

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310-543-0602-1,0000

**A. Applicant Information**

**Name of Owner** 1899154 ONT LTD -

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 149 Main Street East

**Town and Postal Code** Hamilton Ont - L8A 1G4

**Phone Number** \_\_\_\_\_

**Cell Number** 519-429-4570

**Email** geoff@benefits-counsel.com

**Name of Applicant** FRANK CIARAMELLA

**Address** 16 WHITING DRIVE

**Town and Postal Code** PARIS, ON N3L 0H3

**Phone Number** 905-971-6676

**Cell Number** \_\_\_\_\_

**Email** frankciaramella.ccs@gmail.com

Name of Agent

FRANK CIARAMELLA

Address

16 WHITING DRIVE

Town and Postal Code

PARIS, ON N3L 0H3

Phone Number

Cell Number

905-971-6676

Email

frankciaramella.ccs@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PLAN #436, LOT 62, TOWNSHIP SOUTH WALTONHAM  
PIN #S0114-0232(LT)

Municipal Civic Address: 105 WOODSTOCK AVE, LONG POINT, ON

Present Official Plan Designation(s): R.R. RESORT RESIDENTIAL

Present Zoning: R.R. RESORT RESIDENTIAL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

SUMMER HOME

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SUMMER HOME TO BE REMOVED  
DECK TO BE REMOVED

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SEE SITE PLAN

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	20.118 m			20.118 m	
Lot depth	64.837 m			64.837 m	
Lot width	20.175 m			20.175 m	
Lot area	1302.65 sqm	4000 sqm		1302.65 sqm	2697.4 sqm
<del>Cottage</del> Lot coverage	<del>11.11%</del> 9%	15%		15.9%	.9% <del>Cottage</del>
Front yard	36.06 m	15 m		29.27 m	
Rear yard	19.08 m	9 m		19.39 m	
Height	4 m	9.1 m		10 m	.9 m
Left Interior side yard	0.42 m	1.2 m		3.0 m	
Right Interior side yard	4.77 m	1.2 m		2.5 m	
Exterior side yard (corner lot)	/				
Parking Spaces (number)	6			6	
Aisle width					
Stall size	/				
Loading Spaces					
Other <del>Garage</del>	Ø	10%		4%	



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

HEIGHT RESTRICTIONS + LOT COVERAGE PERCENTAGE

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

N/A

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

N/A

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

N/A

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water  
☐ Individual wells

- ☐ Communal wells  
☒ Other (describe below)

LAKE WATER

### Sewage Treatment

- ☐ Municipal sewers  
☒ Septic tank and tile bed in good working order
- ☐ Communal system  
☐ Other (describe below)

### Storm Drainage

- ☐ Storm sewers  
☐ Other (describe below)
- ☒ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road  
☐ Unopened road
- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street:

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

#### **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

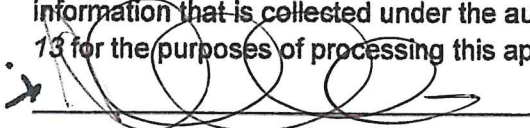
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
Owner/Applicant/Agent Signature

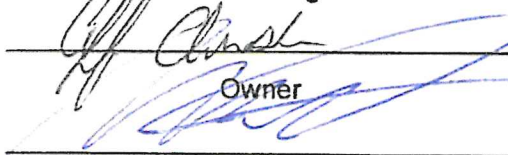
03/27/24  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Geoff & Jill Anderson am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Frank Ciaramello to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
Owner

03/21/24  
Date  
03/21/24  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



**K. Declaration**

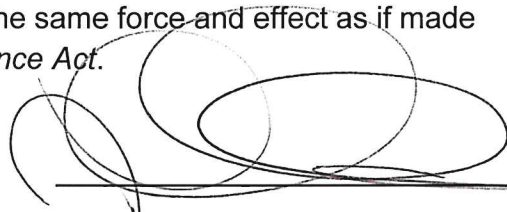
I, Frank Caramella of Paris

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

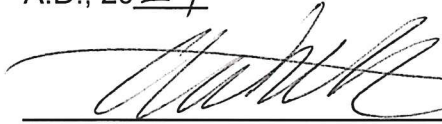
Simcoe

  
Owner/Applicant/Agent Signature

In Norfolk County

This 27<sup>th</sup> day of March

A.D., 2024

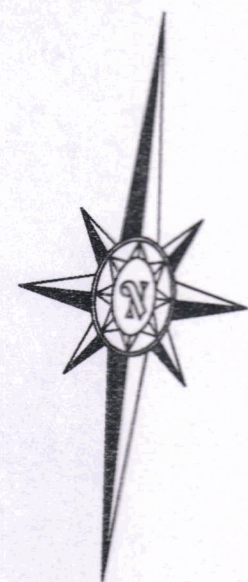


John Andrew Wallace, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires January 16, 2027.

A Commissioner, etc.







SKETCH PREPARED FOR BUILDING  
PERMIT APPLICATION  
FOR: FRANK CIARAMELLA  
105 WOODSTOCK AVENUE  
LONG POINT

PIN 50114-0232 (LT)

SCALE: 1 : 200

2 0 8 METRES

JEWITT AND DIXON LTD.

SITE B.M.

NAIL SET IN SOUTH  
FACE OF WOOD HYDRO  
POLE  
ELEV. 178.10

ZONING

AREA OF SUBJECT LANDS = 1302.6 sq.m

AREA OF EXISTING DWELLING = 117.8 sq.m  
EXISTING LOT COVERAGE = 9.0%

AREA OF PROPOSED GARAGE = 51.6 sq.m  
AREA OF PROPOSED DWELLING = 117.4 sq.m  
AREA OF PROPOSED COVERED PORCH = 90.2 sq.m

PROPOSED LOT COVERAGE = 19.9%

UNDERSIDE OF FOOTING

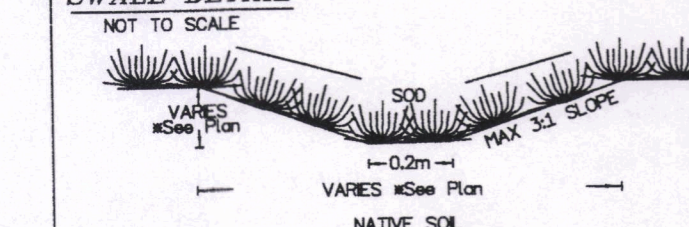
UNDERSIDE OF FOOTING FOR PROPOSED DWELLING  
BASED ON A 7 FT WALL AND 6 INCH FOOTING  
INTERIOR TO BE FILLED TO 5 FT 11 INCH

UNDERSIDE OF FOOTING FOR PROPOSED GARAGE  
BASED ON A 4.5 FT WALL AND 6 INCH FOOTING

NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN [176.41] AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - SITE BENCHMARK HAVING A GEODETIC ELEVATION OF 1 meters
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK 4th DAY OF AUGUST, 2022

SWALE DETAIL



LEGEND

LOTLINE  
BENCH MARK  
TOP OF FOUNDATION  
ELEVATION  
OVERHEAD HYDRO LINE  
HYDRO METER  
HYDRO POLE

SHOWN  
SHOWN BM  
SHOWN TOF  
SHOWN H  
SHOWN HM  
SHOWN HP

PROPERTY DESCRIPTION  
LOT 62-REGISTERED PLAN 436  
TOWNSHIP OF SOUTH WALSHINGHAM  
(LONG POINT)  
COUNTY OF NORFOLK

CAUTION:

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY PROHIBITED.

