

For Office Use Only:

File Number ANPL2024098
Related File Number -
Pre-consultation Meeting -
Application Submitted March 19, 2024
Complete Application -

Application Fee \$2743.00
Conservation Authority Fee Yes
Well & Septic Info Provided N/A
Planner Hanne Yager
Public Notice Sign -

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 334 030 75500 0000

A. Applicant Information

Name of Owner Jacob Kolomaya and Chantal Pepper

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 130 Brown Street
Town and Postal Code Port Dover, Ontario N0A 1N7
Phone Number 519-909-1450
Cell Number -
Email jacobkolomaya@gmail.com

Name of Applicant Same as owner
Address -
Town and Postal Code -
Phone Number -
Cell Number -
Email -

Name of Agent Brimage Law Group - Nathan Kolomaya

Address 21 Norfolk Street North

Town and Postal Code Simcoe, Ontario N3Y 4L1

Phone Number 519-426-5840

Cell Number _____

Email nkolomaya@brimage.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

The Bank of Nova Scotia - 54 Norfolk Street North, Simcoe, Ontario N3Y 3N7

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LT 26 PL118; NORFOLK COUNTY

Municipal Civic Address: 130 Brown Street, Port Dover, Ontario

Present Official Plan Designation(s): Urban Residential and Hazard

Present Zoning: R1-B and Hazard

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

Combined OPA/ZBA obtained in 2017 adding R1-B zoning and Urban Residential OP to northerly portion of property

3. Present use of the subject lands:

Single-family residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Single-family dwelling to be retained

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Construction of deck as per designs attached

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
-

9. Existing use of abutting properties:

Single-family dwellings

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard	N/A (no existing deck)	3m setback sloping rear yard	3.6(e)	1.2m	1.8m
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	N/A (no existing deck)	No structure in Hazard Land	11.1.1	Deck partially in Hazard Land	Deck partially in Hazard Land

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Construction of deck extending into Hazard Land zone with deck 1.2m from interior lot line on sloping rear yard.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Personal knowledge of property

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

Construction of deck on existing developed lot

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Construction of deck on existing developed lot on municipal services

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☒ within 500 meters – distance 185m

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water ☐ Communal wells
☐ Individual wells ☐ Other (describe below)

Sewage Treatment

- ☒ Municipal sewers ☐ Communal system
☐ Septic tank and tile bed in good working order ☐ Other (describe below)

Storm Drainage

- ☒ Storm sewers ☐ Open ditches
☐ Other (describe below)

-
2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Brown Street

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

-
2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

LPRCA permit for construction of deck granted November 1, 2023 as No. LPRCA 175/23

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

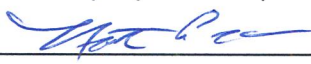
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature

2024/03/19

Date

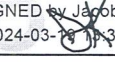
J. Owner's Authorization

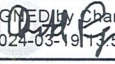
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Jacob Kolomaya and Chantal Pepper am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Brimage Law Group to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

E-SIGNED by Jacob Kolomaya
on 2024-03-19 13:35:18 GMT



Owner


Owner

2024/03/19

Date
2024/03/19

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Nathan Kolomaya of Norfolk County, Province of Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County



