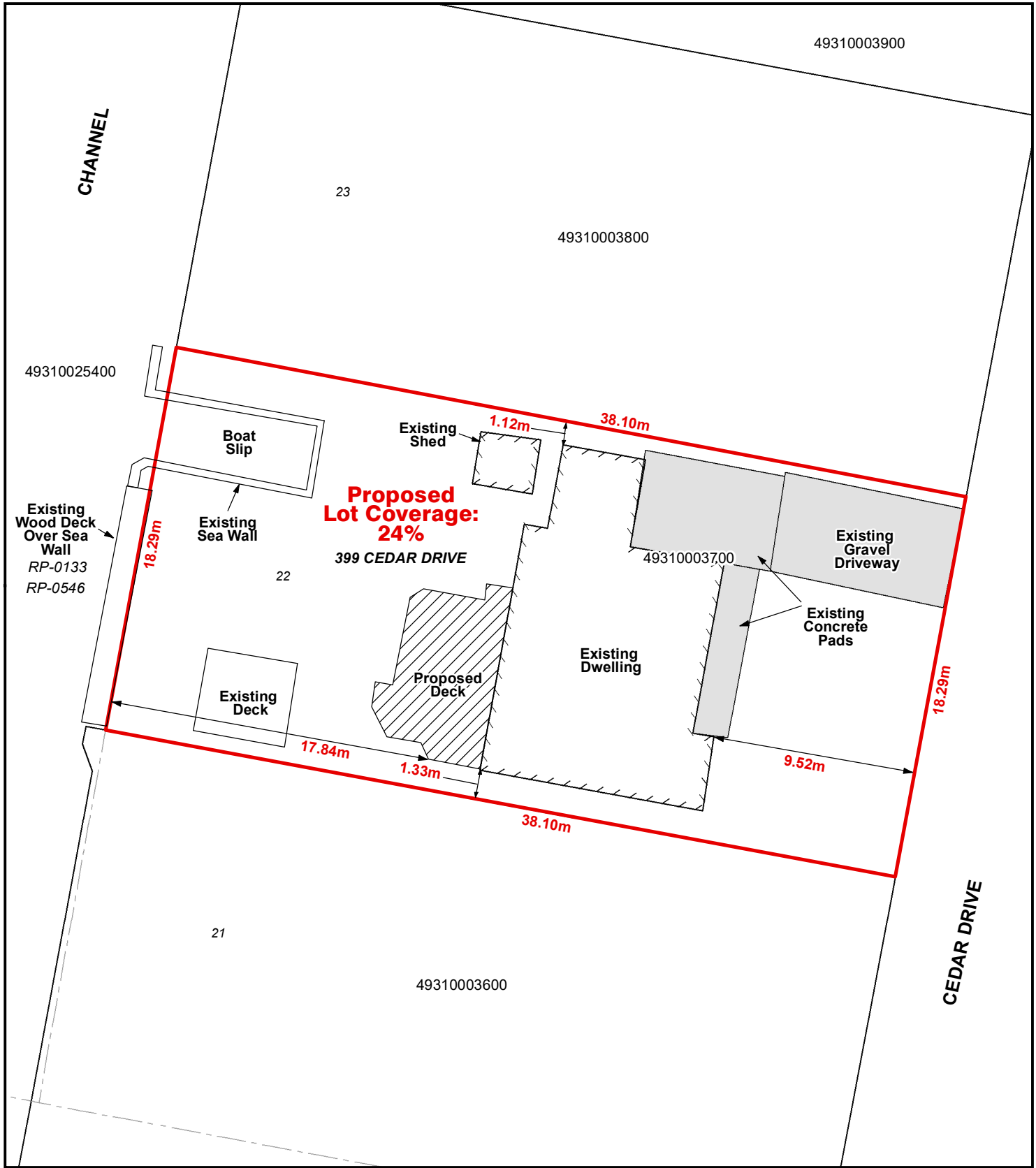
3/20/2024




2 1 0 2 4 6 8 Meters

CONCEPTUAL PLAN

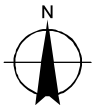
Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

3/20/2024



2 1 0 2 4 6 8 Meters