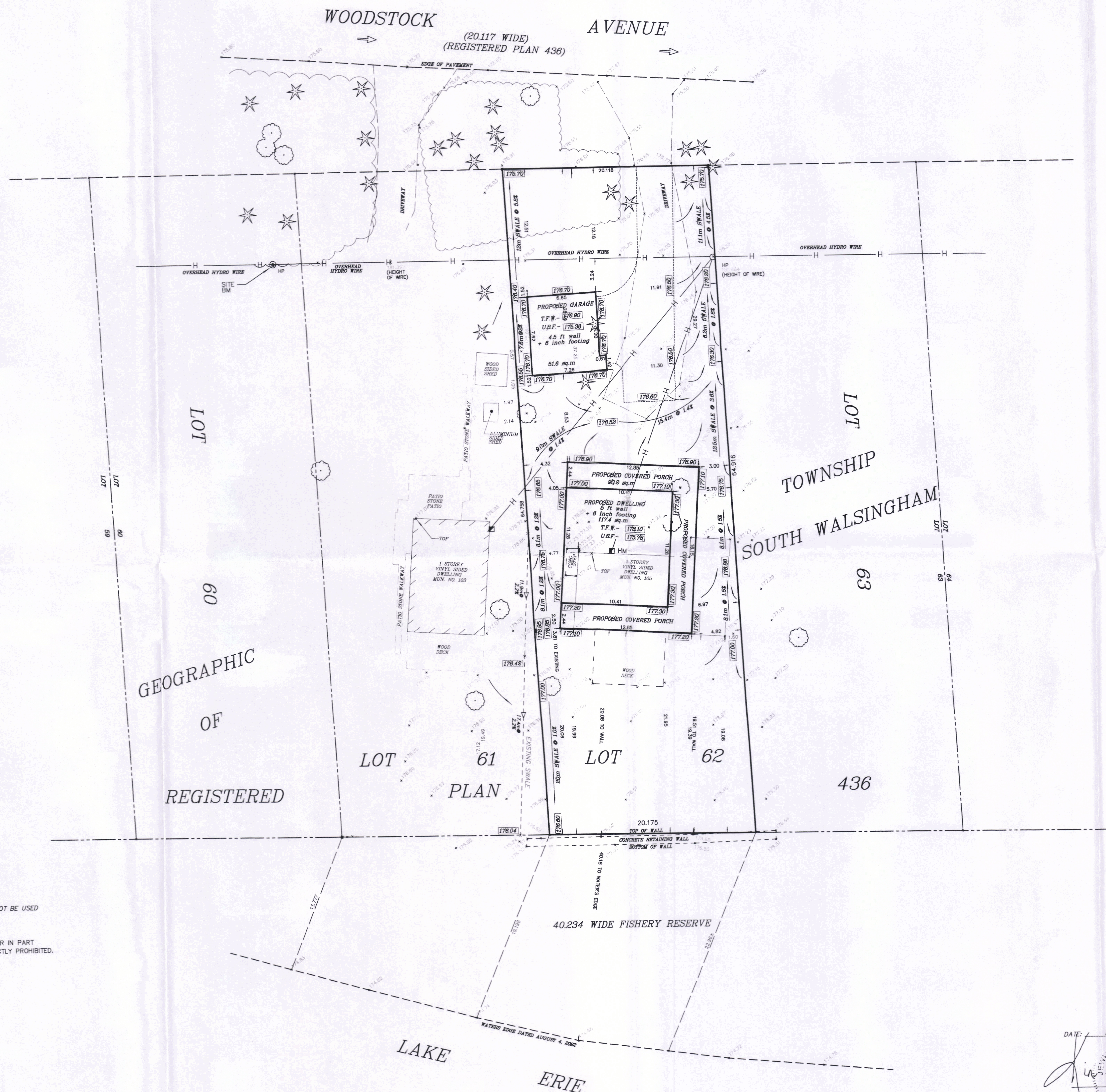
ELEVATIONS SHOWN HEREON ARE IN METRES  
AND ARE BASED ON A GEODETIC DATUM.

METRIC NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON PHYSICAL LOCATES PROVIDED BY THE RESPECTIVE UTILITY COMPANIES.  
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION LOCATE IS BOTH RECOMMENDED AND ADVISED.



DATE: MARCH 2, 2024

K. HUSTED, O.L.S.  
ONLINE CORPORATION  
THIS COPY IS NOT VALID UNLESS  
CROSSED WITH THE SURVEYOR'S SEAL

JEWITT AND DIXON LTD.  
ONTARIO LAND SURVEYORS  
650 IRELAND ROAD, SIMCOE, ONTARIO  
N3Y 4K2

PHONE: (519) 426-0842  
E-mail: info@jewittdixon.com

F.W. - C.M.  
BOOK - LL  
CALC. - W.J.S.  
PLAN - W.J.S.  
CHECK - K.S.H.  
CLIENT - CIARAMELLA  
JOB No. - 22-3522  
22-3522-GP3



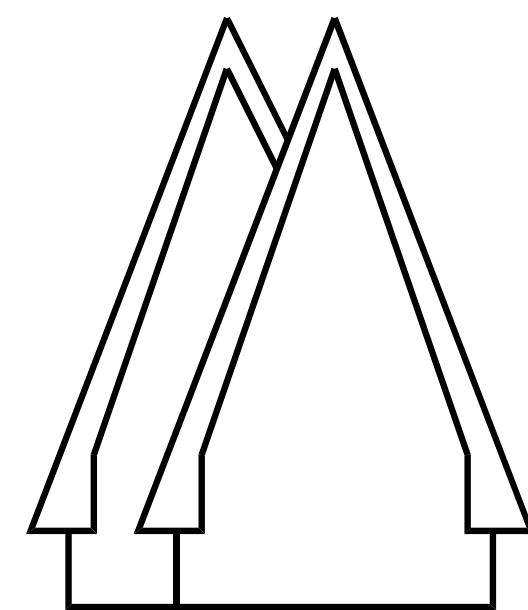




PROPOSED RESIDENCE  
105 WOODSTOCK AVENUE  
LONG POINT, ONTARIO  
TOWNSHIP OF SOUTH WALSHINGHAM

LIST OF DRAWINGS:

- A0.01 – COVER SHEET
- A1.01 – BASEMENT FLOOR PLAN
- A1.02 – GROUND FLOOR PLAN
- A1.03 – UPPER FLOOR PLAN
- A4.01 – SECTION THROUGH/DETAILS
- A2.01 – FRONT & REAR ELEVATIONS
- A2.02 – SIDE ELEVATIONS



established  
1983

SAGITTARIUS

design & drafting

99 HANOVER PLACE

HAMILTON, ONTARIO

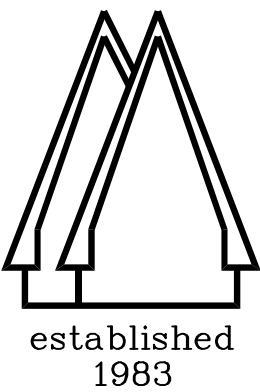
L8K – 5X7

Phone: (905) 973-9839

e-mail: sagit1129@rogers.com

FOR CANADIAN GEODETIC DATUM AND SITE BENCH MARK REFER  
TO SITE GRADING PLAN BY "JEWITT and DIXON Ltd."

SEPTEMBER 26, 2023 – REVISED—"LPRCA" COMMENTS  
JUNE 7, 2023 – REVISED—HOT TUB ADDED  
APRIL 27, 2023 – REVISED AS REQUESTED BY THE OWNER  
MARCH 30, 2023 – REVISED AS REQUESTED BY THE OWNER  
JANUARY 24, 2023



**SAGITTARIUS**  
design & drafting  
99 HANOVER PLACE  
HAMILTON, ONTARIO  
L8K - 5X7  
Phone: (905) 973-9839  
e-mail: sagit1129@rogers.com

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
- INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP/G AND SELF CLOSER.
- HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
- MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
- RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
- FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
- ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
- SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
- STEEL : G40.21-M 300W;  $\phi=0.90$   
STEEL BEAM WITH WELDED PLATE  $\neq 6"x1/2"$  & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
- THERMAL DESIGN & INSULATION AS PER SECTIONS SB-12, TABLE 3.1.12A(P) - PACKAGE A1
- STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.  
ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
- ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
- ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
- THERMAL RESISTANCE OF WINDOWS AND DOORS AS PER SB-12, TABLE 3.1.12A(P) - PACKAGE A1

NOTE: PROVIDE MIN. 4'-0" FROST PROTECTION  
STEP FOOTING AS PER SEC. 9.15.3.9  
AND AS PER "LOT GRADING PLAN"  
STEP TOP OF EXTERIOR FOUNDATION WALLS AS PER "LOT GRADING PLAN"  
ALL FOOTINGS TO BEAR ON NATIVE SOIL.  
SOIL BEARING CAPACITY TO BE DETERMINED BY: GEOTECHNICAL ENGINEER  
ALL FOUNDING SURFACES SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO POURING CONCRETE  
ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AS PER DESIGN "BY OTHERS" AT 28 DAYS.  
75 MM MINIMUM CONCRETE COVER ON REINFORCING STEEL FOR FOUNDATIONS.