Owner/Applicant/Agent Signature

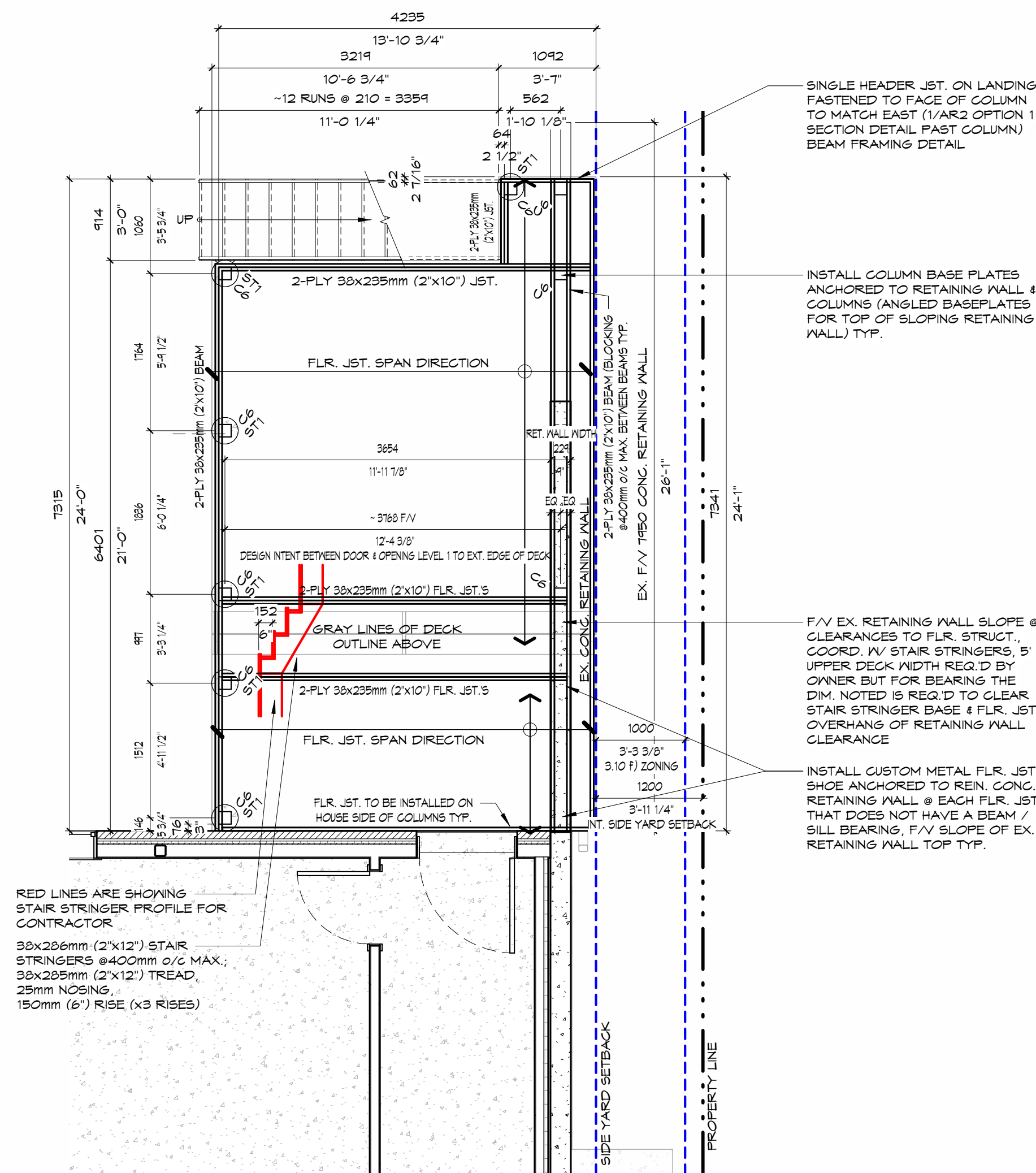
In the Province of Ontario

This 19 day of March,

A.D., 2024



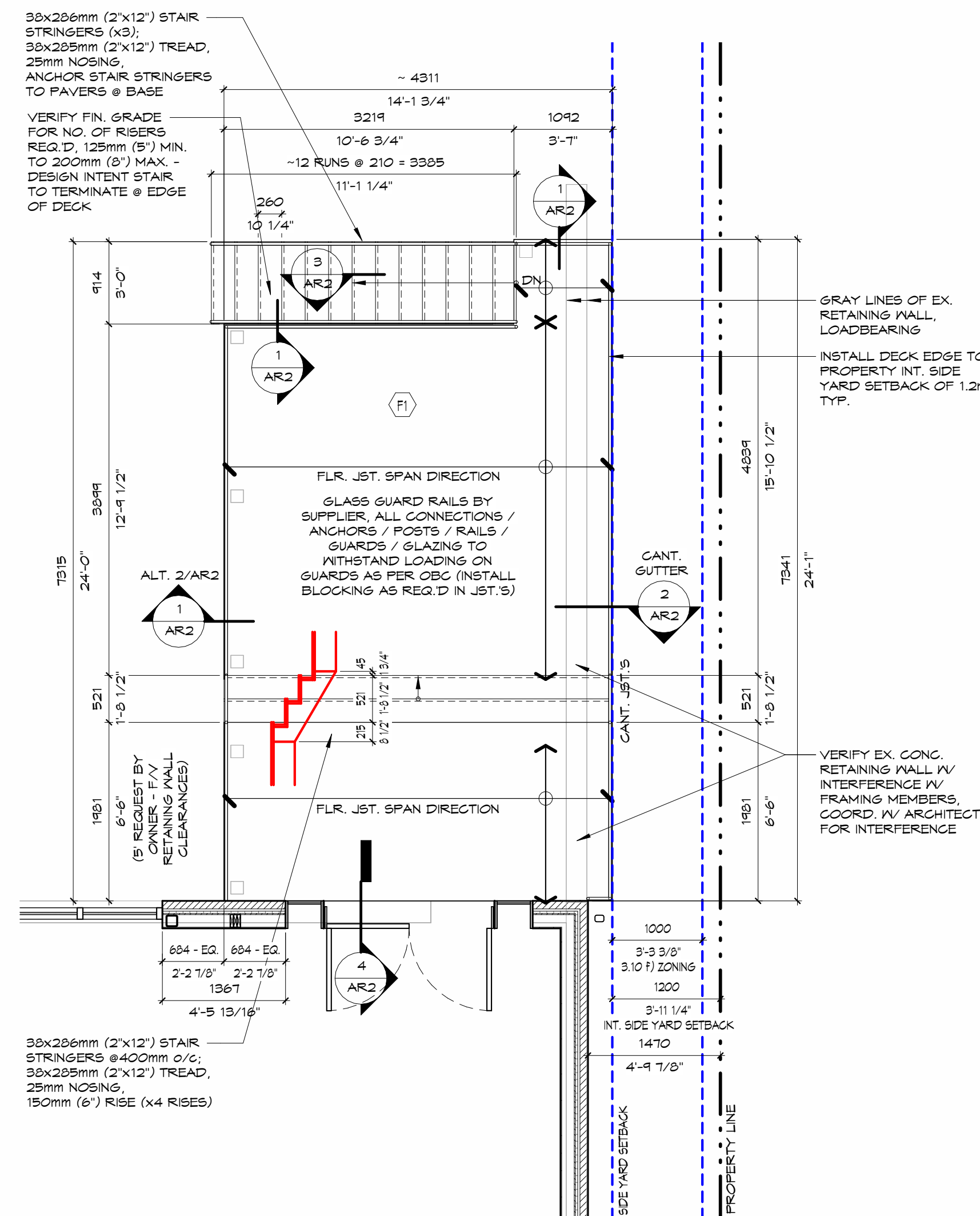
A Commissioner, etc.



2 AR1

LEVEL 0 PLAN WALL & FLR. TYPES & DIMENSIONS - REAR DECK

1/4" = 1'-0"



1 **LEVEL 1 PLAN WALL & FLR. TYPES & DIMENSIONS - REAR DECK**
 1/4" = 1'-0"

COLUMN / POST SCHEDULE - WOOD	
MARK	DESCRIPTION
C6	140X140 (6"x6")

NOTES:

- C# - BUILT UP COLUMN
- WHERE COLUMNS ARE NOT LOCATED IN A LOADBEARING WALL THEY SHALL BE CENTERED ON PAD FOOTINGS BELOW
- VERIFY GIRDER TRUSS PLY IV/ TRUSS MANUF. & INSTALL BUILT UP COLUMN TO MATCH THE NUMBER OF GIRDER PLYS
- ALL EXT. COLUMNS TO BE PRESSURE TREATED LUMBER (P/T)

CONCRETE PIER SCHEDULE			
MARK	DESCRIPTION	T/O PIER	
ST1	305mm (12") DIA. SONOTUBE (OPT. 400x400x200mm (16"x16"x8") FTG.	+200 ABOVE FIN. GRADE	○

NOTES:

- ALL PIERS SHALL BE CENTERED UNDER COLUMNS / POSTS. CONTRACTOR TO COORD. PAD LOCATIONS W/ DIMENSIONS LOCATING COLUMNS
- SQUARE OFF TOP OF SONOTUBES WHERE EXP.'D / ABOVE GRADE TYP.

FLR. TYPE SCHEDULE		
TYPE	DESIGN	DESCRIPTION
FL		<p>INTERIOR FLR. TREX FIN. TREX RAIN 38x235mm (2"x10") FLR. JST. @ 16" O/C MAX. (BRIDGING AS REQ'D BY CBC - COORD. W/ OWNER IF BRIDGING IS WANTED IN LIEU OF BRIDGING)</p>

TYPICAL NOTES:

- WD. FRAMING MEMBERS ARE NO.1 OR NO.2 SPF MIN. TYP.
- EXT. WD. FRAMING MEMBERS ARE TO BE P/T TYP.
- STRAPPING & BRIDGING TO BE INSTALLED IN ALL FLR. JOISTS WHERE REQ'D & AS NOTED, CBC SECTION 9.23.9.4

No.	DATE	ISSUANCE
15	2023.07.13	BLDG. PERMIT - REAR DECK
19	2020.08.12	SH#2 - REAR DECK
4	2019.03.10	BLDG. PERMIT REVISIONS
No.	DATE	ISSUANCE



G. DOUGLAS VALLEE LIMITED

2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 4W3
(519) 426-6270

STAMP



Project Title
KOLOMAYA RESIDENCE

130 BROWN STREET
PORT DOVER, ON N0A 1N7

Drawing Title

REAR DECK PLANS & ISOMETRICS

Designed by: JS	Drawn By: JS
Checked By :	Date Started: 2023.07.07
Drawing Scale: As indicated	Drawing No.
Project No.	AR1
17-053	

FOOTING, FOUNDATION & SOG LEGEND

SONO TUBE FDTN. TAG & IDENTIFICATION
(COORD. W/ CONG. PIER SCH.)

GENERAL NOTES:

- COORD. W/ WALL SECTION FOR DEPTHS OF FOOTINGS
- REFERENCE - FINISHED FLOOR ELEVATION OF LEVEL 1 IS 0000

VERIFY W/ OWNER FOR STRUCT. FASCIA COVER BD'S, ENSURE DECKING IS OVERHANGING 25mm IF COVER BD'S ARE INSTALLED TYP.

INSTALL GALV. JOIST HANGERS ON EACH FLR. JOIST TO THE DOUBLE HEADER / BEAM (SIMPSON STRONG TIE MODEL LU26L, HEADER 6-10D, JOIST 6-10D x 38mm (1.5"))

2-PLY HEADER BD. (2-PLY BEAM) W/ ONE PLY NOTCHED INTO KD. POSTS FOR BEARING SUPPORT. LAG BOLT THIS PLY TO THE POSTS (COORD. W/ BEAM SCH. FOR PLY NUMBER, ONE PLY TO BE EXP. 2 FAST POST TYP.) (ADDITIONAL PLY'S TO BE NOTCHED OUT OF POST TYP.)

A/F/F LEVEL 1 = 0000



IMAGE

SIMPSON STRONG TIE CPTZ CONGEALED POST TIE KNOTCH KD. POST W/ FEMALE RECEIVER FOR STEEL PLATE, DRILL THROUGH POST HOLE FOR BOLT ANCHOR. INSTALL BOLT, NUT & WASHER. FILL REMAINING RECESSED HOLES W/ KD. PLUG TO MATCH POST TYP.

FINISHED GRADE, INSTALL 200mm MIN. TOPSOIL @ ALL NON-HARD SURFACE AREAS, SLOPE 2% MIN. AWAY FROM BLDG. PER'S TYP.

COMPACTED GRANULAR B' FILL @ ALL HARD SURFACE AREAS & CLEAN (NO DEBRIS) NATIVE EXCAVATED SOIL @ ALL SOFT / LANDSCAPE SURFACE AREAS TYP.

P/1/P CONC. PIER (W/ FTG.) / SONOTUBE (W/O FTG.)

P/1/P REIN. CONC. FTG.

UNDISTURBED SOIL BELOW OR ENG'D FILL (COORD. W/ SOILS REPORT) (COORD. W/ STRUCT. DNG'S)

OPTION 1

1 SONOTUBE TO DECK SECTION DETAIL A AR2 1 : 8

TREX RAINSCAPE SYSTEM W/ CONT. PRE-FIN. PTD. ALUM. EAVETROUGH / GUTTER

CANT. OVER RETAINING WALL

1-PLY BEAM ON BOTH SIDES OF POST (2-PLY). INSTALL X2 GALV. LAG BOLTS PER COLUMN / POST ON EACH BEAM TYP.

VERIFY W/ OWNER FOR FASCIA COVER BD'S, ENSURE DECKING IS OVERHANGING 25mm IF COVER BD'S ARE INSTALLED TYP.

HEADER BD. AROUND DECK PER'S TYP.



IMAGE

SIMPSON STRONG TIE CPTZ CONGEALED POST TIE KNOTCH KD. POST W/ FEMALE RECEIVER FOR STEEL PLATE, DRILL THROUGH POST HOLE FOR BOLT ANCHOR. INSTALL BOLT, NUT & WASHER. FILL REMAINING RECESSED HOLES W/ KD. PLUG TO MATCH POST TYP.

FINISHED GRADE, INSTALL 200mm MIN. TOPSOIL @ ALL NON-HARD SURFACE AREAS, SLOPE 2% MIN. AWAY FROM BLDG. PER'S TYP.

COMPACTED GRANULAR B' FILL @ ALL HARD SURFACE AREAS & CLEAN (NO DEBRIS) NATIVE EXCAVATED SOIL @ ALL SOFT / LANDSCAPE SURFACE AREAS TYP.

P/1/P CONC. PIER (W/ FTG.) / SONOTUBE (W/O FTG.)

P/1/P REIN. CONC. FTG.

UNDISTURBED SOIL BELOW OR ENG'D FILL (COORD. W/ SOILS REPORT) (COORD. W/ STRUCT. DNG'S)

OPTION 2 (ALSO CANT. OVER RETAINING WALL)

NOTE: ALT. FRAMING SYSTEM TO BEAMS IS SECTION DETAIL A, THEREFORE BEAMS ARE NOT BELOW THE FLR. JST'S BUT ON THE SAME PLANE TYP. - COORD. W/ OWNER FOR STYLE

2 SONOTUBE TO DECK SECTION DETAIL B AR2 1 : 8

ENSURE DECK BD'S ARE STOPPED SHORT OF WALL SYSTEM BY 6mm (1/4") TYP.

DECK FLR. SYSTEM (COORD. W/ FLR. TYPES)

A/F/F LEVEL 1 = 0000

FLR. JST. NOT TO BE ANCHORED / FASTENED TO EX. WALL SYSTEM BUT TO BEAR ON / TO STRUCT. BEAM BOTH ENDS. BEAM CAN REST UP AGAINST EX. BRICK MASONRY ONLY TYP.

4 DECK TO HOUSE SECTION DETAIL AR2 1 : 8

NOTE: OPEN STRINGER - CONTRACTOR TO CONFIRM W/ OWNER

NOTE: ALL MATERIAL TO BE P/T LUMBER FOR EXT. USE

38x286mm (2"x12") STAIR STRINGERS, CUT TO RECEIVE TREADS & RISERS (SPACED 900mm o/c MAX. FOR STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT, & 600mm o/c MAX. IN OTHER STAIRS)

38x286mm (2"x12") KD. STAIR TREAD / RUN, EXTEND 25mm (1") FAST STRINGER FOR NOSING TYP.

VERIFY W/ OWNER FOR FASCIA COVER BD'S, INSTALL RISER BACKER AS REQ'D

NOTE: CLOSED STRINGER - CONTRACTOR TO CONFIRM W/ OWNER

NOTE: ALL MATERIAL TO BE P/T LUMBER FOR EXT. USE

38x286mm (2"x12") STAIR STRINGERS, CUT TO RECEIVE TREADS & RISERS (SPACED 900mm o/c MAX. FOR STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT, & 600mm o/c MAX. IN OTHER STAIRS)

38x286mm (2"x12") KD. STAIR TREAD / RUN, EXTEND 25mm (1") FAST STRINGER FOR NOSING TYP.

VERIFY W/ OWNER FOR FASCIA COVER BD'S, INSTALL RISER BACKER AS REQ'D

OPTION 1 - SHOWN

OPTION 2

3 TREAD SECTION DETAILS AR2 1 : 5

No.	DATE	ISSUANCE
15	2023.07.13	BLDG. PERMIT - REAR DECK
13	2020.08.12	5#2 - REAR DECK
No.	DATE	ISSUANCE



G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 4W3
(519) 426-6270



Project Title
KOLOMAYA RESIDENCE

130 BROWN STREET
PORT DOVER, ON N0A 1N7

Drawing Title
SECTION DETAILS

Designed by: JS
Checked By: JS

Date Started: 2023.07.07

Drawing Scale: As indicated
Drawing No. AR2

Project No. 17-053

OBC DATA MATRIX PART 9 & 11

Firm Name : G. DOUGLAS VALLEE LIMITED

Certificate of Practice No : 1338

Certificate of Authorization (PEO) 11059088

Address : 2 TALBOT STREET NORTH
SIMCOE, ONTARIO N3Y 3W4

Contact Information : TEL. 1 (519) 426-6270

Individual who reviews
and accepts responsibility for
Design Activities : MELISSA STICKL, OAA, MRAIC

Name of Project : KOLOMAYA RESIDENCE

Location of Project : 130 BROWN STREET
PORT DOVER, ON N0A 1N7

STAMP (s)



ARCHITECTURAL

STRUCTURAL

Building Code Version:	<u>O. Reg. 332/12</u>	Last Amendment	<u>O. Reg. 563/17</u>	OBC Section Reference
Project Type:	<input checked="" type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use			DIV. A - 1.1.2
	Description: _____			
Major Occupancy Classification:	Occupancy <u>C</u>	Use <u>RESIDENTIAL</u>		DIV. B - 9.10.2.
Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			DIV. B - 9.10.2.3.
	Description: _____ a building in which one major occupancy is located entirely above another major occupancy			
Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation			DIV. B - 11.3.3.1 DIV. B - 11.3.3.2
	11.3.3.1. Basic Renovation (1) Except as provided in Sentence (2) and Article 11.3.3.2., construction may be carried out to maintain the existing performance level of all or part of an existing building, by the reuse, relocation or extension of the same or similar materials or components, to retain the existing character, structural uniqueness, heritage value, or aesthetic appearance of all or part of the building, if the construction will not adversely affect the early warning and evacuation systems, fire separations or the structural adequacy or will not create an unhealthy environment in the building. <u>Scope of work here:</u> BUILD DECK OFF BACK SIDE OF EX. RESIDENTIAL HOUSE			

KOLOMAYA RESIDENCE130 BROWN STREET
PORT DOVER, ON N0A 1N7

vallee
Consulting Engineers,
Architects & Planners

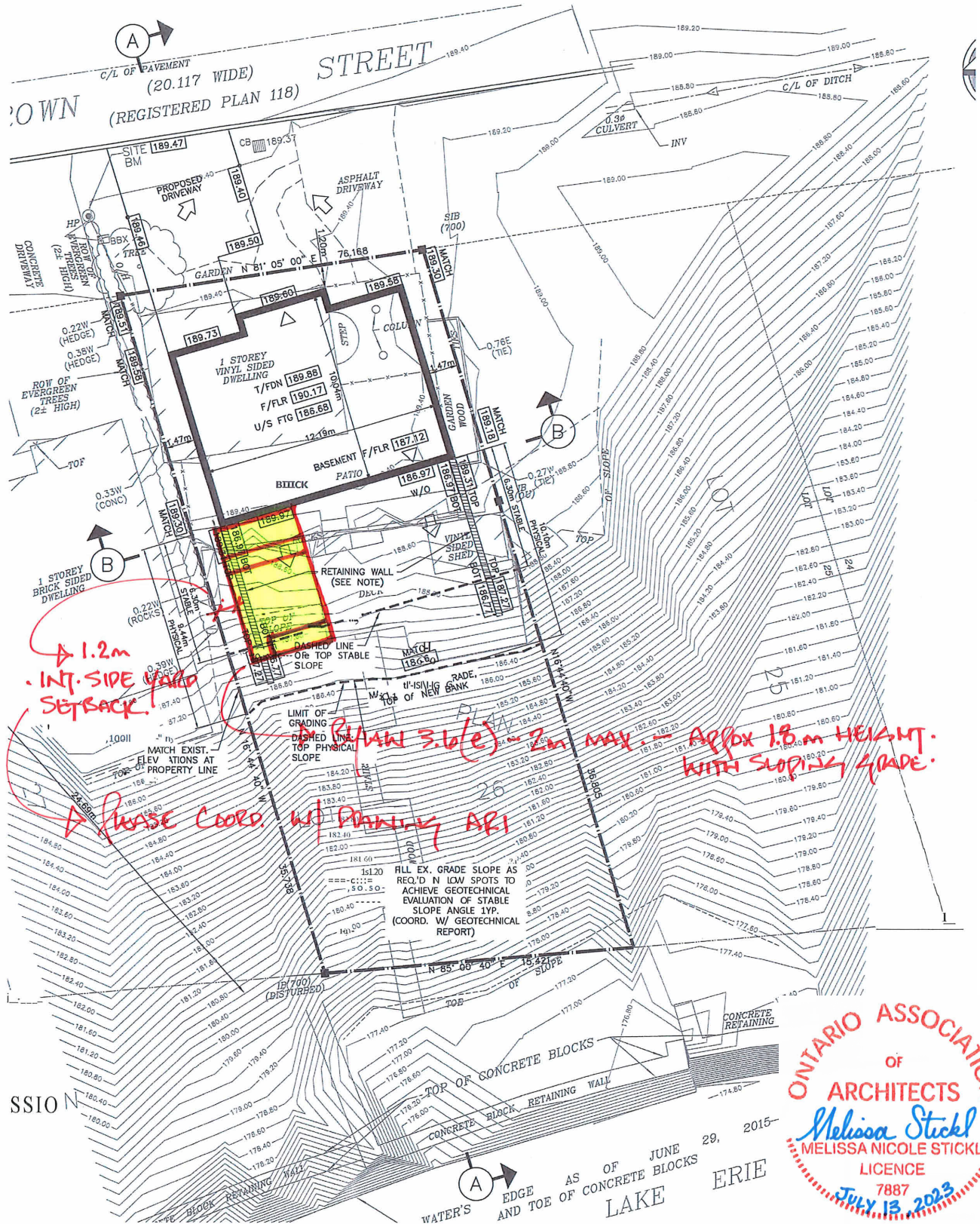
G. DOUGLAS VALLEE LTD.2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270Drawing Title
OBC MATRIXChecked by:
MSDrawn By:
JSDate:
2023.07.13

Project No.