FOR CANADIAN GEODETIC DATUM AND SITE BENCH MARK REFER TO SITE GRADING PLAN BY "JEWITT and DIXON Ltd."

CT 12"x12"x2" CONCRETE TILE ON 8" OF GRAN. "A" COMPACTED TO 100% s.p.d.

HELICAL PILE - REFER TO SHOP DRAWINGS

WP6 6"x6" WOOD POST

WP8 8"x8" PRESSURE TREATED WOOD POST C/W CLADDING AS PER OWNER'S SELECTION

PROPOSED RESIDENCE  
105 WOODSTOCK AVENUE  
LONG POINT, ONTARIO  
TOWNSHIP OF SOUTH WALSHINGHAM

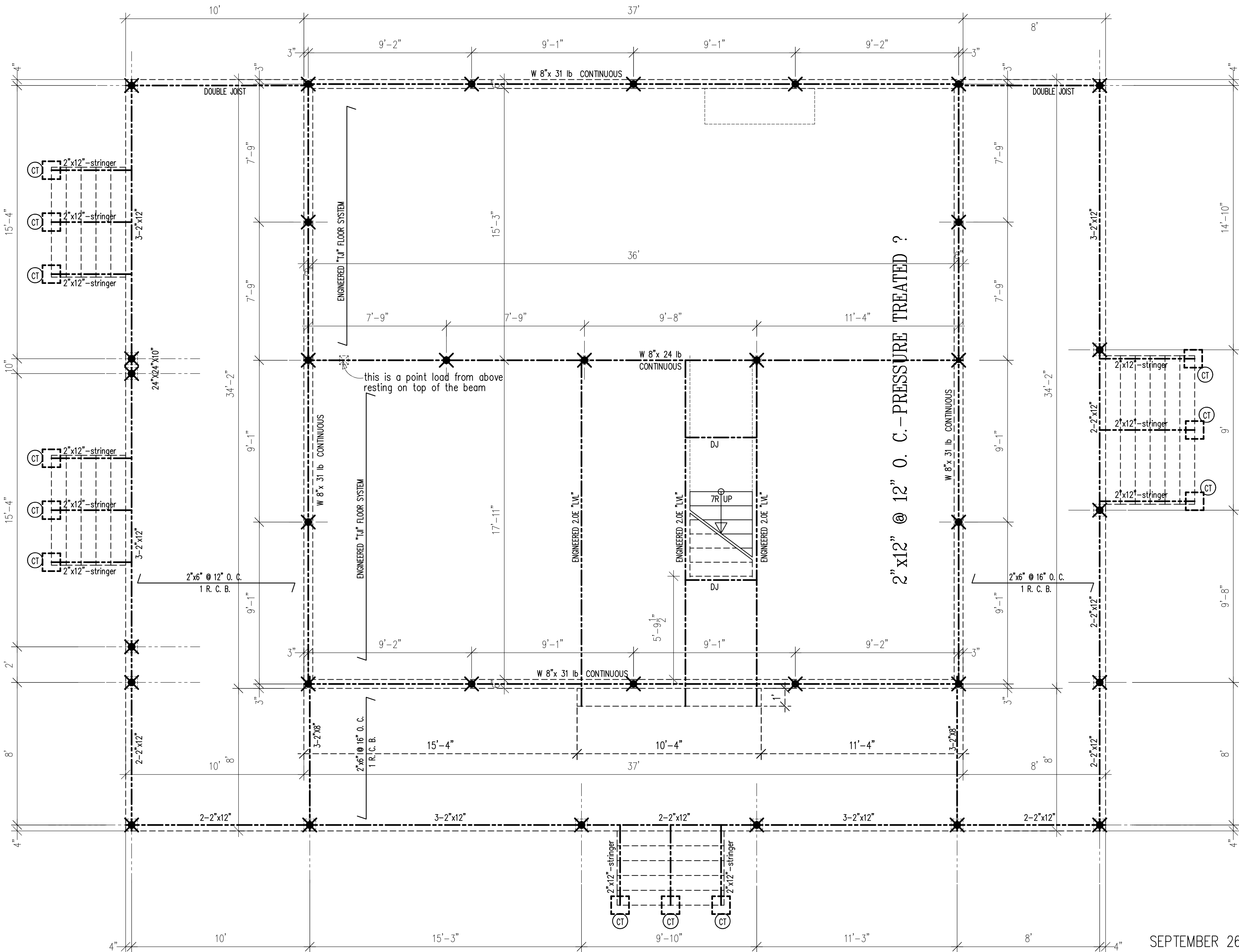
FOUNDATION PLAN

DATE:	JANUARY 24, 2023
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2302

DWG No.

A1.01

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SEPTEMBER 26, 2023 - REVISED-"LPRCA" COMMENTS  
JUNE 7, 2023 - REVISED-HOT TUB ADDED  
APRIL 27, 2023 - REVISED AS REQUESTED BY THE OWNER  
MARCH 30, 2023 - REVISED AS REQUESTED BY THE OWNER

REGISTRATION INFORMATION

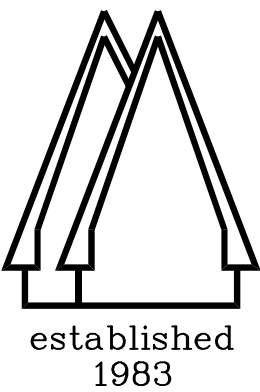
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MILOS TRKULJA  
SAGITTARIUS DESIGNS

BOIN: 24457  
BOIN: 30427

Signature:

*Milos Trkulja*



**SAGITTARIUS**  
design & drafting  
99 HANOVER PLACE  
HAMILTON, ONTARIO  
L8K - 5X7  
Phone: (905) 973-9839  
e-mail: sagit1129@rogers.com

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STP HSS 4"x4"x0.25" C/W 6"x6"x3/16" TOP & BOTTOM PLATE, C/W CLADDING AS PER OWNER'S SELECTION

PROPOSED RESIDENCE  
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LONG POINT, ONTARIO  
TOWNSHIP OF SOUTH WALSHINGHAM