17-053

Drawing No.

AR3



KOLOMAYA RESIDENCE



vallee
Consulting Engineers,
Architects & Planners

G. DOUGLAS VALLEE LTD.
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

130 BROWN STREET
PORT DOVER, ON N0A 1N7

Drawing Title SITE PLAN

Checked by:

MS

Drawn By:

JS

Date:

2023.07.13

Project No.

17-053

Drawing No.

AR4



Long Point Region Conservation Authority

PERMIT No. LPRCA-175/23

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Owner:	Jacob Kolomaya	Telephone:	519-909-1450
Address:	130 Brown Street	Email:	jacobkolomaya@gmail.com
	Port Dover, ON		
Agent:	Nathan Kolomaya- Brimage Law	Telephone:	
Address:	21 Norfolk Street North	Email:	NKolomaya@brimage.com
	Simcoe, ON		
Location/Address of works: 130 Brown Street. 3310-334-030-75500			
Lot:	26	Plan:	118
		Municipality:	Norfolk County
Description of Works:	Construct a 32m ² backyard deck.		
Type of fill:	n/a		

This permit is valid on the above location only for the period of:

DATE: November 1, 2023 to November 1, 2025

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS:

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated August 9, 2023 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -

Office Use Only

Owner's Name: Jake Kolomaya

Mailing Address: Brown St.

130

Street Address

P.O. Box

Apartment/Unit #

Port Dover

Ontario

N0A 1N7

City/Town

Province

Postal Code

Primary Phone: 519.909.1450

Alternate Phone: _____

Email: jkolomaya@rassaun.com

Applicant's Name: _____



Check if same as above

Mailing Address: _____

Street Address

P.O. Box

Apartment/Unit #

City/Town

Province

Postal Code

Primary Phone: _____

Alternate Phone: _____

Email: _____

Location of Proposed Work

Lot: 26 Concession/Plan: 118 Municipality: Norfolk

Municipal Address: 130 Brown St., Port Dover, On., N0A 1N7

Street Address

Tax Assessment Roll Number: 33403075500

Proposed work: (Check all appropriate boxes)

- ☐ Place, dump, or remove fill
- ☐ Site grading
- ☒ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construct new or replace existing watercourse crossing
- ☐ Other: (please describe) Please see attached drawings

Quantity of fill: n/a

Proposed square footage: ~26m2 (~279ft2)

Existing square footage: n/a

Description of Proposed Works:

Construct deck off back side (south) of existing single residential household. Please see attached architectural drawings and previous approved civil drawings with deck outline

PROPOSED START DATE: 2023 Fall

PROPOSED COMPLETION DATE: 2023 Fall

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Applicant Signature

2023.08.09

Date

Agent Signature

2023.08.09

Date

APPLICATION CHECKLIST

Office Use Only
Application # LPRCA-_____
List Issued: _____

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, or by fax, email or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

Applicable	Submitted	
✓	<input checked="" type="checkbox"/>	A completed, signed and dated application form;
✓	<input checked="" type="checkbox"/>	Written authorization (if the applicant is not the owner of the property where the work is being done)
✓	<input checked="" type="checkbox"/>	Written authorization (if the property owner is assigning another party as an agent for the project);
✓	<input checked="" type="checkbox"/>	Application fee (see fee schedule, fees subject to change without notice);
✓	<input checked="" type="checkbox"/>	A scaled and detailed site plan;
✓	<input checked="" type="checkbox"/>	A scaled cross-sectional drawing and floor plans;

Drawings: One copy of all project drawings, reports, unless otherwise requested. Hardcopy drawings must be provided and readable on sheets no larger than 11" x 17". Electronic submission of drawings and reports is preferred. The drawings should include (either as part of the illustration or as notes).

✓	<input checked="" type="checkbox"/>	Legal description of the property (e.g. roll number, lot, concession, municipality);
✓	<input checked="" type="checkbox"/>	Scale, date, and directional arrow;
✓	<input checked="" type="checkbox"/>	Dimensions of the property (a copy of a legal survey may be required);
✓	<input checked="" type="checkbox"/>	Location, dimensions and geodetic elevations of all existing and proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes on or adjacent to the property;
✓	<input checked="" type="checkbox"/>	Location and type of sediment and erosion control measures (e.g. silt fence) and soil stabilization measures (e.g. seeding, sodding, planting)

Technical reports: One or more of the following technical reports may be required (as advised by LPRCA staff).

<input type="checkbox"/>	<input type="checkbox"/>	Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas)
<input type="checkbox"/>	<input type="checkbox"/>	Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas)
<input type="checkbox"/>	<input type="checkbox"/>	Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).
<input type="checkbox"/>	<input type="checkbox"/>	Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands)
<input type="checkbox"/>	<input type="checkbox"/>	Hydraulic analysis by a qualified professional engineer addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).
<input type="checkbox"/>	<input type="checkbox"/>	Complex and large-scale proposals may require additional technical studies and plans.

For Office Use Only	
Application Submitted:	
Complete Application:	
Application Fee:	Paid:
Board Approval Required Date of Board Meeting:	

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
 - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - a) the works are not in conformance with the intent of the permission granted;
 - b) the information presented to obtain a permit is false;
 - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

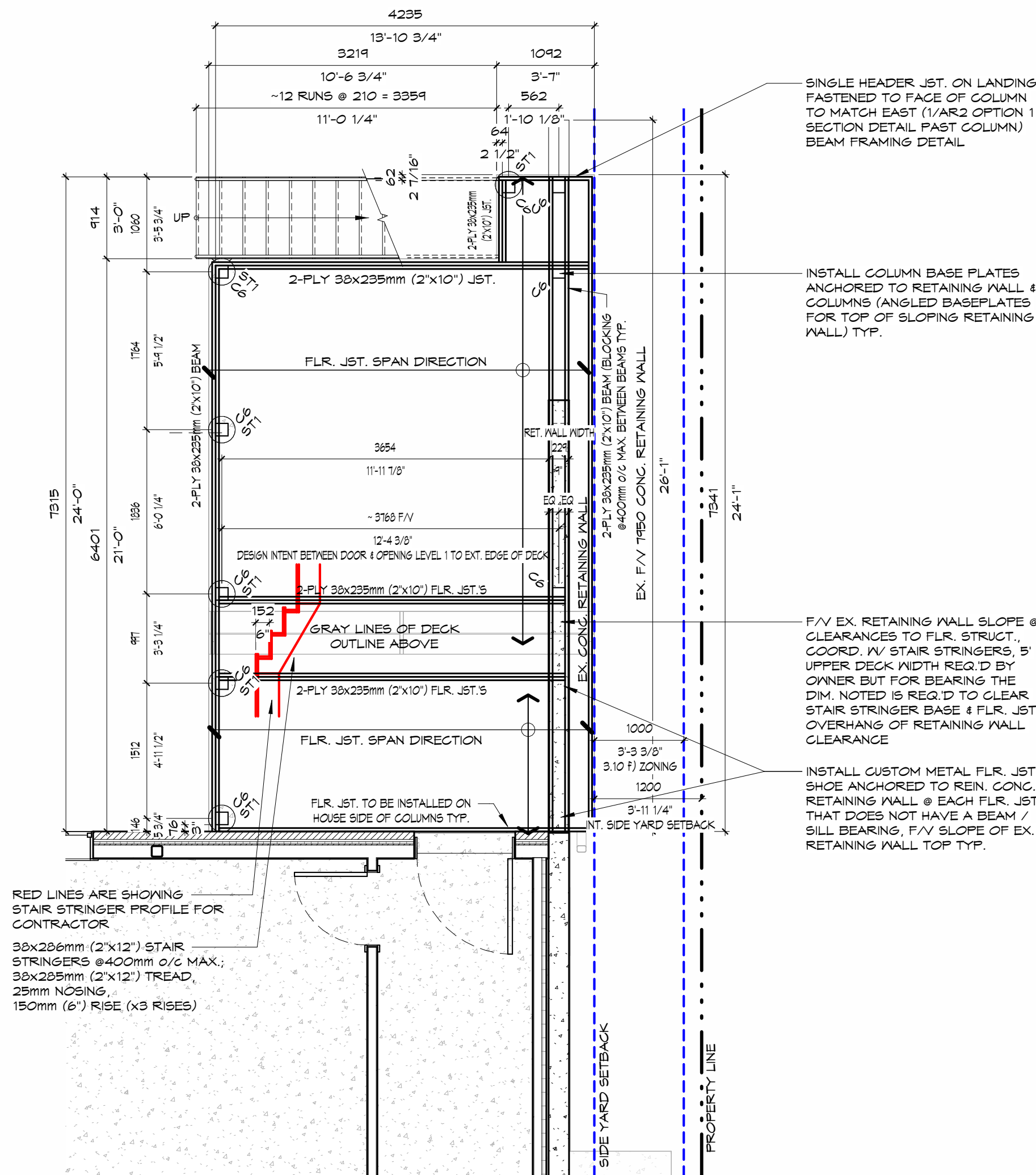
Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.



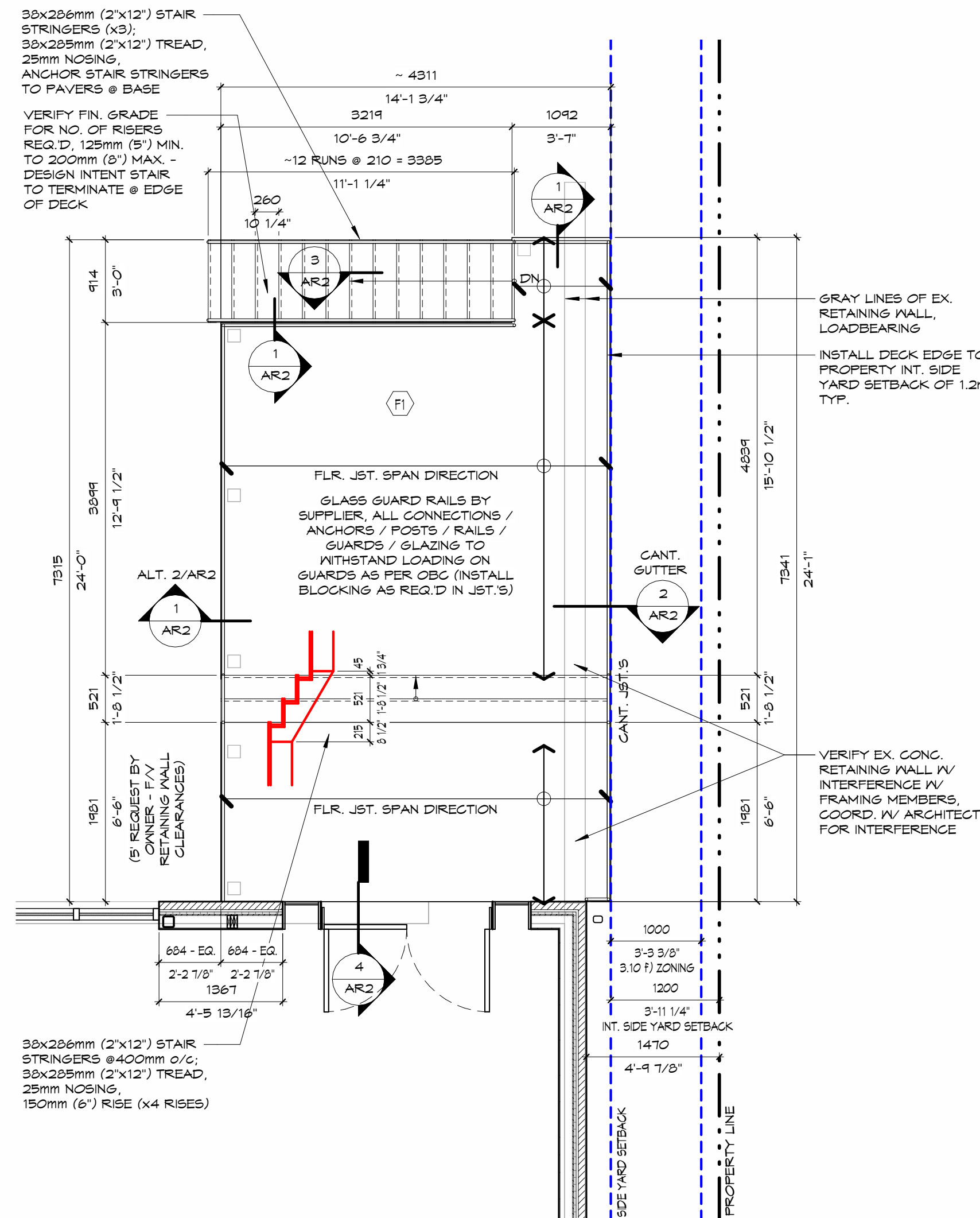
3 REAR CAMERA WEST - REAR DECK
AR1



4 REAR CAMERA - REAR DECK
AR1



2 LEVEL 0 PLAN WALL & FLR. TYPES & DIMENSIONS - REAR DECK
AR1 1/4" = 1'-0"



1 LEVEL 1 PLAN WALL & FLR. TYPES & DIMENSIONS - REAR DECK
AR1 1/4" = 1'-0"

COLUMN / POST SCHEDULE - WOOD

MARK	DESCRIPTION
C6	140X140 (6'x6')

NOTES:

- C# - BUILT UP COLUMN
- WHERE COLUMNS ARE NOT LOCATED IN A LOADBEARING WALL THEY SHALL BE CENTERED ON PAD FOOTINGS BELOW
- VERIFY GIRDER TRUSS PLY I/V TRUSS MANUF. & INSTALL BUILT UP COLUMN TO MATCH THE NUMBER OF GIRDER PLYS
- ALL EXT. COLUMNS TO BE PRESSURE TREATED LUMBER (P/T)

CONCRETE PIER SCHEDULE

MARK	DESCRIPTION	T/O PIER	
ST1	305mm (12") DIA SONOTUBE (OPT. 400X400X220mm (16'x16'x8') FTG.	+200 ABOVE FN. GRADE	○

NOTES:

- ALL PIERS SHALL BE CENTERED UNDER COLUMNS / POSTS. CONTRACTOR TO COORD. PAD LOCATIONS I/V DIMENSIONS LOCATING COLUMNS
- SQUARE OFF TOP OF SONOTUBES WHERE EXP'D / ABOVE GRADE TYP.

FLR. TYPE SCHEDULE		
TYPE	DESIGN	DESCRIPTION
FI		INTERIOR FLR. TREX FIN., TREX RAIN ESCAPE WATERPROOFING SYSTEM, 30x235mm (2'x10') FLR. JST. @ 16" O/C MAX. (BRIDGING AS REQ'D BY OBC - COORD. I/V OWNER IF BRIDGING IS WANTED IN LIEU OF BRIDGING)

TYPICAL NOTES:

- WD. FRAMING MEMBERS ARE NO.1 OR NO.2 SPF MIN. TYP.
- EXT. WD. FRAMING MEMBERS ARE TO BE P/T TYP.
- STRAPPING & BRIDGING TO BE INSTALLED N ALL FLR. JOISTS WHERE REQ'D & AS NOTED, OBC SECTION 4.23.9.4

No.	DATE	ISSUANCE
15	2023.07.13	BLDG. PERMIT - REAR DECK
13	2020.08.12	SH#2 - REAR DECK
9	2019.03.10	BLDG. PERMIT REVISIONS
No.	DATE	ISSUANCE



G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 4W3
(519) 426-6270



Project Title
KOLOMAYA RESIDENCE

130 BROWN STREET
PORT DOVER, ON N0A 1N7

Drawing Title
REAR DECK PLANS & ISOMETRICS

Designed by: JS	Drawn By: JS
Checked By:	Date Started: 2023.07.07
Drawing Scale: As indicated	Drawing No. AR1
Project No. 17-053	

FOOTING, FOUNDATION & SOG LEGEND

- S#
- SONO TUBE FDTN. TAG & IDENTIFICATION (COORD. I/V CONC. PIER SCH.)
- GENERAL NOTES:
- COORD. I/V WALL SECTION FOR DEPTHS OF FOOTINGS
 - REFERENCE - FINISHED FLOOR ELEVATION OF LEVEL 1 IS 0000

VERIFY W/ OWNER FOR STRUCT. FASCIA COVER BD'S, ENSURE DECKING IS OVERHANGING 25mm IF COVER BD'S ARE INSTALLED TYP.