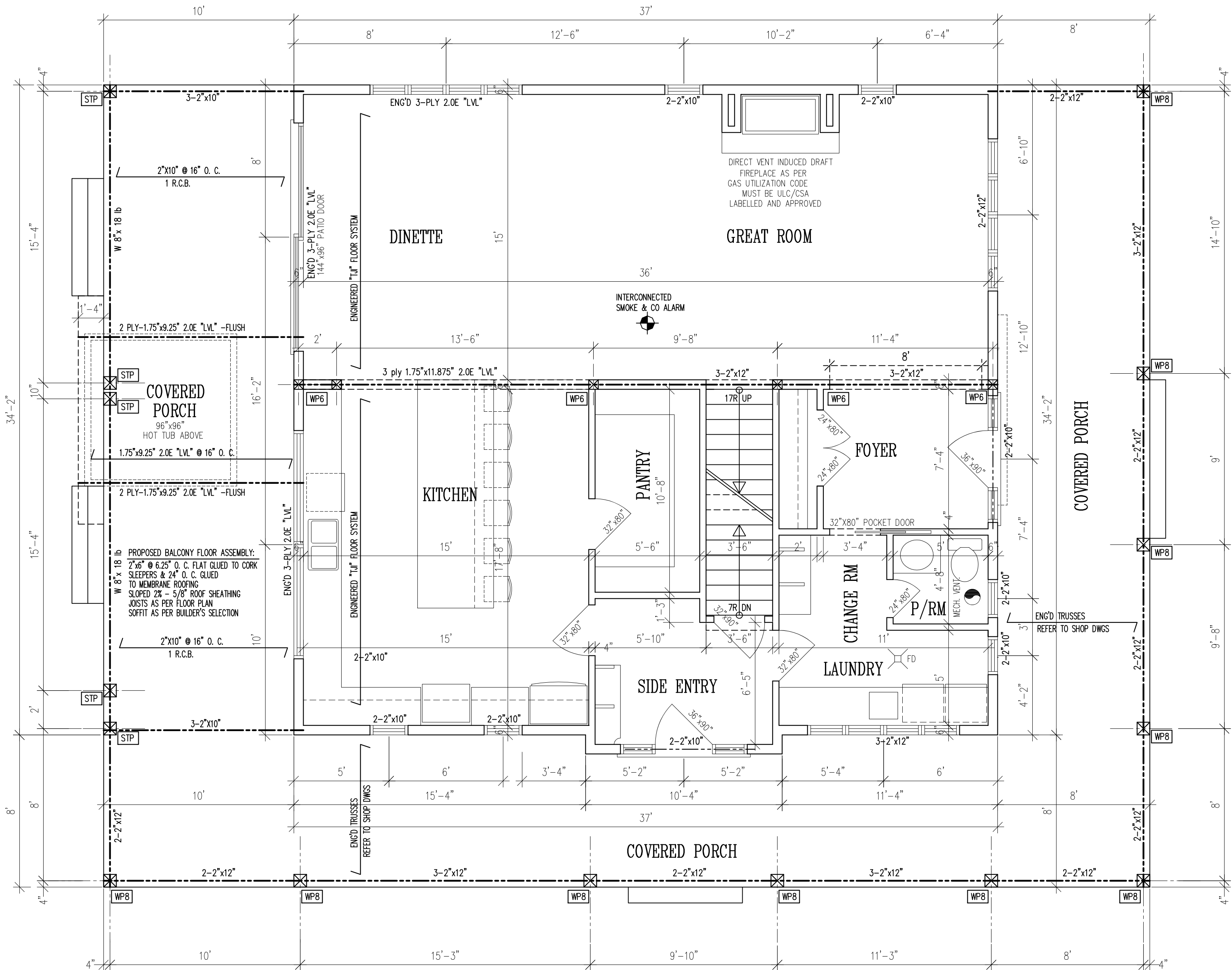
GROUND FLOOR PLAN  
1374.92 sq.ft.

DATE:	JANUARY 24, 2023
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2302

DWG No.

A1.02

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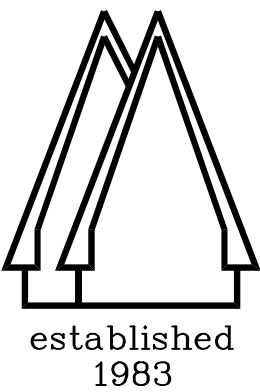
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Signature:





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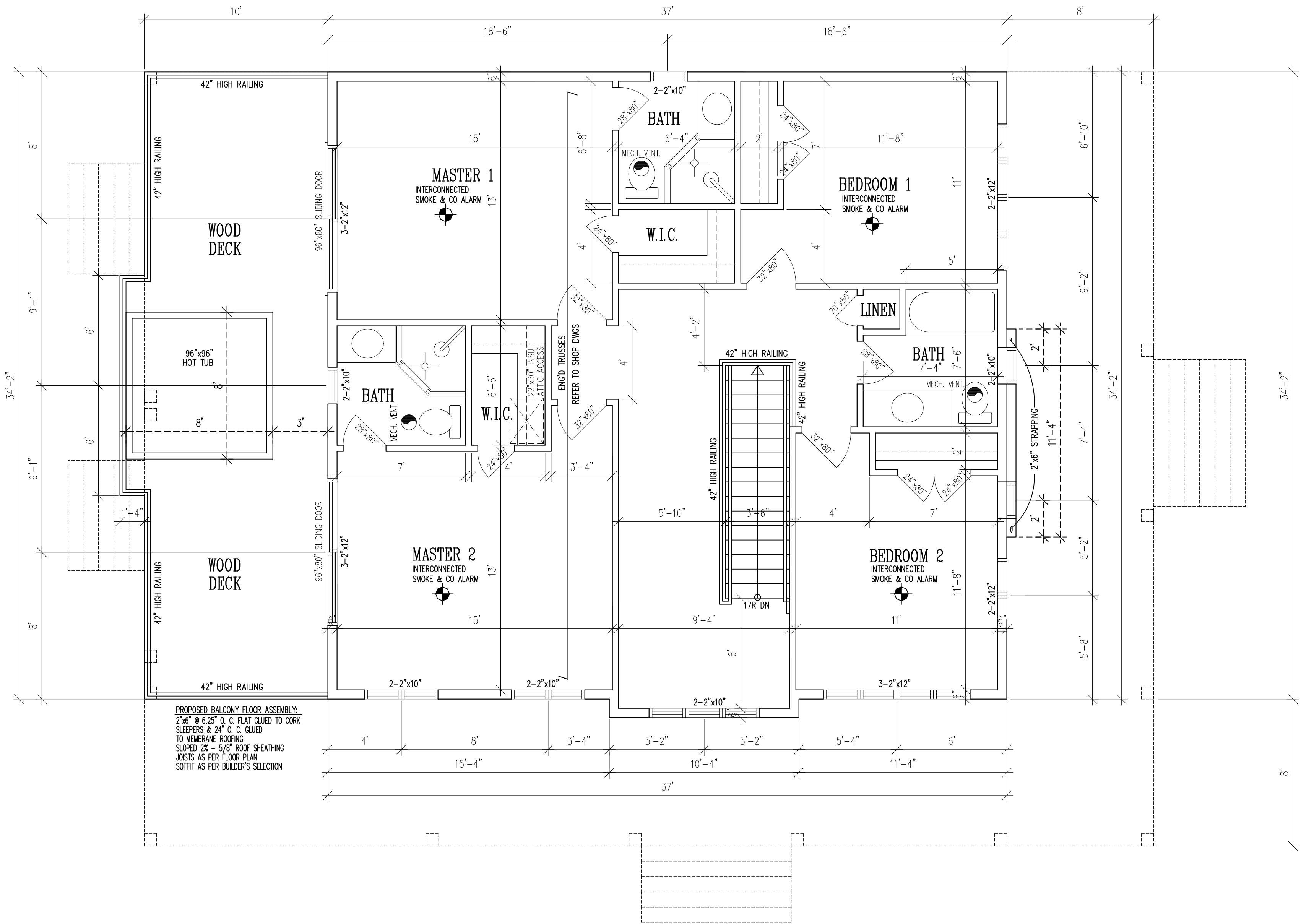
UPPER FLOOR PLAN  
1374.92 sq. ft.

DATE:	JANUARY 24, 2023
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2302

DWG No.