INSTALL GALV. JOIST HANGERS ON EACH FLR. JOIST TO THE DOUBLE HEADER / BEAM (SIMPSON STRONG TIE MODEL LU26L, HEADER 6-10D, JOIST 6-10D x 38mm (1.5"))

2-PLY HEADER BD. (2-PLY BEAM) W/ ONE PLY NOTCHED INTO KD. POSTS FOR BEARING SUPPORT. LAG BOLT THIS PLY TO THE POSTS (COORD. W/ BEAM SCH. FOR PLY NUMBER, ONE PLY TO BE EXP. 2 FAST POST TYP.) (ADDITIONAL PLY'S TO BE NOTCHED OUT OF POST TYP.)

A/F/F LEVEL 1 = 0000



IMAGE

SIMPSON STRONG TIE CPTZ CONGEALED POST TIE KNOTCH KD. POST W/ FEMALE RECEIVER FOR STEEL PLATE, DRILL THROUGH POST HOLE FOR BOLT ANCHOR. INSTALL BOLT, NUT & WASHER. FILL REMAINING RECESSED HOLES W/ KD. PLUG TO MATCH POST TYP.

FINISHED GRADE, INSTALL 200mm MIN. TOPSOIL @ ALL NON-HARD SURFACE AREAS, SLOPE 2% MIN. AWAY FROM BLDG. PER'S TYP.

COMPACTED GRANULAR B' FILL @ ALL HARD SURFACE AREAS & CLEAN (NO DEBRIS) NATIVE EXCAVATED SOIL @ ALL SOFT / LANDSCAPE SURFACE AREAS TYP.

P/1/P CONC. PIER (W/ FTG.) / SONOTUBE (W/O FTG.)

P/1/P REIN. CONC. FTG.

UNDISTURBED SOIL BELOW OR ENG'D FILL (COORD. W/ SOILS REPORT) (COORD. W/ STRUCT. DNG'S)

OPTION 1

1 SONOTUBE TO DECK SECTION DETAIL A
AR2 1 : 8

TREX RAINSCAPE SYSTEM W/ CONT. PRE-FIN. PTD. ALUM. EAVETROUGH / GUTTER

CANT. OVER RETAINING WALL

1-PLY BEAM ON BOTH SIDES OF POST (2-PLY). INSTALL X2 GALV. LAG BOLTS PER COLUMN / POST ON EACH BEAM TYP.

VERIFY W/ OWNER FOR FASCIA COVER BD'S, ENSURE DECKING IS OVERHANGING 25mm IF COVER BD'S ARE INSTALLED TYP.

HEADER BD. AROUND DECK PER'S TYP.



IMAGE

SIMPSON STRONG TIE CPTZ CONGEALED POST TIE KNOTCH KD. POST W/ FEMALE RECEIVER FOR STEEL PLATE, DRILL THROUGH POST HOLE FOR BOLT ANCHOR. INSTALL BOLT, NUT & WASHER. FILL REMAINING RECESSED HOLES W/ KD. PLUG TO MATCH POST TYP.

FINISHED GRADE, INSTALL 200mm MIN. TOPSOIL @ ALL NON-HARD SURFACE AREAS, SLOPE 2% MIN. AWAY FROM BLDG. PER'S TYP.

COMPACTED GRANULAR B' FILL @ ALL HARD SURFACE AREAS & CLEAN (NO DEBRIS) NATIVE EXCAVATED SOIL @ ALL SOFT / LANDSCAPE SURFACE AREAS TYP.

P/1/P CONC. PIER (W/ FTG.) / SONOTUBE (W/O FTG.)

P/1/P REIN. CONC. FTG.

UNDISTURBED SOIL BELOW OR ENG'D FILL (COORD. W/ SOILS REPORT) (COORD. W/ STRUCT. DNG'S)

OPTION 2
(ALSO CANT. OVER RETAINING WALL)

NOTE: ALT. FRAMING SYSTEM TO BEAMS IS SECTION DETAIL A, THEREFORE BEAMS ARE NOT BELOW THE FLR. JST'S BUT ON THE SAME PLANE TYP. - COORD. W/ OWNER FOR STYLE

2 SONOTUBE TO DECK SECTION DETAIL B
AR2 1 : 8

ENSURE DECK BD'S ARE STOPPED SHORT OF WALL SYSTEM BY 6mm (1/4") TYP.

DECK FLR. SYSTEM (COORD. W/ FLR. TYPES)

A/F/F LEVEL 1 = 0000

FLR. JST. NOT TO BE ANCHORED / FASTENED TO EX. WALL SYSTEM BUT TO BEAR ON / TO STRUCT. BEAM BOTH ENDS. BEAM CAN REST UP AGAINST EX. BRICK MASONRY ONLY TYP.

4 DECK TO HOUSE SECTION DETAIL
AR2 1 : 8

NOTE: OPEN STRINGER - CONTRACTOR TO CONFIRM W/ OWNER

NOTE: ALL MATERIAL TO BE P/T LUMBER FOR EXT. USE

38x286mm (2"x12") STAIR STRINGERS, CUT TO RECEIVE TREADS & RISERS (SPACED 900mm o/c MAX. FOR STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT, & 600mm o/c MAX. IN OTHER STAIRS)

38x286mm (2"x12") KD. STAIR TREAD / RUN, EXTEND 25mm (1") FAST STRINGER FOR NOSING TYP.

VERIFY W/ OWNER FOR FASCIA COVER BD'S, INSTALL RISER BACKER AS REQ'D

NOTE: CLOSED STRINGER - CONTRACTOR TO CONFIRM W/ OWNER

NOTE: ALL MATERIAL TO BE P/T LUMBER FOR EXT. USE

38x286mm (2"x12") STAIR STRINGERS, CUT TO RECEIVE TREADS & RISERS (SPACED 900mm o/c MAX. FOR STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT, & 600mm o/c MAX. IN OTHER STAIRS)

38x286mm (2"x12") KD. STAIR TREAD / RUN, EXTEND 25mm (1") FAST STRINGER FOR NOSING TYP.

VERIFY W/ OWNER FOR FASCIA COVER BD'S, INSTALL RISER BACKER AS REQ'D

OPTION 2

3 TREAD SECTION DETAILS
AR2 1 : 5

No.	DATE	ISSUANCE
15	2023.07.13	BLDG. PERMIT - REAR DECK
13	2020.08.12	5#2 - REAR DECK
No.	DATE	ISSUANCE



G. DOUGLAS VALLEE LIMITED

2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 4W3
(519) 426-6270



Project Title
KOLOMAYA RESIDENCE

130 BROWN STREET
PORT DOVER, ON N0A 1N7

Drawing Title
SECTION DETAILS

Designed by:
JS

Drawn By:
JS

Checked By:
2023.07.07


Date Started:

Drawing Scale:
As indicated

Drawing No.
AR2

Project No.
17-053

DATE PLOTTED 2023-08-10 10:17:02 AM FILE PATH: H:\Projects\2017\17-053 Kolomaya Custom Lake View Home\Drawings\Architectural\WD-Current\17-053 - KOLOMAYA.rvt

OBC DATA MATRIX PART 9 & 11				
Firm Name : <u>G. DOUGLAS VALLEE LIMITED</u>		<div>STAMP (s)</div> <div></div>		
Certificate of Practice No : <u>1338</u>				
Certificate of Authorization (PEO) <u>11059088</u>				
Address : <u>2 TALBOT STREET NORTH SIMCOE, ONTARIO N3Y 3W4</u>				
Contact Information : <u>TEL. 1 (519) 426-6270</u>				
Individual who reviews and accepts responsibility for Design Activities : <u>MELISSA STICKL, OAA, MRAIC</u>				
Name of Project : <u>KOLOMAYA RESIDENCE</u>		<div>ARCHITECTURAL</div> <div>STRUCTURAL</div>		
Location of Project : <u>130 BROWN STREET PORT DOVER, ON N0A 1N7</u>				
Building Code Version:	<u>O. Reg. 332/12</u>	Last Amendment	<u>O. Reg. 563/17</u>	OBC Section Reference
Project Type:	<input checked="" type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use			DIV. A - 1.1.2
	Description: _____			
Major Occupancy Classification:	Occupancy <u>C</u>	Use <u>RESIDENTIAL</u>	DIV. B - 9.10.2.	
Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____ a building in which one major occupancy is located entirely above another major occupancy			DIV. B - 9.10.2.3.
Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation 11.3.3.1. Basic Renovation (1) Except as provided in Sentence (2) and Article 11.3.3.2., construction may be carried out to maintain the existing performance level of all or part of an existing building, by the reuse, relocation or extension of the same or similar materials or components, to retain the existing character, structural uniqueness, heritage value, or aesthetic appearance of all or part of the building, if the construction will not adversely affect the early warning and evacuation systems, fire separations or the structural adequacy or will not create an unhealthy environment in the building. <u>Scope of work here:</u> BUILD DECK OFF BACK SIDE OF EX. RESIDENTIAL HOUSE			DIV. B - 11.3.3.1 DIV. B - 11.3.3.2