A1.03

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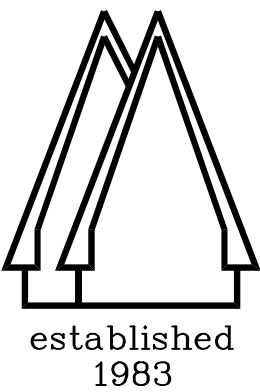
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MILOS TRKULJA  
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BOIN: 24457  
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Signature:



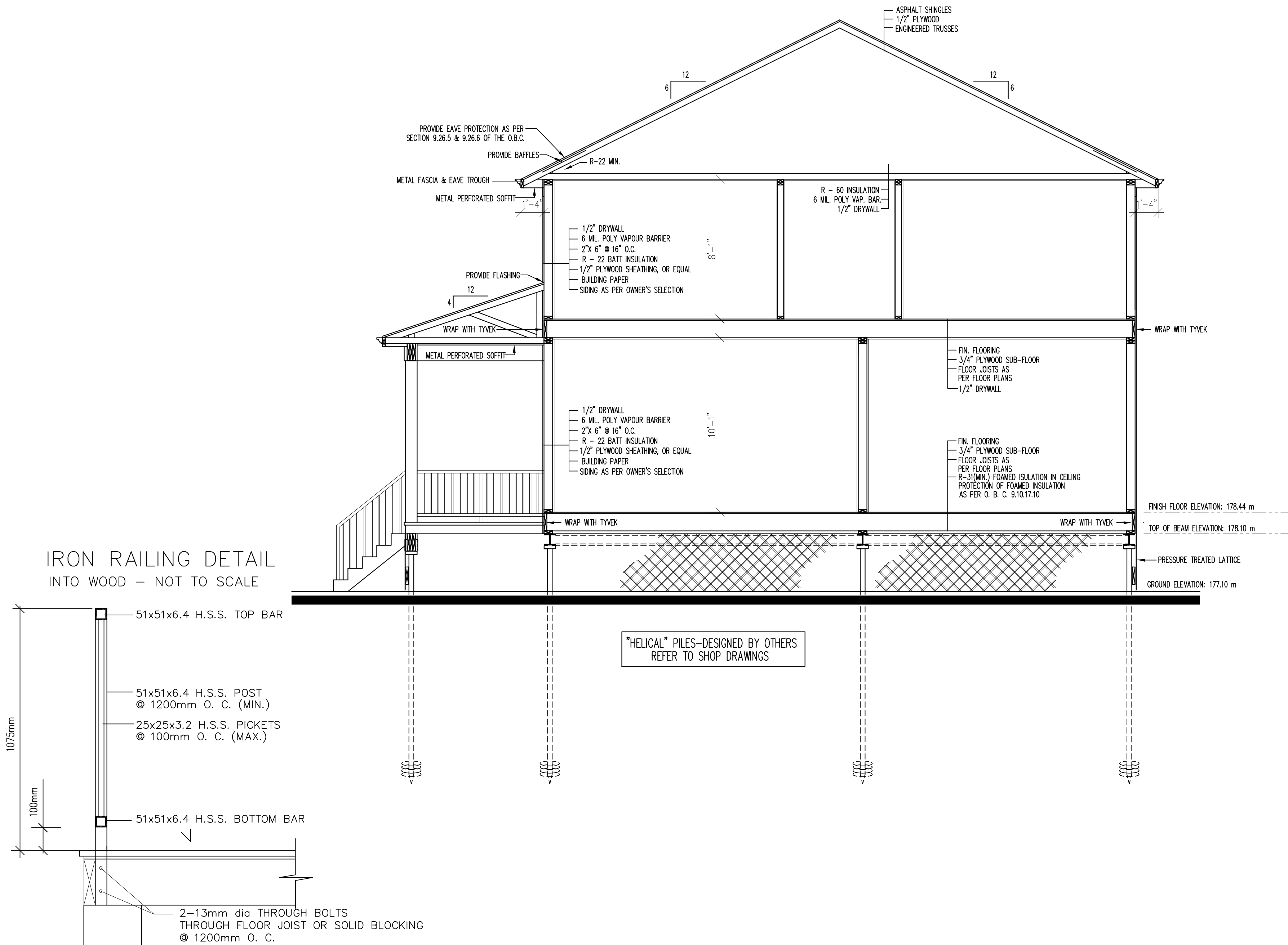


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PROPOSED RESIDENCE  
105 WOODSTOCK AVENUE  
LONG POINT, ONTARIO  
TOWNSHIP OF SOUTH WALSHINGHAM

TYPICAL SECTION

DATE:	JANUARY 24, 2023
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2302

DWG No.

A4.01

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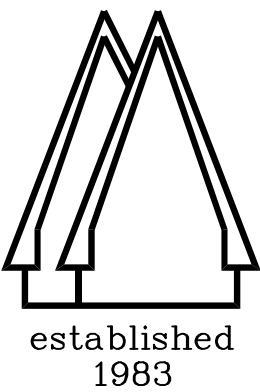
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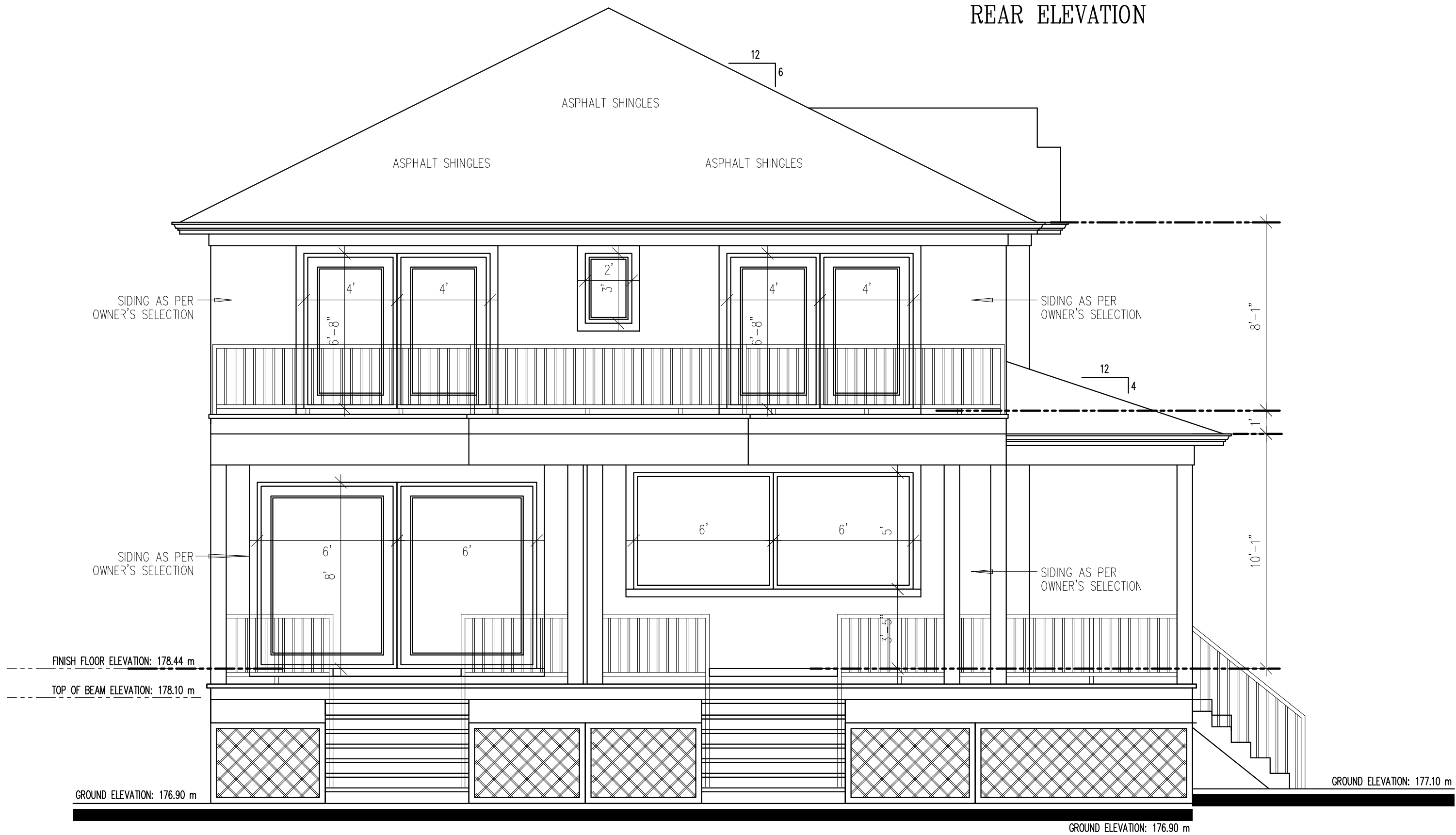
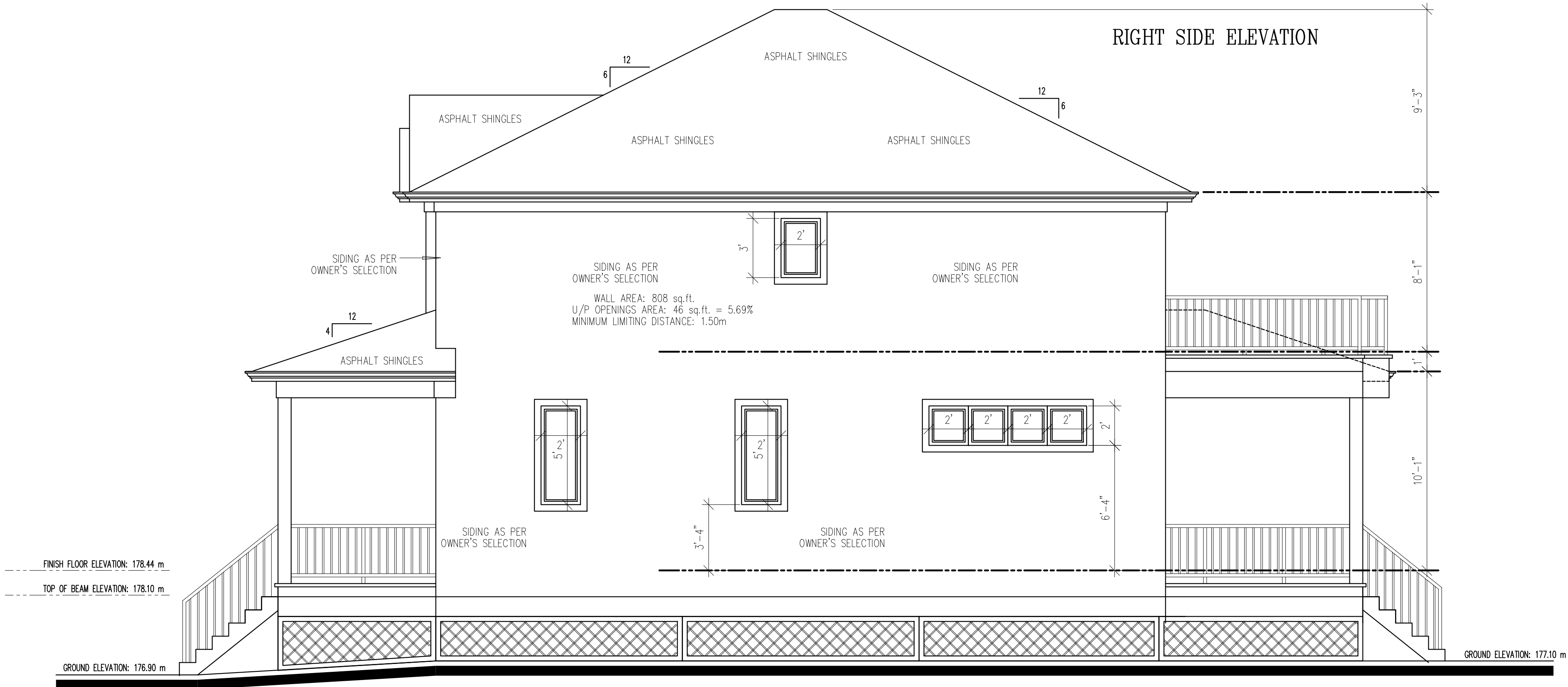
ELEVATIONS