KOLOMAYA RESIDENCE

130 BROWN STREET
PORT DOVER, ON N0A 1N7



vallee
Consulting Engineers,
Architects & Planners

G. DOUGLAS VALLEE LTD.
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

Drawing Title
OBC MATRIX

Checked by:
MS

Drawn By:
JS

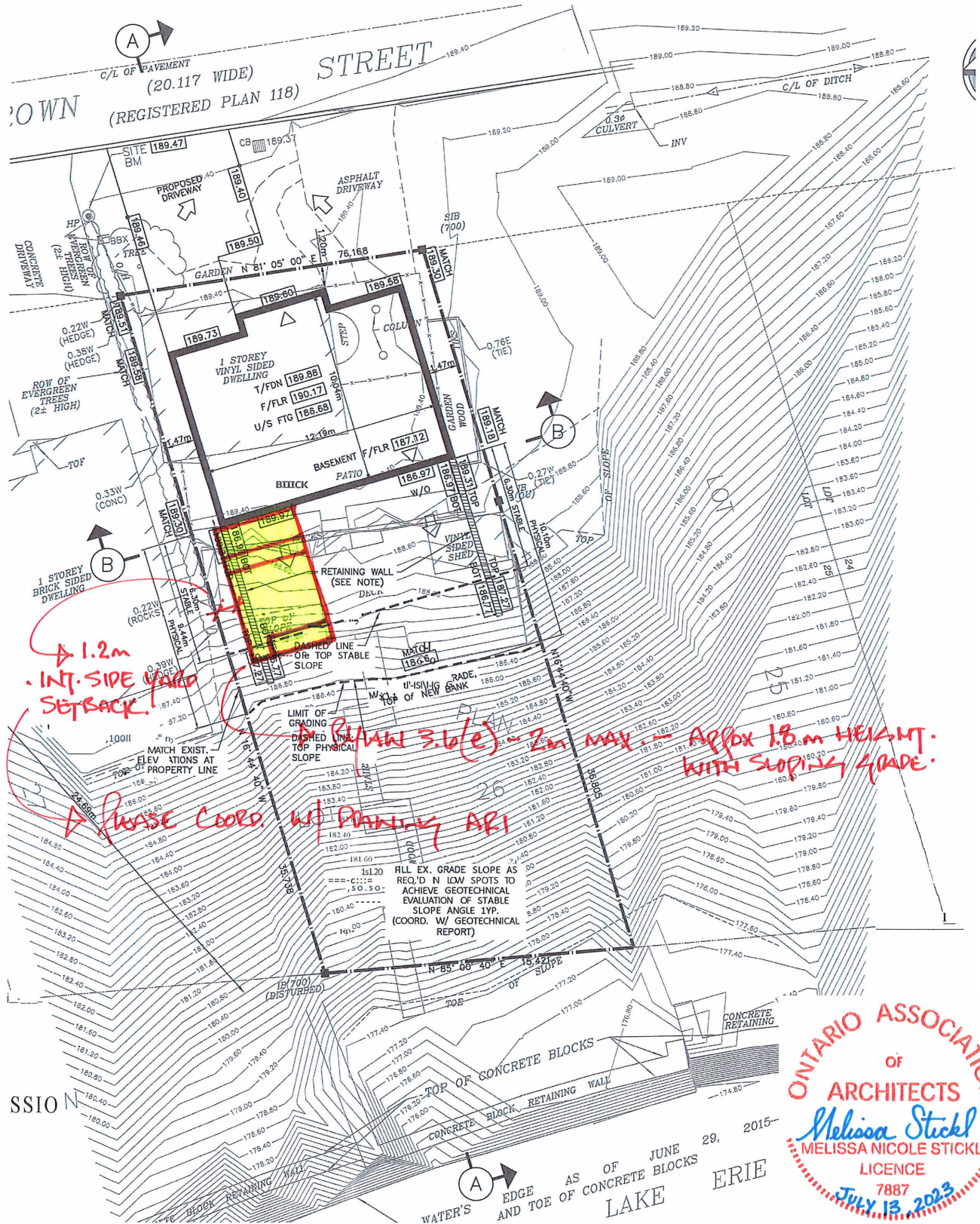
Date:
2023.07.13

Project No.

17-053

Drawing No.

AR3



KOLOMAYA RESIDENCE

130 BROWN STREET
PORT DOVER, ON N0A 1N7



vallee
Consulting Engineers,
Architects & Planners

G. DOUGLAS VALLEE LTD.
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

Drawing Title SITE PLAN

Checked by:

MS

Drawn By:

JS

Date:

2023.07.13

Project No.

17-053

Drawing No.