DATE:	JANUARY 24, 2023
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2302

DWG No.

A2.02

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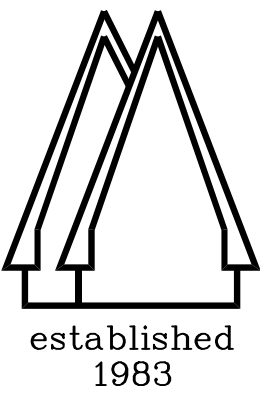
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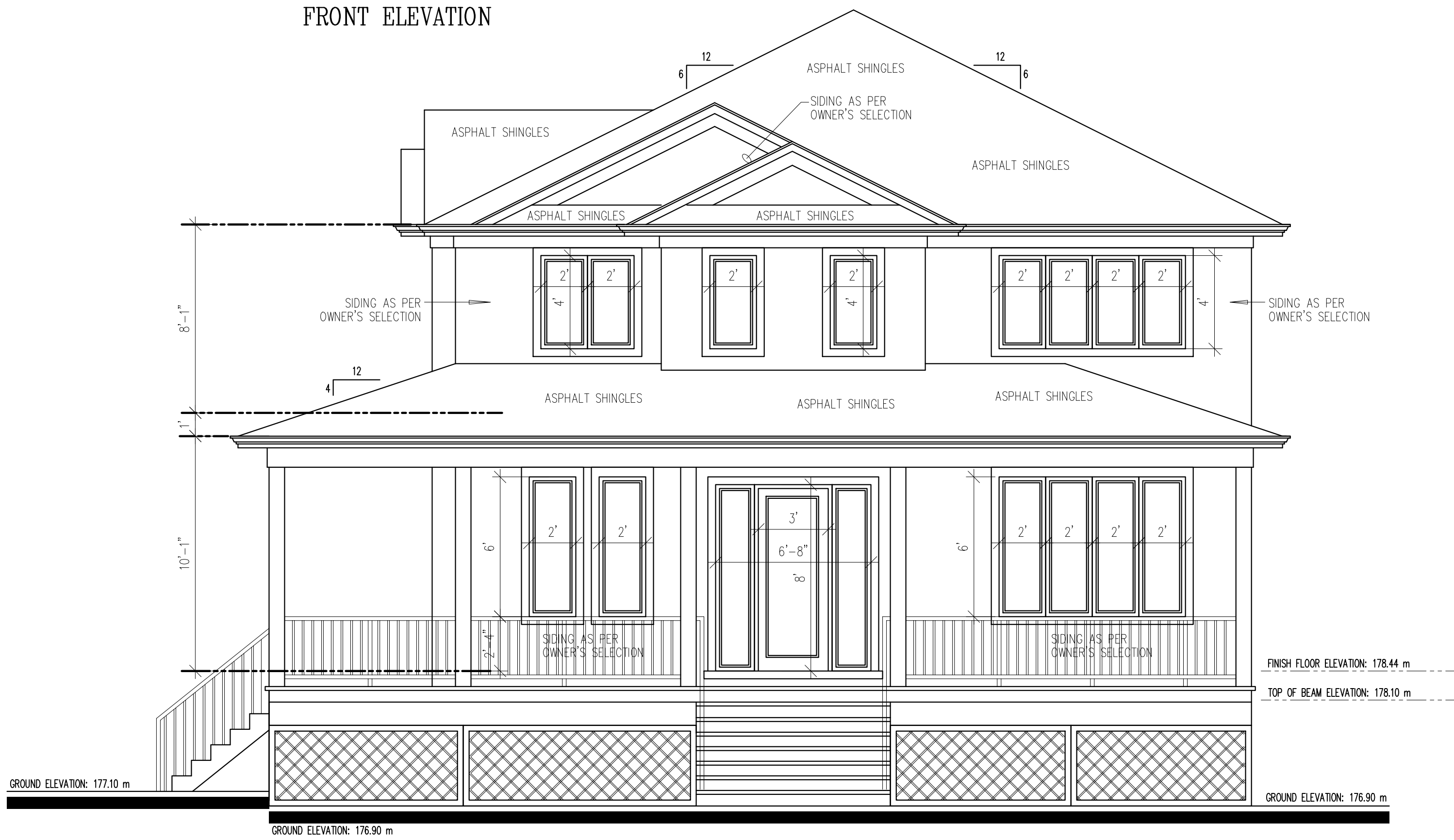
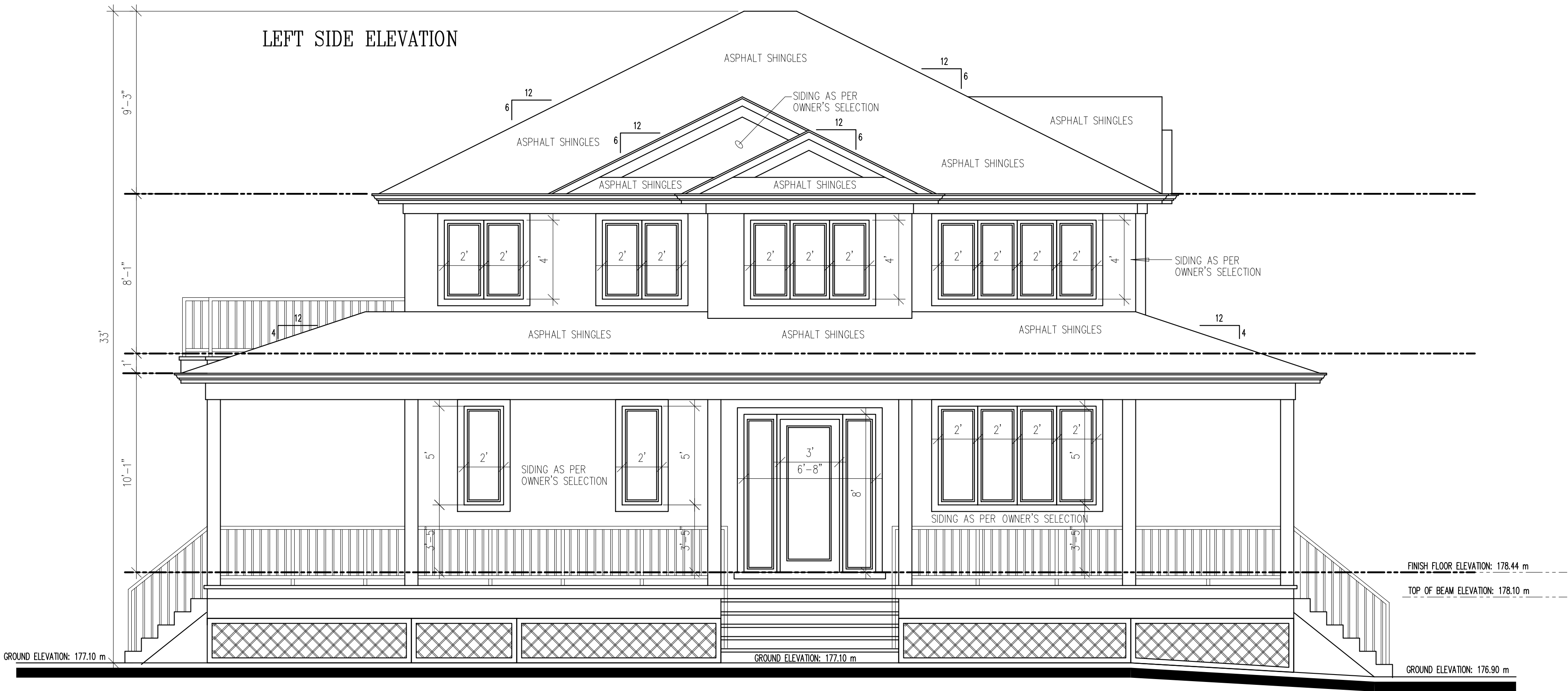
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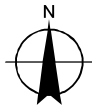