AR4

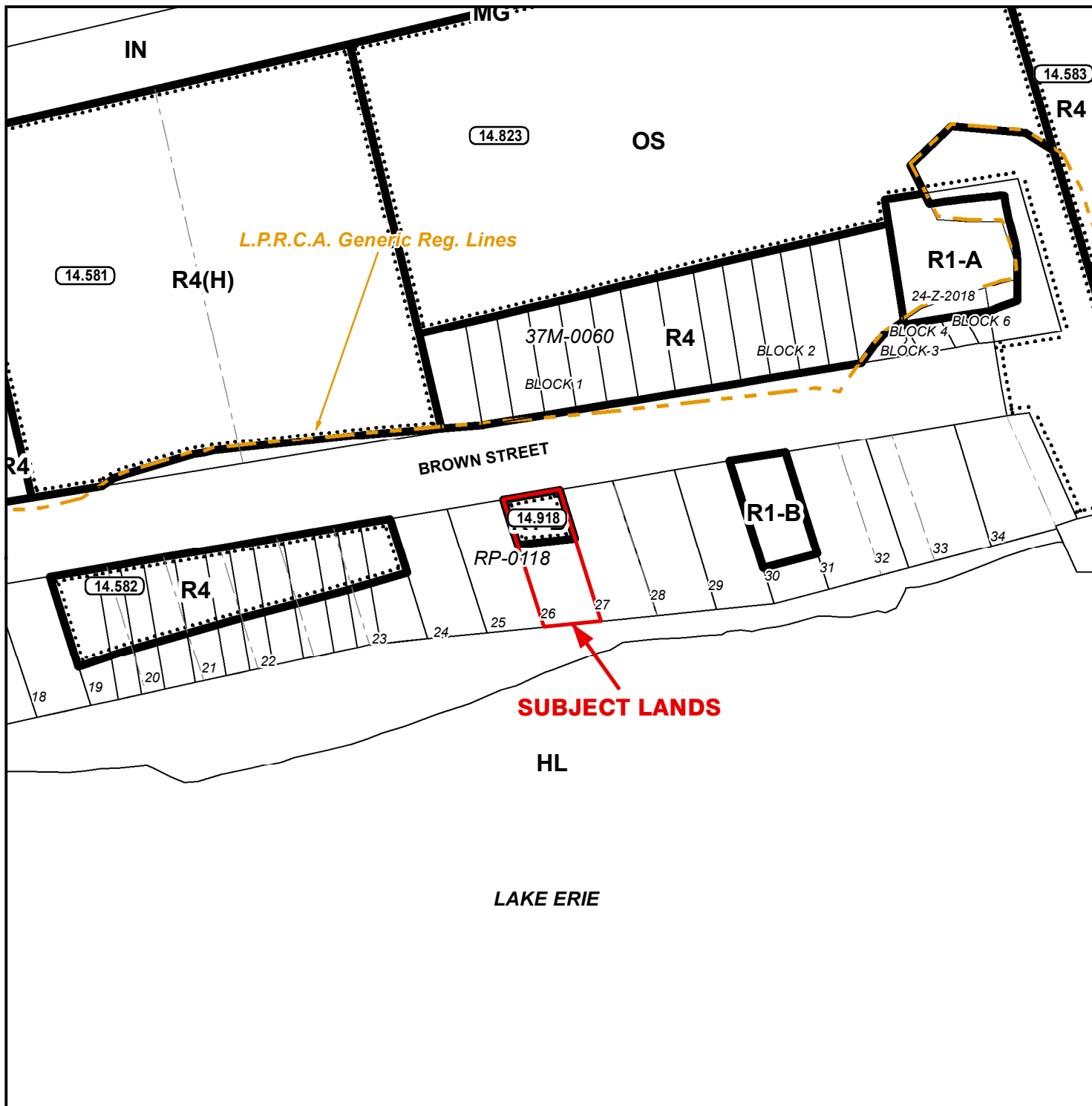


MAP B

ZONING BY-LAW MAP

Urban Area of PORT DOVER

ANPL2024098



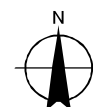
LEGEND

- Subject Lands
- LPRCA Generic RegLines

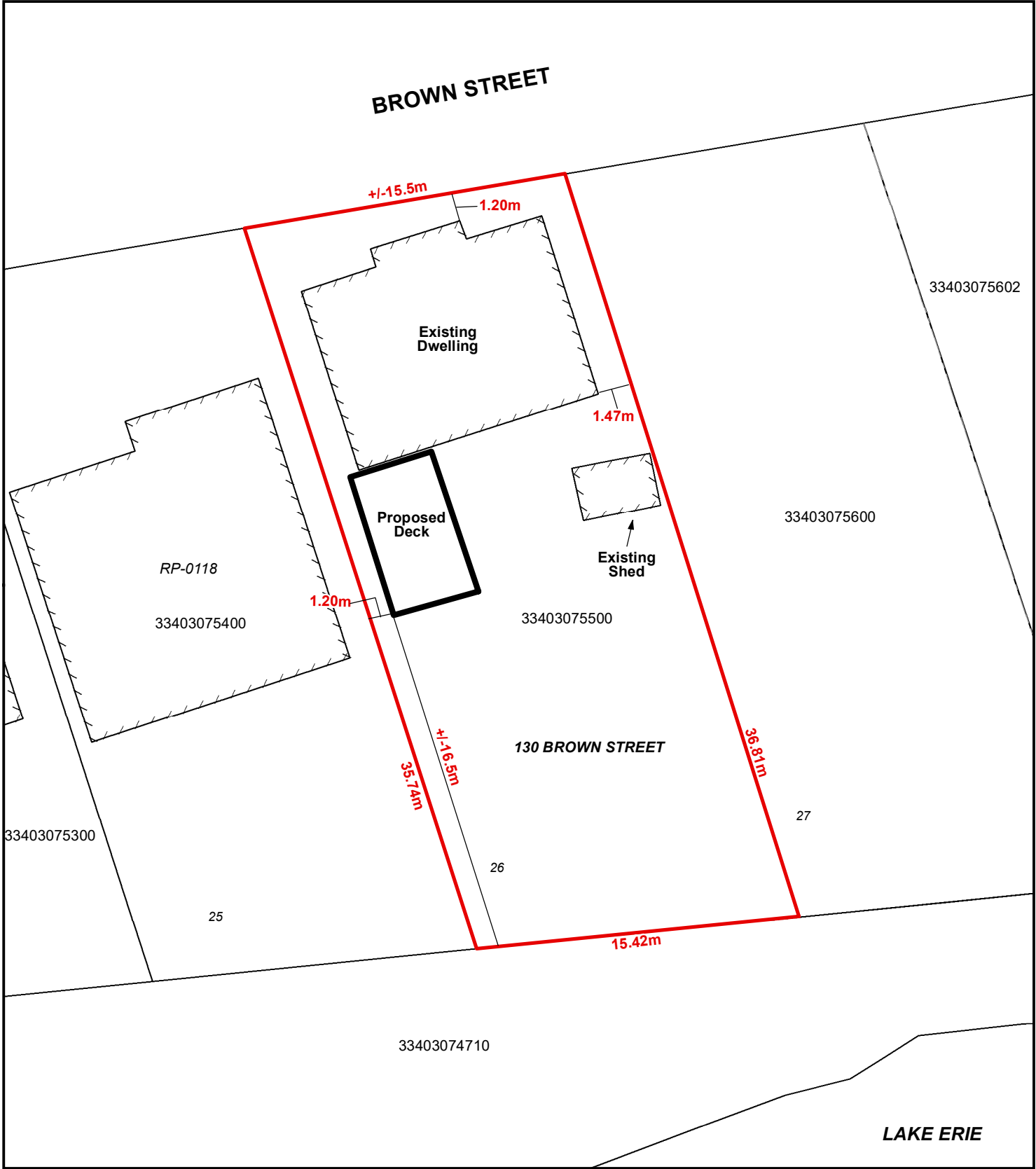
ZONING BY-LAW 1-Z-2014

4/23/2024

- (H) - Holding
- MG - General Industrial Zone
- HL - Hazard Land Zone
- IN - Neighbourhood Institutional Zone
- OS - Open Space Zone
- R1-A - Residential R1-A Zone
- R1-B - Residential R1-B Zone
- R4 - Residential R4 Zone

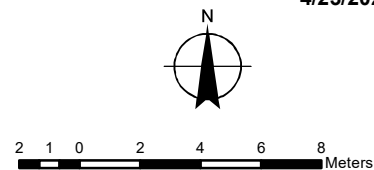


10 5 0 10 20 30 40 Meters



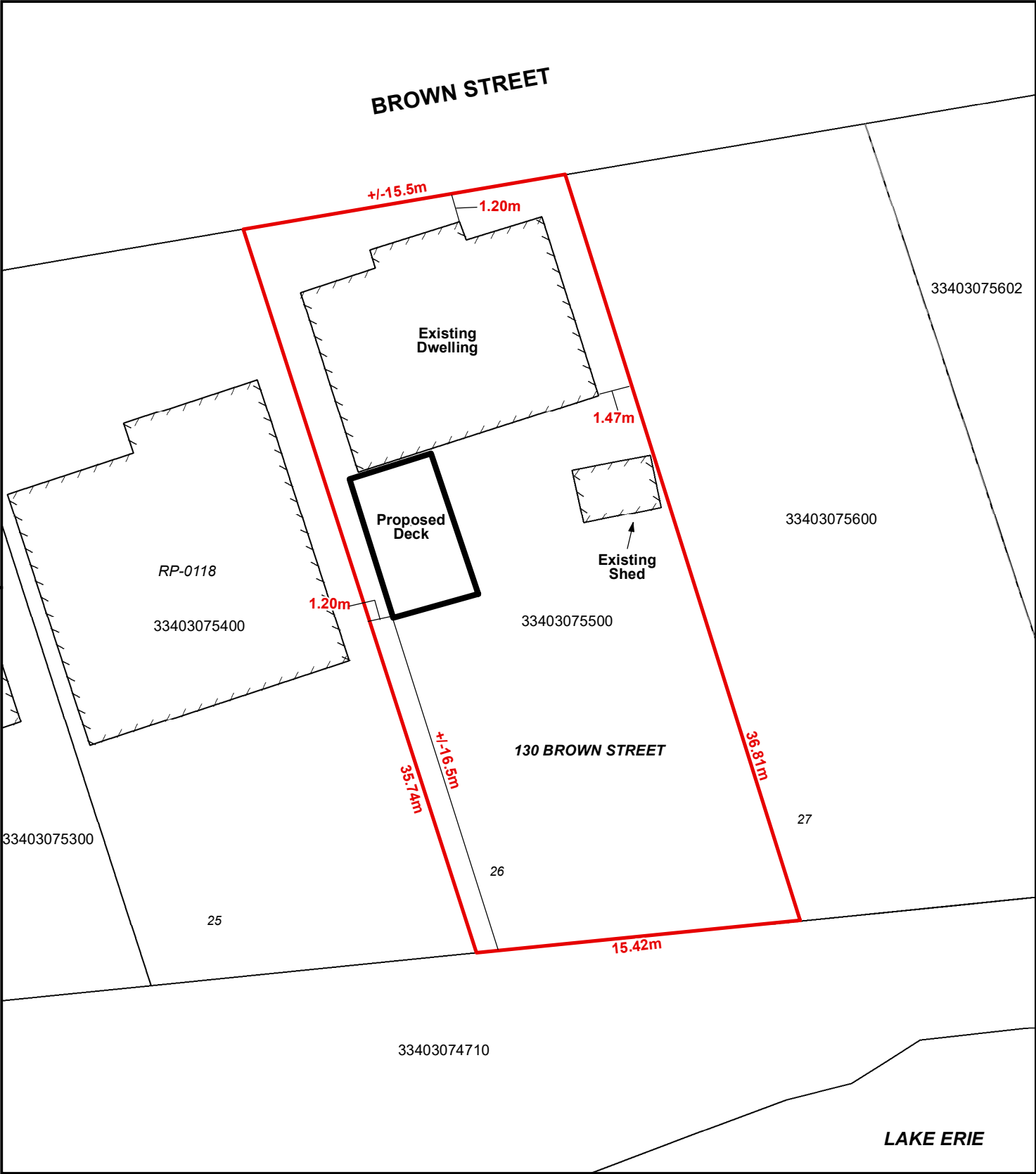
Legend

 Subject Lands




LOCATION OF LANDS AFFECTED
CONCEPTUAL PLAN
Urban Area of PORT DOVER

ANPL2024098



Legend

 Subject Lands

4/23/2024