**Legend**

 Subject Lands

2020 Air Photo

4/26/2024



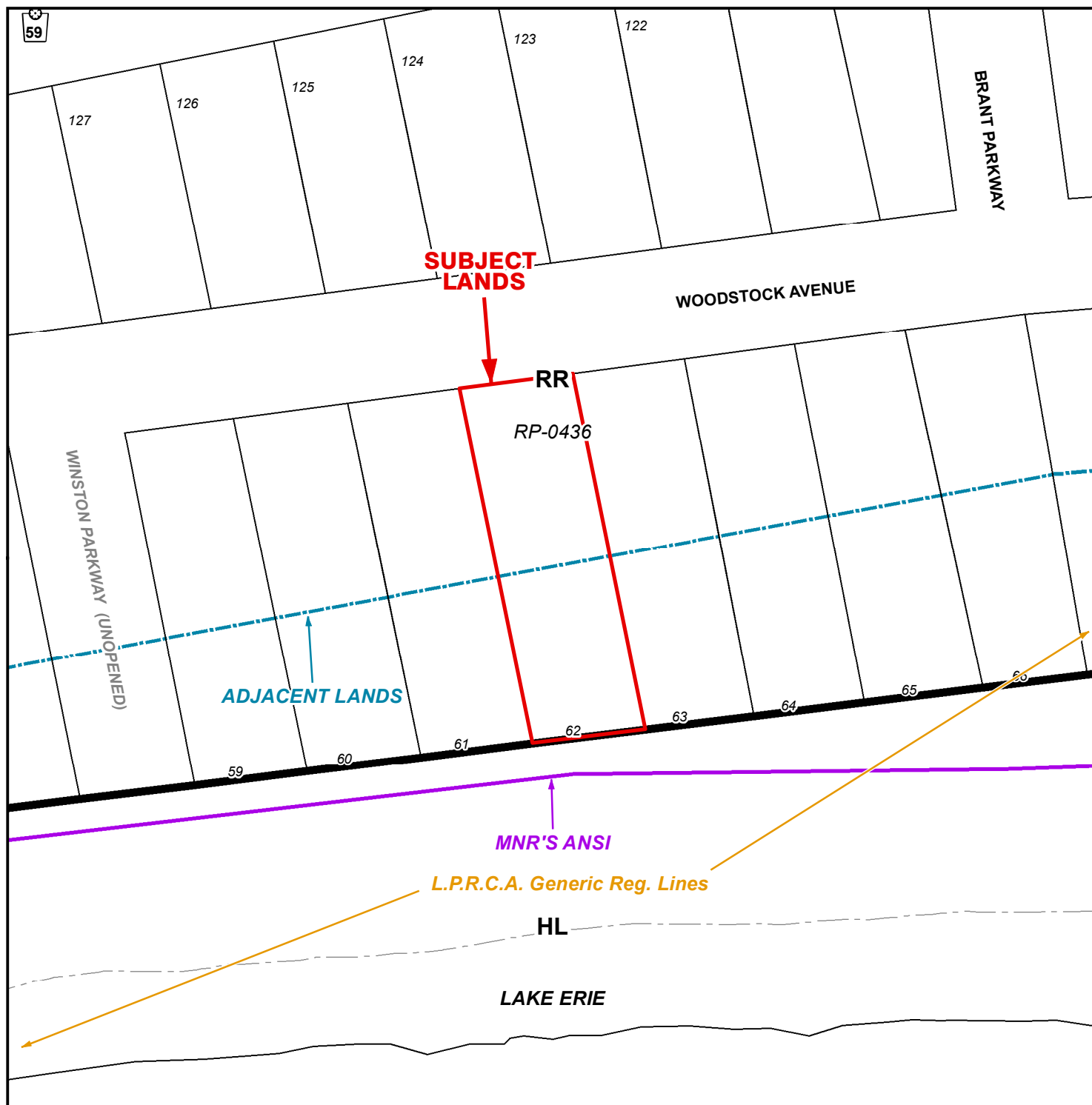
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Meters

# MAP B

## ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2024122



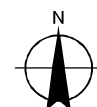
### LEGEND

- Subject Lands
- Adjacent Lands
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

4/26/2024

- (H) - Holding
- HL - Hazard Land Zone
- RR - Resort Residential Zone

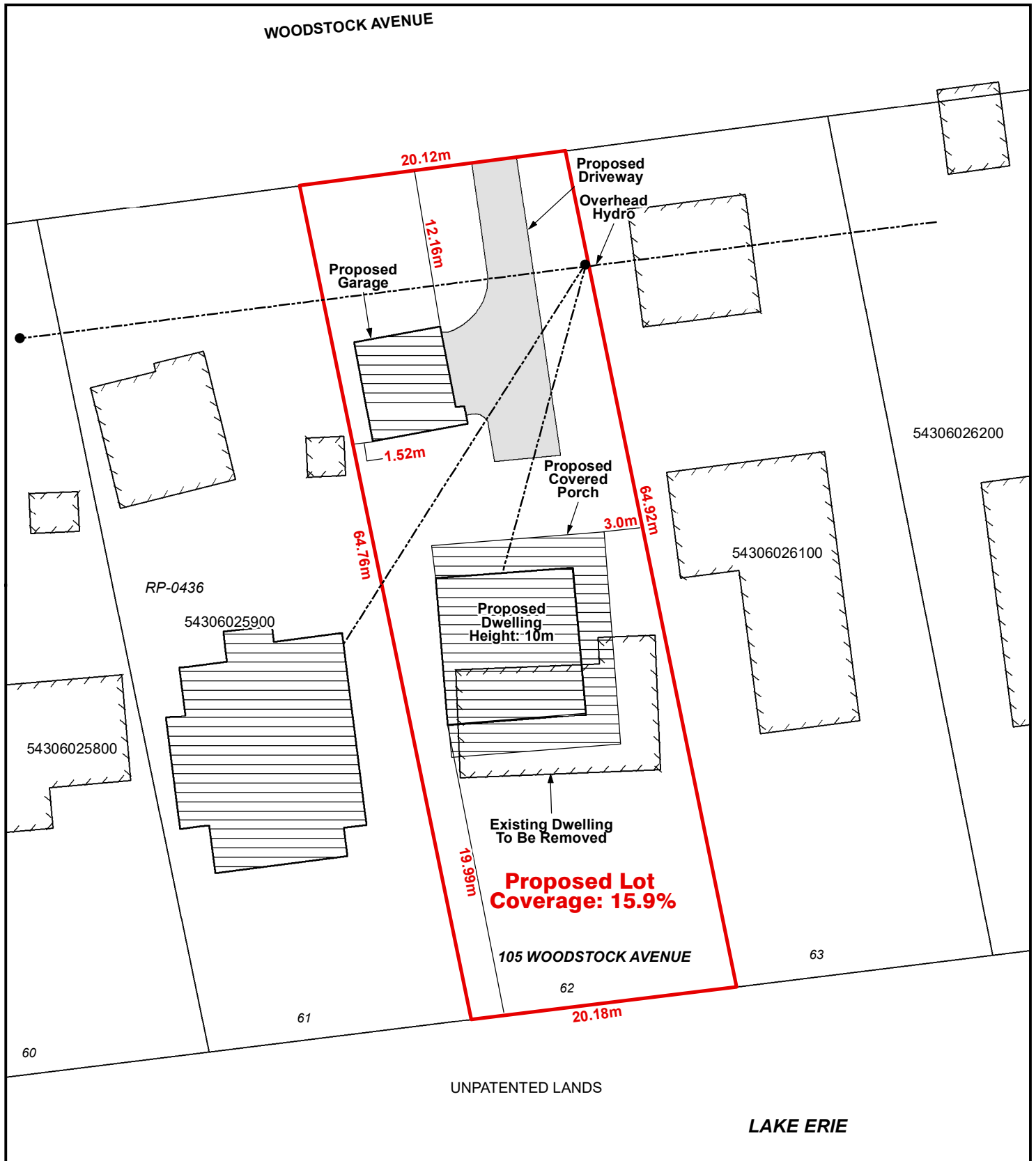


8 4 0 8 16 24 32 Meters



# CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



## Legend

Subject Lands

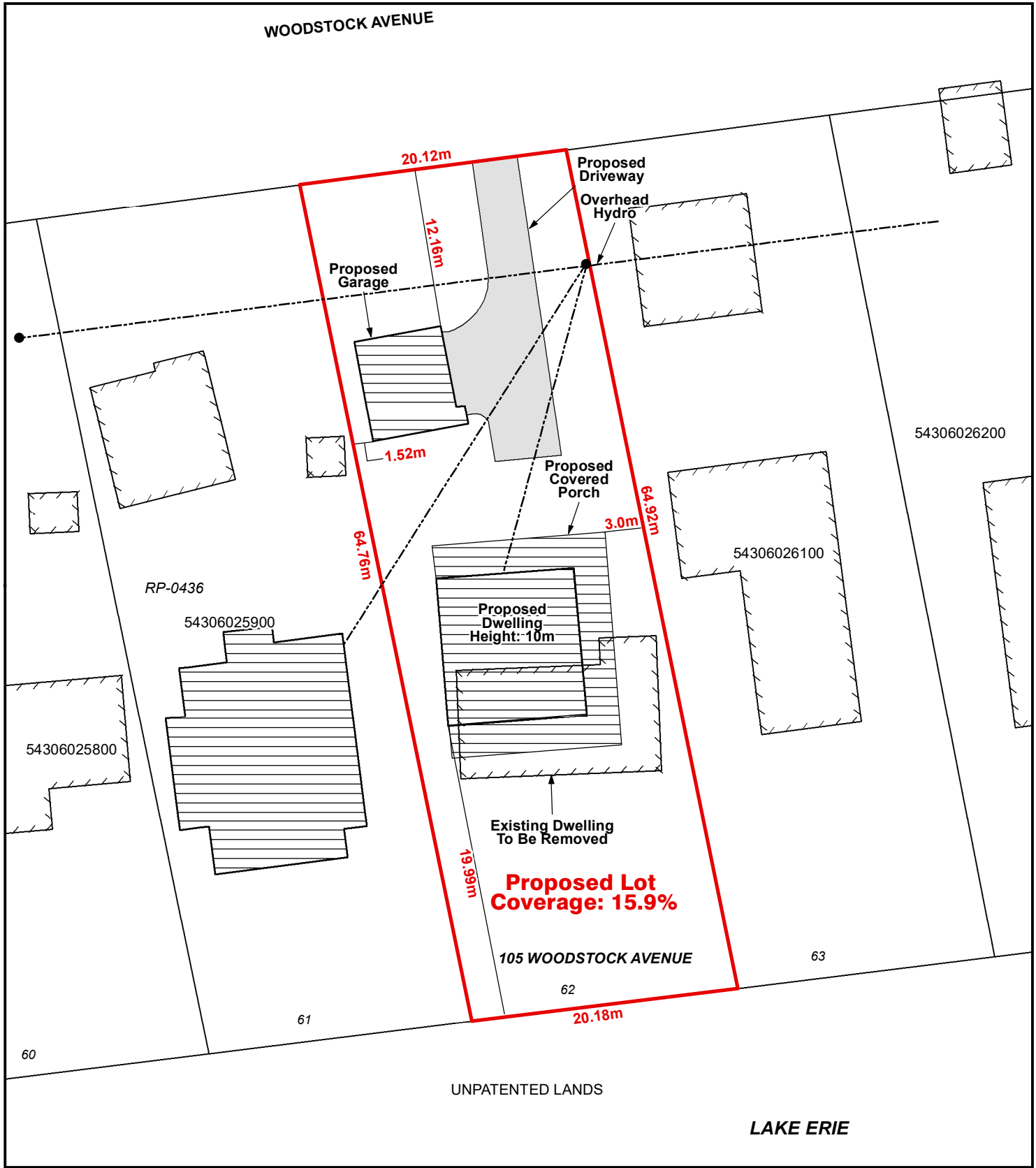
4/26/2024




3 1.5 0 3 6 9 12 Meters

LOCATION OF LANDS AFFECTED  
CONCEPTUAL PLAN  
Geographic Township of SOUTH WALSINGHAM

ANPL2024122



Legend

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4/26/2024

